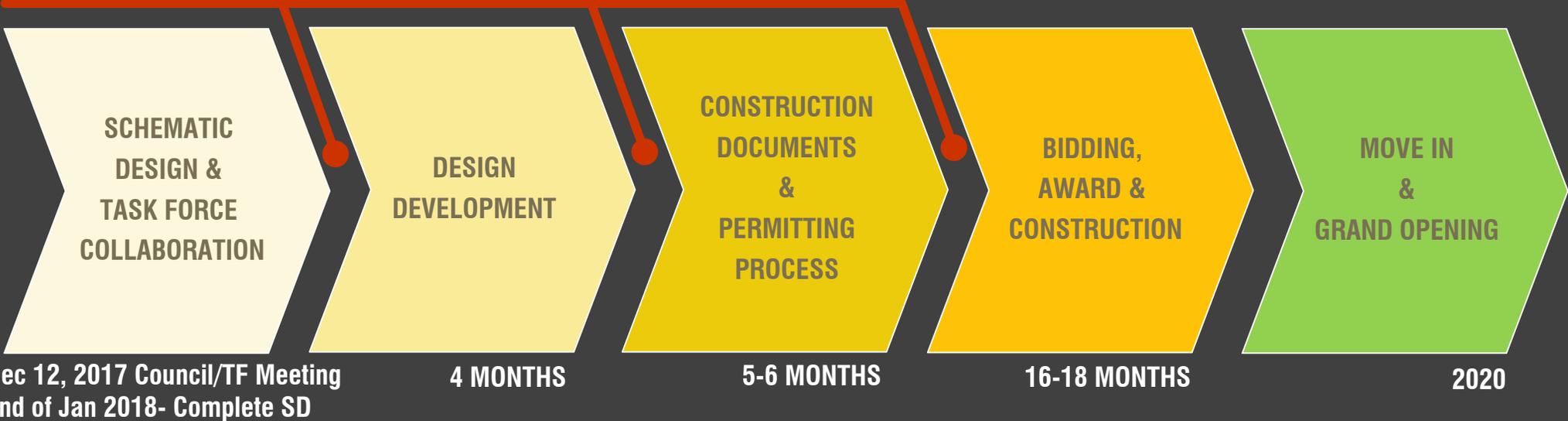


# LOS ALTOS COMMUNITY CENTER- PROPOSED SCHEDULE

## CITY REVIEW & COST ESTIMATING MILESTONES



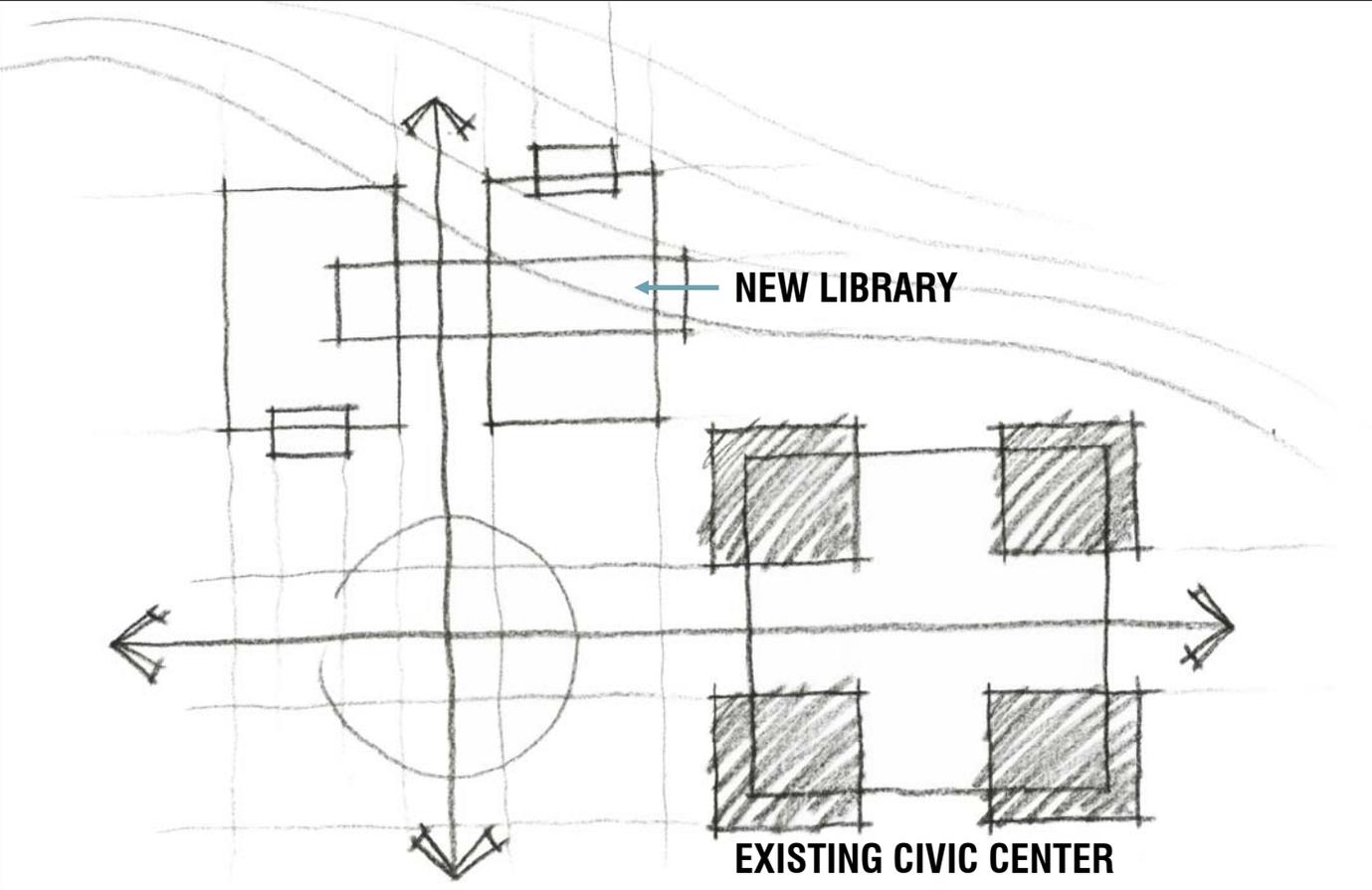
# CONCEPT / SCHEMATIC DESIGN

- **Establish overall goals and vision for the project**
- **Develop proposed space program(s)**
- **Test fit floor plan(s) on selected site based on space program**
- **Study building massing and design character options**

## **Concept/Schematic Level Deliverables:**

- |                                   |                                       |
|-----------------------------------|---------------------------------------|
| ✓ <b>Site Plan/Landscape Plan</b> | ✓ <b>Space Program</b>                |
| ✓ <b>Floor Plans</b>              | <b>includes early assumptions for</b> |
| ✓ <b>Key Exterior Elevations</b>  | <b>structural &amp; mechanical</b>    |
| ✓ <b>3D perspectives</b>          | <b>systems</b>                        |
-

CONCEPT DESIGN DIAGRAM



## SPACE PROGRAM EXAMPLE AT CONCEPT DESIGN

A space allocation program is created to provide a **checklist of spaces** required and proposed along with estimated square footage based on occupancy, function, etc.

These are **guidelines** from which the design begins. The space program components may fluctuate during design depending on stakeholder feedback, cost, other factors.

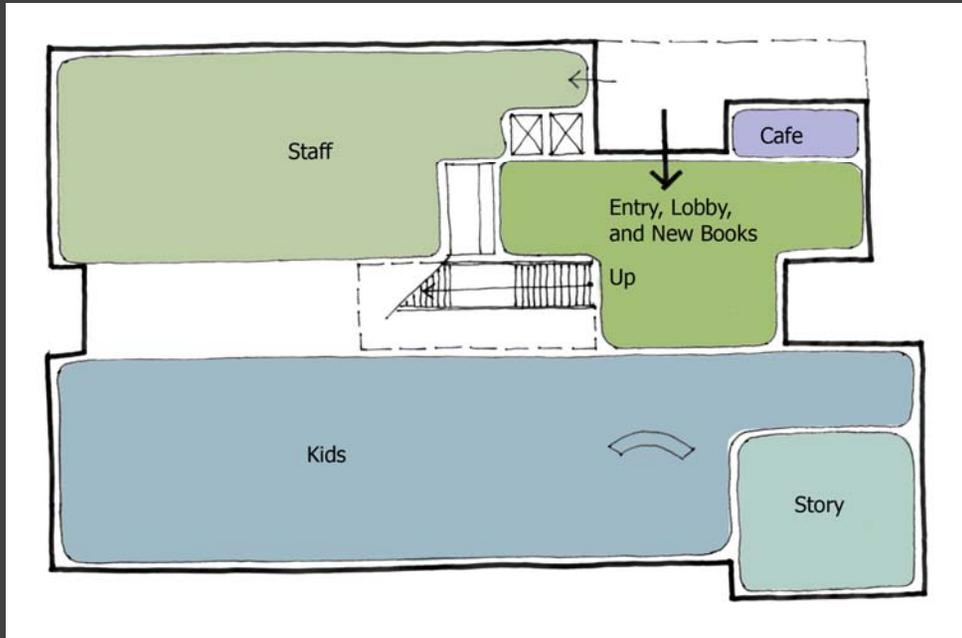
The **actual** constructed building space sizes may end up slightly different because of the realities of the site, code, geometry, relaxed requirements, etc.

But the **total** building area typically remains the target through to the completion of design and construction.

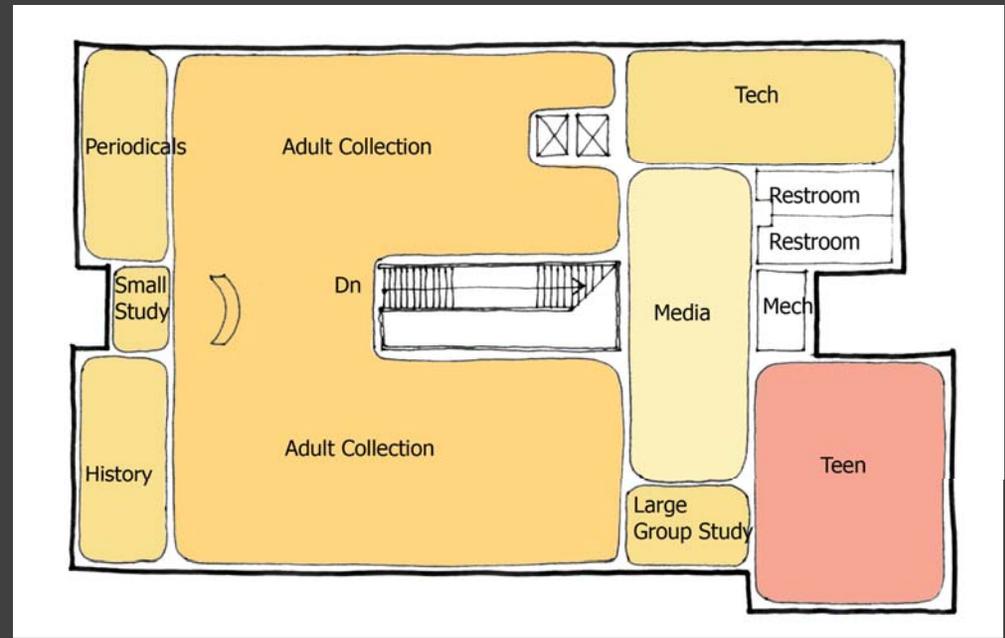
Los Gatos Library  
Spaces Summary

#	Space	Square Feet	Total	% of Building
1.a	Public Entrance/Main Lobby	244		
1.b	Information Desk	223		
1.c	Self-serve Check-out	156		
1.d	Friends Booksale Area	48		
1.e	Self Serve Reserves	84		
1.f	Interior Book Return	IN GSF		
1.g	Exterior Book Return	IN GSF		
1.h	Exterior Friends Donations	IN GSF		
1.i	Coffee/Café	150		
1.j	Drive-up Book Return	IN GSF	905	4%
2.a	New Books and Media	1,024		
2.b	Technology Stations	80	1,104	5%
3.a	Periodicals	586		
3.b	Technology Room	564		
3.c	Adult Service Area	106		
3.d	Adult Media Collections	1,073		
3.e	Adult Print Collections	5,372		
3.f	Adult Reference Collection	455		
3.g	History/Special Collection	303		
3.h	History/Special Collection Seating			
3.i	History/Special Collection Technology Stations			
3.j	History/Special Collection Workspace			
3.k	Adult Seating	440		
3.l	Adult Technology Stations	924		
3.m	Medium Group Study	300		
3.n	Small Group Study	300		
3.o	Copy/Print Area	120	10,543	49%
4.a	Children's Service Area	121		
4.b	Children's Media Collections	318		
4.c	Children's Print Collections	1,406		
4.d	Children's Reference Collections	152		
4.e	Children's Storytelling Area	840		
4.f	Storytelling Area Storage	104		
4.g	Children's Technology Stations	304		
4.h	Parents and Teachers Collection	71		
4.i	Family Restrooms	IN GSF	3,314	16%
5.a	Teen Print Collections	923		
5.b	Teen Seating	516		
5.c	Teen Technology Stations	234	1,673	8%
6.a	Library Director	189		
6.b	Assistant Library Director	162		
6.c	Circulation Supervisor	101		
6.d	Principal Librarians	201		
6.e	Librarian	402		
6.f	Library Assistant	302		
6.g	Secretary III	101		
6.h	Clerks/Pages	240		
6.i	Conference Room	240		
6.j	Check-in and Sorting Area	389		
6.k	Shipping and Receiving	174		
6.l	Friends Storage	330		
6.m	Storage	240		
6.n	Processing Area	285		
6.o	Server Room	162		
6.p	Staff Breakroom	250		
6.q	Staff Restroom	IN GSF	3,767	18%
<b>Net Assignable Square Feet:</b>		<b>21,307</b>	<b>21,307</b>	
<b>Gross Square Feet @ 70% Net to Gross SF:</b>		<b>30,438</b>		

