



City of Los Altos

Objective Design Standards for City Council Review

City Council Meeting | February 23, 2021



LWC

Agenda

1

**Recap: Project Process,
Schedule, and Objectives**

2

**Review: Analysis of Existing
Documents and Conditions**

3

Review: Annotated Framework

4

Objective Design Standards



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Project Process

- *Understand existing regulatory framework*
- *Hear stakeholders' concerns*

- *Analyze existing building form and development patterns*
- *Look at recent built projects*
- *Identify existing subjective standards*

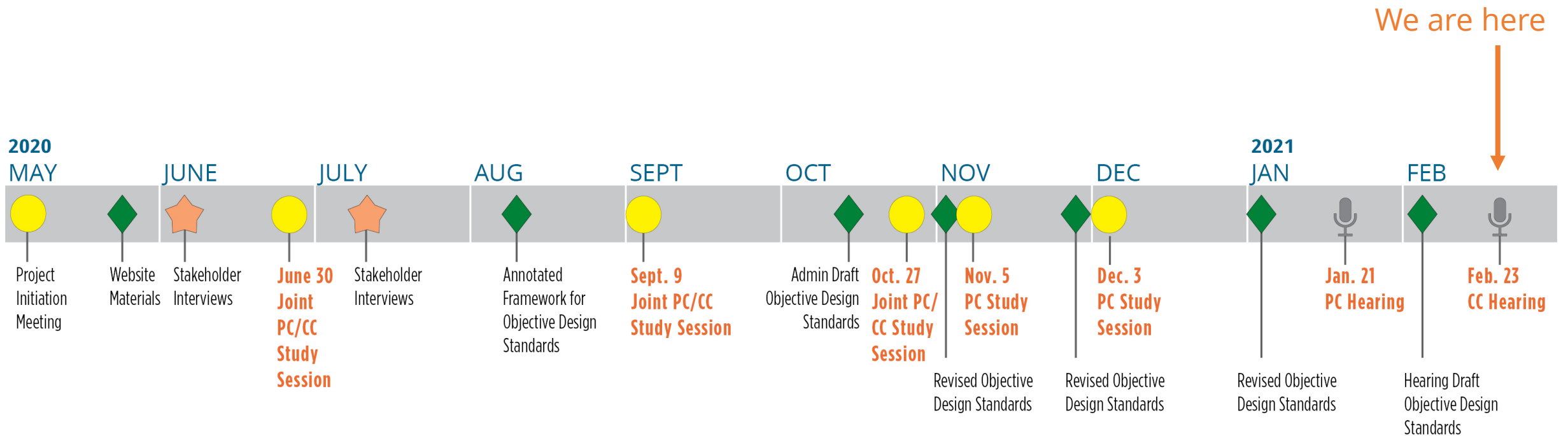
- *Annotated Framework:*
 - *Interpret existing subjective standards*
 - *Provide examples of objective standards and graphics*
 - *3 Joint PC/CC Sessions*

- *Work through Draft with Planning Commission*
 - *Draft Objective Design Standards*
 - *3 Planning Commission meetings*

Present Objective Design Standards to City Council

TONIGHT

Project Schedule



Objective Design Standards

- Update and amend Zoning Code to include objective design standards for multi-family and residential mixed-use development
- Compliance with State law
- Ministerial or by-right approval process
- Better outcomes:
 - Excellence in design
 - Sensitive site planning
 - Neighborhood compatibility
 - Predictable and high-quality design



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Objective Design Standards

- **This project:**

- Rewrites existing subjective design guidance for multi-family and residential mixed-use development to be objective.
- Provides diagrams to illustrate new objective design standards.












- **This project does not:**

- Change existing objective standards.
- Recommend objective standards about topics where no subjective guidance exists.

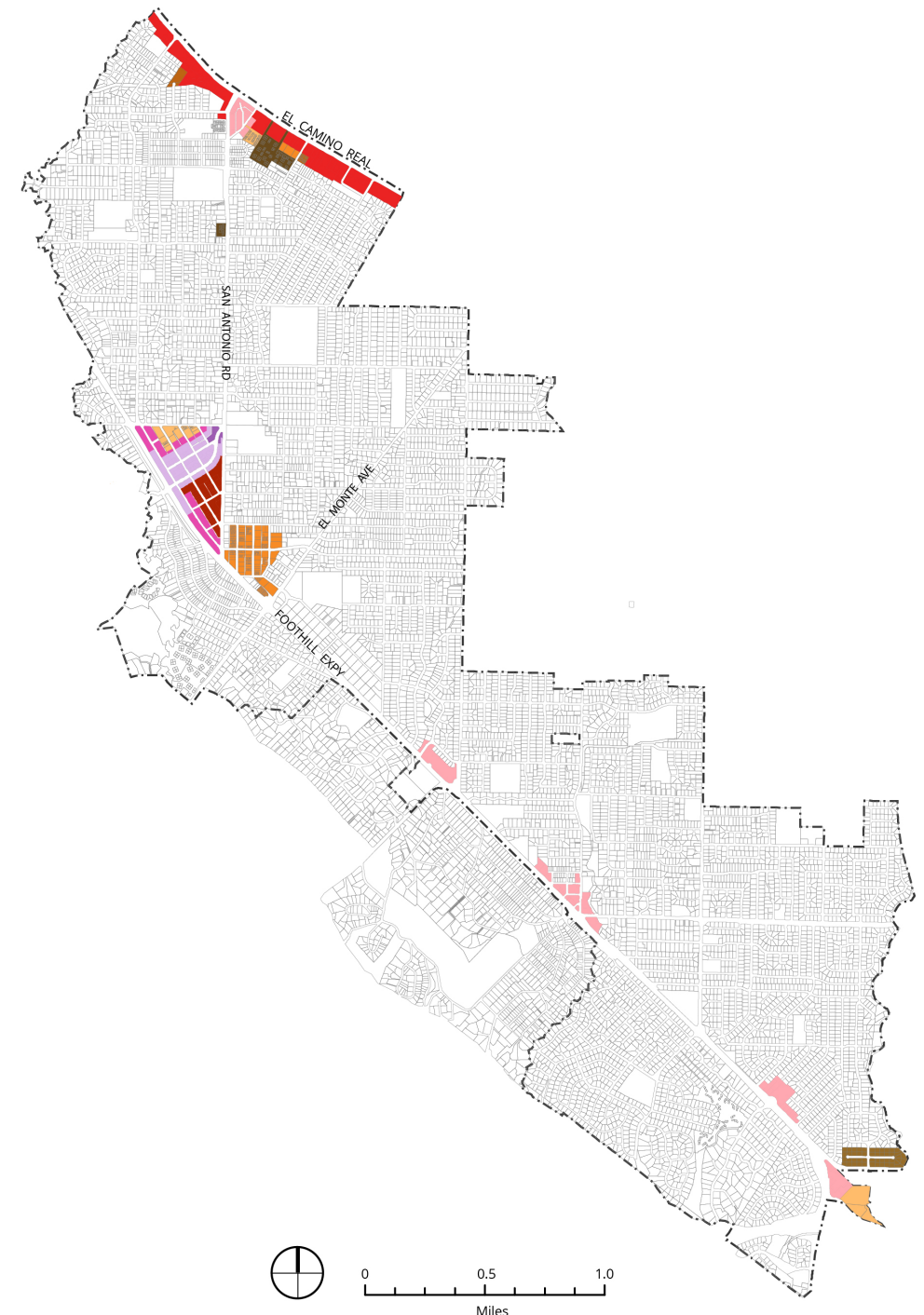


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Where will they apply?

Zone	# Parcels	Acres
 Multiple-Family (R3-1) - 38 du/ac	66	16.1
 Multiple-Family (R3-1.8) - 24.2 du/ac	218	23.5
 Multiple-Family (R3-3) - 14.5 du/ac	15	2.8
 Multiple-Family (R3-4.5) - 9.7 du/ac	48	11.5
 Multiple-Family (R3-5) - 8.7 du/ac	100	11.6
 Commercial Neighborhood (CN)	88	35.0
 Commercial Thoroughfare (CT)	44	44.8
 Commercial Downtown (CD)	40	12.7
 Commercial Downtown/ Multiple-Family (CD/R3)	65	12.3
 Commercial Retail Sales (CRS)	105	19.0
 Commercial Retail Sales/Office (CRS/OAD)	7	1.3
Total	796	190.3

= 5.7% of developable area of Los Altos

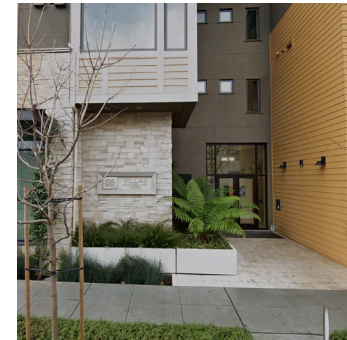


Revised/New Code Sections

- Revised 14.40.150 - CN Design Controls
- Revised 14.44.130 - CD Design Controls
- Revised 14.48.130 - CRS Design Controls
- Revised 14.50.170 - CT Design Controls
- Revised 14.52.110 - CD/R3 Design Controls
- Revised 14.54.130 - CRS/OAD Design Controls
- Revised 14.16.100 - R3-4.5 Design Controls
- Revised 14.18.120 - R3-5 Design Controls
- Revised 14.20.120 - R3-3 Design Controls
- Revised 14.22.110 - R3-1.8 Design Controls
- Revised 14.24.110 - R3-1 Design Controls
- New 14.66.275 – Entrance Type Standards
- New 14.66.280 - Design Standards Applicable to All Multi-Family and Residential Mixed-Use Development
- * *All revised sections incorporate 14.76.060 and 14.78.060 Design Review Findings as appropriate*

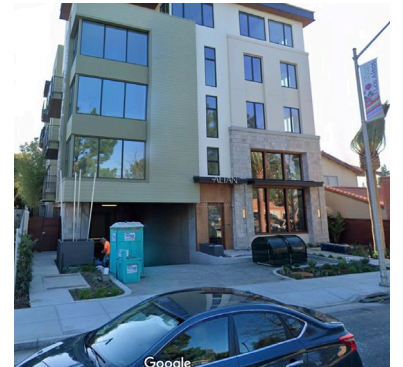
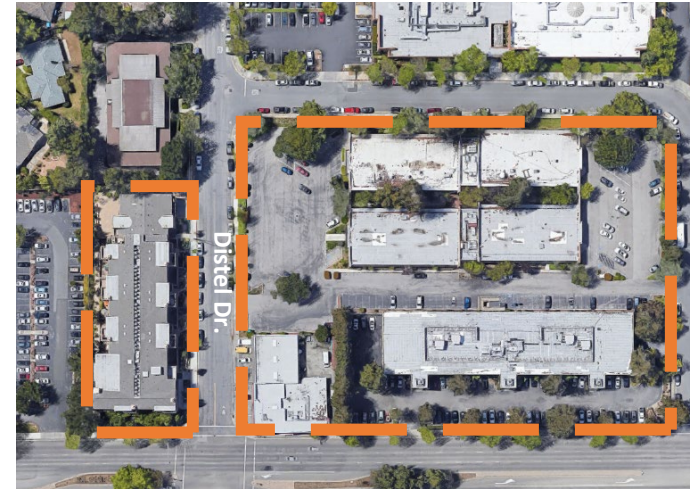
C-District Analysis and Findings: Downtown

- Design features that reduce perceived and actual size of buildings
- Reinforce existing building placement patterns at the street frontage
- Wide range of features and proportions lend the ground floor a “human-scale”
- Rhythm to street-facing volumes
- Range of elements that make the design “come together”



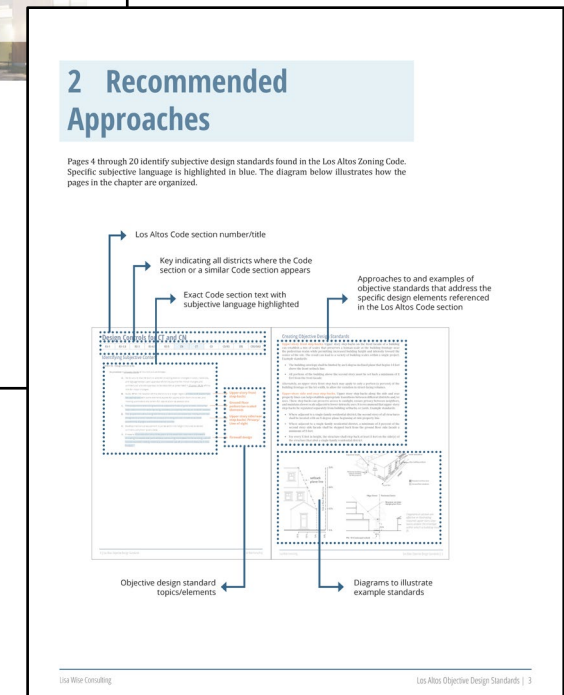
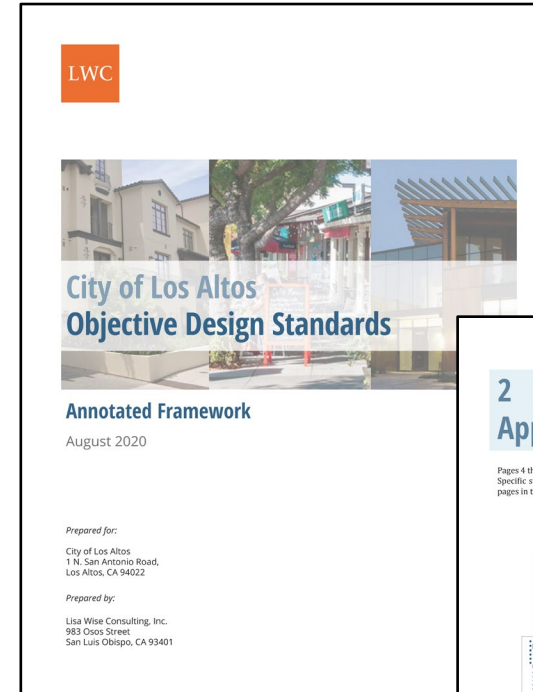
C-District Analysis and Findings: El Camino Real

- Need for continuity in front setback conditions/design
- Desire to reduce impact of parking and on-site circulation on streetscape
- Consistent “pedestrian scale” needed
- Architectural integrity



Annotated Framework

- Analyzes existing patterns in key areas
- Identifies the Code's subjective standards in the following sections:
 - Design Controls for CN and CT
 - Design Controls for CD, CRS, CD/R3, and CRS/OAD
 - Vision Statement and Specific Purposes for CRS
 - Design Review Findings for R3-4.5
 - Design Review Findings for R3-1, R3-1.8, R3-3, R3-5, CN, CT, CD, CD/R3, CRS, and CRS/OD



Identifying Subjective Language

- **Design controls for CN and CT**.....▶
- Design Controls for CD, CRS, CD/R3, and CRS/OAD
- Vision Statement and Specific Purposes for CRS
- Design Review Findings for R3-4.5
- Design Review Findings for R3-1, R3-1.8, R3-3, R3-5, CN, CT, CD, CD/R3, CRS, and CRS/OD

14.40.150 - Design control (CN).

As provided in Chapter 14.78 of this title and as follows:

- A. No structure shall be built or altered including exterior changes in color, materials, and signage except upon approval of the city planner for minor changes and architectural and site approval to be obtained as prescribed in Chapter 14.78 of this title for major changes.
- B. **Scale.** When the location of this district is to a larger region, a mixture of scales may be appropriate with some elements scaled for appreciation from the street and moving automobile and others for appreciation by pedestrians.
- C. The proportions of building elements, especially those at ground level, should be kept close to human scale by using recesses, courtyards, entries, or outdoor spaces.
- D. The proportions of building elements at a commercial/residential interface shall be designed to protect residential privacy (including but not limited to window placement), daylight, and environmental quality.
- E. Rooftop mechanical equipment must be within the height limit and screened architecturally from public view.
- F. **Firewalls.** Consideration should be given to the aesthetic treatment of firewalls including increased side yard setback, contouring the firewall to the building, use of noncombustible roofing materials, and creative use of architectural features in the firewall.

Example: Scale

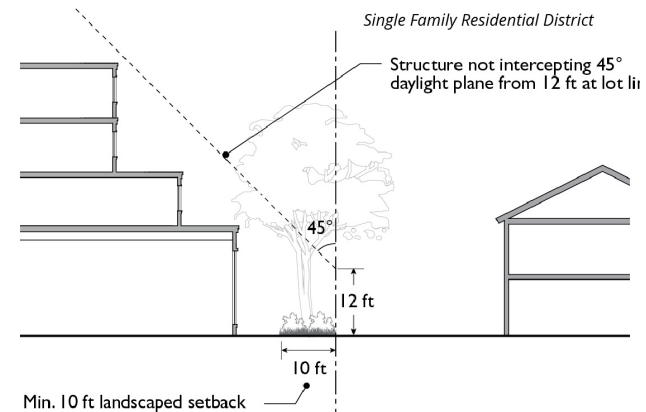
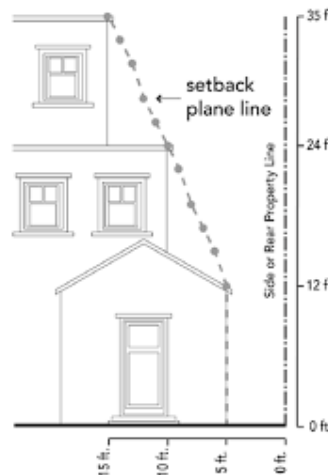
Design Control standard (CN, CT):

B. Scale. Because of the relationship of this district to a larger region, a mixture of scales may be appropriate with some elements scaled for appreciation from the street and moving automobile and others for appreciation by pedestrians.

Potential Objective Design Standard:

Upper-story front step-backs.

- The building envelope shall be limited by an X-degree inclined plane that begins 14 feet above the front setback line.
- All portions of the building above the second story must be set back a minimum of X feet from the front facade.



Example: Frontage

Design Control standard (CN, CT):

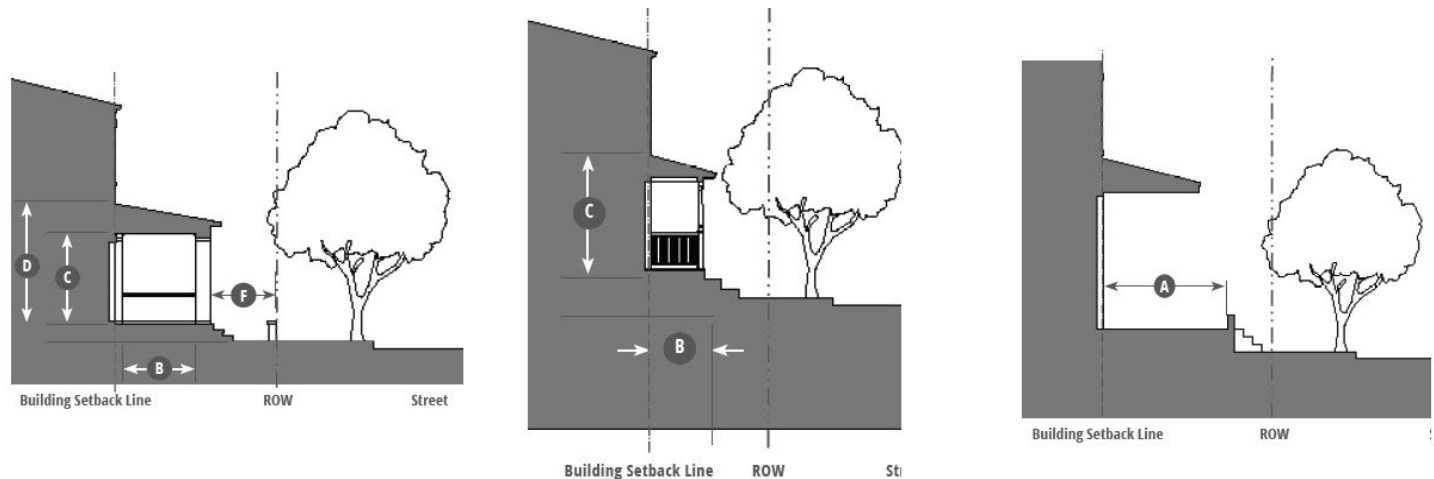
C. The proportions of building elements, especially those at ground level, should be kept close to human scale by using recesses, courtyards, entries, or outdoor spaces.