# CONCEPT PLAN ZONING DIAGRAMS

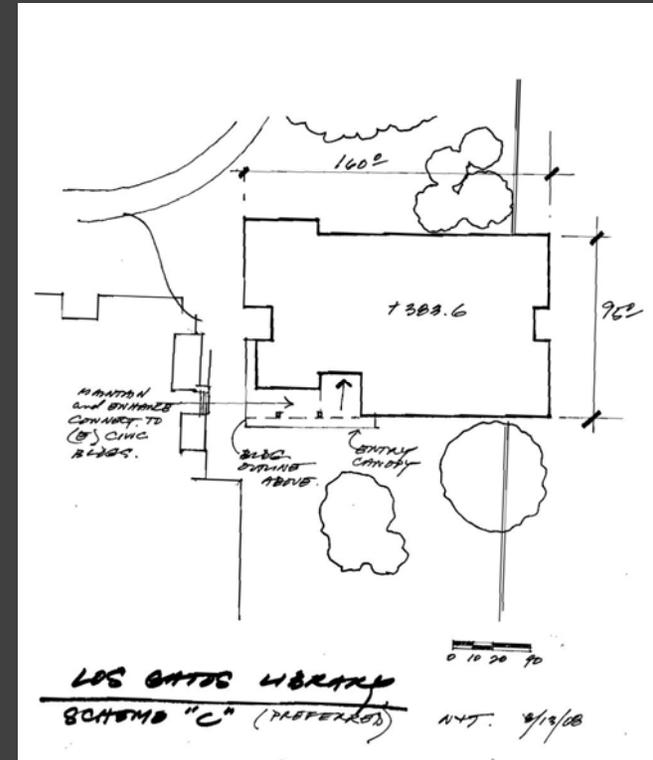
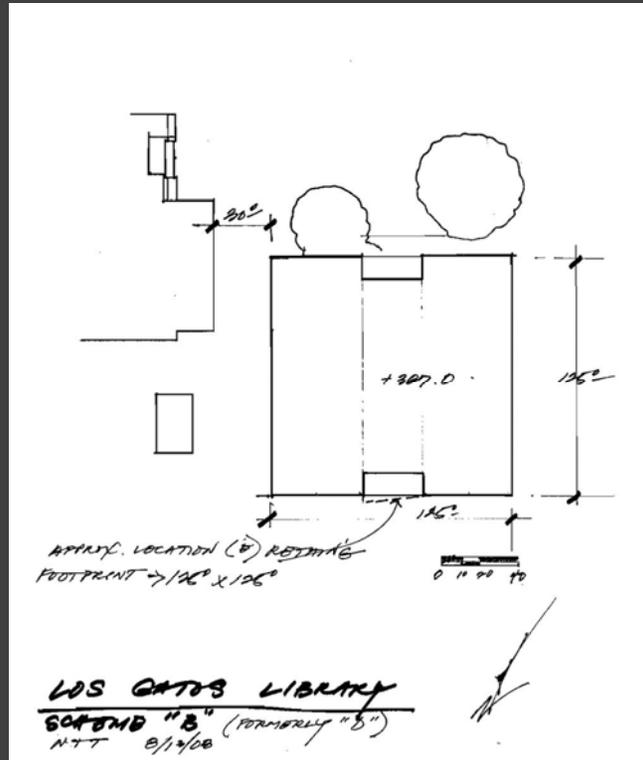
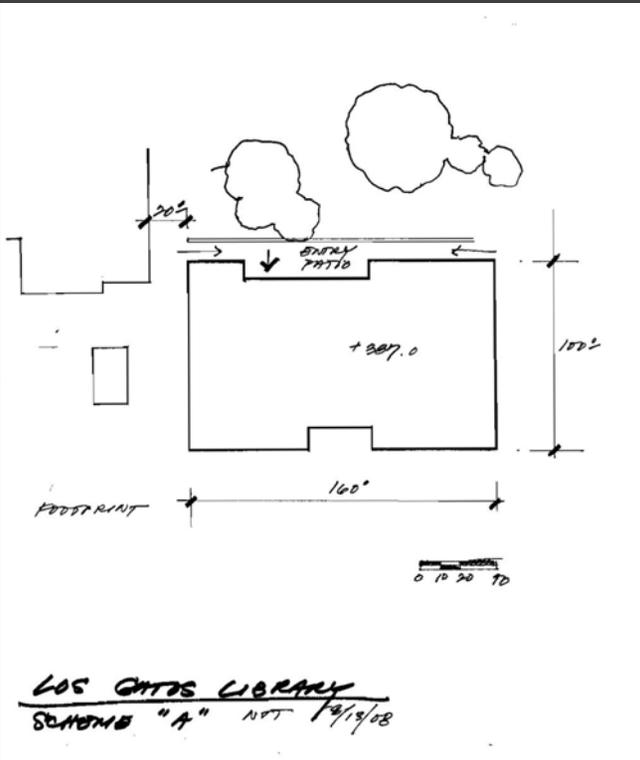