Potential Objective Design Standard:

Pedestrian-scaled building entrances.

- Accent elements a maximum of 12 feet in height shall be used to demarcate building frontages, building entrances, and common open space areas.
- A minimum X element(s) from the following list must be incorporated into ground floor building design: awning, canopy, overhang, trellises, arches, columns, etc.



Example: Privacy/Line of Sight

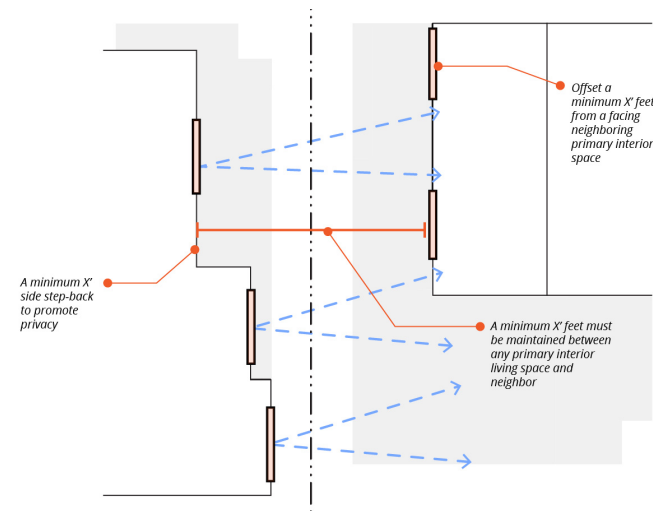
Design Control standard (CN, CT):

D. The proportions of building elements at a commercial/residential interface shall be designed to protect residential privacy (including but not limited to window placement), daylight, and environmental quality.

Potential Objective Design Standard:

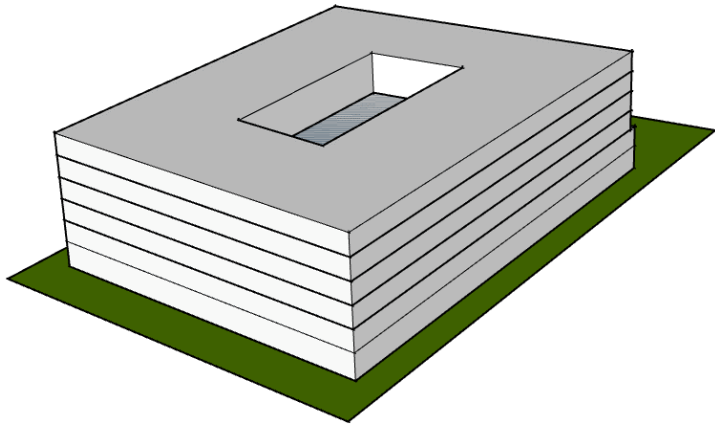
Privacy/Line of Sight.

- Primary interior living spaces (bedroom and living areas) must be offset a minimum X feet from a facing neighboring primary interior space on the same story.
- A minimum X feet must be maintained between any primary interior living space (bedroom and living area) and an existing neighboring primary living space on the same story.

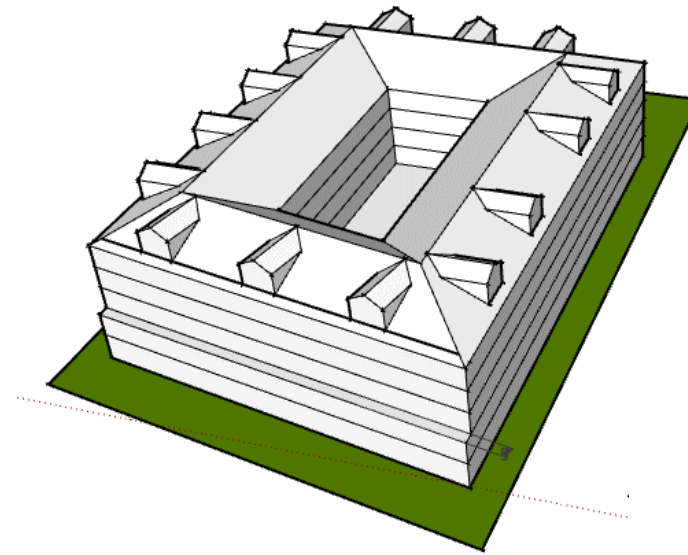


“Layering” Objective Standards

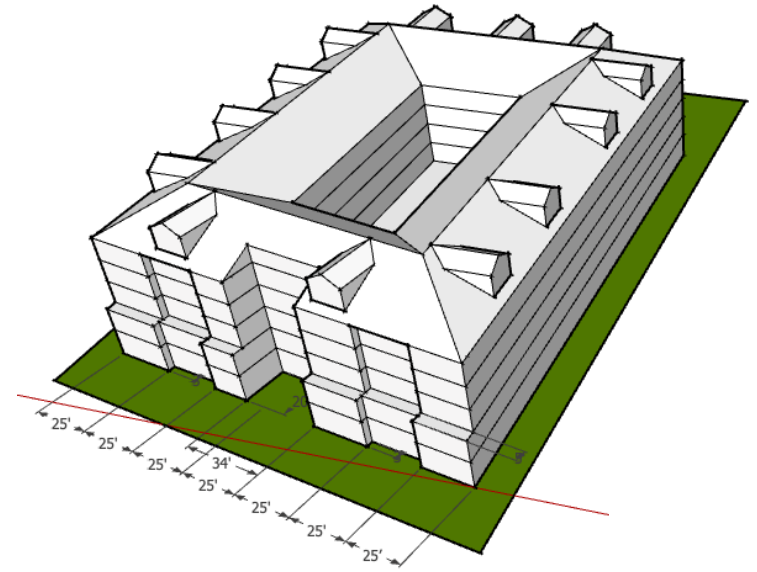
Intention: Reduce bulk and perceived size of large buildings.



Base zone standards



- + Upper Floor Step-back
- + Uppermost Floor in Roof Form



- + Required Forecourt
- + 25' Module Façade Articulation

C Districts: Existing Standards

Existing Standards	CN	CT	CD	CD/R3	CRS	CRS/OAD
Min. Site area	none	20,000 sq ft	none	none	none	none
Max. Density	none	38 du/ac	none	none	none	none
Max. Height	30 ft	45 ft	30 ft	30 ft for commercial or mixed-use; 35 ft for residential only	30 ft	30 ft
Floor level above sidewalk	none	none	Max 1 ft	none	Max 1 ft	Max 1 ft
Private Open Space	none	Avg. 50 sq ft/unit	none	none	none	none
Common Open Space	none	800, 1,600, 2,400, OR 3,200 sq ft, depending on number of units	none	none	none	none
Vertical Articulation	none	none	Must reflect 50-ft lot line module	Must reflect 50-ft lot line module	Must reflect 25-ft lot line module	Must reflect 25-ft lot line module

C Districts: Existing Standards

Existing Standards	CN	CT	CD	CD/R3	CRS	CRS/OAD
Setback, Front	Min. 0 ft; Min. 40 ft across from R district, of which 5 ft must be landscaped	Min. 25 ft; 50% landscaped	Min. 2 ft; landscaped	Min. 2 ft; Min. 10 ft when residential-only	Exactly 0 ft	Exactly 0 ft
Setback, Side	Min. 0 ft; Min. 40 ft across from R district; Min. 50 ft abutting R district, 10 ft must be landscaped	Min. 4 ft, avg. 7.5 ft (interior), avg. 15 ft (corner); Min. 30 ft across from R district; Min. 40 ft for portions of structures ≤30 ft, min. 100 ft for portions >30 ft abutting R district	Min. 0 ft; Min. 2 ft abutting street or parking plaza, must be landscaped	Min. 0 ft; Min. 2 ft abutting parking plaza, must be landscaped	Exactly 0 ft; Min. 2 ft abutting parking plaza, must be landscaped	Exactly 0 ft; Min. 2 ft abutting parking plaza, must be landscaped
Setback, Rear	Min. 20 ft	Min. 0 ft; Min. 30 ft when ≤30 ft in height, min. 70 ft when >30 ft in height across from R district; Min. 40 ft for portions of structures ≤30 ft, min. 100 ft for portions >30 ft abutting R district	Min 15 ft where structure exceeds 15 ft in height	Min. 2 ft; Min. 10 ft when residential-only	Min. 0 ft; Min. 2 ft abutting parking plaza, must be landscaped; Min. 10 ft abutting alley, 2 ft of which must be landscaped	Min. 0 ft; Min. 2 ft abutting parking plaza, must be landscaped; Min. 10 ft abutting alley, 2 ft of which must be landscaped

C Districts: Recommendations

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Min. percent of building frontage at front setback line	75% (along ECR)	75% (along ECR)	—	—	—	—
Upper-story step-backs, front and street side	5 ft (3 rd story and above)	10 ft (5 th story and above)	10 ft (4 th story and above)	10 ft (4 th story and above)	5 ft (3 rd story and above)	5 ft (3 rd story and above)
Vertical articulation	75-ft	100-ft	75-ft	75-ft	50-ft	50-ft
Façade planes facing an R-1 District	Max. 48 ft in width - OR - Max. 48 ft wide bays separated by a recess 5 ft wide by 5 feet deep	Max. 48 ft in width - OR - Max. 48 ft wide bays separated by a recess 10 ft wide by 15 feet deep	—	—	—	—
Ground Floor Floor-to-Ceiling Height	Min. 24" taller than typical upper floor floor-to-ceiling height where upper floors are non-residential Min. 12" taller than typical upper floor floor-to-ceiling height where upper floors are residential					
Primary entrance location	Front r-o-w	Front r-o-w	Front r-o-w or courtyard	Front r-o-w or courtyard; Min. 1 every 25 ft	Front r-o-w; Min 1 every 25 ft	Front r-o-w
Privacy/line of sight	Where there is an uninterrupted line of sight to windows of a primary interior space at the same floor level within 20 feet: glazing shall be offset horizontally from the existing glazing by a min. of 12 inches.					

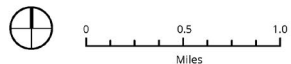
C Districts: Recommendations

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Street-facing entry design	Min. 3-ft projection, min. 3-ft width, not to exceed height of ground floor story					
Ground level transparency	—	Min. 60%	Min. 60%	—	Min. 60%	Min. 60%
Entry types	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt	Stoop, Shopfront, Gallery, Arcade, Forecourt, Terrace	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt, Terrace	Stoop, Shopfront, Gallery, Arcade	Shopfront, Gallery, Arcade, Forecourt
Mansard roofs allowed	No	Yes	Yes	Yes	No	Yes
Materials palette	Permissive	Most permissive	Permissive	Permissive	More Limited	More Limited
Ground-level open space	Usable and accessible, min. dimension 8 ft			n/a	n/a	n/a
Energy-conservation measures	not required	not required	not required	not required	required	not required
Shopfront	Max. 25 ft in width must incorporate variations in bulkhead, awnings, materials, and color					
Sloped Roof	When more than one story is stepped-back from a ground floor street-facing facade, the top floor must, and other floors may, be embedded in a sloped roof form.					
Forecourt Standards	Optional	Required for bldg. frontages >75 ft	Optional	Required for bldg. frontages >75 ft	Optional	Optional
	<p>Forecourts must feature at least one entry to a shop and/or second floor use.</p> <p>Forecourts for buildings more than 70 feet in length along a right-of-way must have a minimum depth of 20 feet from front façade. The size of the forecourt must be appropriate relative to the size of the building. The maximum ratio of building height to forecourt is 2:1 (height < 2 x width).</p> <p>Forecourt must be enclosed on at least three sides by buildings and must remain open to the sky (arbors and trellises are allowed).</p>					

CN District



Looking northeast



CN District: Existing Standards (no change)

Front setback:
Min. 0 ft
Min. 40 ft across from R district

Side setback:
Min. 0 ft;
Min. 40 ft across from R district;
Min 50 ft abutting R district

Rear setback:
Min. 20 ft

Max height: 30 ft

Abutting
R district

Facing
R district

FRONT

STREET SIDE

CN



Foothill near Farndon Ave



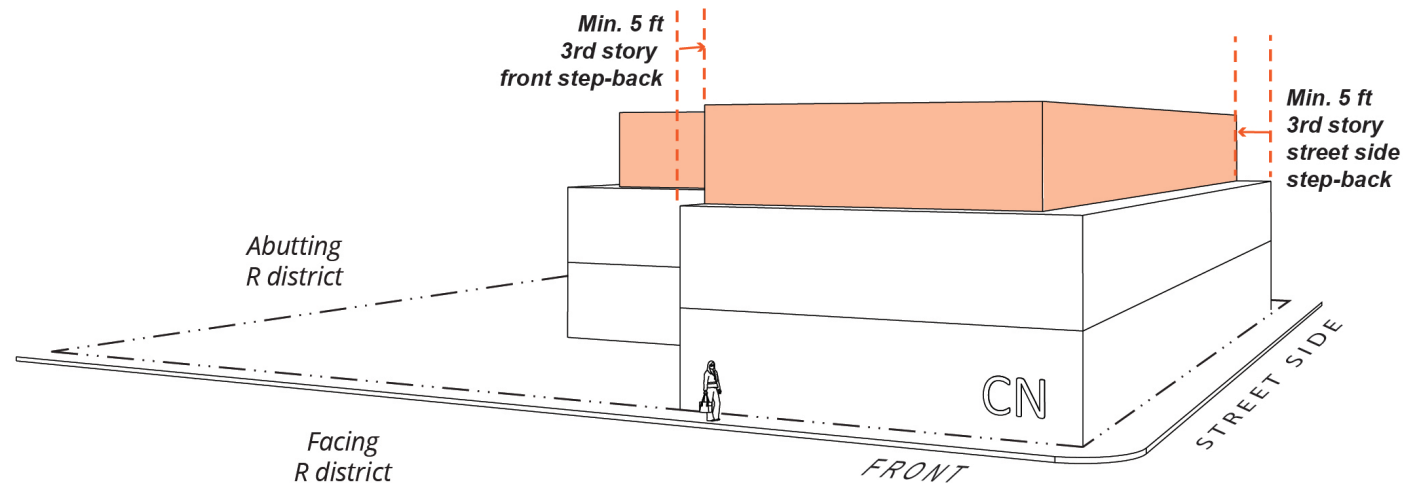
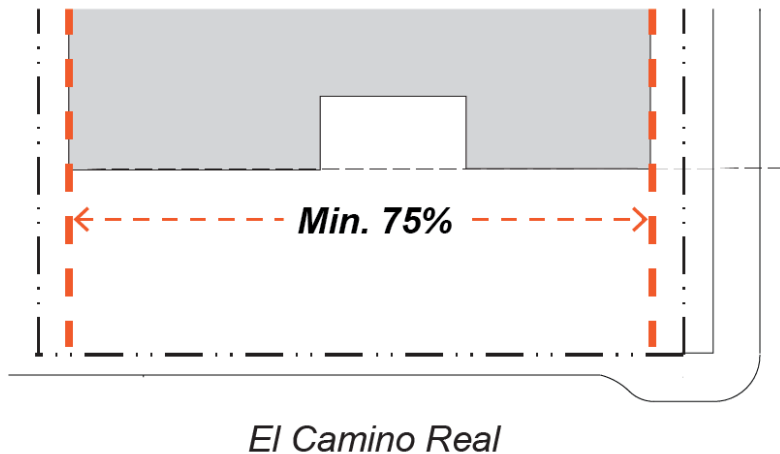
El Camino Real near San Antonio Rd



Newcastle and Grand/ Foothill HWY

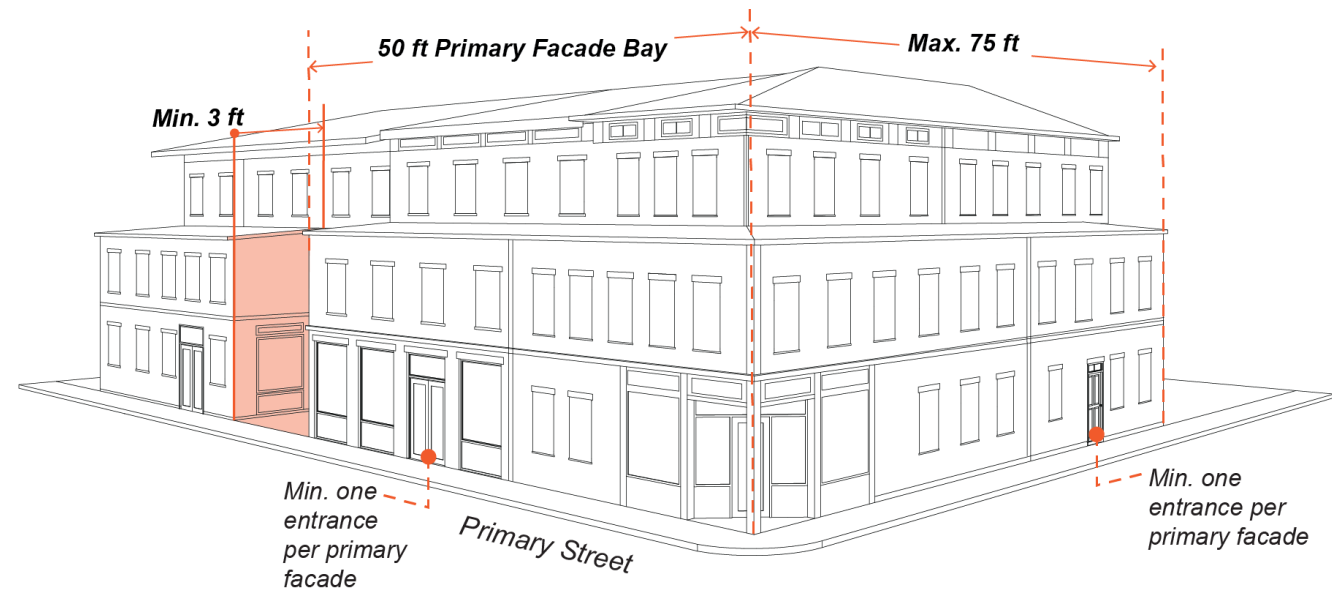
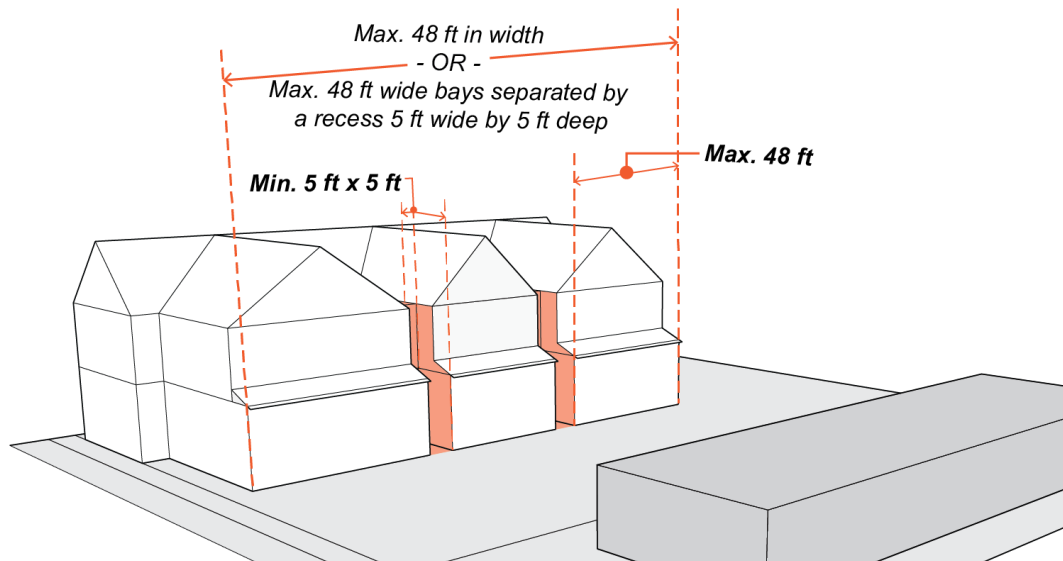
CN District