FIRST FLOOR

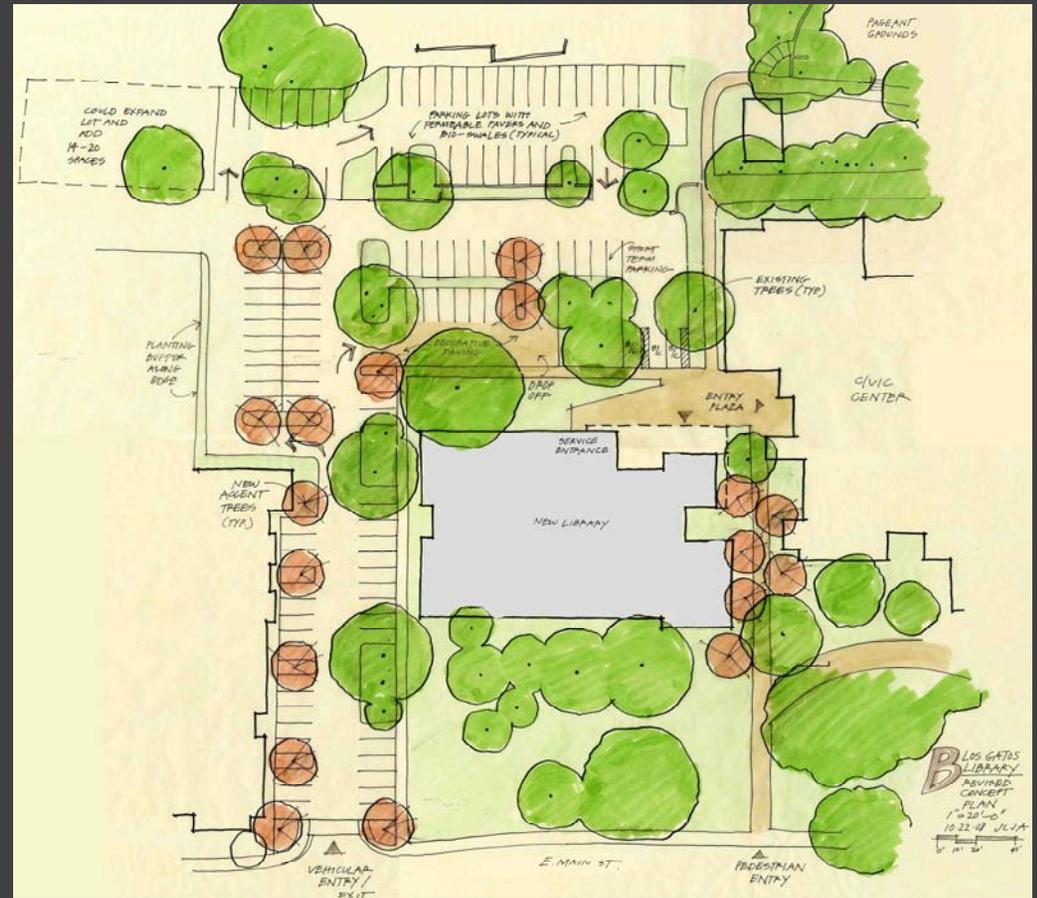


SECOND FLOOR

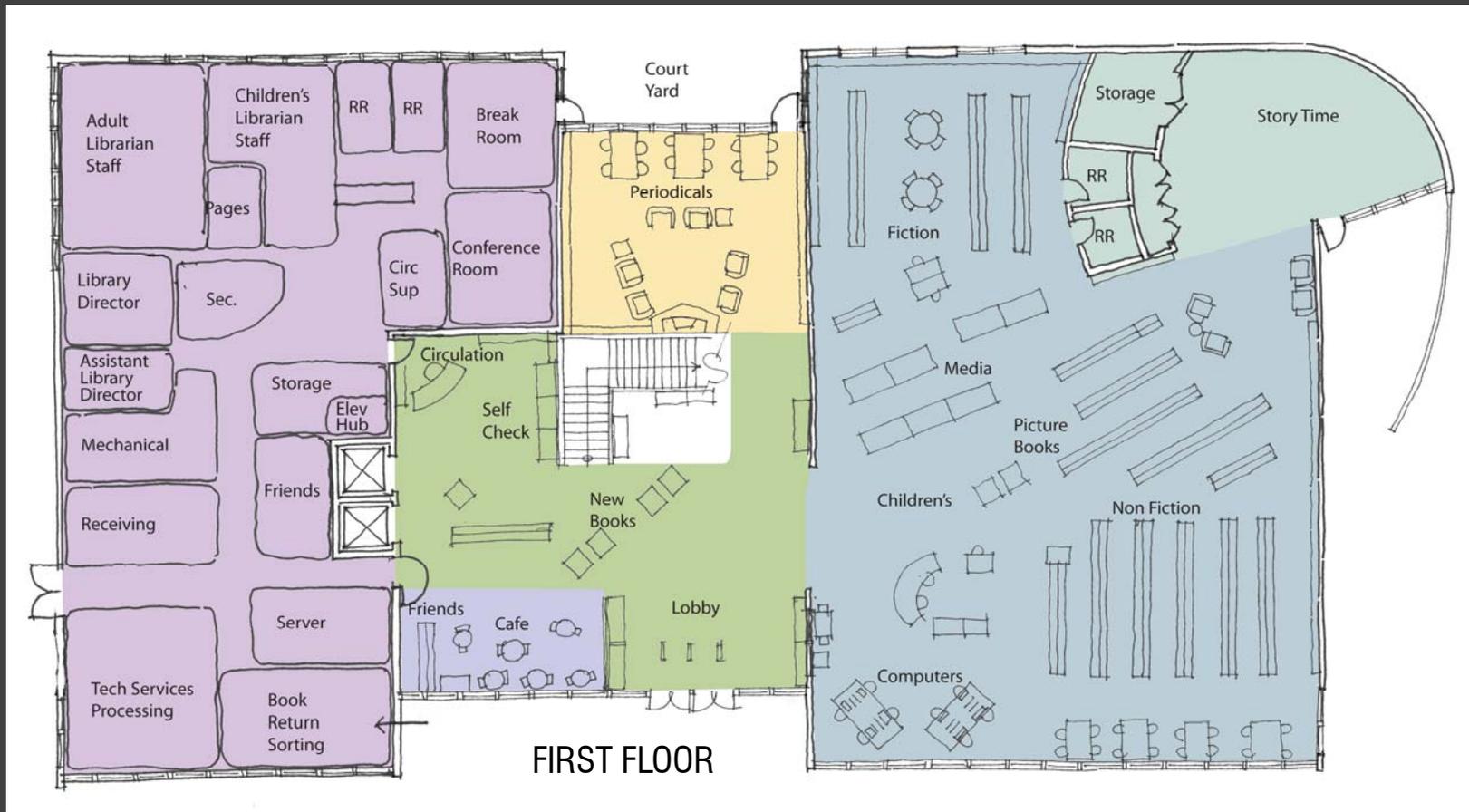
SITE DIAGRAMS/STUDIES



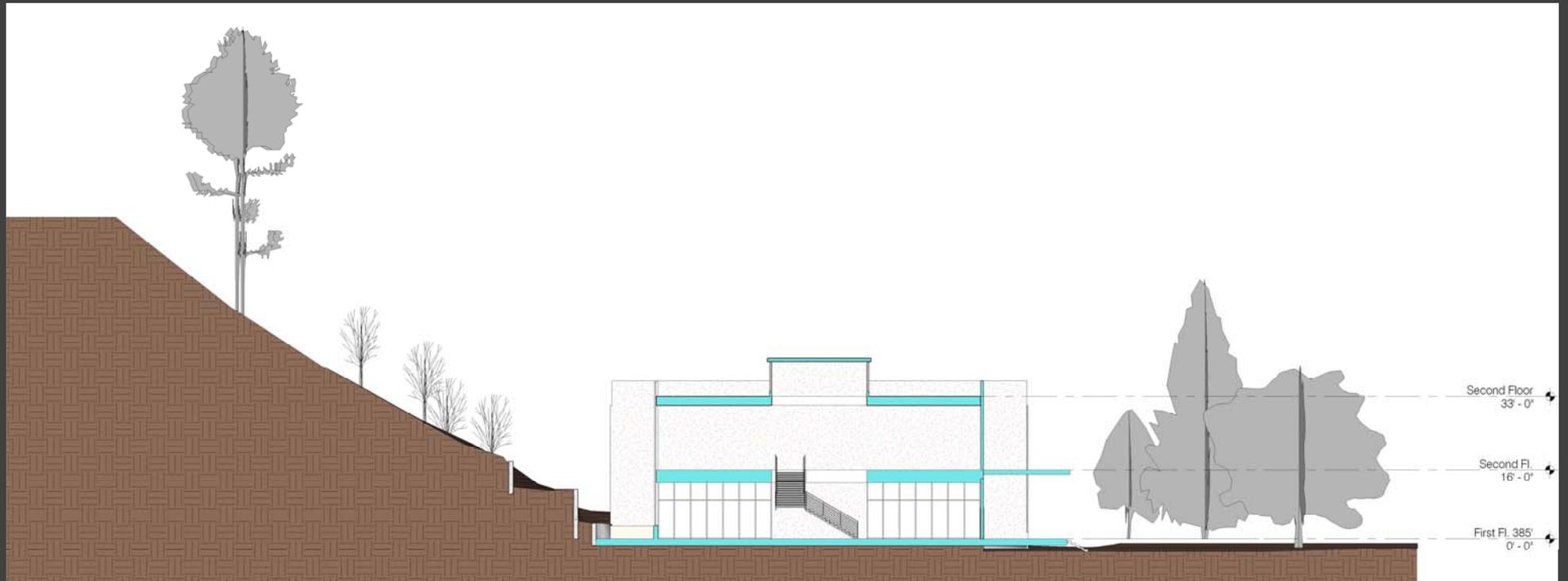
# SITE PLAN OPTIONS



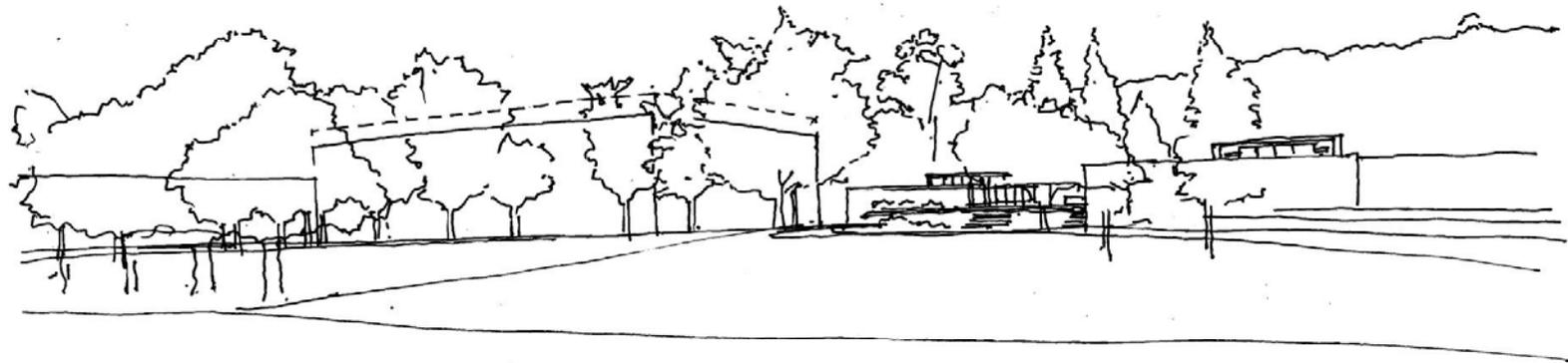
# SCHEMATIC DESIGN FLOOR PLAN



# SCHEMATIC SITE /BUILDING SECTION



MASSING SKETCHES



"C" MASSING OUTLINE  
LOS ANGELES LIBRARY 9.9.08

NOEL and TONY N.T.S.

# MASSING PHOTO STUDY



- BUILDING HEIGHT
- BUILDING AREA
- PARKING
- SITE SETBACKS

### III. BUILDING DESIGN: GUIDING PRINCIPLES AND REQUIREMENTS

The goal of this section is to set forth principles to guide building design choices that will encourage creativity while accommodating the needs of a wide variety of businesses – needs that may be impossible to predict. Rather than achieve visual harmony by prescribing common materials, window and door types or roof slopes, this development will be unified by a common approach to building design and aesthetics, paired with consistency in landscape design, site lighting and signage.

#### A. GUIDING PRINCIPLES

The development shall be built upon a common industrial aesthetic of economic, straightforward designs employing materials in their most natural state, free of the pretension of historicist references or ornamentation. Examples of industrial architecture are plentiful and easily researched, but have also been included in this Section for clarity of intent.

Additional principles to consider include:

##### 1. VARIETY AND FLEXIBILITY

Commercial / Industrial Buildings will be a mix of one to four story structures of tilt-up concrete, steel, masonry or wood frame construction, capable of being sub-divided and structurally adapted to the changing needs of industrially-zoned uses.

##### 2. TOLERANCE AND CONSIDERATION

Projects that combine housing and employment in close proximity rely on each business to mitigate excessive noise; likewise, those who develop flex spaces for residential purposes must acknowledge that these units may be subject to noise and other disturbances associated with an industrial zone.

#### B. INDUSTRIAL AESTHETIC

Projects should demonstrate characteristics of Industrial Architecture including the following:

##### 1. FAÇADE MODULATION AND RHYTHM:

Building elevations are broken down with repeated elements at a smaller scale to create visual interest.

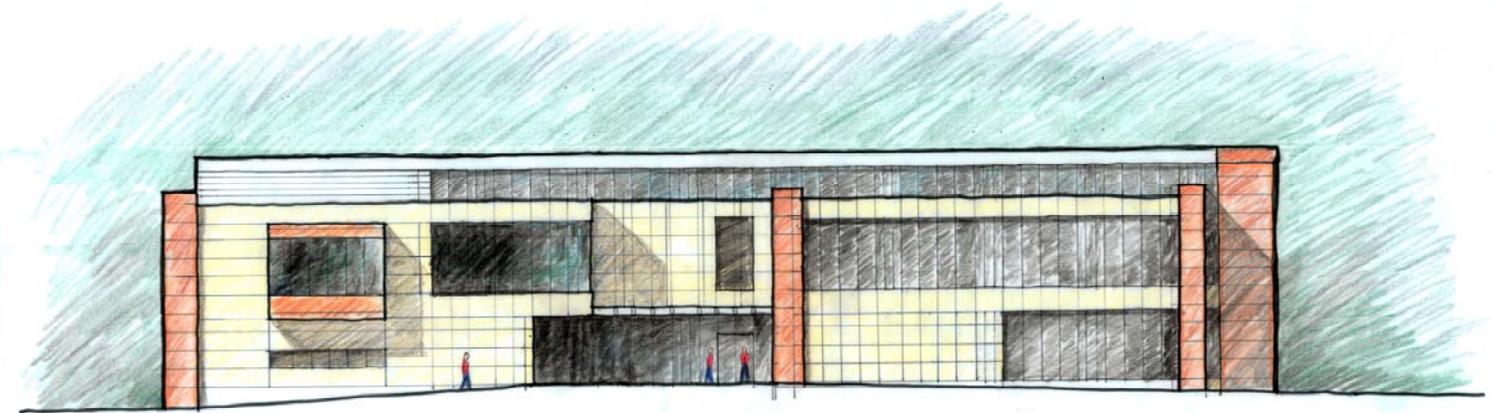


##### 2. EXPRESSION OF STRUCTURE

Building tectonic systems are left exposed or are expressed through identifiable demarcations on the building finish materials.