Design Element	CN
Building Placement	A minimum 75 percent of ground-floor building frontages facing El Camino Real must be built at the minimum setback line. This standard applies to the building frontage only (exclusive of side setbacks).
Upper-story Step-backs	<i>Front: Min. 5 ft, 3rd story and above for all frontages except those along El Camino Real</i> <i>Street Side: Min. 5 ft, 3rd story and above for all frontages except those along El Camino Real</i> <i>Interior Side and Rear abutting an R-1 District: Min. 5 ft</i>



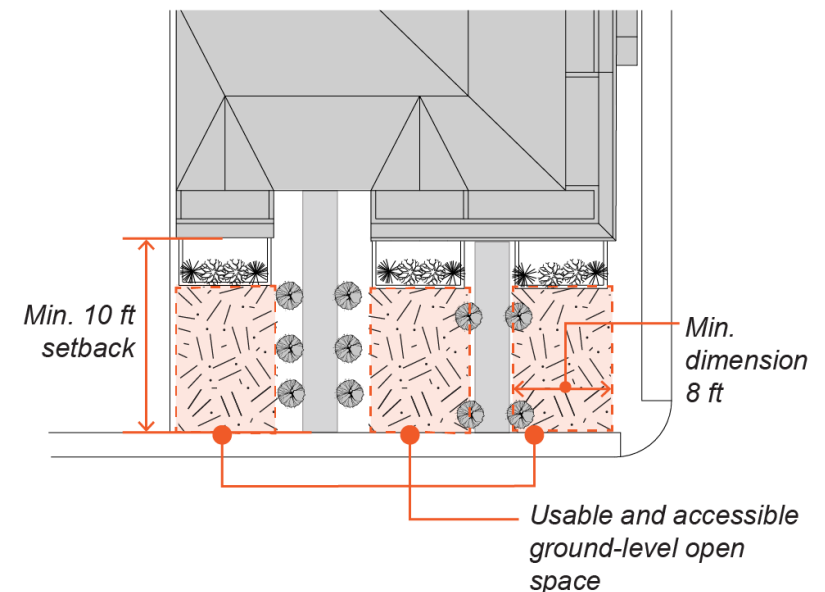
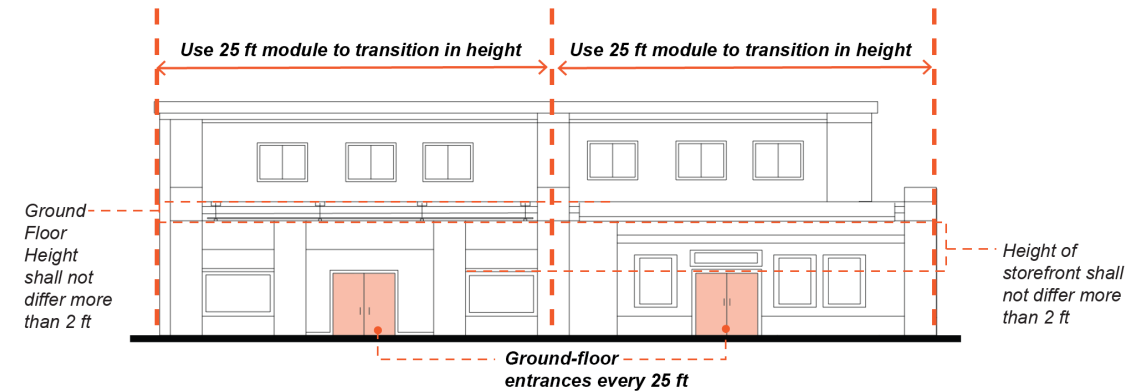
CN District

Design Element	CN
Vertical Articulation	Facades greater than 75 ft in length along R-O-W must be separated into primary façade bays no greater than 50 ft and secondary bays by a 3 ft deep recess . A minimum one entrance shall be provided per primary façade bay.
Façade Planes Facing An R-1 District	Max. 48 ft in width - OR - Max. 48 ft wide bays separated by a recess 5 ft wide by 5 feet deep Building façades abutting an R-1 district must have a hipped or gable roof and may incorporate dormers. Balconies, roof decks, and other habitable outdoor spaces not allowed on upper-story façades abutting R-1 Zones Sliding glass doors, French doors, floor-to-ceiling windows are not allowed on upper-story façade abutting R-1 Zones



CN District

Design Element	CN
Storefront Facades Adjacent to Storefront Facades	Storefront height shall not exceed more than 2 ft from the height of adjacent storefront Ground floor height shall not exceed by more than 2 ft Use 25 ft module to transition in height
Compatibility w/ Adjacent Shorter Buildings w/ Height Difference of 1 Story or More	Utilize 2 or more: Incorporate the top floor into the roof form Break up building mass into smaller modules through changes in wall plane, setbacks, and/or height Match window heights and/or proportions
Ground-level Open Space	Where required setback is 10 ft or greater, usable and accessible ground-level open space with min. dimension 8 ft must be provided
Privacy	Balconies, roof decks, and other habitable outdoor spaces not allowed on upper-story facades facing R-1 Zones Sliding glass doors, French doors, floor-to-ceiling windows are not allowed on upper-story façade facing R-1 Zones



CN District: Photo Simulation

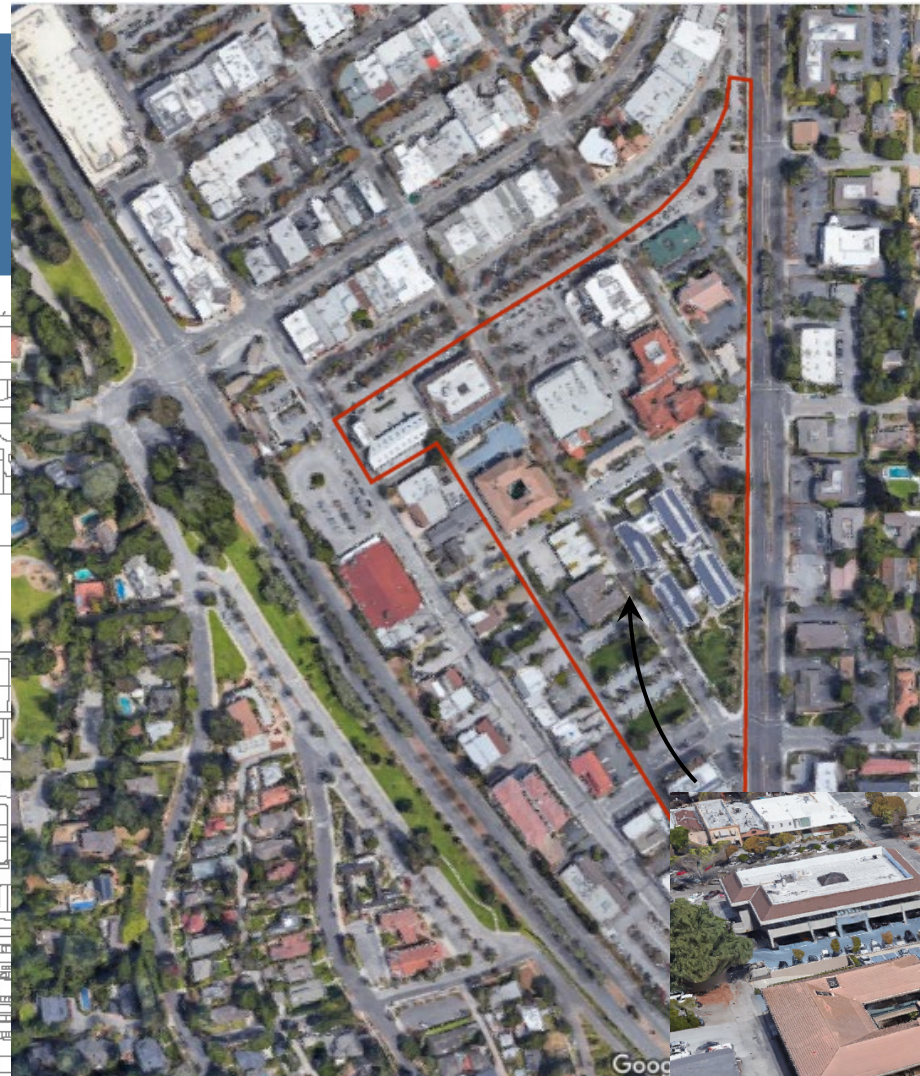


5 ft 3rd story step-back
on all frontages except
El Camino Real

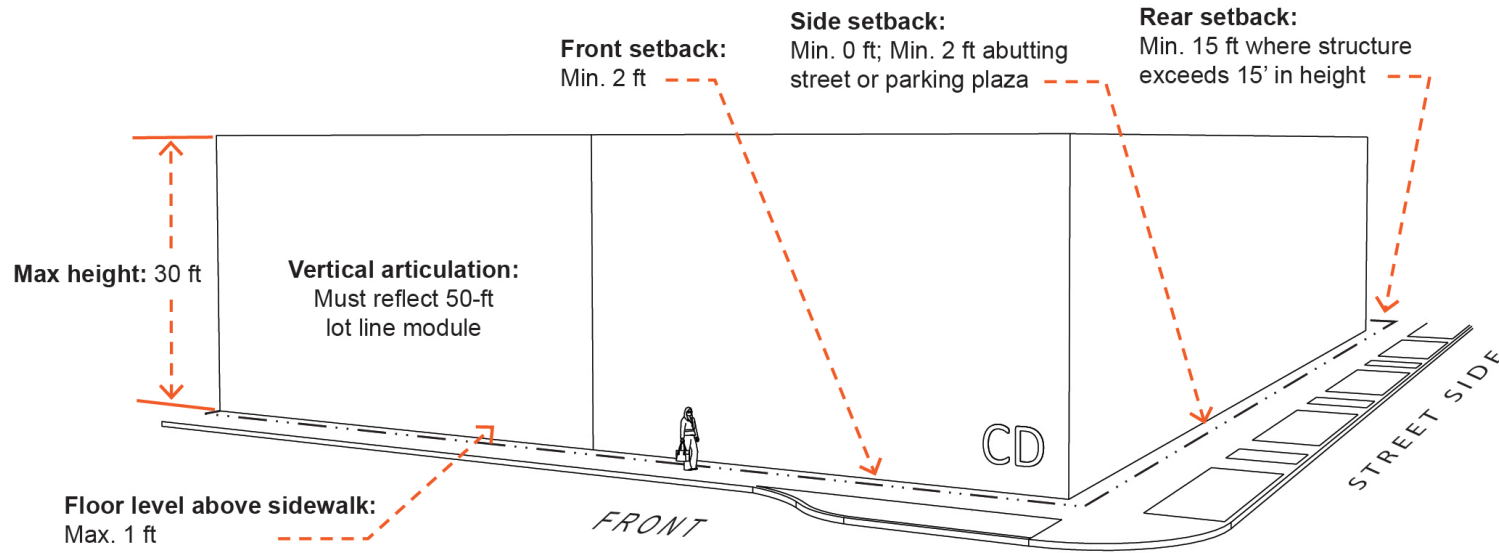
Max. 50 ft wide façade
bays for buildings over
75 ft in width

Min. depth 3 ft

CD District



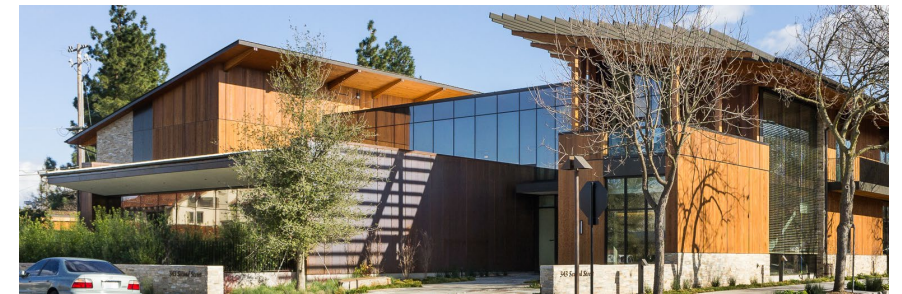
CD District: Existing Standards (no change)



2nd St near Whitney St



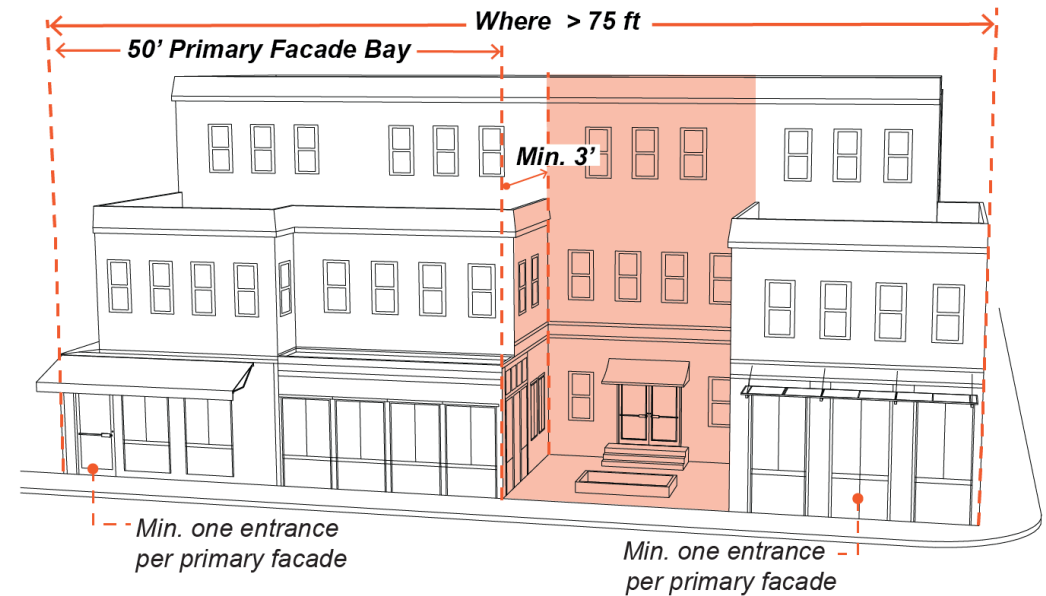
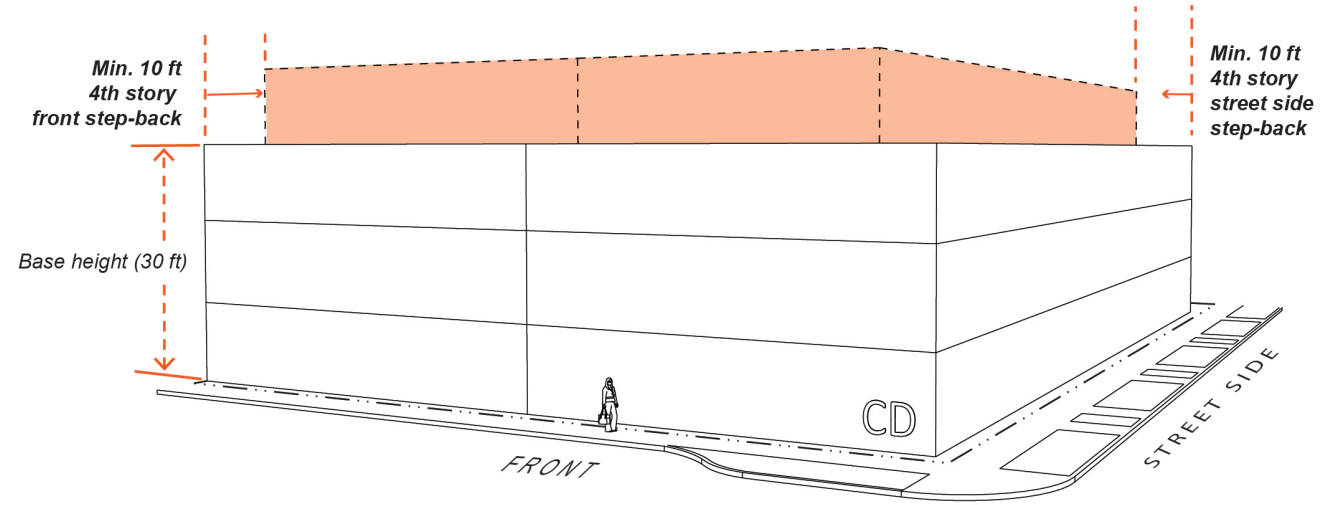
2nd St near Main St



Packard Building

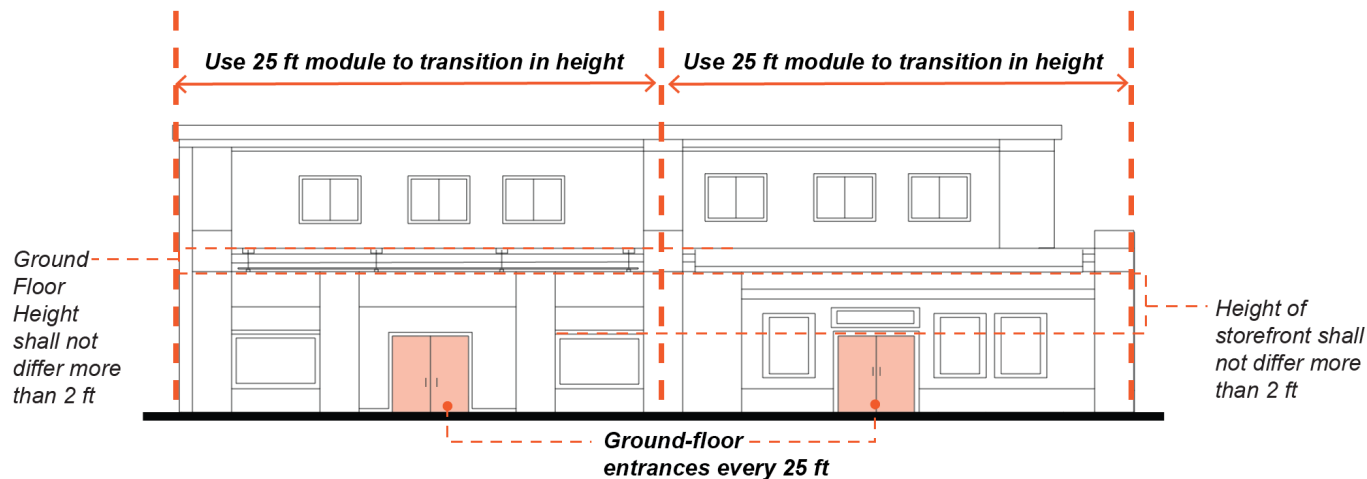
CD District

Design Element	CD
Upper-story Step-backs (4th Story & Above)	Front: Min. 10 ft Street Side: Min. 10 ft
Vertical Articulation	Max. 75 ft in length along R-O-W Must separate primary façade bays no greater than 50 ft and secondary bays by a 3 ft deep recess