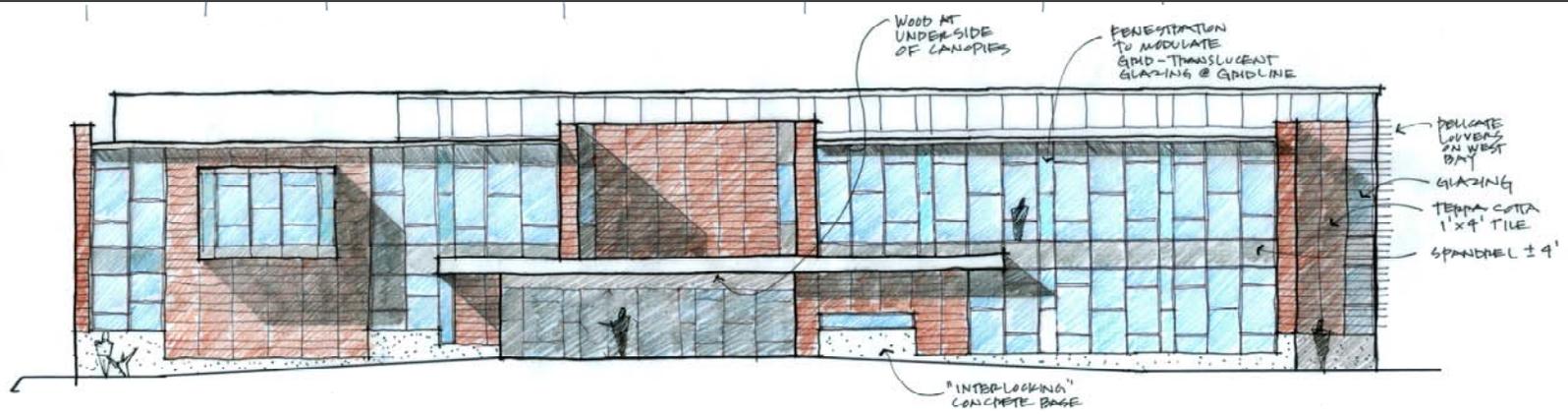


EXTERIOR ELVATION STUDIES



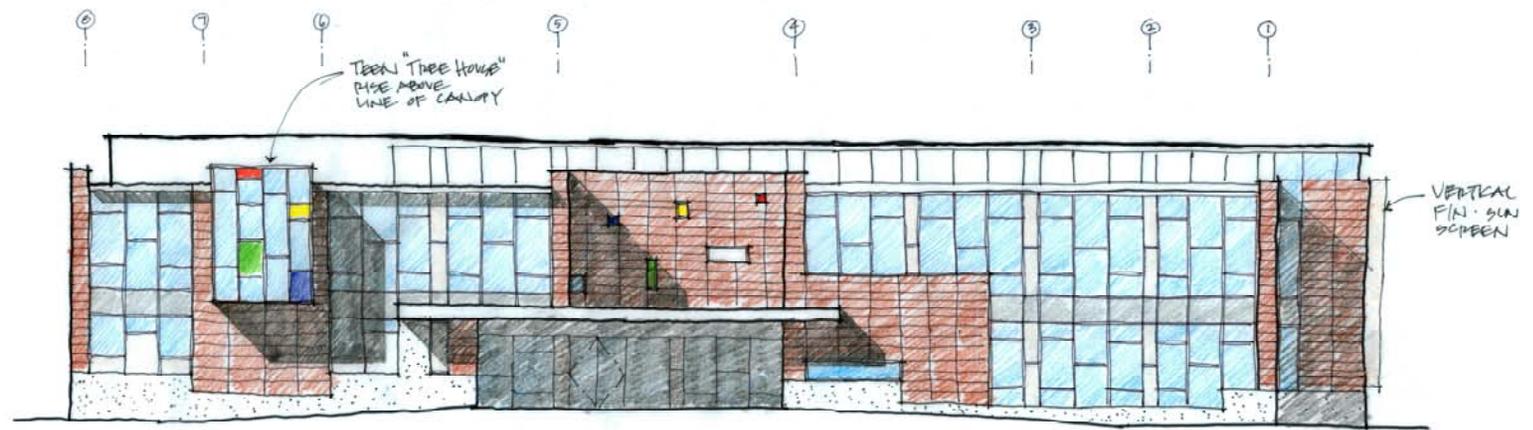
NORTH ELEVATION

# EXTERIOR ELEVATION/MATERIAL STUDIES

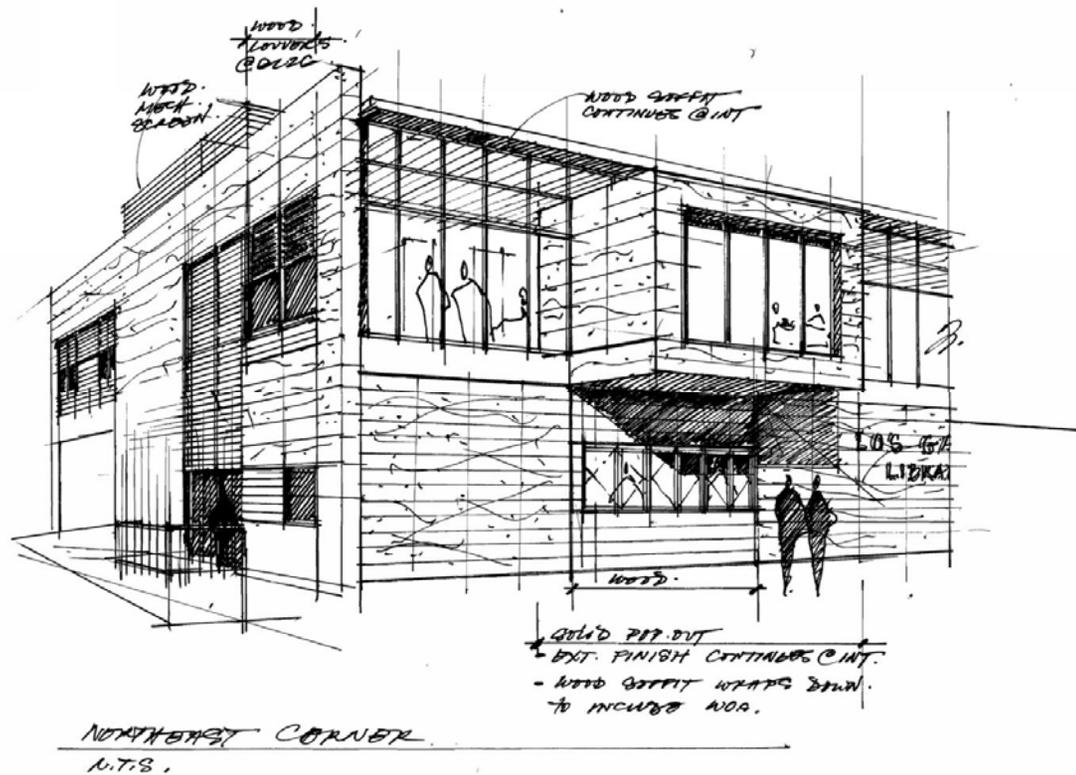
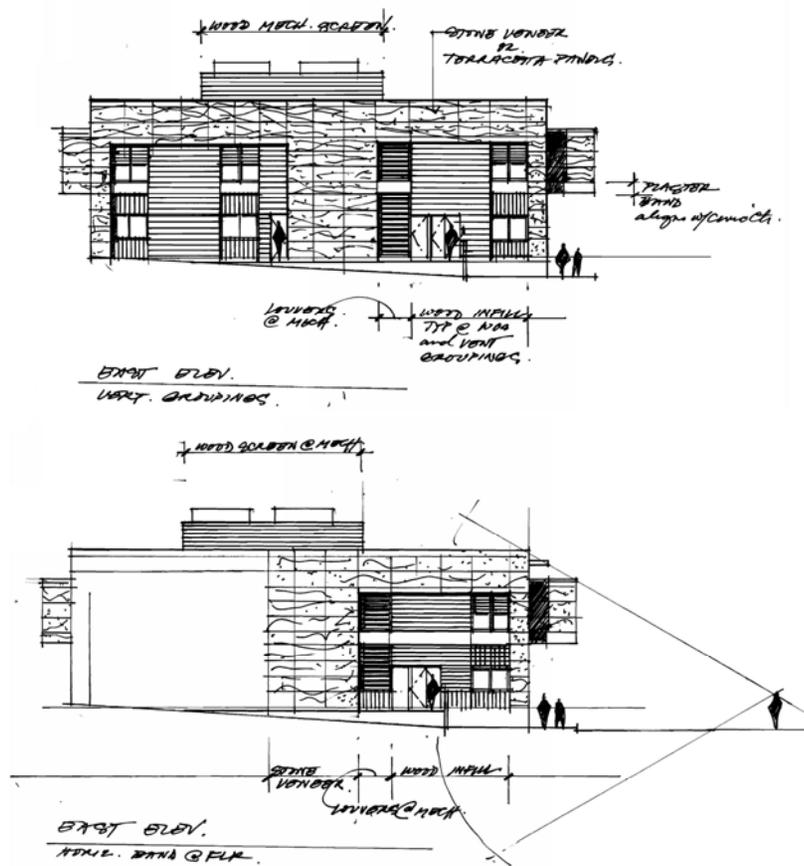


NORTH ELEVATION OPTIONS

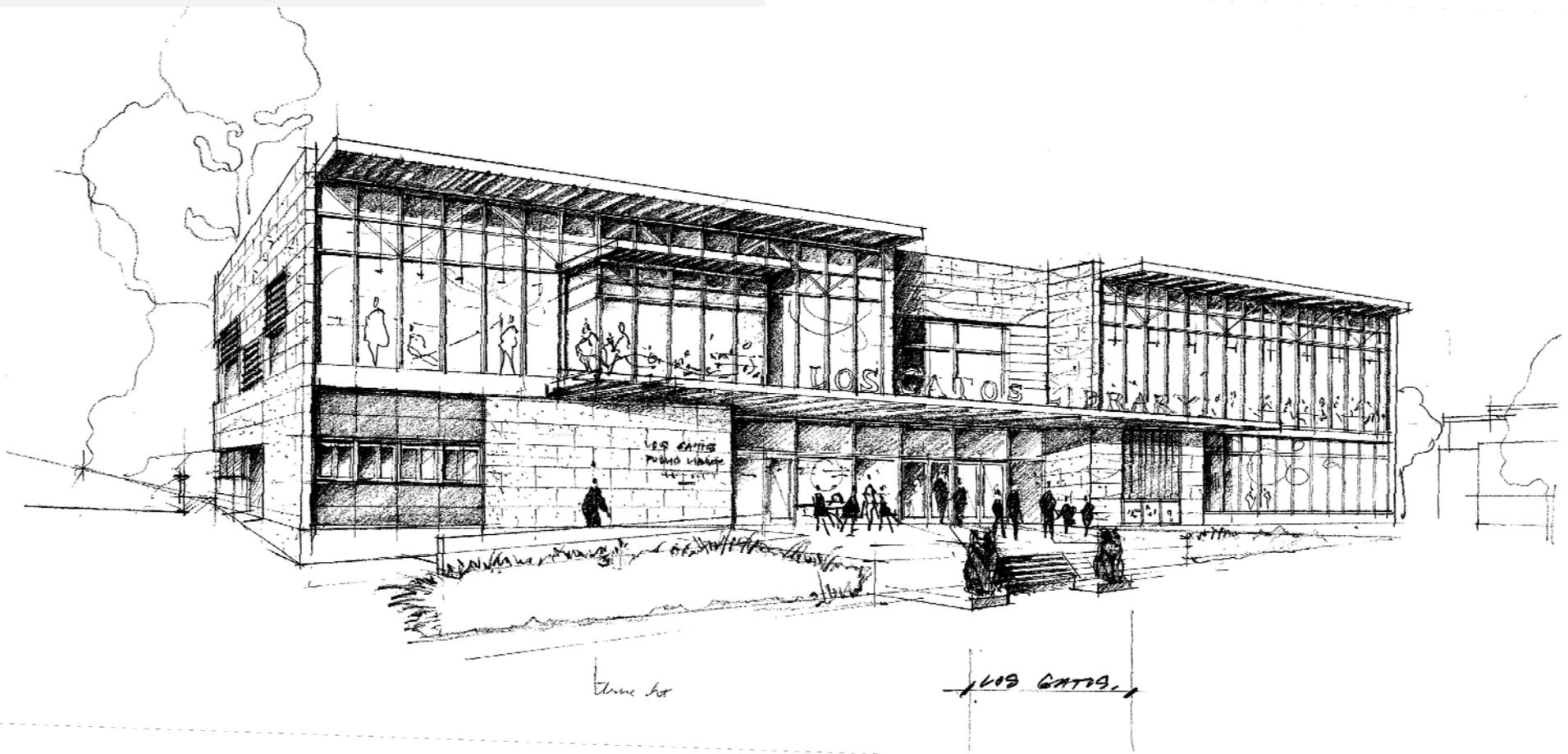
Ⓐ LOS GATOS LIBRARY - NORTH ELEV.  
9.23.09 1/8" HW



# SCHEMATIC DESIGN CHARACTER STUDIES



REFINING SCHEMATIC DESIGN CHARACTER



SCHEMATIC EXTERIOR ELEVATION



**NORTH ELEVATION**

LOS GATOS LIBRARY

1/16" = 1'-0"

FINAL SCHEMATIC EXTERIOR CHARACTER



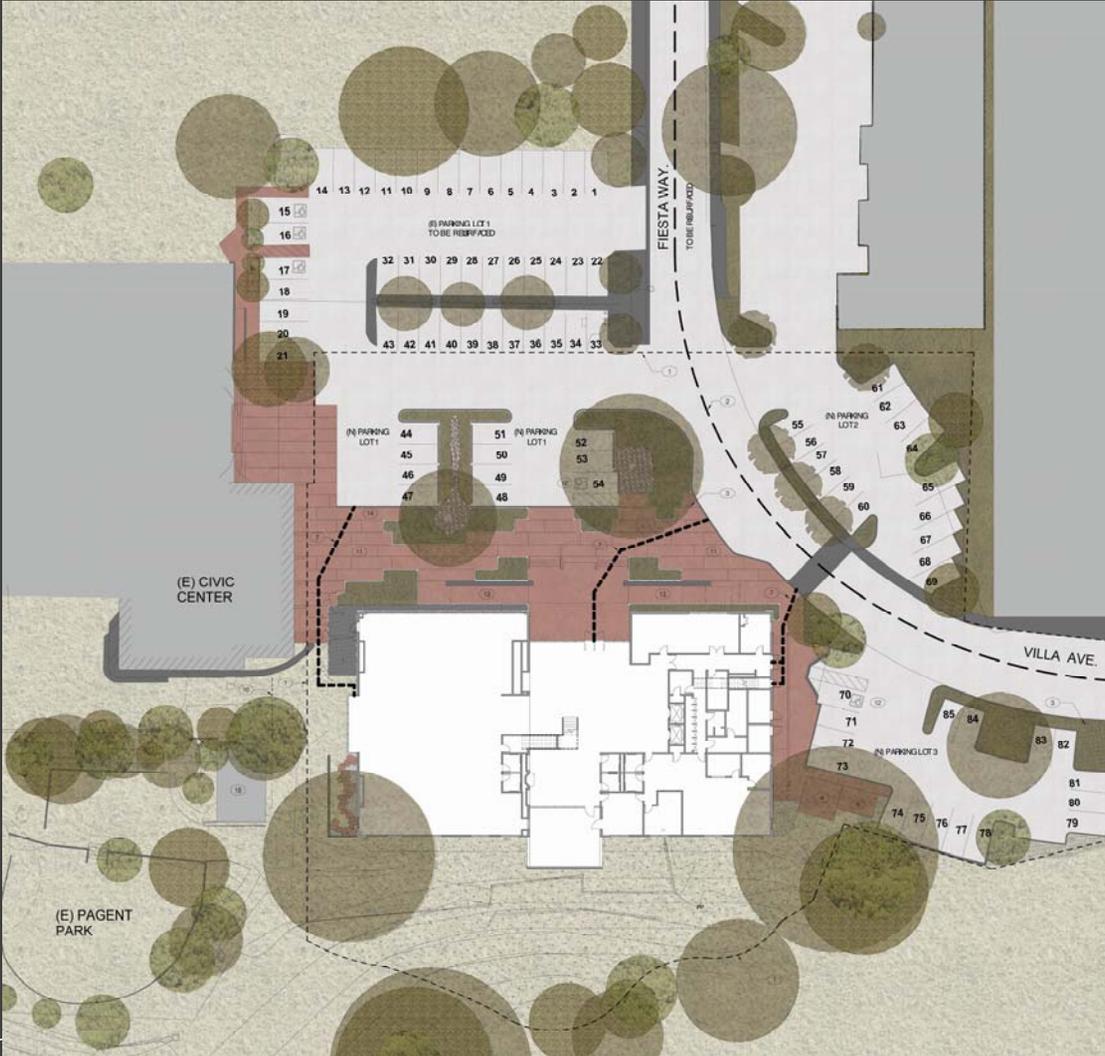
# Design Development Phase

- **Develop one preferred site/floor plan design option**
- **Formal city design reviews and preliminary code review**
- **Develop engineering systems & LEED design criteria**

## **Design Development Level Deliverables include:**

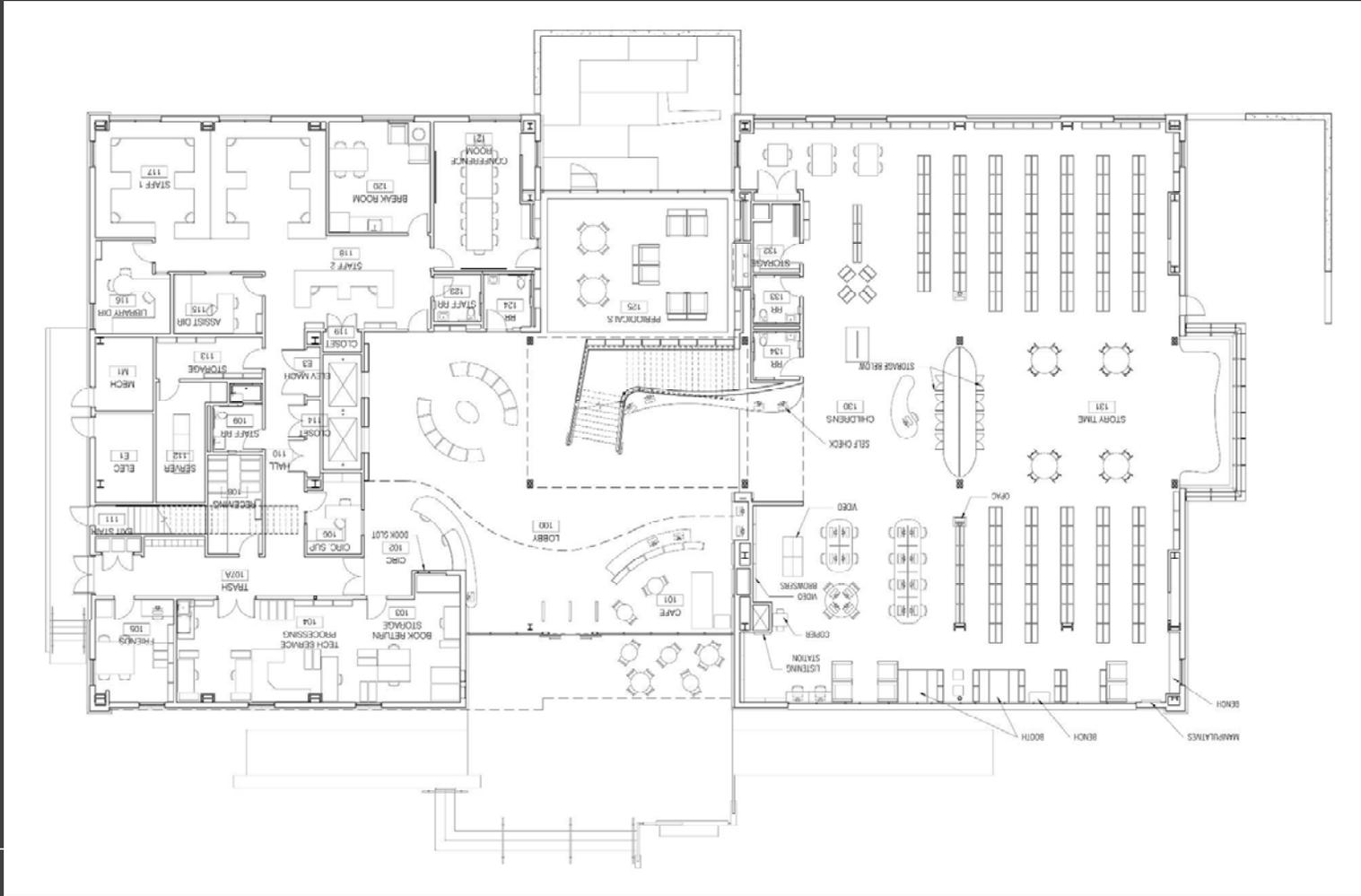
- ✓ **Site Plan/Landscape Plan**
  - ✓ **Floor/Roof Plans**
  - ✓ **Building Sections**
  - ✓ **Exterior Elevations**
  - ✓ **Interior elevations/ceiling plans**
  - ✓ **Typical building details**
  - ✓ **Engineering drawings**
  - ✓ **Specifications**
-

DESIGN DEVELOPMENT SITE PLAN

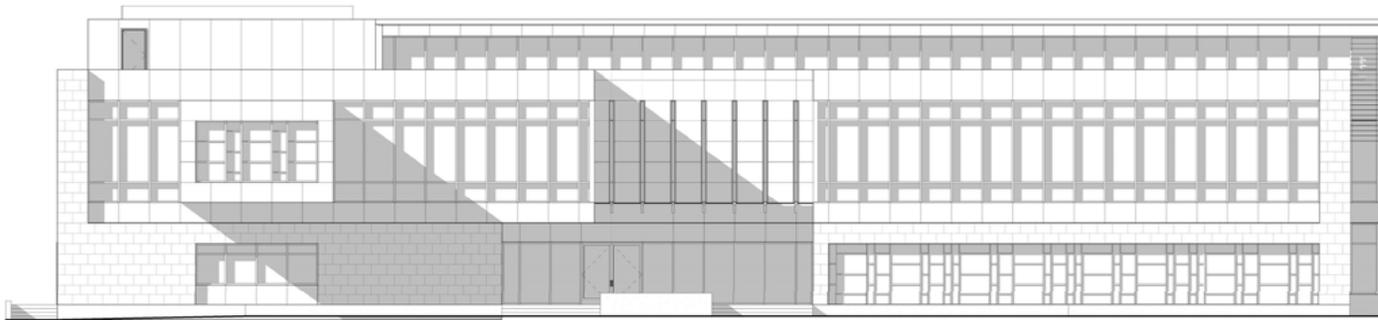




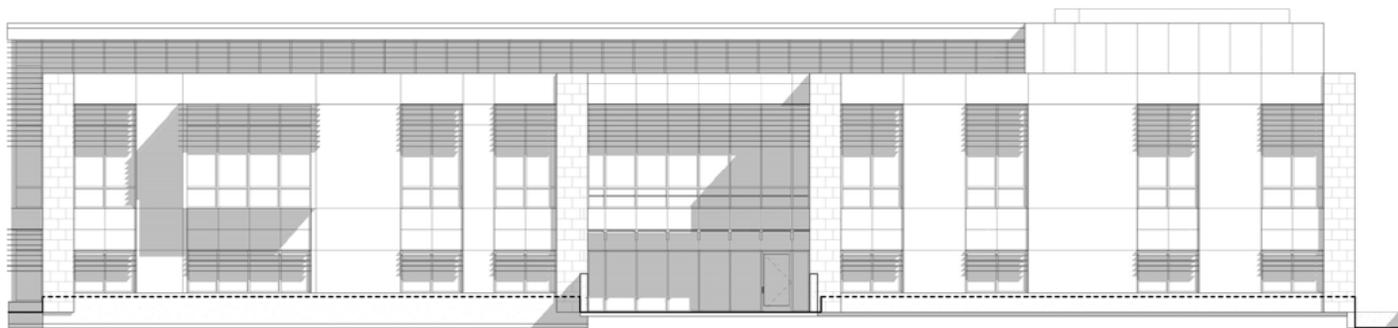
# DESIGN DEVELOPMENT FLOOR PLAN



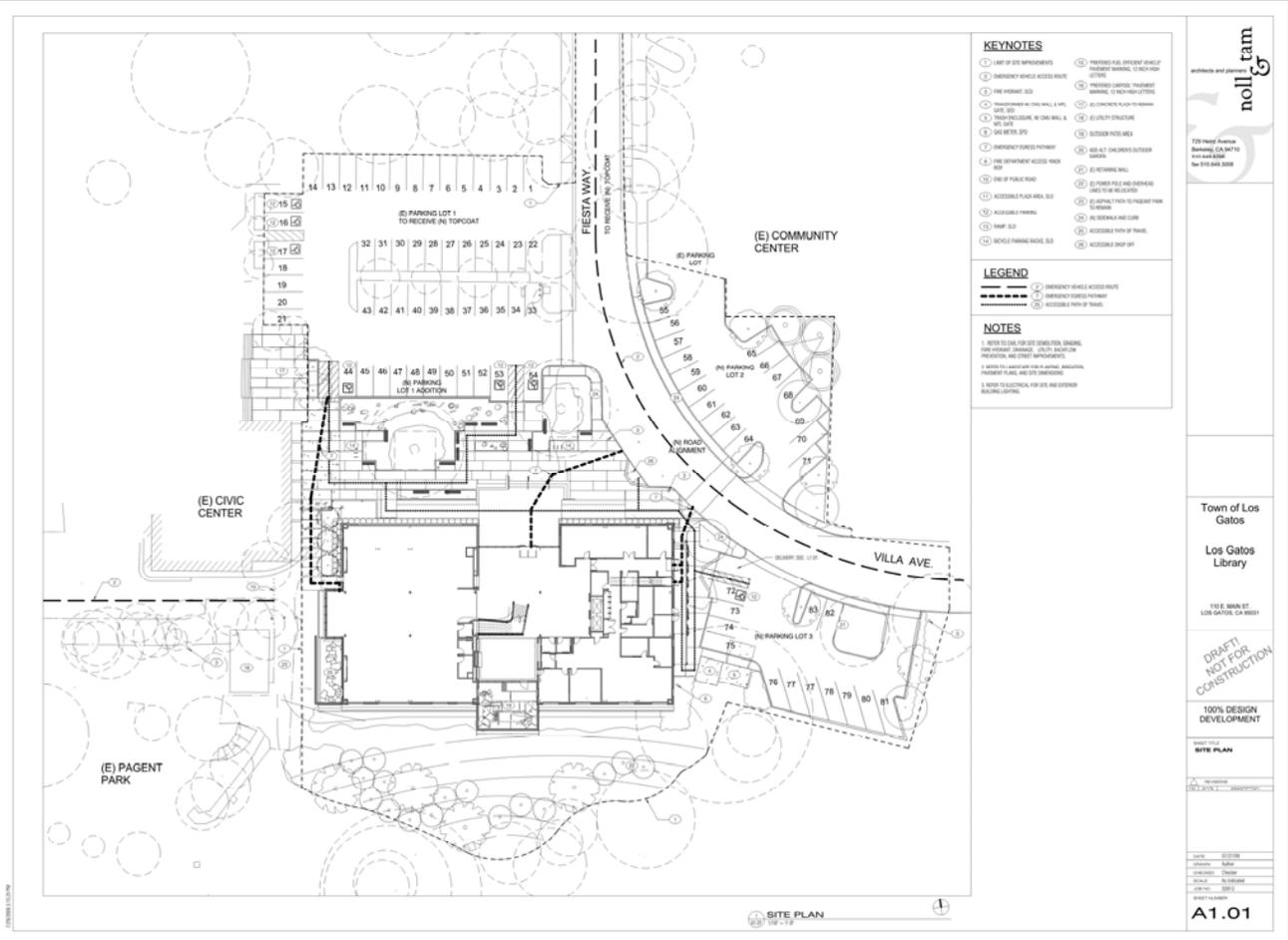
DESIGN DEVELOPMENT EXTERIOR ELEVATION STUDIES