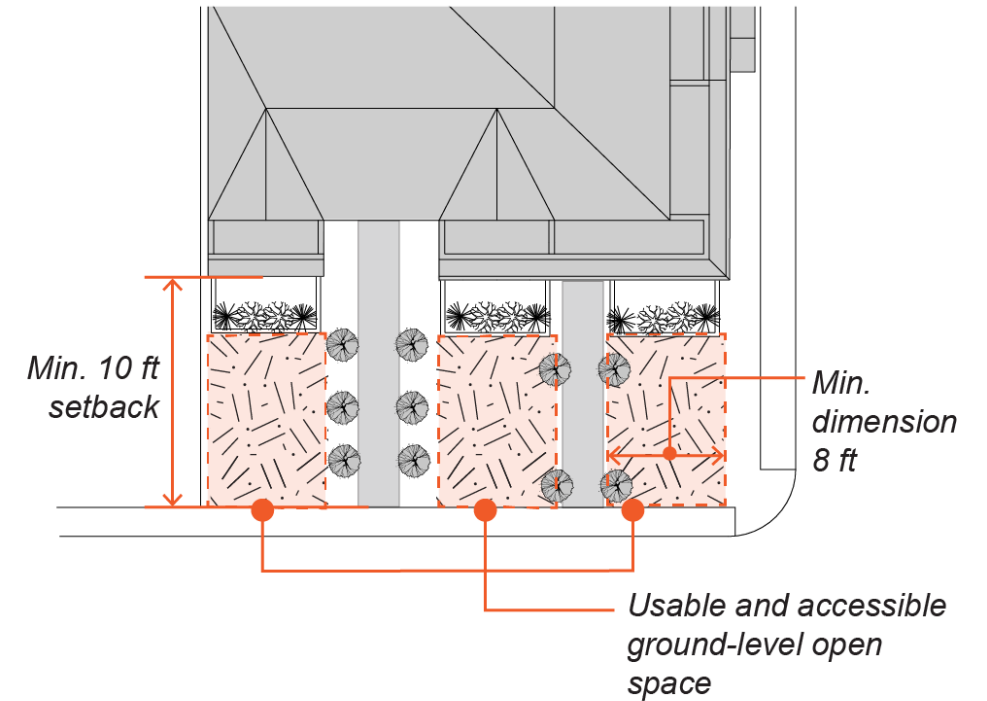
CD District

Design Element	CD
Storefront Facades Adjacent to Storefront Facades	Storefront height shall not exceed more than 2 ft from the height of adjacent storefront Ground floor height shall not exceed by more than 2 ft Use 25 ft module to transition in height
Compatibility w/ Adjacent Shorter Buildings w/ Height Difference of 1 Story or More	Utilize 2 or more: Incorporate the top floor into the roof form Break up building mass into smaller modules through changes in wall plane, setbacks, and/or height Match window heights and/or proportions



CD District

Design Element	CD
Façade Design: Existing Module Reinforcing Strategies	At least two of the following strategies must be used in a manner that reinforces the 25-foot module, with no element exceeding 25 feet in length: Change in roof parapet height or shape. Change in roof style Change in architectural style Change in building height, min. 8' difference. Change in frontage type or change in details of Shopfront frontage type if used. Use of upper floor projections such as bay windows or balconies.
Ground-level Open Space	Where required setback is 10 ft or greater, usable and accessible ground-level open space with min. dimension 8 ft must be provided



CD District: Photo Simulation



10 ft 4th story step-back
required above max. 30 ft
base height

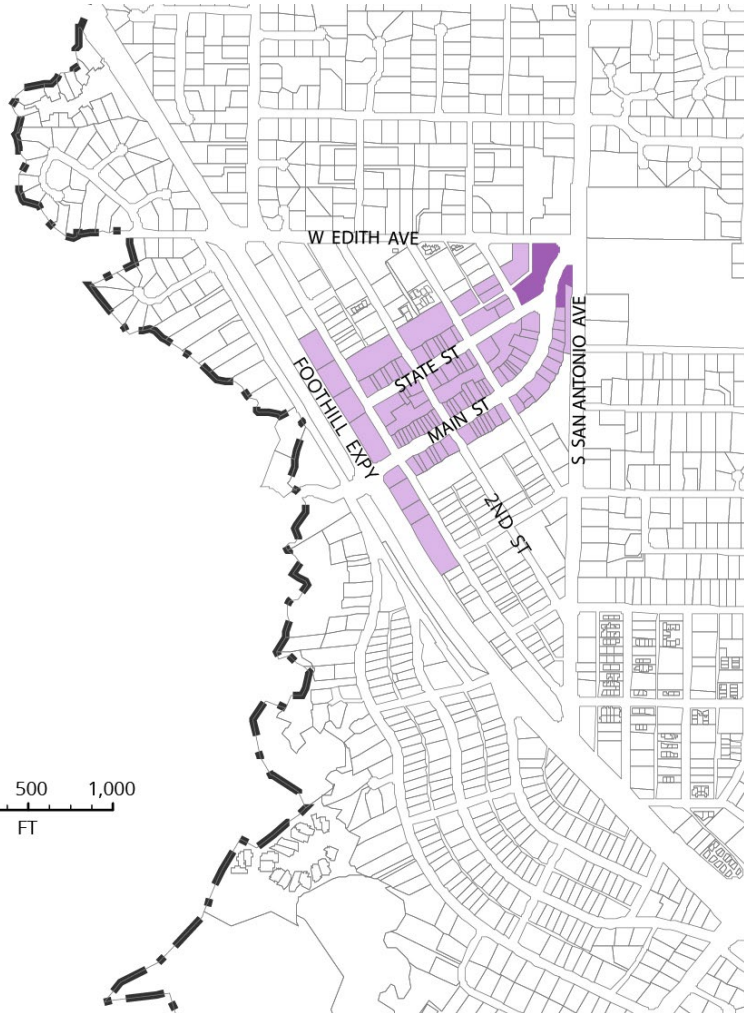
Max. 50 ft wide façade
bays for buildings over
75 ft in width

Min. depth 3 ft

CRS & CRS/ OAD



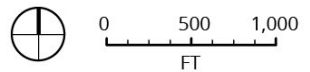
CRS/OAD: Looking north above Main & State



CRS: State Street at 2nd

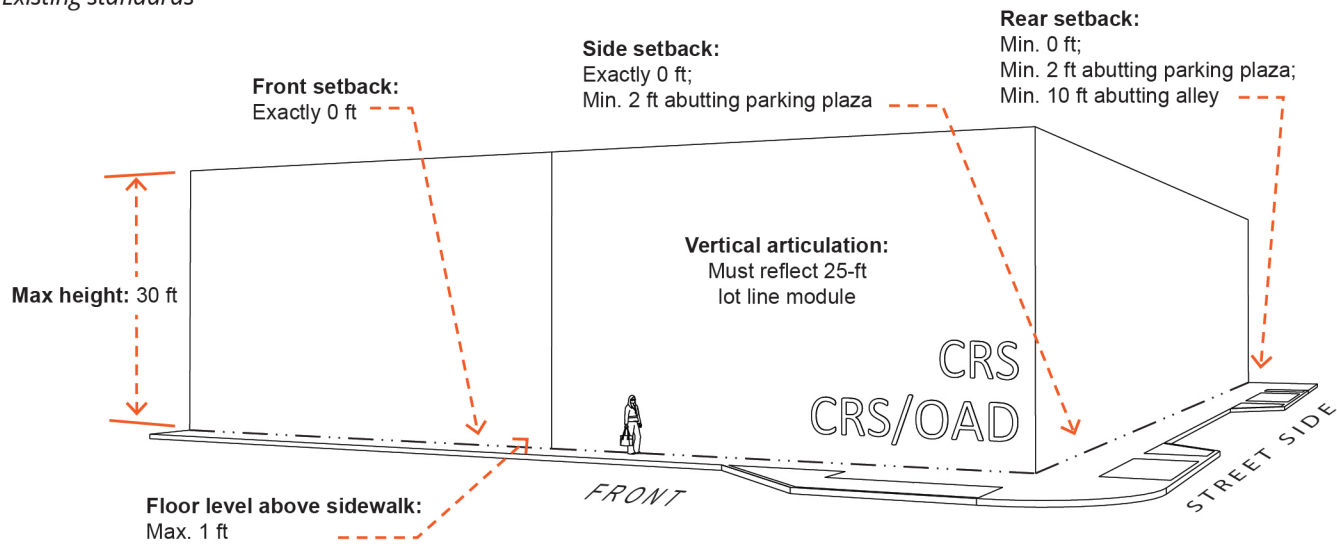


CRS: Main Street at 3rd



CRS & CRS/OAD Districts: Existing Standards (no change)

CRS and CRS/OAD District
Existing standards



CRS: Main St and 2nd St



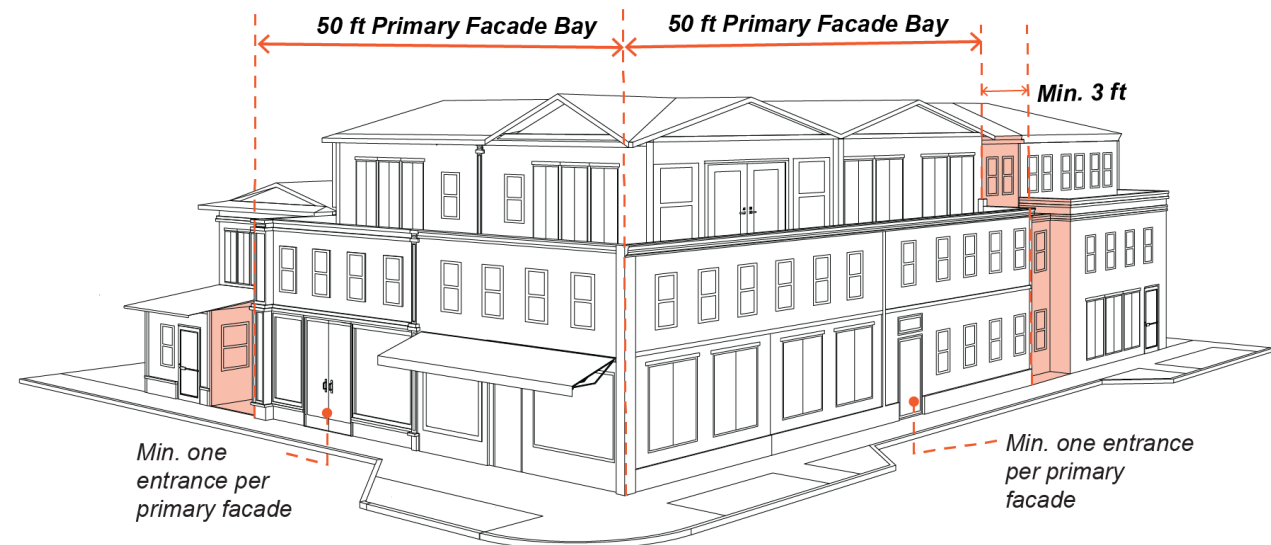
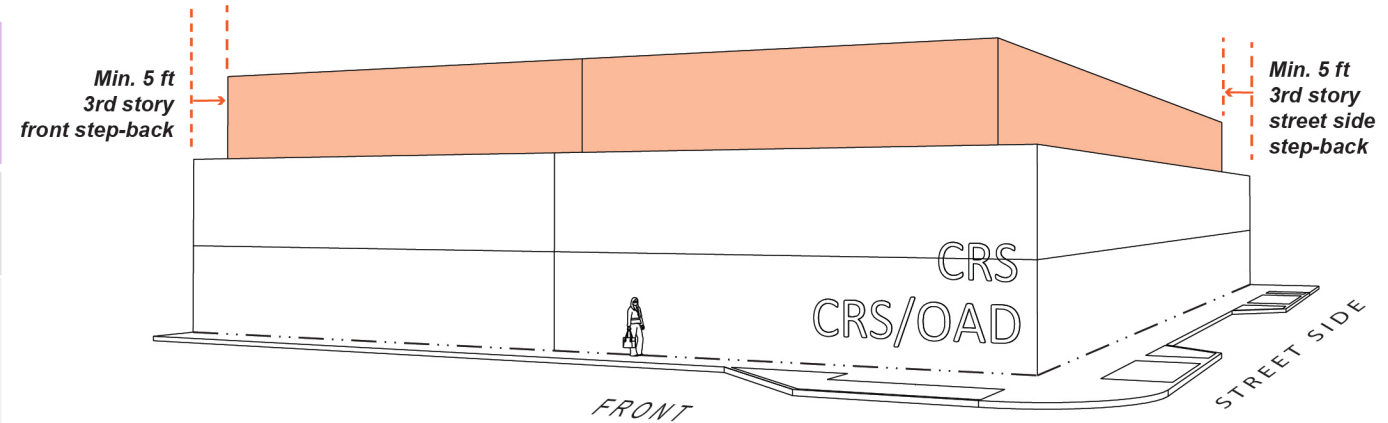
CRS/OAD: Main St and San Antonio Rd



CRS: Main St and 3rd Rd

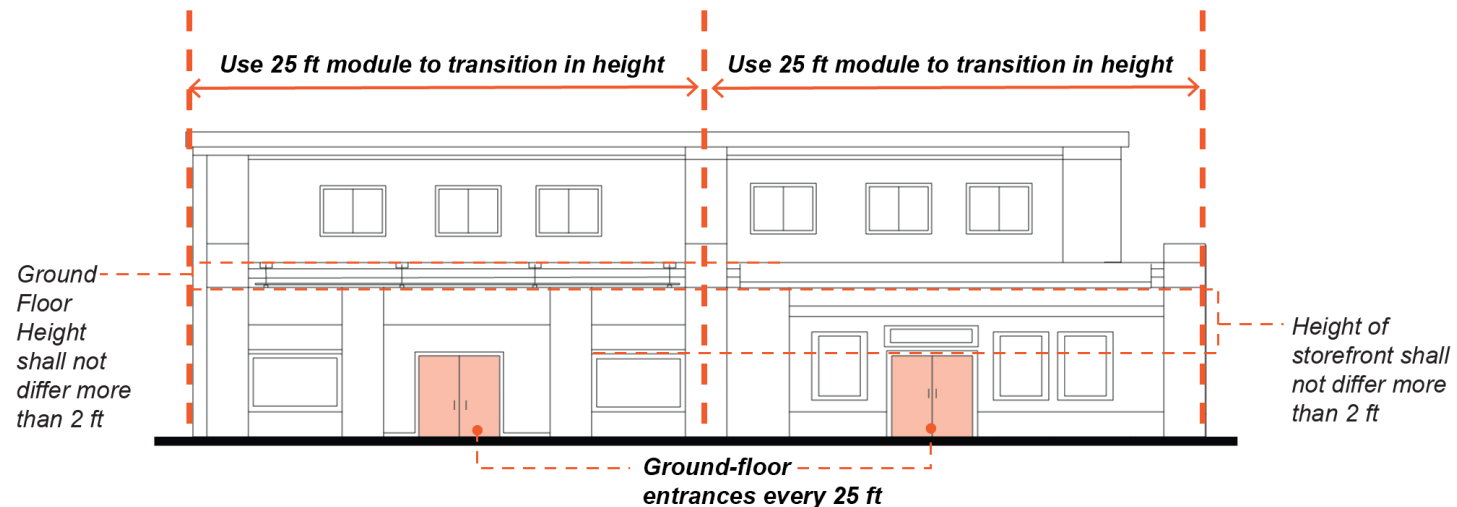
CRS/OAD District

Design Element	CRS/OAD
Upper-story Step-backs (3rd Story & above)	Front: Min. 5 ft Street Side: Min. 5 ft
Vertical Articulation	Building facades exceeding 50 ft in length along a right-of-way must be separated into primary façade bays no greater than 50 ft and secondary bays by a 3 ft deep recess. A minimum one entrance shall be provided per primary façade bay.



CRS/OAD District

Design Element	CRS
Storefront Facades Adjacent to Storefront Facades	Storefront height shall not exceed more than 2 ft from the height of adjacent storefront Ground floor height shall not exceed by more than 2 ft Use 25 ft module to transition in height
Compatibility w/ Adjacent Shorter Buildings w/ Height Difference of 1 Story of More	Utilize 2 or more: Incorporate the top floor into the roof form Break up building mass into smaller modules through changes in wall plane, setbacks, and/or height Match window heights and/or proportions
Primary Entrance Location	Front R-O-W; Min 1 every 25 ft



CRS/OAD District

Design Element	CRS
Façade Design: Existing Module Reinforcing Strategies	Utilize 2 or more to reinforce 25-foot module: <ul style="list-style-type: none"> • Change in roof parapet height or shape • Change in roof style • Change in architectural style • Change in building height, min. 8 ft difference • Change in frontage type or change in details of Shopfront frontage type if used • Use of upper floor projections such as bay windows or balconies
Downtown Gateways	Min. 2 Elements: <ul style="list-style-type: none"> • Sloped roof structures • Special uses with outdoor plaza • Special landscape features • Enhanced features • Increased architectural details Ground-floor design at gateway intersections: <ul style="list-style-type: none"> • Entrances that are visible and directly accessible from both streets • Building transparency beyond the required minimum for the first 15 ft of building frontage from the corner • A usable public space with pedestrian-scaled features on the non-entrance street
Historic Preservation	Additions to buildings with historic designation shall be identifiable from original construction. Maintain or restore original transom windows Repair, not replace, deteriorated architectural features

CRS & CRS/OAD Districts: Photo Simulations

CRS District

5 ft 3rd story step-back



Max. 50 ft wide
façade bays

Min. depth 3 ft

CRS/OAD District



CT District

Looking SOUTH from northern border of El Camino Real corridor



El Camino Real corridor, looking SOUTH near Los Altos Ave

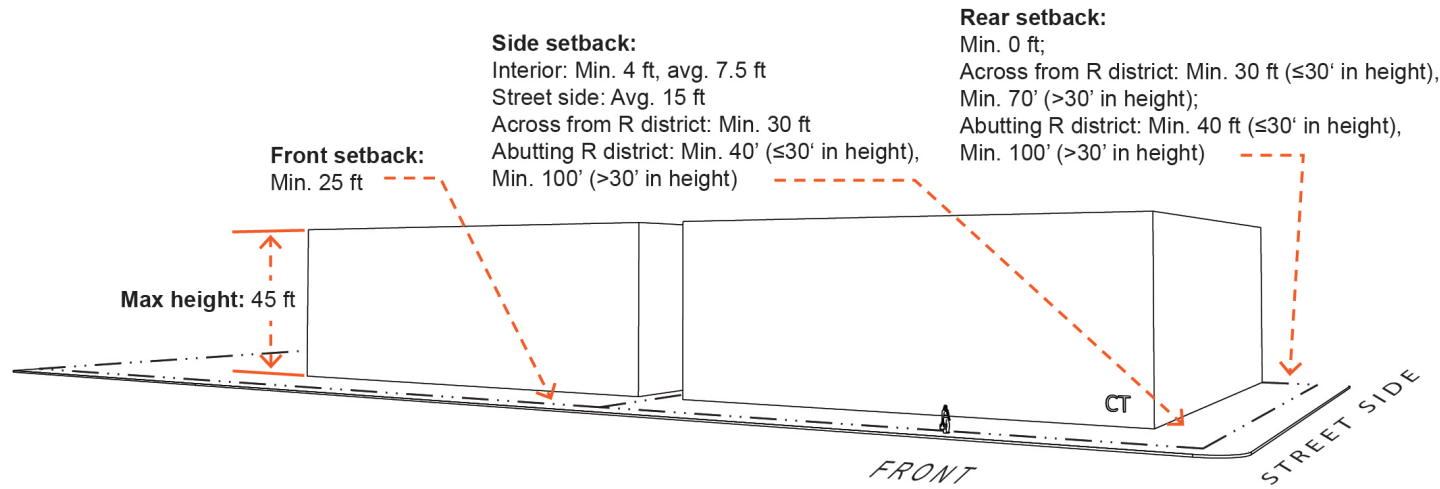


El Camino Real corridor, looking SOUTH near Jordan Ave



CT District: Existing Standards (no change)

CT District
Existing standards



El Camino Real near San Antonio Rd



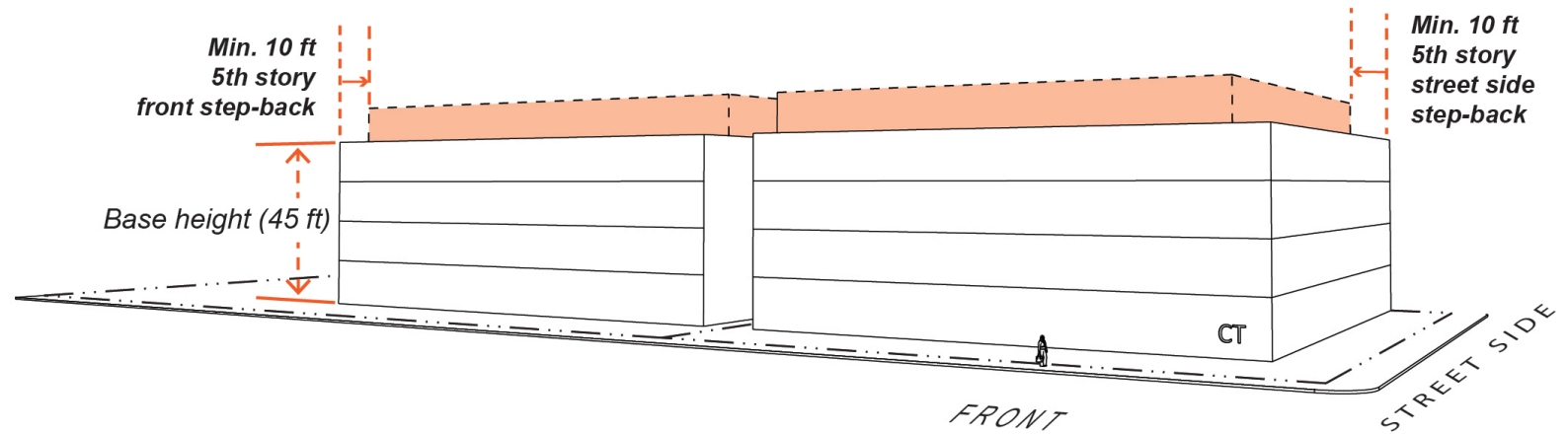
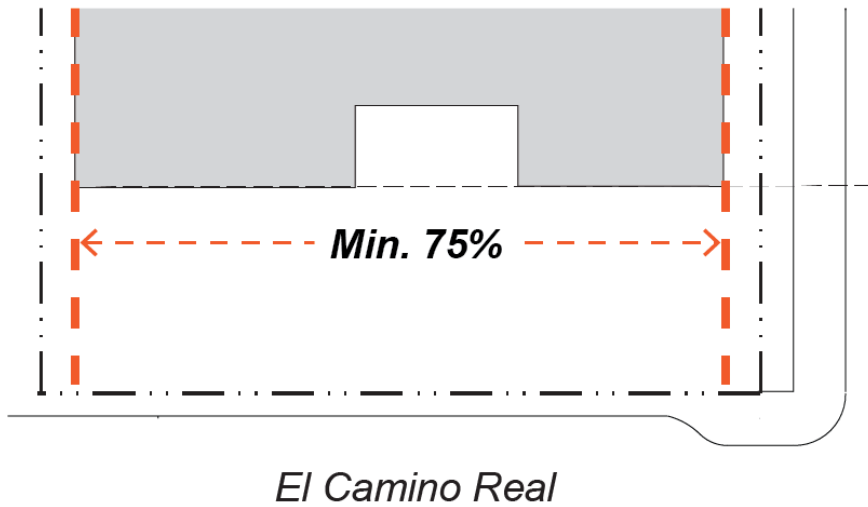
4880 El Camino Real



4898 El Camino Real

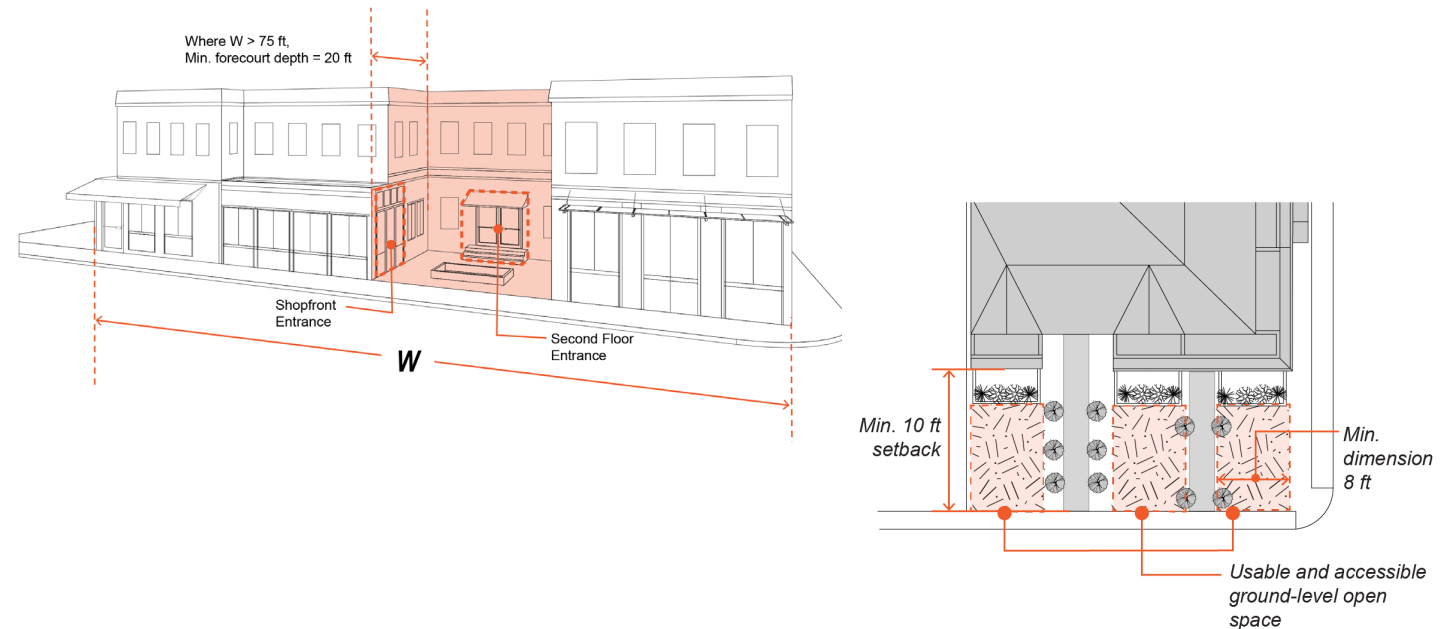
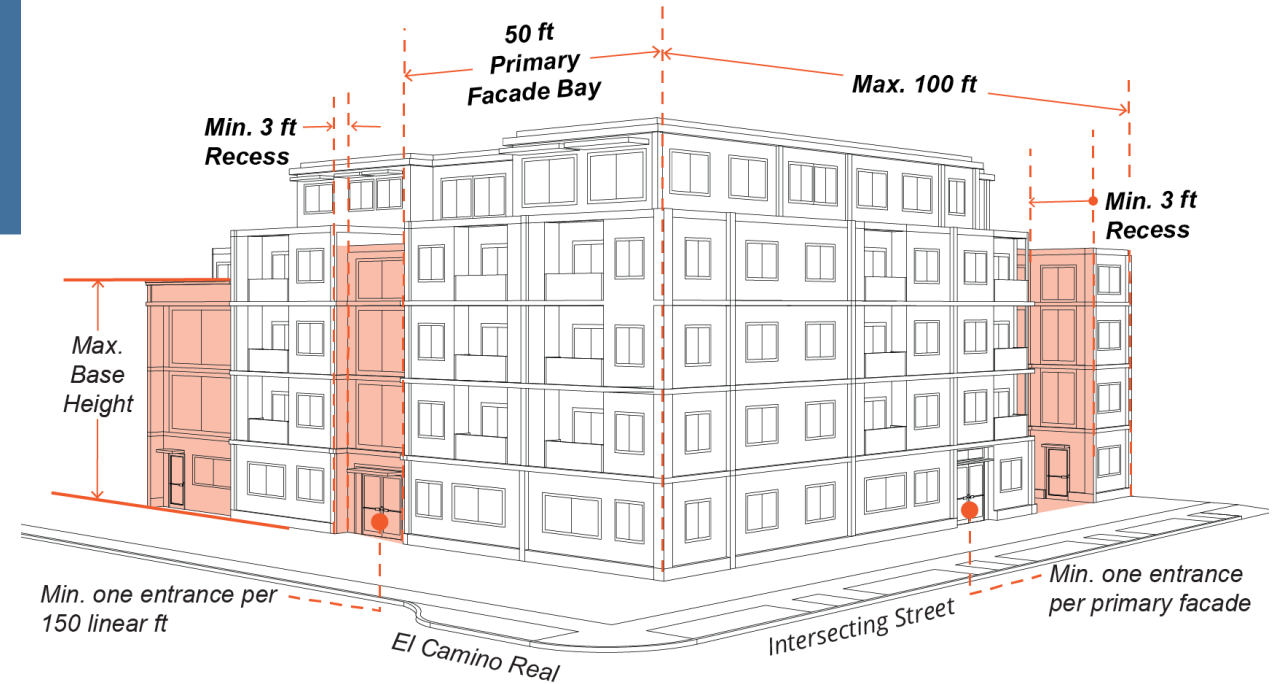
CT District

Design Element	CT
Building Placement	A minimum 75 percent of ground-floor building frontages facing El Camino Real must be built at the minimum setback line. This standard applies to the building frontage only (exclusive of side setbacks).
Upper-story Step-backs (5th Story & Above)	Front: Min. 10 ft Street Side: Min. 10 ft



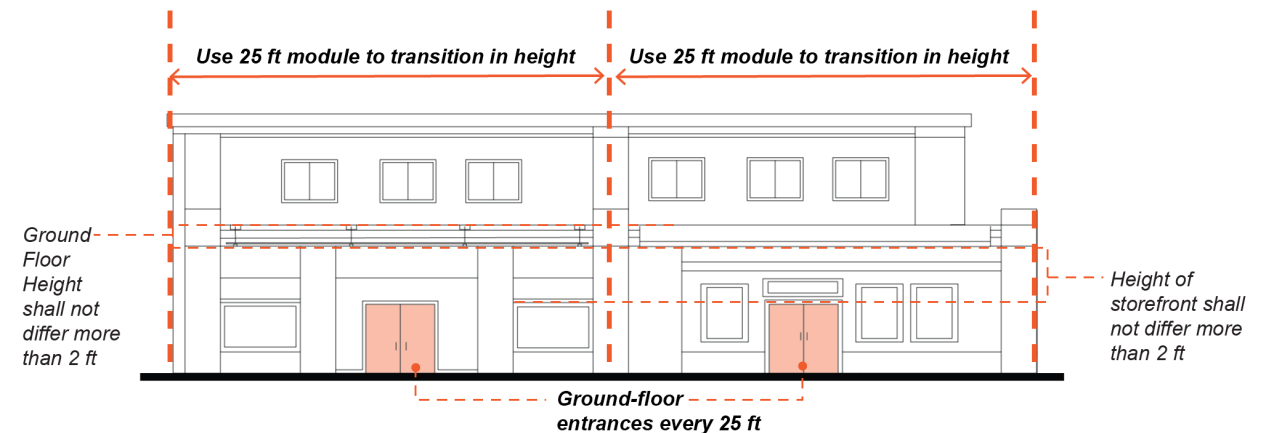
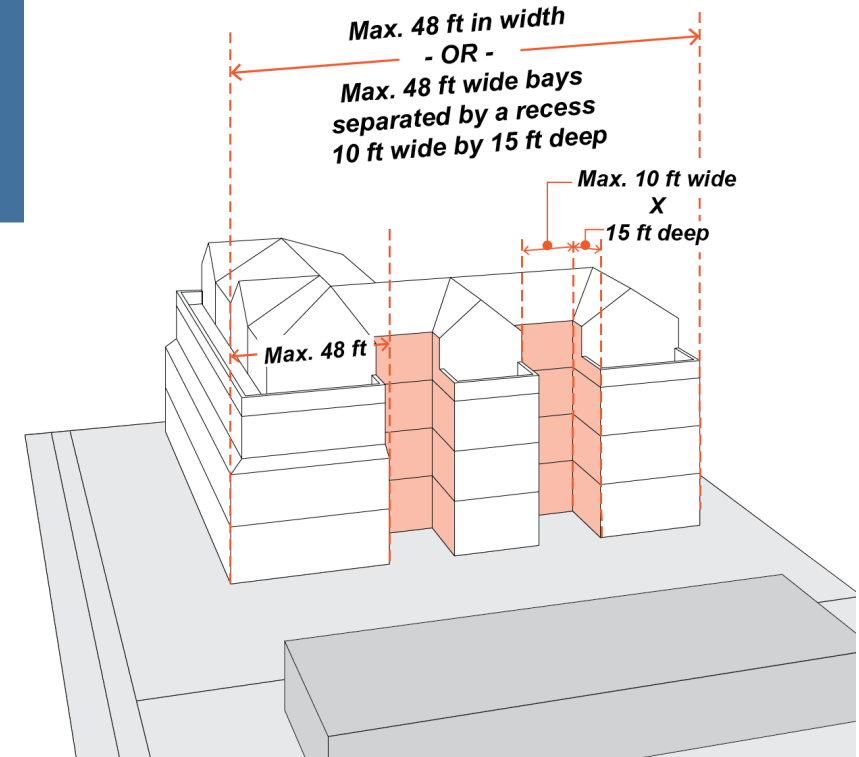
CT District

Design Element	CT
Vertical Articulation	Where building façade exceeds 100 ft in length along right-of-way, must be separated into primary façade bays no greater than 50 ft and secondary bays by a min. 3 ft deep recess. A minimum one entrance shall be provided per 150 linear feet along El Camino Real and per primary façade bay along all other rights-of-way.
Ground-level Open Space	Where required setback is 10 ft or greater, usable and accessible ground-level open space with min. dimension 8 ft must be provided
Forecourt Required	Buildings more than 75 feet in frontage length along a right-of-way and First Street must incorporate at least one forecourt with a minimum depth of 20 feet from front façade. Required forecourts must also comply with the standards of section 3.b.v.



CT District

Design Element	CT
Façade Planes Facing An R-1 District	Max. 48 ft in width - OR - Max. 48 ft wide bays separated by a recess 10 ft wide by 15 feet deep Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
Storefront Facades Adjacent to Storefront Facades	Storefront height shall not exceed more than 2 ft from the height of adjacent storefront Ground floor height shall not exceed by more than 2 ft Use 25 ft module to transition in height
Compatibility w/ Adjacent Shorter Buildings w/ Height Difference of 1 Story or More	Utilize 2 or more: Incorporate the top floor into the roof form Break up building mass into smaller modules through changes in wall plane, setbacks, and/or height Match window heights and/or proportions



CT District: Photo Simulation

View A



10 ft 5th story step-back required above max. 45 ft base height

Max. 50 ft wide façade bays for buildings over 100 ft in width

Forecourt required, min depth 20 ft

View B



CD/R3 District



*1st Street corridor near Shasta Street,
looking northeast*

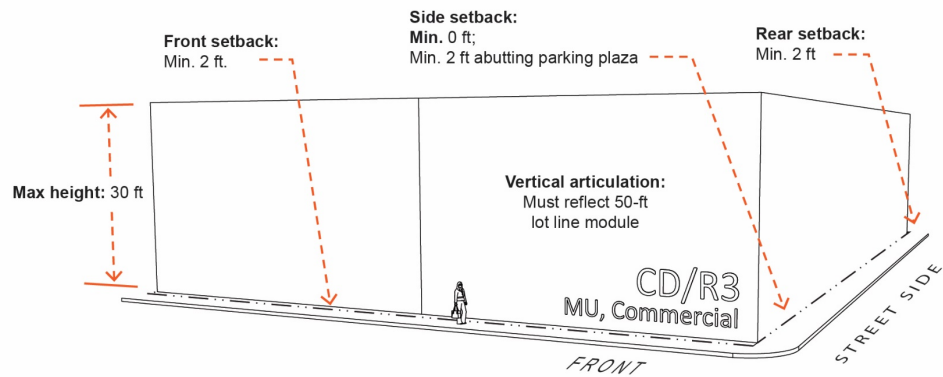


*1st Street corridor near Lyell Street,
looking northwest*

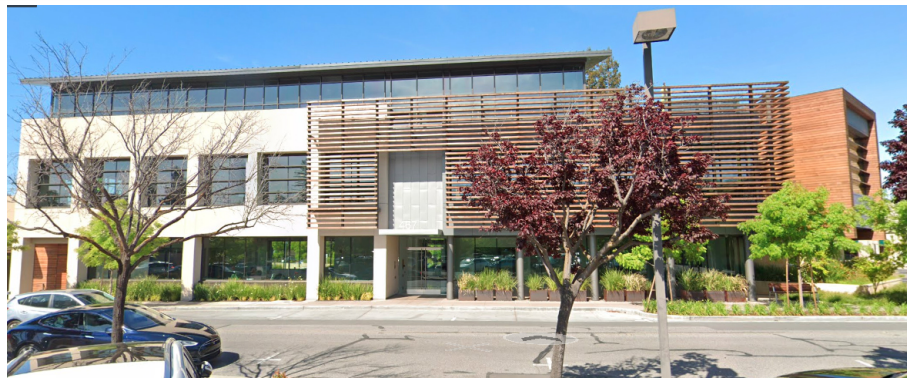
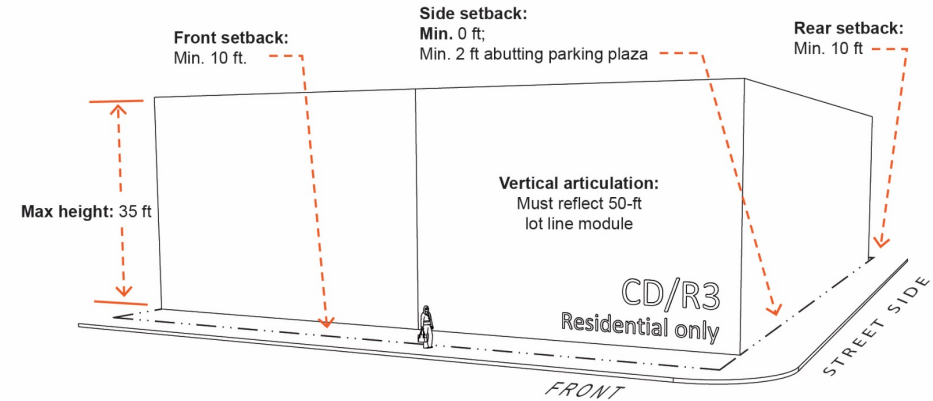