NORTH ELEVATION



# DESIGN DEVELOPMENT FINAL DRAWINGS



- KEYNOTES**
- 1. LAND OF USE IMPROVEMENTS
  - 2. EMERGENCY VEHICLE ACCESS ROUTE
  - 3. FIRE HYDRANT S.D.
  - 4. INTERSECTION OF DRIVE WALL & W.P. WALL S.D.
  - 5. DRIVE ENCLOSURE, W/ DRIVE WALL & W.P. WALL
  - 6. USE METERS, S.P.S.
  - 7. EMERGENCY ESCAPE PATHWAY
  - 8. USE OF EXISTING ACCESS WALKWAY
  - 9. END OF PUBLIC ROAD
  - 10. ACCESSIBLE PLAZA AREA, S.D.
  - 11. ACCESSIBLE PARKING
  - 12. ACCESSIBLE PATH OF TRAVEL
  - 13. ACCESSIBLE PARKING SPACE, S.D.
  - 14. PREFERRED H.S. EFFICIENT VEHICLE PARKING SPACES, 12 FEET HIGH LOTTERY
  - 15. PREFERRED CANTON, PLACEMENT BARRIER, CONCOURSE LETTERS
  - 16. 8" CONCRETE PLAZA TO NEAREST WALK S.D.
  - 17. 8" CONCRETE PLAZA TO NEAREST WALK S.D.
  - 18. 8" CONCRETE PLAZA TO NEAREST WALK S.D.
  - 19. 8" CONCRETE PLAZA TO NEAREST WALK S.D.
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  - 79. 8" CONCRETE PLAZA TO NEAREST WALK S.D.
  - 80. 8" CONCRETE PLAZA TO NEAREST WALK S.D.
  - 81. 8" CONCRETE PLAZA TO NEAREST WALK S.D.
- LEGEND**
- 1. EMERGENCY VEHICLE ACCESS ROUTE
  - 2. EMERGENCY ESCAPE PATHWAY
  - 3. ACCESSIBLE PATH OF TRAVEL
- NOTES**
1. REFER TO CIVIL FOR SITE DIMENSIONS, SHADING AND FINISHES. VERIFY ALL DIMENSIONS AND FINISHES WITH ARCHITECT AND ENGINEER.
  2. VERIFY ALL DIMENSIONS WITH ARCHITECT, ENGINEER, PLANNING, AND STREET IMPROVEMENTS.
  3. VERIFY ALL DIMENSIONS WITH ARCHITECT, ENGINEER, PLANNING, AND STREET IMPROVEMENTS.
  4. VERIFY ALL DIMENSIONS WITH ARCHITECT, ENGINEER, PLANNING, AND STREET IMPROVEMENTS.

**noll tam**  
architects and planners

220 H Street  
Redwood City, CA 94063  
Tel: 650.845.3000

Town of Los Gatos  
Los Gatos Library

1700 MARKET  
LOS GATOS, CA 95021

DRAFT  
NOT FOR  
CONSTRUCTION

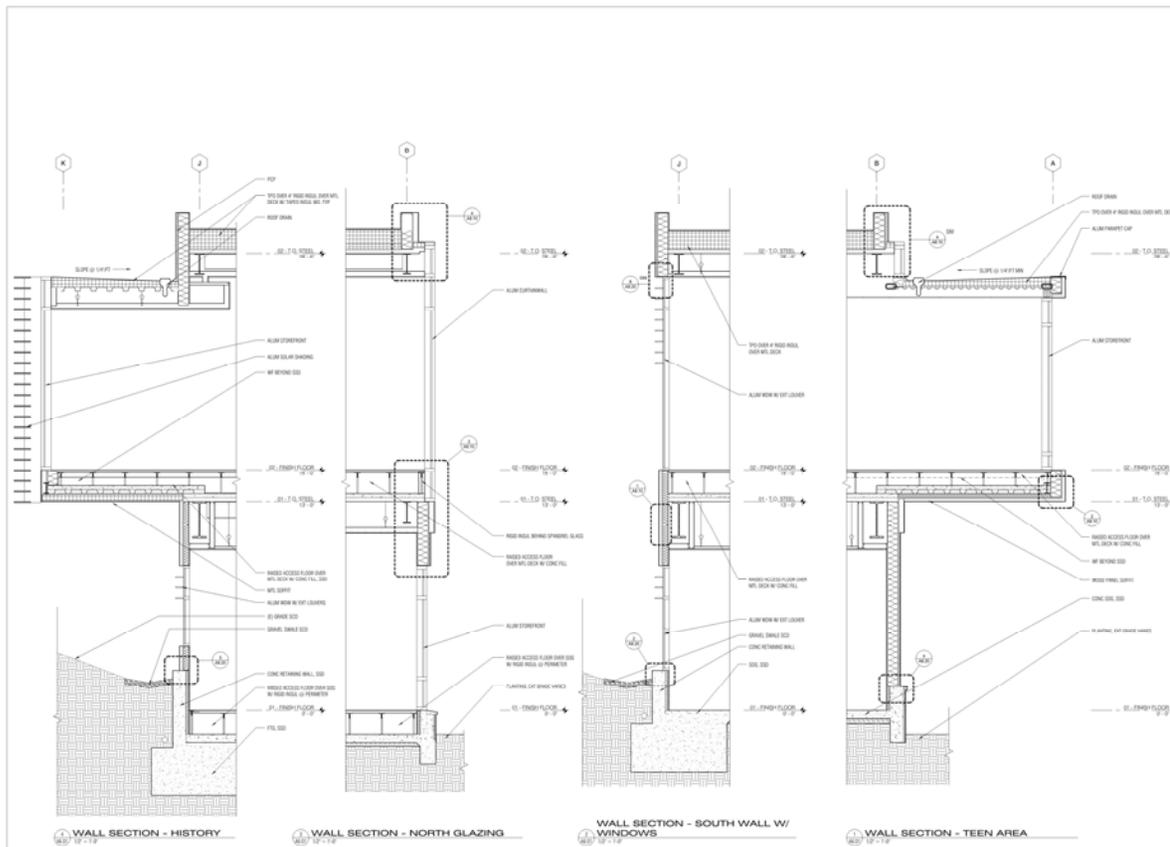
100% DESIGN  
DEVELOPMENT

SHEET TITLE  
**SITE PLAN**

DATE: 02/20/20  
DRAWN: [Name]  
CHECKED: [Name]  
SCALE: AS SHOWN  
DATE: 02/20/20

**A1.01**

# DESIGN DEVELOPMENT FINAL DRAWINGS



**noll tam**  
 architects and planners  
 725 Haver Avenue  
 Berkeley, CA 94710  
 415.841.8300  
 fax 415.848.3008

Town of Los Gatos  
 Los Gatos Library  
 110 E. MAIN ST  
 LOS GATOS, CA 95021

**DRAFT NOT FOR CONSTRUCTION**

100% DESIGN DEVELOPMENT

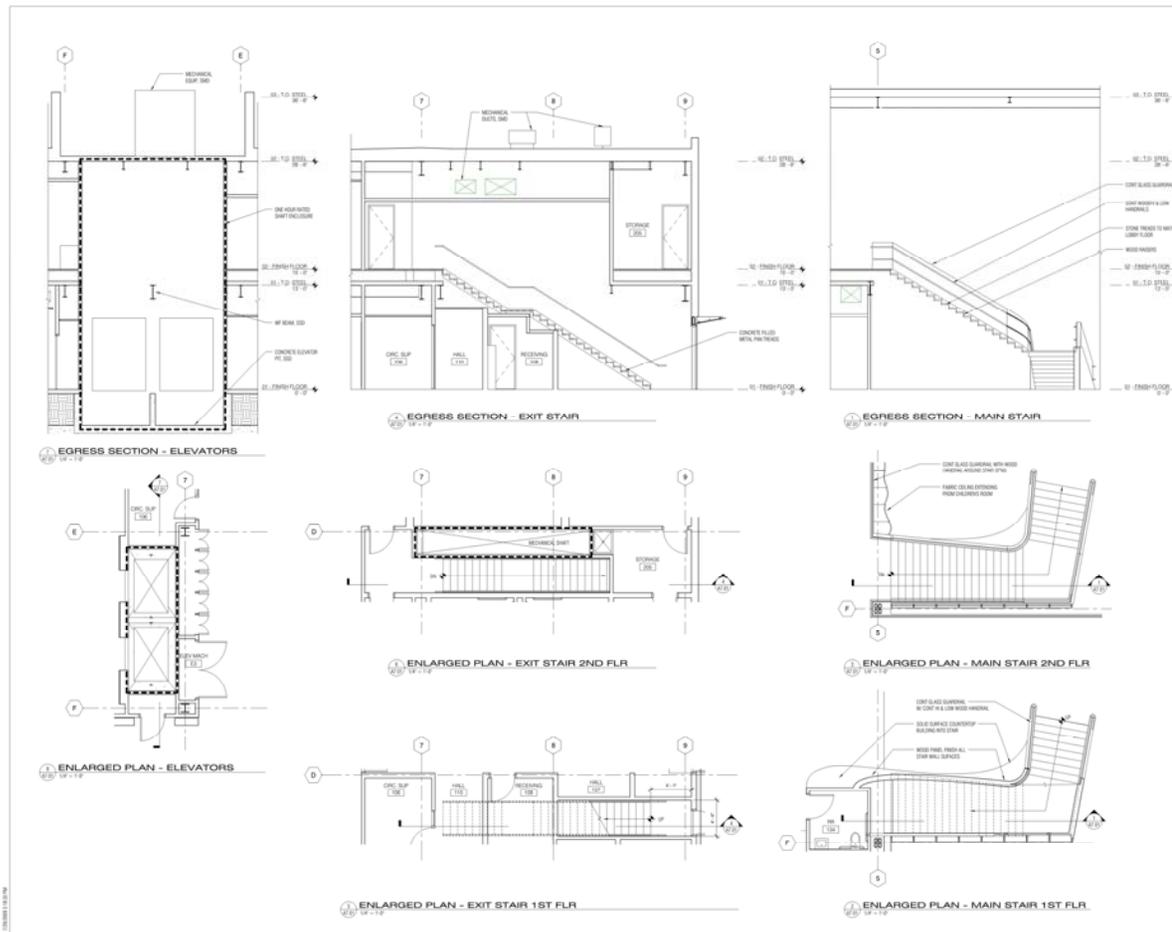
WALL SECTIONS

A	REVISION
DATE	DESCRIPTION

DATE	REVISION
DESIGN	ADP
CONSTRUCTION	CONSTRUCTION
SCALE	1/2" = 1'-0"
DATE	12-11-12
PROJECT	LOS GATOS LIBRARY
DRAWN BY	ADP

**A6.01**

# DESIGN DEVELOPMENT FINAL DRAWINGS



**nott tam**  
 architects and planners  
 725 Honey Avenue  
 Berkeley, CA 94710  
 415.845.8888  
 fax 415.845.8888

Town of Los Gatos  
 Los Gatos Library  
 110 E. MAIN ST  
 LOS GATOS, CA 95030

**DRAFT  
 NOT FOR  
 CONSTRUCTION**

100% DESIGN DEVELOPMENT  
 VERTICAL CIRCULATION

DATE	02/09
DESIGNER	AMR
CHECKED	DMR
SCALE	1/4" = 1'-0"
PROJECT	100%
REVISIONS	

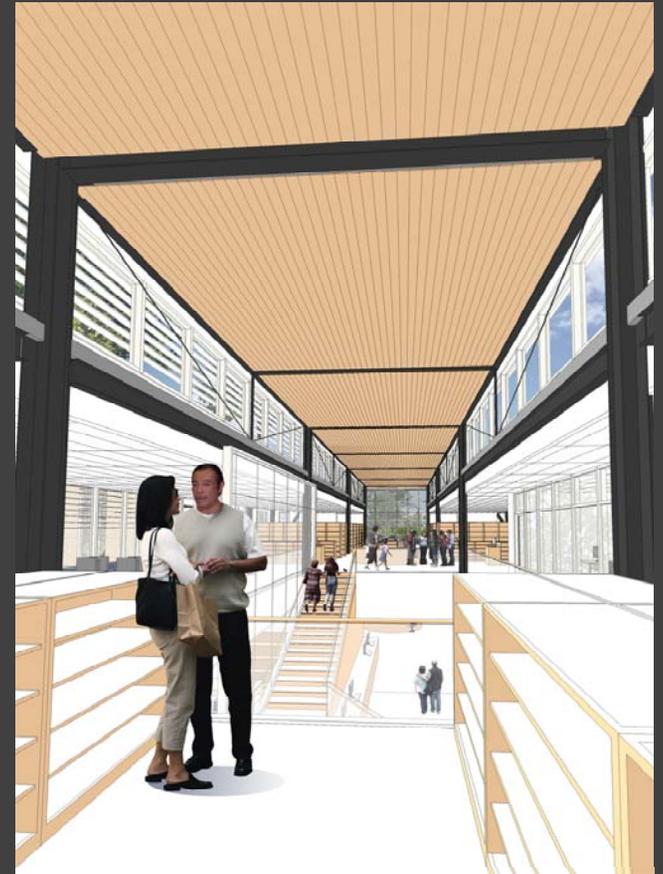
**A7.01**

DESIGN DEVELOPMENT EXTERIOR PERSPECTIVE



North-West corner

DESIGN DEVELOPMENT INTERIOR PERSPECTIVES



DESIGN DEVELOPMENT INTERIOR PERSPECTIVE



DESIGN DEVELOPMENT PRESENTATION DRAWINGS



# DESIGN DEVELOPMENT COMPLETION



**PLUMBING**  
Low flow fixtures are used to reduce water consumption, a conservation issue of equal importance to energy use.



**PHOTO-VOLTAICS**  
Harness the power of the sun to generate electricity, reducing dependence on polluting fossil fuels.



**DAYLIGHT**  
Solar orientation is coordinated with glazing to maximize sunlight and reduce electricity use for artificial light.



**RECYCLED CONTENT**  
Materials are chosen with high levels of recycled content, reducing natural resource depletion.



**FSC WOOD**  
Wood is specified to come from FSC Forest Stewardship Council Certified logging operations.



**BIOSWALE**  
A wet to use the landscape to filter and retain stormwater, rather than using the municipal storm sewer.



**LEED**  
The national standard of sustainability in architecture, run by the United States Green Building Council (USGBC).



**SOLAR CONTROL**  
Windows on the south, east, and west elevations have sun control systems to reduce HVAC cooling loads from solar heat gain.



**RAISED FLOOR**  
A more efficient method of heating and cooling a building, using low pressure distribution.



**PLAZA & ROOF**  
Light colored, high albedo materials reduce heat island effect and subsequently HVAC cooling loads.



**LANDSCAPING**  
Native and drought tolerant plants reduce the water use required for irrigation.



**PUBLIC TRANSIT**  
Public transit reduces gas consumption by automobiles.



**Los Gatos Library**  
Proposed Design, August 17th, 2009

**noll & tam**  
architects and planners

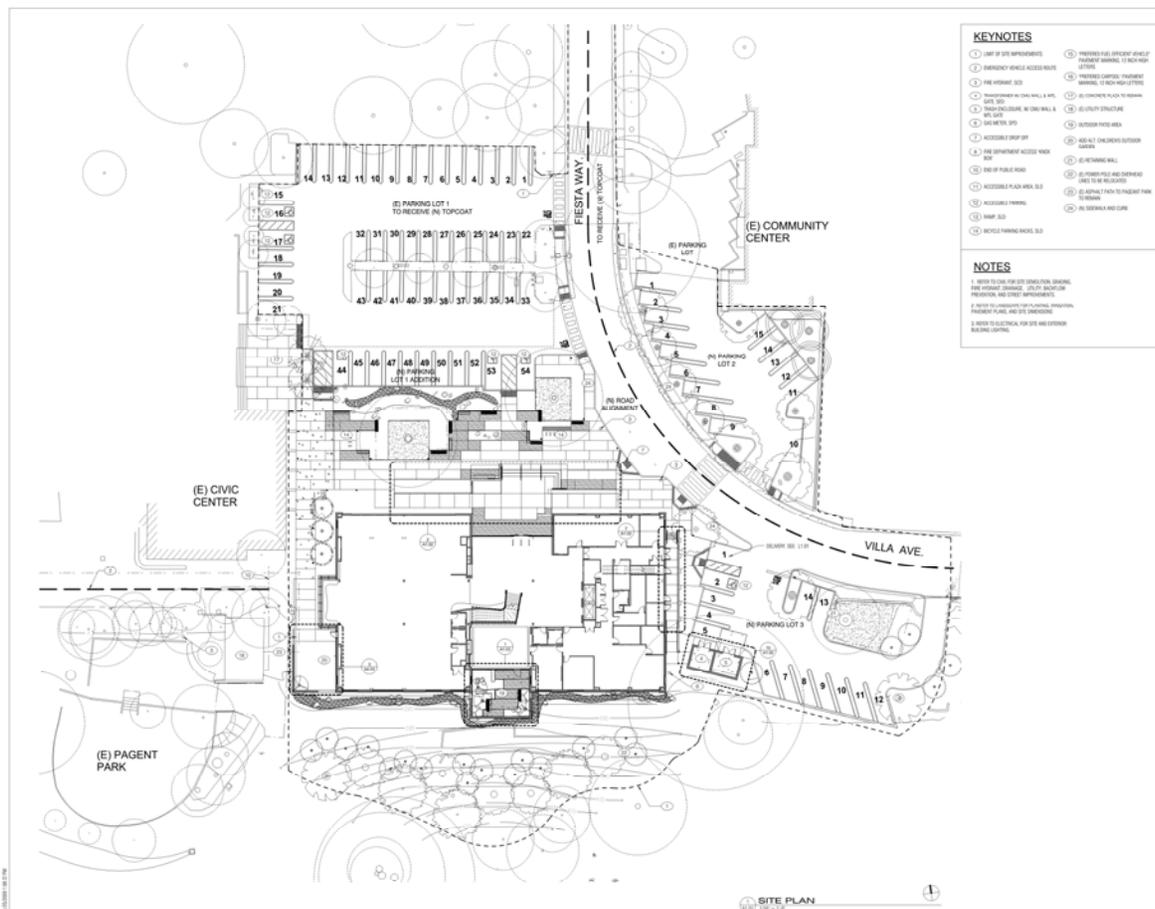
# Construction Documents

- **Development & completion of design documents for permits and construction bidding**
- **No change to design decisions at this point without significant impact to design documentation and likely cost/schedule**

## **Construction Document Deliverables include:**

- ✓ **All drawings and specifications required for permitting and bidding, stamped by architect and engineers.**
  - ✓ **All required code drawings, structural calculations and title 24 energy forms**
-

# CD DRAWINGS



**nolteam**  
ARCHITECTS AND PLANNERS

7201 HIGHLAND AVENUE  
BERKELEY, CA 94710  
TEL: 415.848.3000  
WWW.NOLTEAM.COM

Town of Los Gatos  
Los Gatos Library  
110 S. MAIN ST.  
LOS GATOS, CA 95030

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NOT FOR CONSTRUCTION

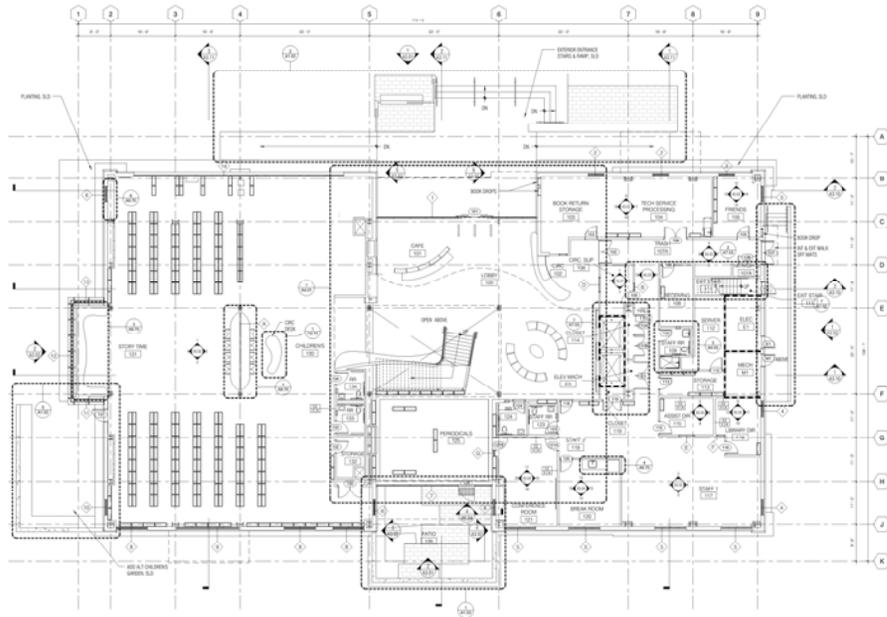
90%  
CONSTRUCTION DOCUMENTS

**SITE PLAN**

DATE: 11/20/20  
DESIGNER: [Name]  
CHECKED: [Name]  
DATE: 11/20/20

**A1.01**

# CD DRAWINGS



1ST FLOOR PLAN  
18-19

- GENERAL NOTES**
- SEE 18-19 FOR ELEVATIONS
  - ALL EXTERIOR WALLS ARE #4 REIN. STUDION
  - ALL INTERIOR WALLS TO BE PARTITION SCHEDULE TYPE 10 UNLESS NOTED OTHERWISE. SEE PARTITION SCHEDULE FOR PARTITION DETAILS
  - SEE PARTITION SCHEDULE AND SECTION NOTES FOR PARTITION TYPES AND DETAILS
  - SEE 18-19 FOR MECHANICAL AND ELECTRICAL SCHEDULES
  - SEE 18-19 FOR MECHANICAL AND ELECTRICAL SCHEDULES