CD/R3 District: Existing Standards (no change)

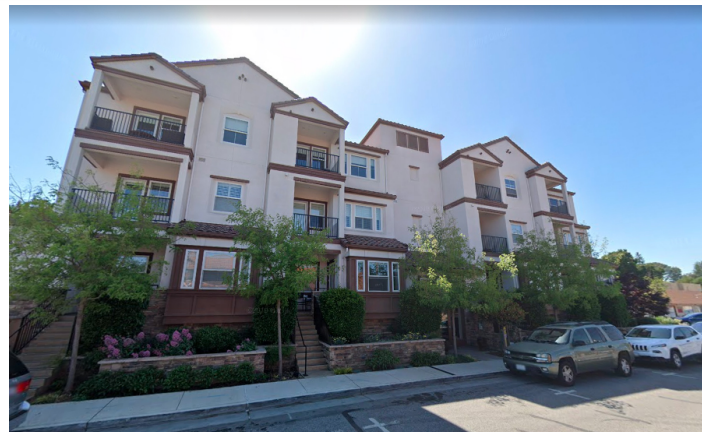
CD/R3 District - Commercial and Residential Mixed-Use
Existing standards



CD/R3 District - Residential Only
Existing standards



1st Street and San Antonio



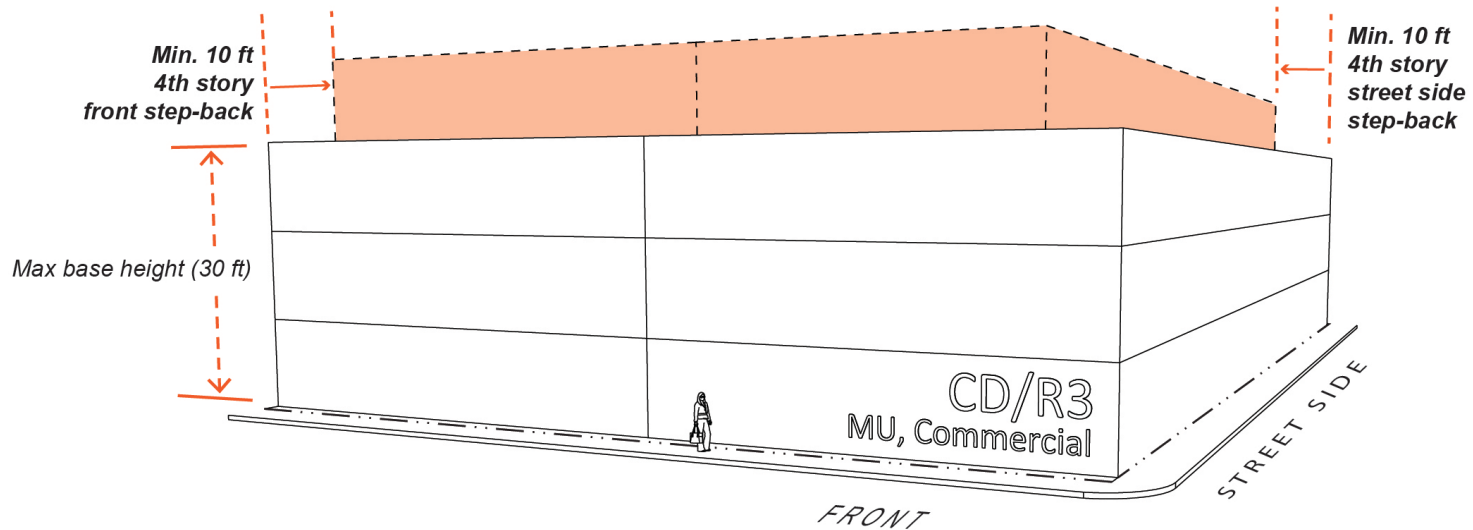
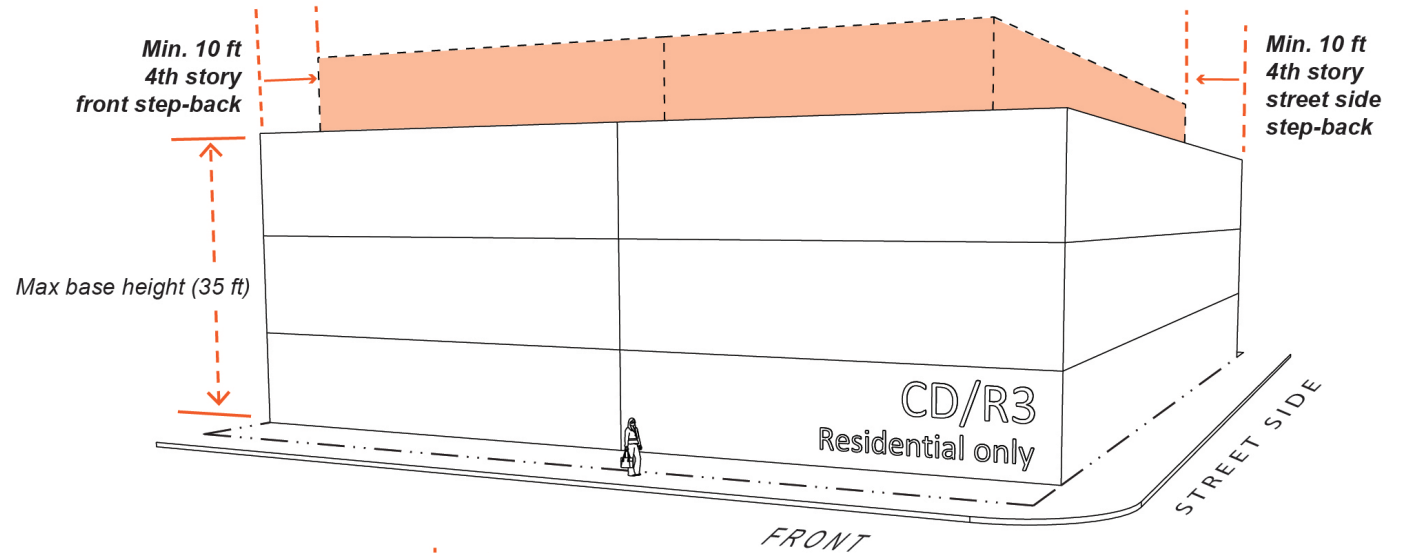
396 1st Street



100 1st Street

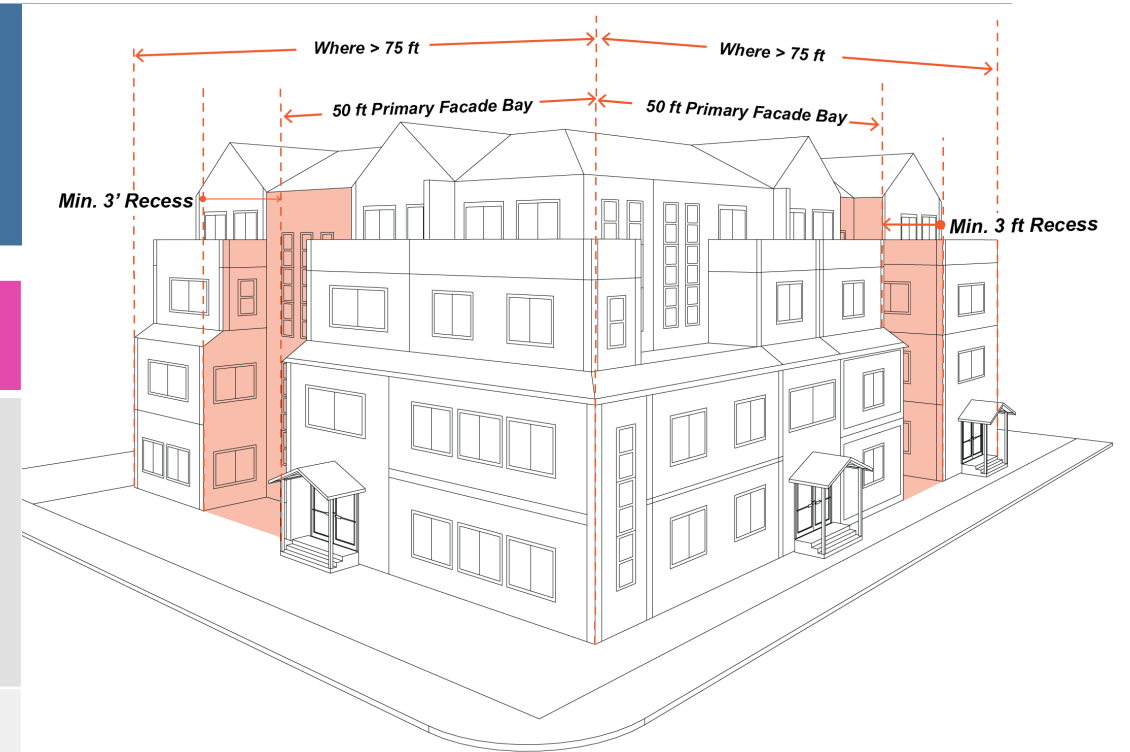
CD/R3 District

Design Element	CD/R3
Upper-story Step-backs (4th Story & Above)	Front: Min. 10 ft Street Side: Min. 10 ft



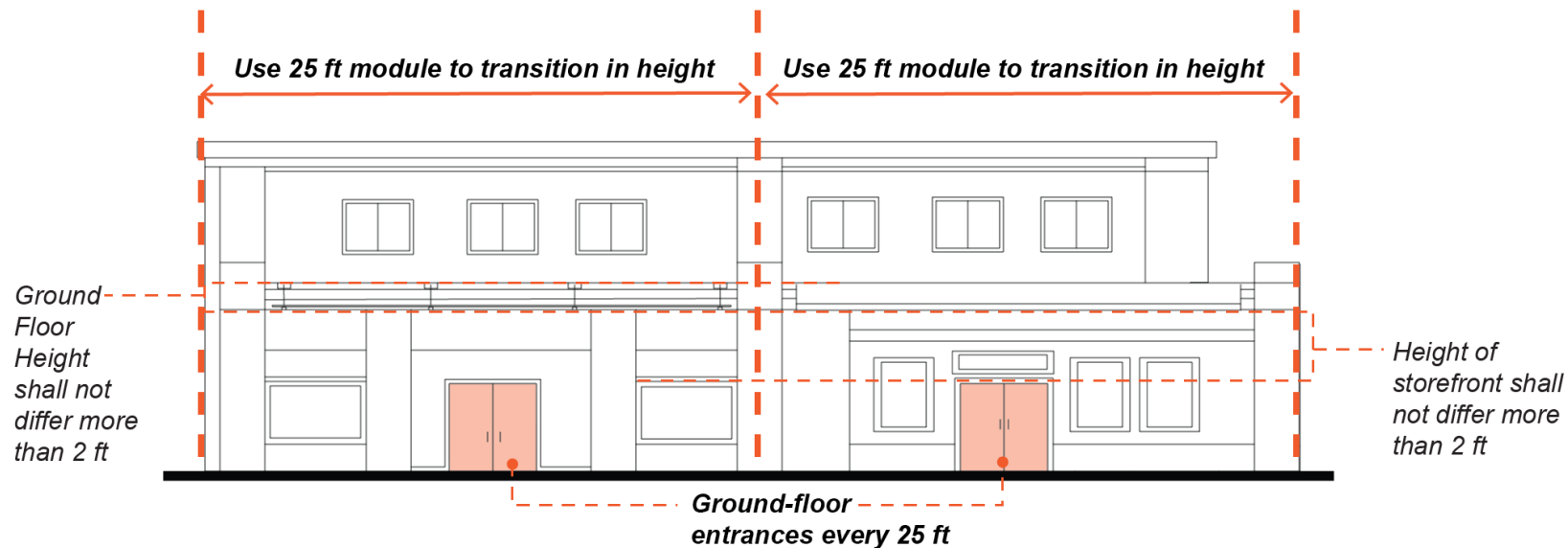
CD/R3 District

Design Element	CD/R3
Vertical Articulation	<p>When a building façade exceeds 75 feet in length along a right of way, it must be separated into primary façade bays no greater than 50 feet and secondary façade bays defined by a recess a minimum of 3 feet deep. The building shall include at least one ground-floor entrance every 25 feet. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.</p>
Façade Design: Existing Module Reinforcing Strategies	<p>At least two of the following strategies must be used in a manner that reinforces the 25-foot module, with no element exceeding 25 feet in length:</p> <ul style="list-style-type: none"> • Change in roof parapet height or shape. • Change in roof style • Change in architectural style • Change in building height, min. 8' difference. • Change in frontage type or change in details of Shopfront frontage type if used. • Use of upper floor projections such as bay windows or balconies.
Forecourt Required	<p>Buildings more than 75 feet in frontage length along a right-of-way and First Street must incorporate at least one forecourt with a minimum depth of 20 feet from front façade. Required forecourts must also comply with the standards of section 3.b.v.</p>



CD/R3 District

Design Element	CD/R3
Storefront Facades Adjacent to Storefront Facades	Storefront height shall not exceed more than 2 ft from the height of adjacent storefront Ground floor height shall not exceed by more than 2 ft Use 25 ft module to transition in height
Compatibility w/ Adjacent Shorter Buildings w/ Height Difference of 1 Story of More	Utilize 2 or more: Incorporate the top floor into the roof form Break up building mass into smaller modules through changes in wall plane, setbacks, and/or height Match window heights and/or proportions



CD/R3 District: Photo Simulation

View A



10 ft 4th story step-back required above max. 45 ft base height

Max. 50 ft wide façade bays for buildings over 75 ft in width

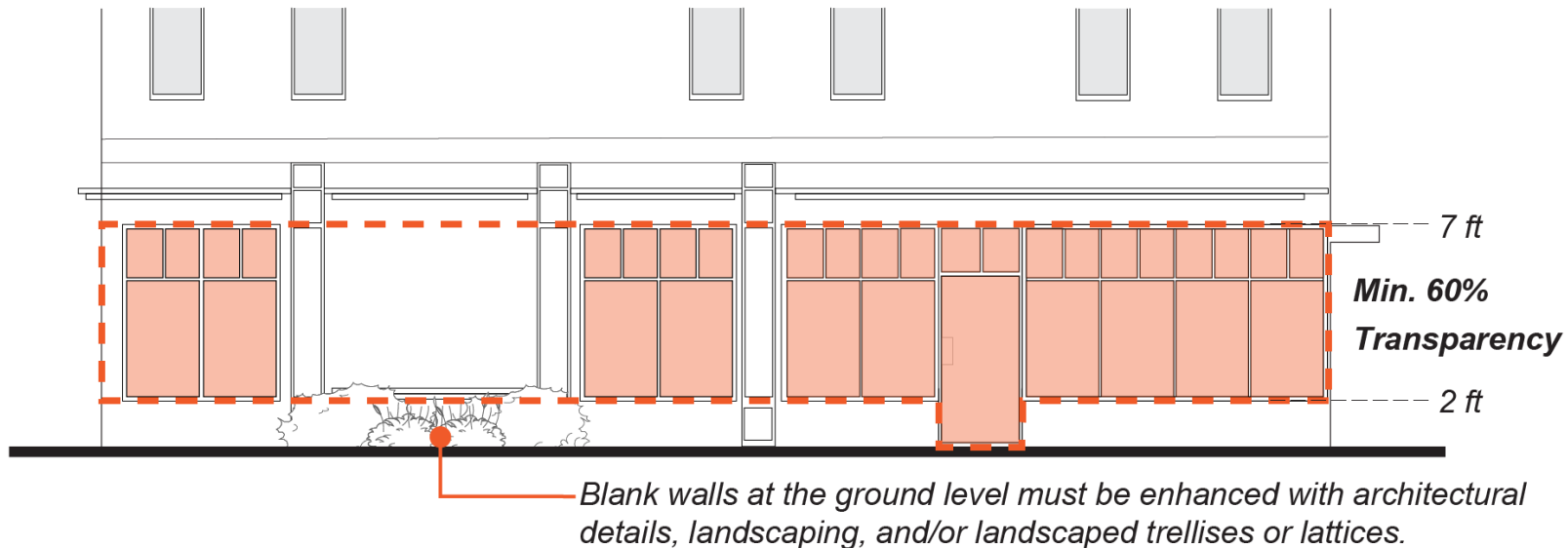
Min. depth 3 ft

View B



Applicable to All or Most C Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Ground Level Transparency	N/A	Min. 60% [per Design Guidelines]	Min. 60%	N/A	Min. 60%	Min. 60%
Façade Design	Non-glazed wall areas (blank walls) at the ground level must be enhanced with architectural details, landscaping, and/or landscaped trellises or lattices.					
Shopfront	Max. 25 ft in width must incorporate variations in bulkhead, awnings, materials, and color					



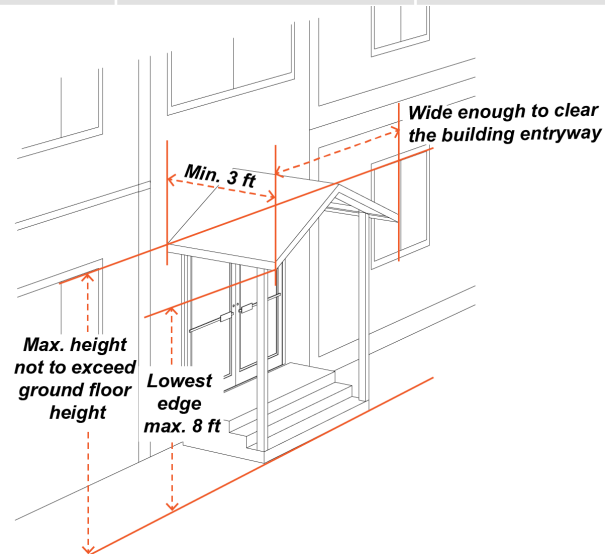
Applicable to All or Most C Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Forecourt Standards [DDG]	Optional	Required	Optional	Required	Optional	
	Forecourts for buildings more than 75 feet in length along a right-of-way must have a minimum depth of 20 feet from front façade. Max. ratio 2:1 ; Enclosed on three sides by buildings; Open to the sky. Forecourt must be enclosed on at least three sides by buildings. Forecourt must remain open to the sky (arbors and trellises are allowed).					
Entry types	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt	Stoop, Shopfront, Gallery, Arcade, Forecourt, Terrace	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt, Terrace	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt, Terrace	Stoop, Shopfront, Gallery, Arcade with Shopfront frontage	Stoop, Shopfront, Gallery, Arcade with Shopfront frontage
Corner entrances	Chamfered corners must incorporate a building entrance. Any required entrances may be provided on the corner of the building assuming one of the intersecting sides is a primary frontage.					