**nolt tam & co.**  
ARCHITECTS AND PLANNERS  
733 HENRY AVENUE  
SUNNYVALE, CA 94085  
SAN JOSE OFFICE  
408-731-8888

Town of Los Gatos  
Los Gatos Library  
175 E. 96th ST.  
LOS GATOS, CA 95021

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CONSTRUCTION

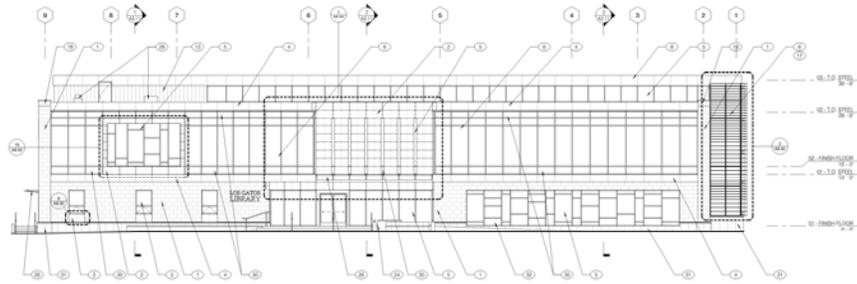
50%  
CONSTRUCTION  
DOCUMENTS

PROJECT NO.  
FIRST FLOOR PLAN

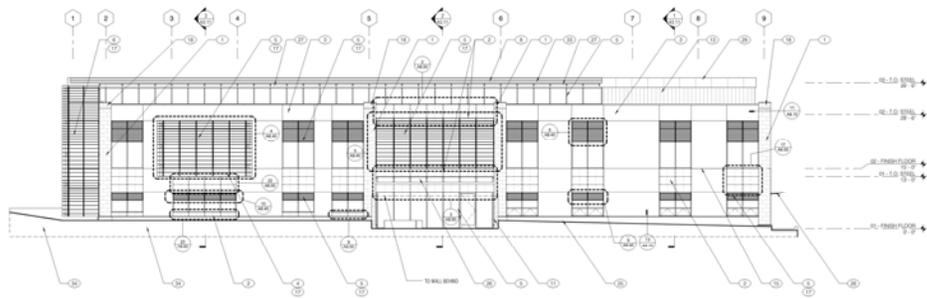
DATE	11/20/09
PROJECT	LIBRARY
LOCATION	LOS GATOS
SCALE	1/8" = 1'-0"
PROJECT NO.	18-19
DATE	11/20/09

A2.10

# CD DRAWINGS



**NORTH ELEVATION**  
10-13



**SOUTH ELEVATION**  
10-14

## KEY NOTES

- 1. SEE SHEET
- 2. BRICK CONCRETE PANEL
- 3. CONCRETE FLOOR/STAIR TYPICAL FINISH
- 4. METAL PANEL
- 5. ALUMINUM EXTERIOR SYSTEM
- 6. ALUMINUM CLADDING WALL SYSTEM
- 7. METAL PANEL SYSTEM
- 8. CONCRETE/STAIR TYPICAL FINISH
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- 200. METAL PANEL SYSTEM

architect and planner  
**noll & tam**  
1000 Market Street  
San Francisco, CA 94103  
Tel: 415.440.2000

Town of Los Gatos  
**Los Gatos Library**  
110 E. MAIN ST.  
LOS GATOS, CA 95030

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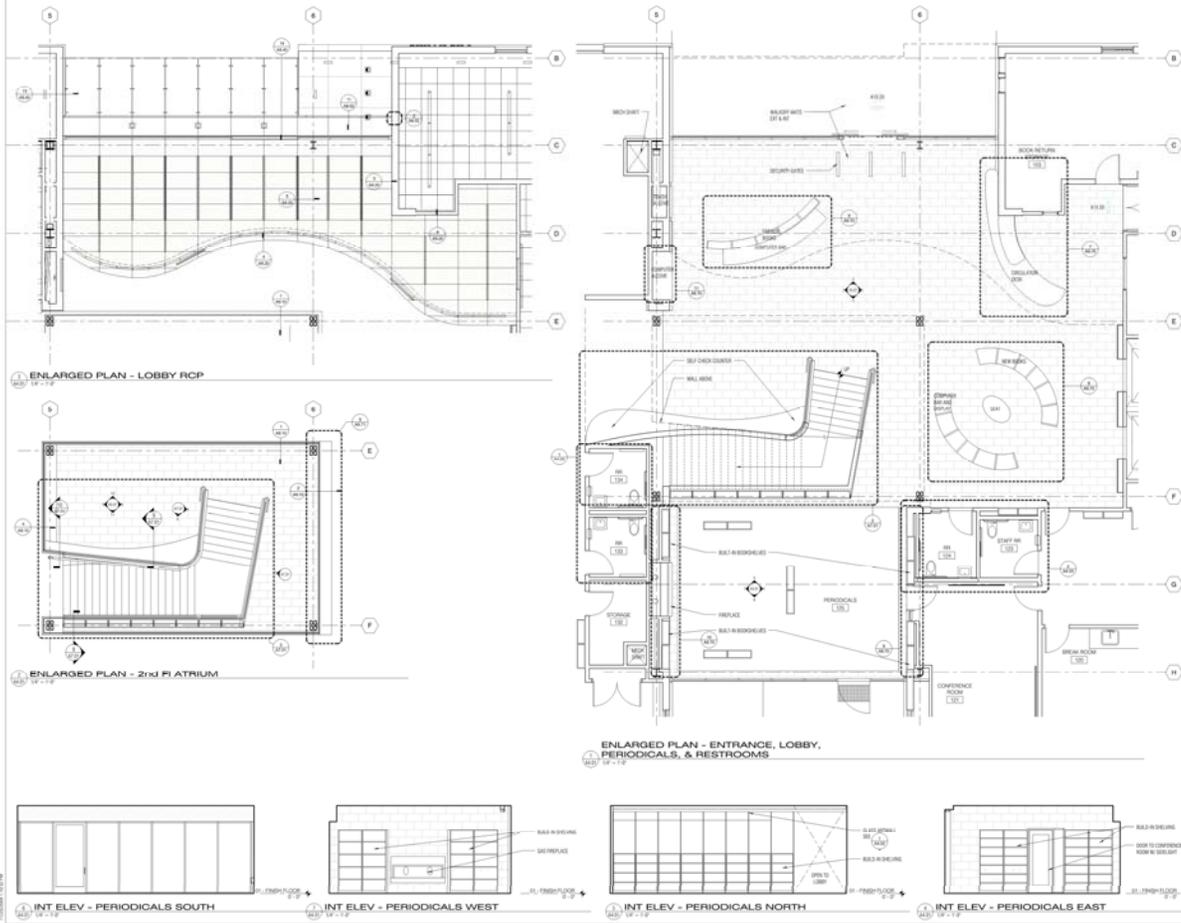
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CONSTRUCTION  
DOCUMENTS

EXTENSION  
ELEVATIONS

DATE	11/20/09
DESIGNER	MARK
CHECKER	DAVID
SCALE	1/8" = 1'-0"
PROJECT	001
REVISION	001

**A3.01**

# CD DETAIL SHEETS



  
 architects and planners  
 228 Wood Avenue  
 Redwood, CA 94075  
 Tel: 415.438.4000  
 Fax: 415.438.4008

Town of Los Gatos  
 Los Gatos Library  
 7000 Main St  
 Los Gatos, CA 95031

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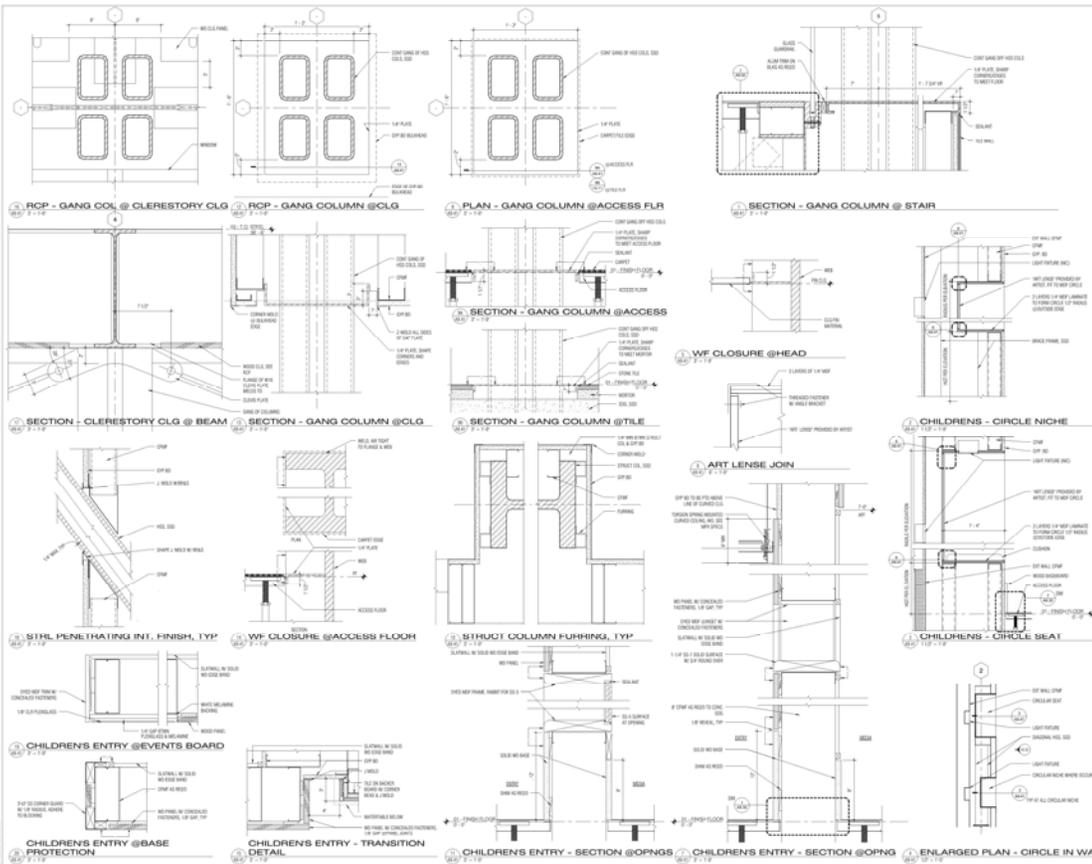
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 DOCUMENTS

SHEET TITLE  
**ENLARGED FLOOR PLANS**

NO.	REVISION

**A4.01**

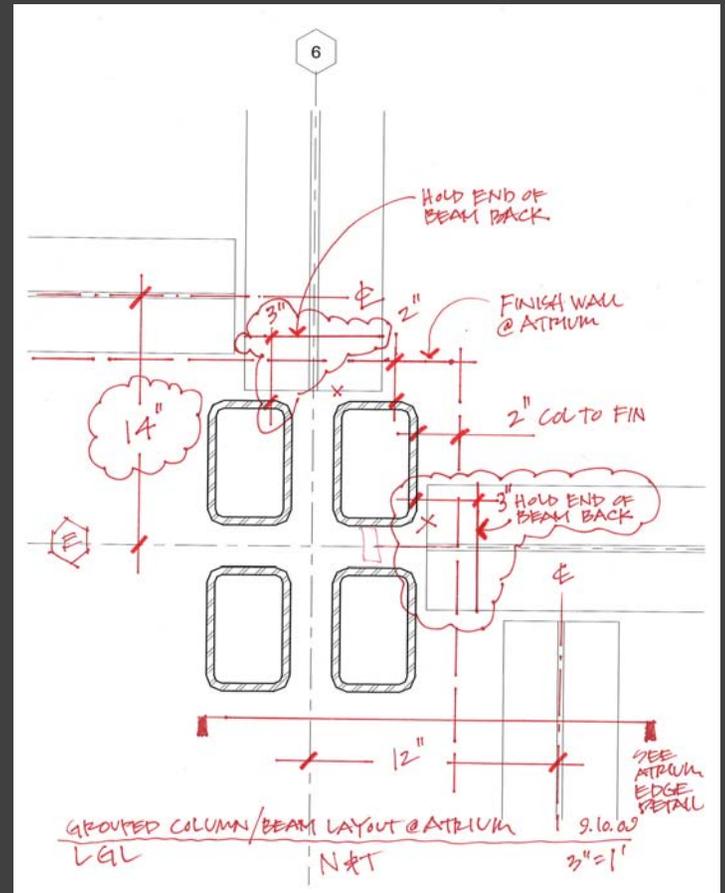
# CD DETAILS



noll tam  
ARCHITECTS AND INTERIORS  
7701 Wood Avenue  
Beverly Hills, CA 90712  
Tel: 310.444.8888  
Fax: 310.444.3338

Town of Los Gatos  
Los Gatos Library  
100 VILLAGE AVENUE  
LOS GATOS, CA 95030

BID SET  
REV. DETAILS - WALLS  
DATE: 08/11/10  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
DATE: 08/11/10



# Completed Building

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NORTH ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



INTERIOR STAIR



Children's Room