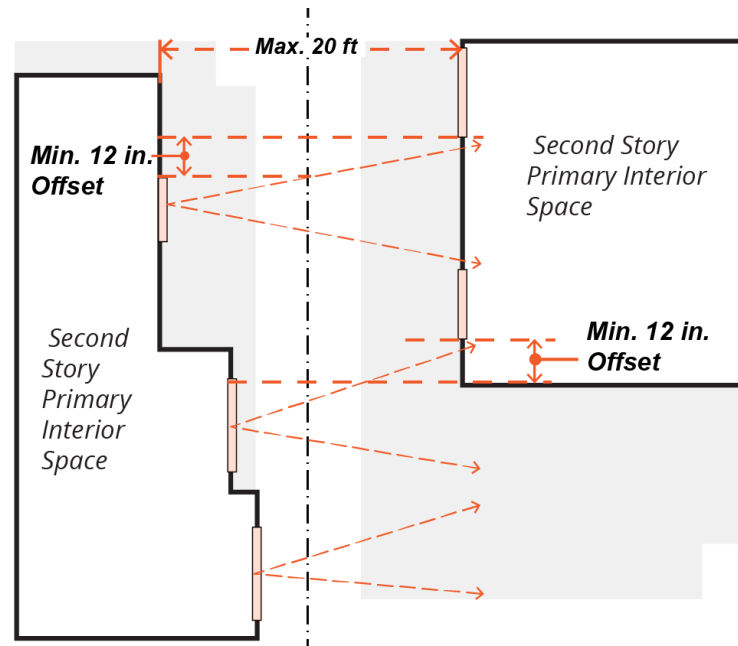
Applicable to All or Most C Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Street-facing Entry Design	Min. 3-ft projection, min. 3-ft width, not to exceed height of ground floor story					
Street-facing Entries to Upper floors	<p>Street-facing entries to upper floors shall be equal in quality and detail to storefronts. This standard may be satisfied through 1 or more of the following:</p> <ul style="list-style-type: none"> • Dedicated awning, canopy, or other roof element • Stairs with a single color applied to treads and a contrasting color or pattern applied to risers. • Dedicated light fixture(s) • Decorative street address numbers or tiles • Plaque signs for upper-floor business tenants 					
Primary Entrance Location	Front R-O-W	Front R-O-W or Courtyard	Front R-O-W or Courtyard	Front R-O-W or Courtyard; Min. 1 every 25 ft	Front R-O-W; Min 1 every 25 ft	Front R-O-W



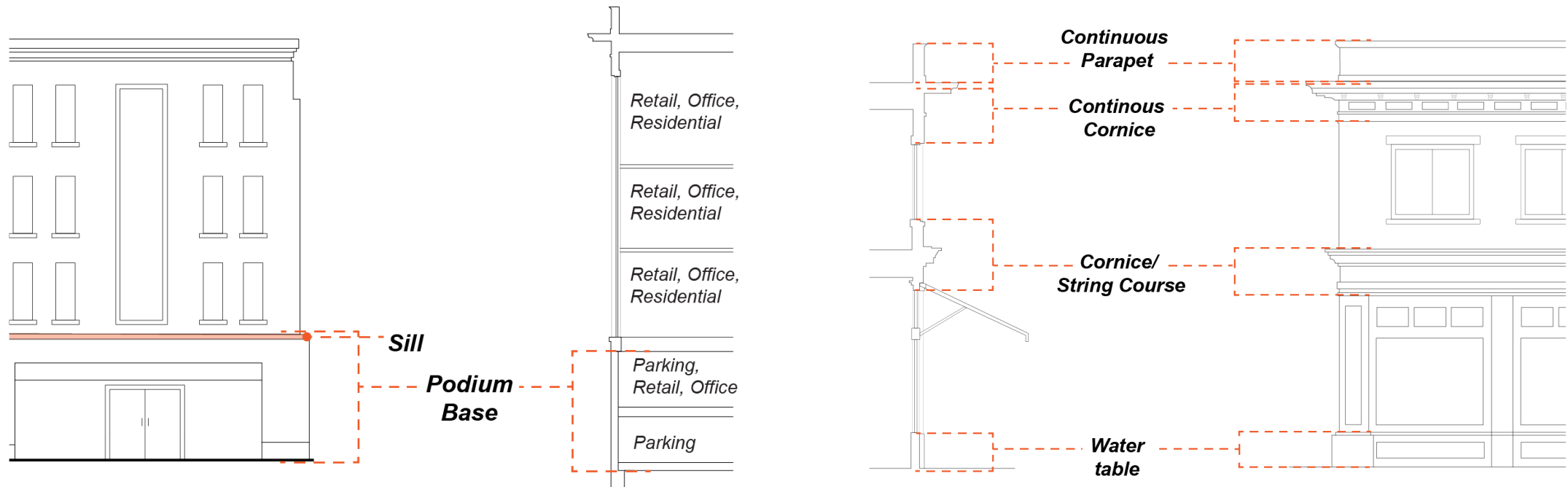
Applicable to All or Most C Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Energy-conservation Measures	Not Required	Not Required	Not Required	Not Required	Required	Not Required
Mansard Roofs Allowed	No	Yes	Yes	Yes	No	Yes
Materials Palette	Permissive	Most permissive	Permissive	Permissive	More Limited	More Limited
Privacy/Line of Sight	Where there is an uninterrupted line of sight to windows of a primary interior space at the same floor level within 20 feet: glazing shall be offset horizontally from the existing glazing by a min. of 12 inches.					



Applicable to All or Most C Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Horizontal Articulation	New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top .					
Façade Composition	Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns . The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows . The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.					



R-District Analysis and Findings

- Primarily sloped/pitched roof forms
- Massing broken into smaller volumes
- Limited material palette
- Established palette of residential entry types
- R3-1 is unique among other R-Districts in terms of building size and details



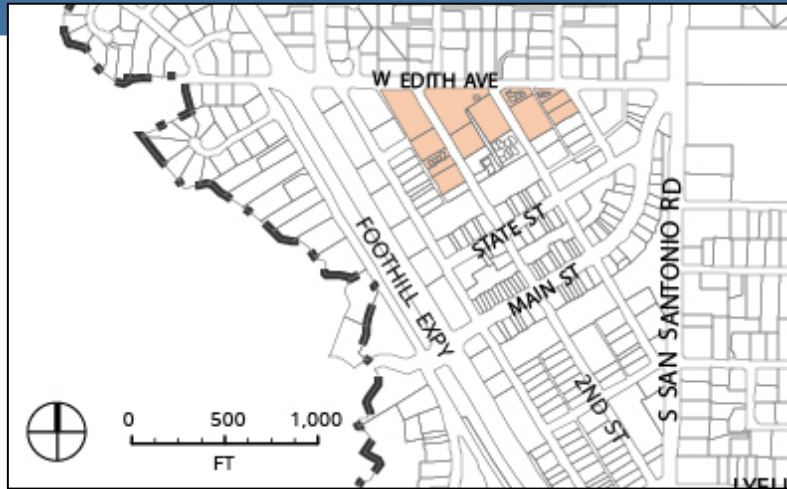
R3 Districts: Existing Standards

Existing Standards	R3-4.5	R3-5	R3-3	R3-1.8	R3-1
Min. Site area	5 acres	1 acre	21,000 sq ft	7,100 sq ft	7,100 sq ft
Max. Density	2 du/9,000 sq ft	1 du/5,000 sq ft	1 du/3,000 sq ft	1 du/1,800 sq ft	38 du/ac
Max. Height	20 ft; 27 ft on lots with 2 stories as of 12/10/19; Max. 1 story where lot coverage exceeds 35%	Max 2 stories or 30 ft, whichever is less; Max. 1 story or 15 ft within 100 ft of R1-10 district	Max 2 stories or 30 ft, whichever is less; Max. 1 story or 15 ft within 100 ft of R1-10 district	Max 2 stories or 30 ft, whichever is less; Max. 1 story or 15 ft within 100 ft of R1-10 district	Max 3 stories or 35 ft, whichever is less; Max. 30 ft within 100 ft of R1-10 district
Setback, Front	none	Min. 40 ft	Min. 40 ft.	Min. 20 ft	Min. 20 ft
Setback, Side	none	Min 15 ft; Min. 25 ft abutting R-1 district ; Min 25 ft adjoining street	Min 15 ft; Min. 25 ft abutting R-1 district; Min 25 ft adjoining street	Min 7.5 ft; Min. 25 ft abutting R-1 district; Min 15 ft adjoining street.	Min. 7.5 ft; Min 15 ft adjoining street
Setback, Rear	none	Min. 30 ft; Min. 40 ft abutting R-1 district	Min. 30 ft	Min. 25 ft; Min. 30 ft abutting R-1 district	Min. 30 ft

R3 Districts: Recommendations

Design Element	R3-4.5	R3-5	R3-3	R3-1.8	R3-1
Min. percent of building at front setback line	—	—	—	—	85%
Upper-story step-backs, front and street side	—	—	—	5 ft for 3rd story+ for facades > 50ft in width	5 ft for 4th story+ for facades > 50ft in width
Vertical Articulation	—	—	—	—	50 ft
R-1 Adjacencies	5' wide and 5' deep	5' wide and 5' deep	5' wide and 5' deep	5' wide and 5' deep	5' wide and 5' deep
Entry types	Stoop, Porch, Dooryard	Stoop, Porch, Dooryard	Stoop, Porch, Dooryard	Stoop, Porch, Dooryard	Stoop, Dooryard, Gallery, Arcade, Forecourt, Terrace
Individual entries along the frontage for ground floor street-facing units	Not required	Not required	Required	Not required	Not required
Materials	More limited	More limited	More limited	More limited	More permissive
Ground Floor Floor-to-Ceiling Height	Min. 12" taller than typical upper floor floor-to-ceiling height where upper floors are residential				

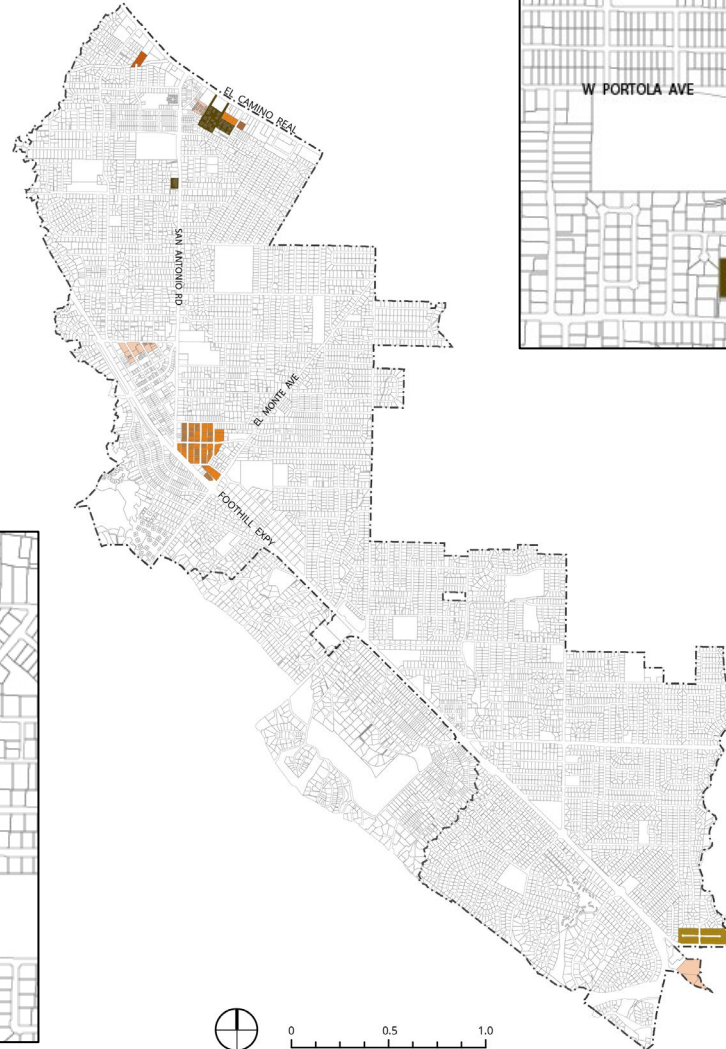
R3 Districts



R3-1

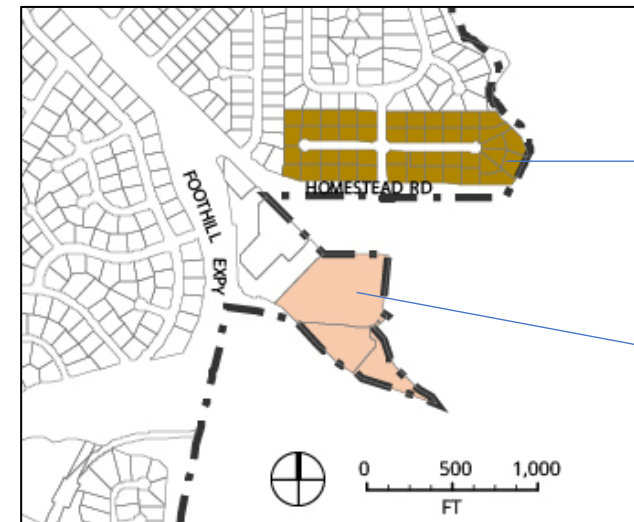


R3-1.8



R3-3

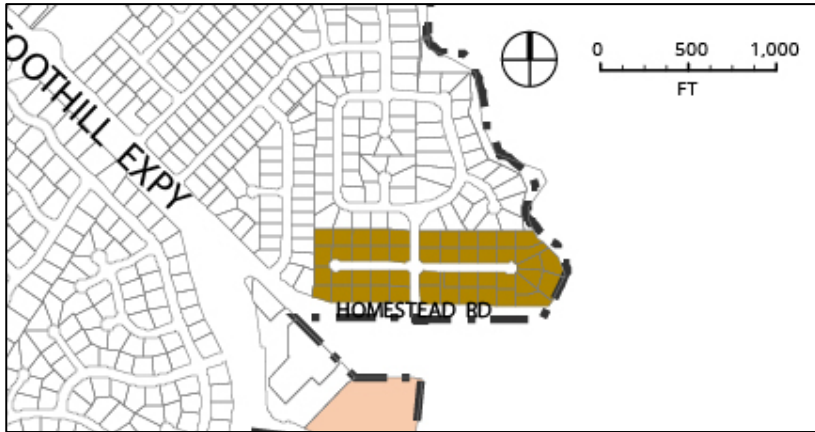
R3-5



R3-4.5

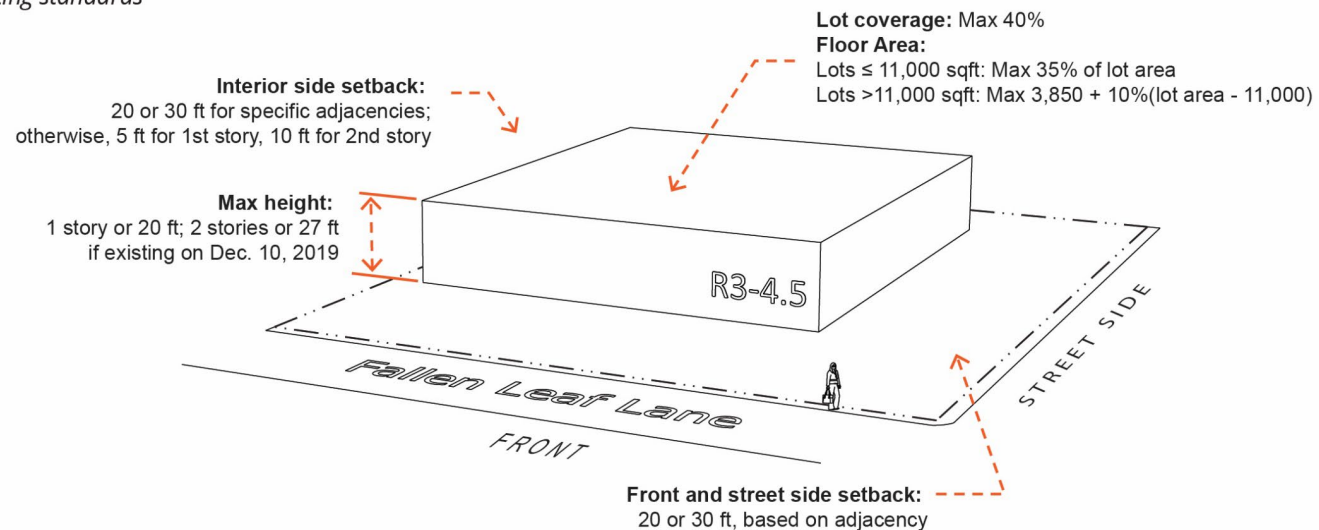
R3-1

R3-4.5 District: Existing Standards (no change)



Stevens Pl near Fallen Leaf Ln

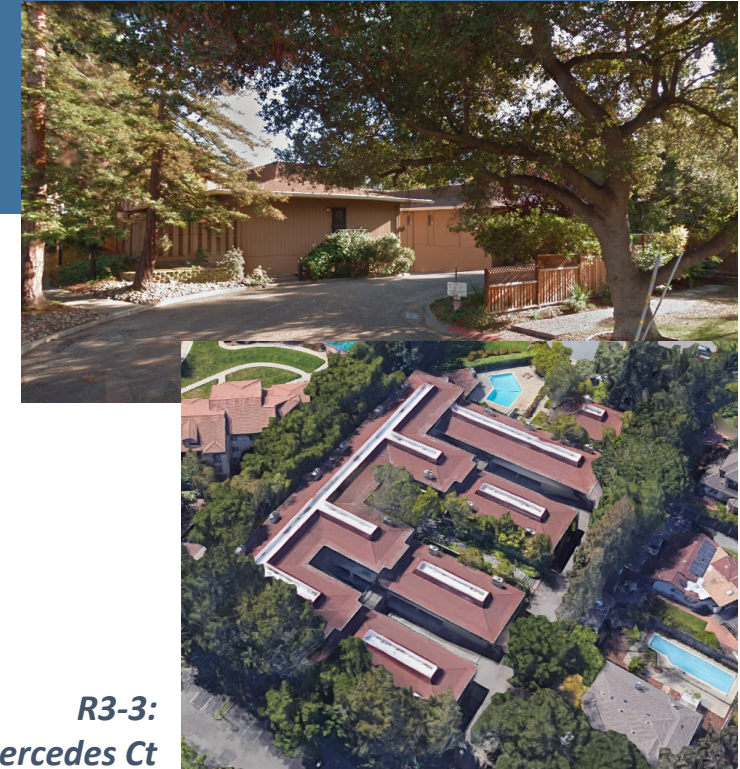
R3-4.5 District Existing standards



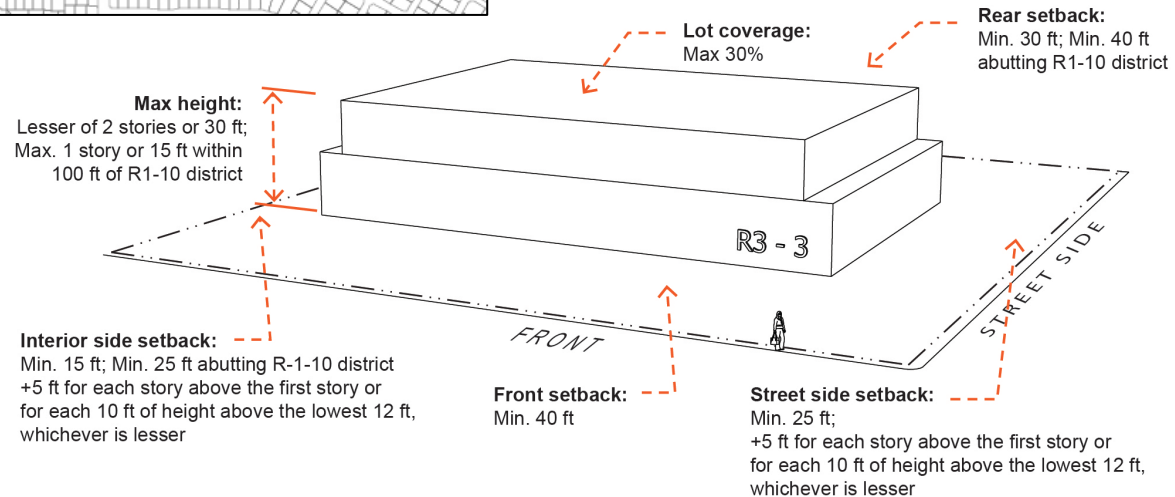
R3-5 & R3-3: Existing Standards (no change)



R3-3: Jordan Ave near El Camino Real



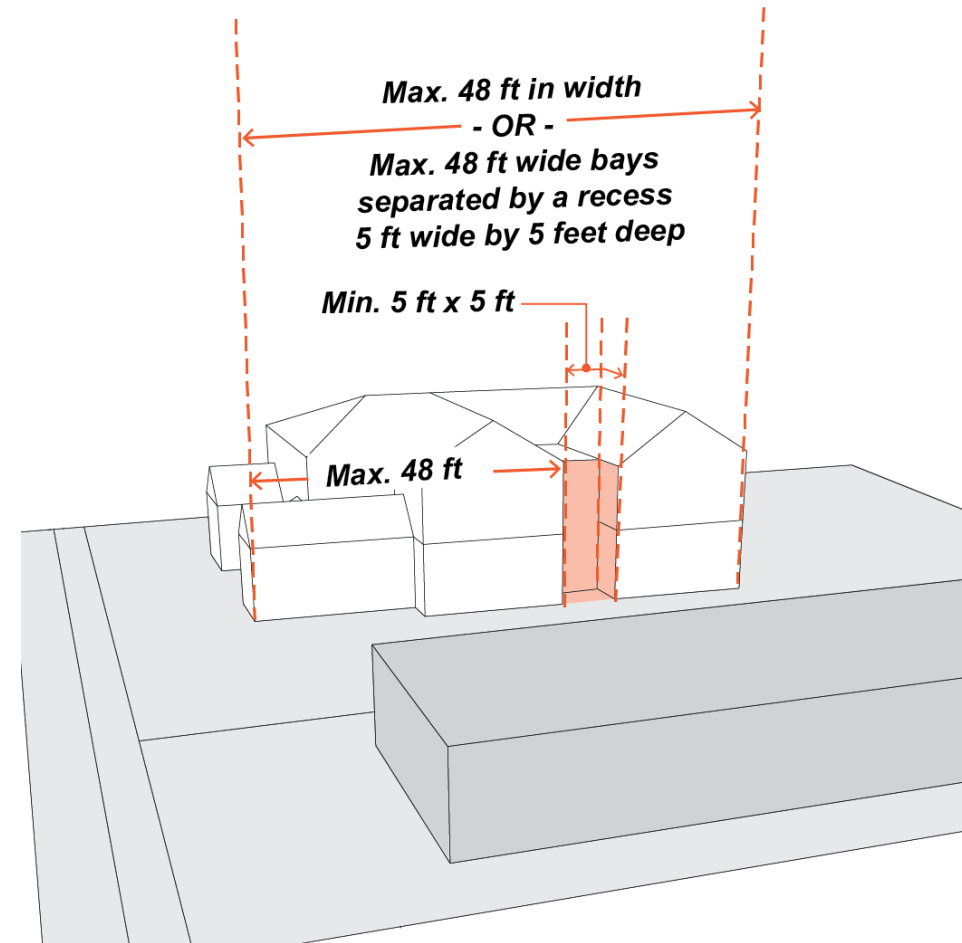
*R3-3:
Mercedes Ct*



R3-5: Los Altos Square

R3-3, R3-4.5, & R3-5 Districts

Design Element	R3-4.5	R3-5	R3-3
Façade Planes Abutting An R-1 District	Max. 48 ft in width - OR - Max. 48 ft wide bays separated by a recess 5 ft wide by 5 feet deep. Building façades abutting an R-1 district must have a hipped or gable roof and may incorporate dormers.		
Entry types	Stoop, Porch, Dooryard		



R3-1.8 District: Existing Standards (no change)

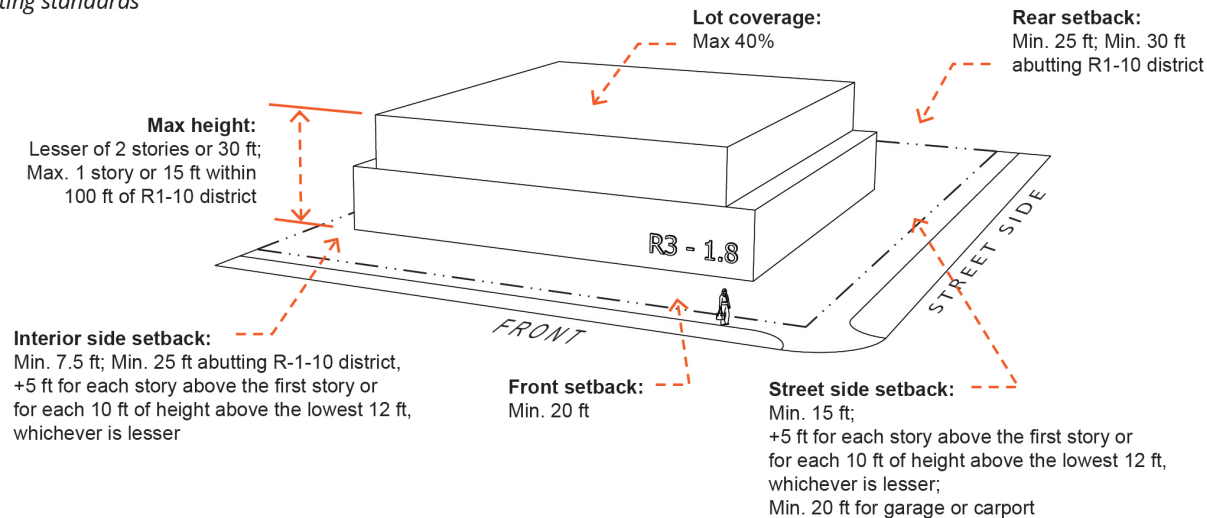


Lassen St near Cuesta Dr



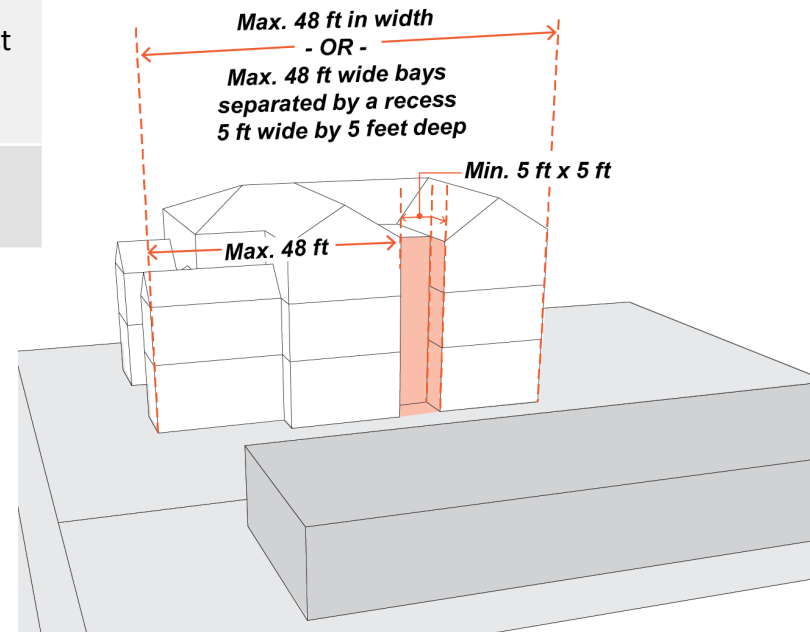
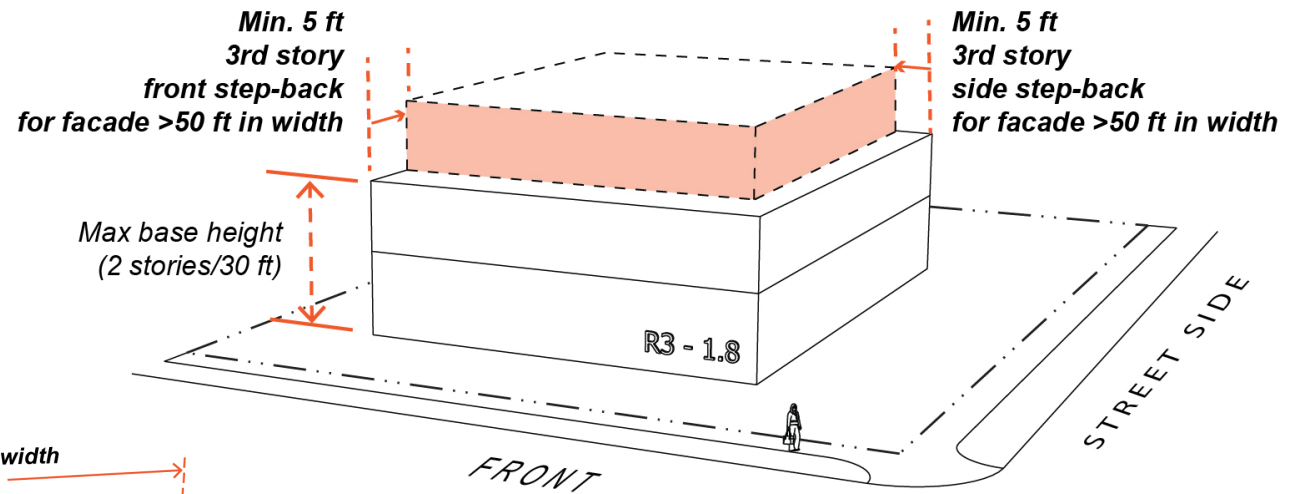
Tyndall St near Lyell St

R3-1.8 District
Existing standards



R3-1.8 District

Design Element	R3-1.8
Upper-story Step-backs, Front and Street Side	Min. 5 ft from ground floor façade for third story and above for building facades 50 ft or greater in width
Façade Planes Abutting An R-1 District	Max. 48 ft in width - OR - Max. 48 ft wide bays separated by a recess 5 ft wide by 5 feet deep Building façades abutting an R-1 district must have a hipped or gable roof and may incorporate dormers.
Entry types	Stoop, Porch, Dooryard

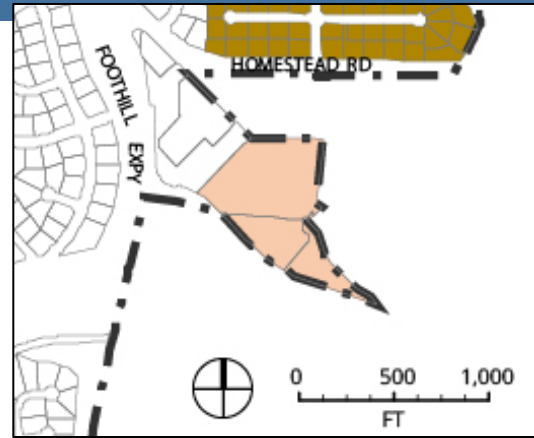


R3-1.8 District: Photo Simulation



5 ft 3rd story step-back required above max. 2 stories/30 ft base height for facades 50 ft or greater in width

R3-1: Existing Standards (no change)

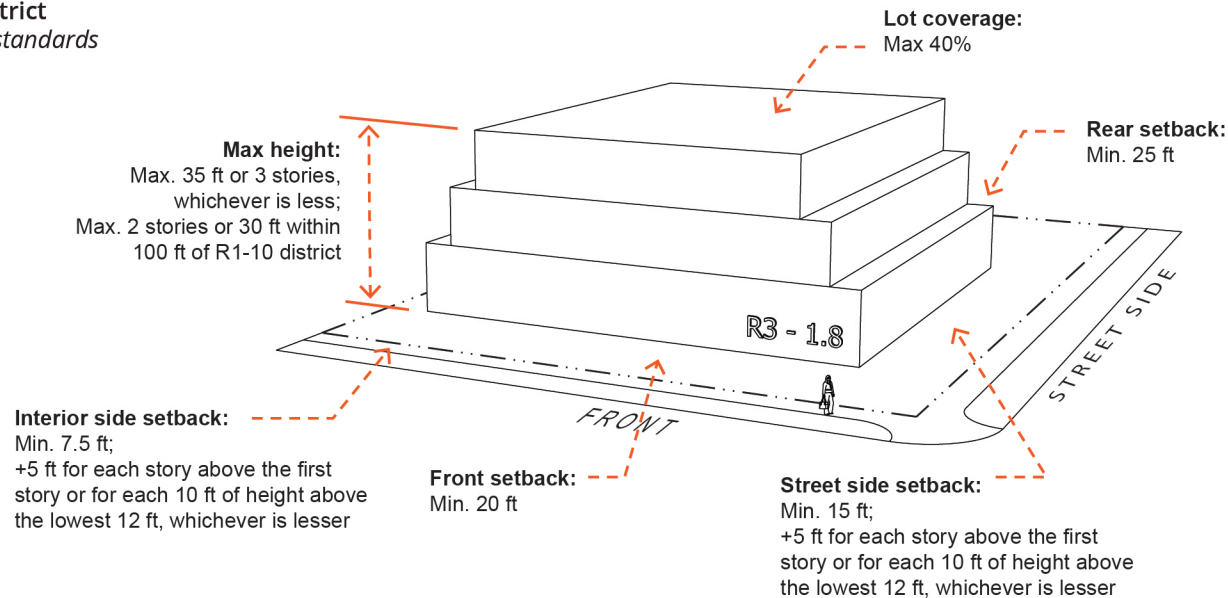


2nd St near Edith Ave



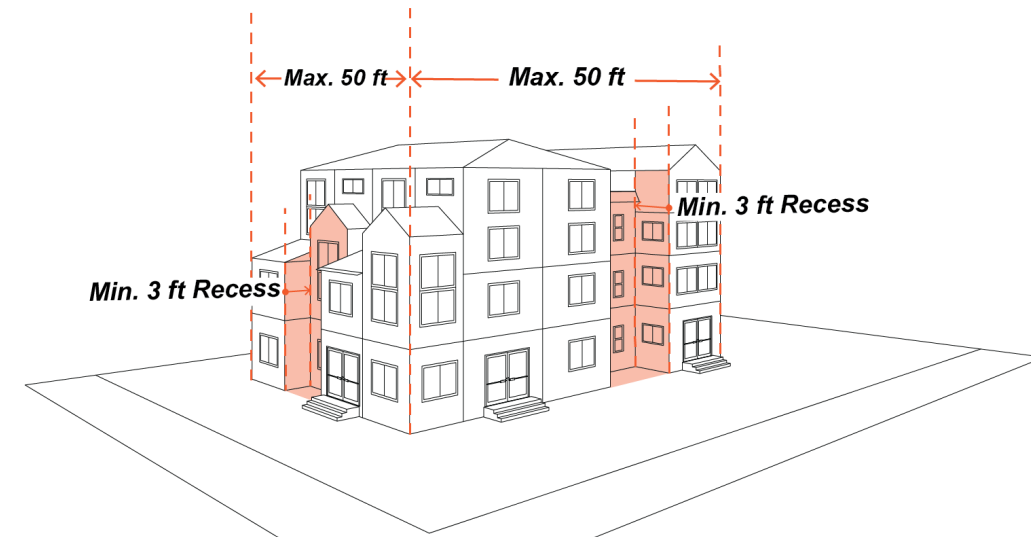
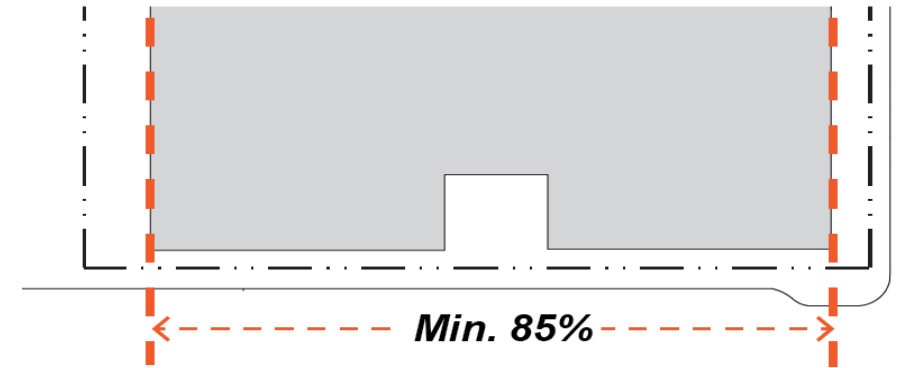
Sweet Oak Street near Homestead Rd

R3-1 District
Existing standards



R3-1 District

Design Element	R3-1
Min. Percent Of Building At Front Setback Line	85%. This standard applies to the building frontage only (exclusive if side setbacks).
Vertical Articulation	When a building façade exceeds 50 feet in length along a right of way, it must be separated into primary façade bays no greater than 50 feet and secondary façade bays defined by a recess a minimum of 3 feet deep .
Entry Types	Stoop, Dooryard, Gallery, Arcade, Forecourt, Terrace
Façade Planes Facing An R-1 District	Max. 48 ft in width - OR - Max. 48 ft wide bays separated by a recess 5 ft wide by 5 feet deep Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
Façade Design: Existing Module Reinforcing Strategies	At least two of the following strategies must be used in a manner that reinforces the 25-foot module, with no element exceeding 25 feet in length: <ul style="list-style-type: none"> • Change in roof parapet height or shape. • Change in roof style • Change in architectural style • Change in building height, min. 8' difference. • Change in frontage type or change in details of Shopfront frontage type if used. • Use of upper floor projections such as bay windows or balconies.



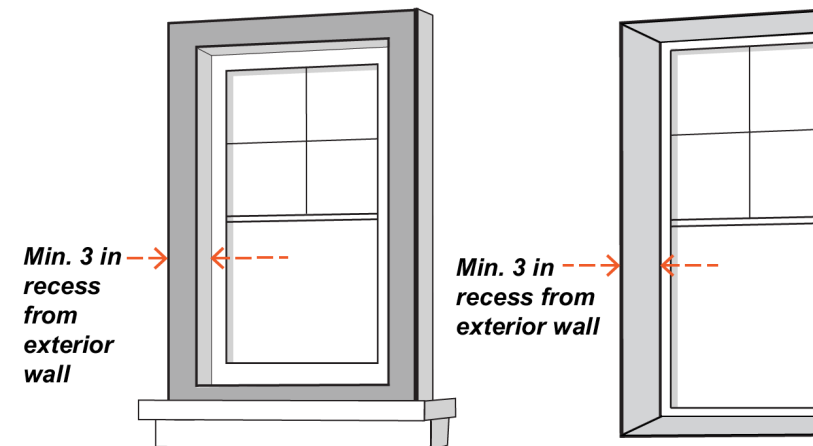
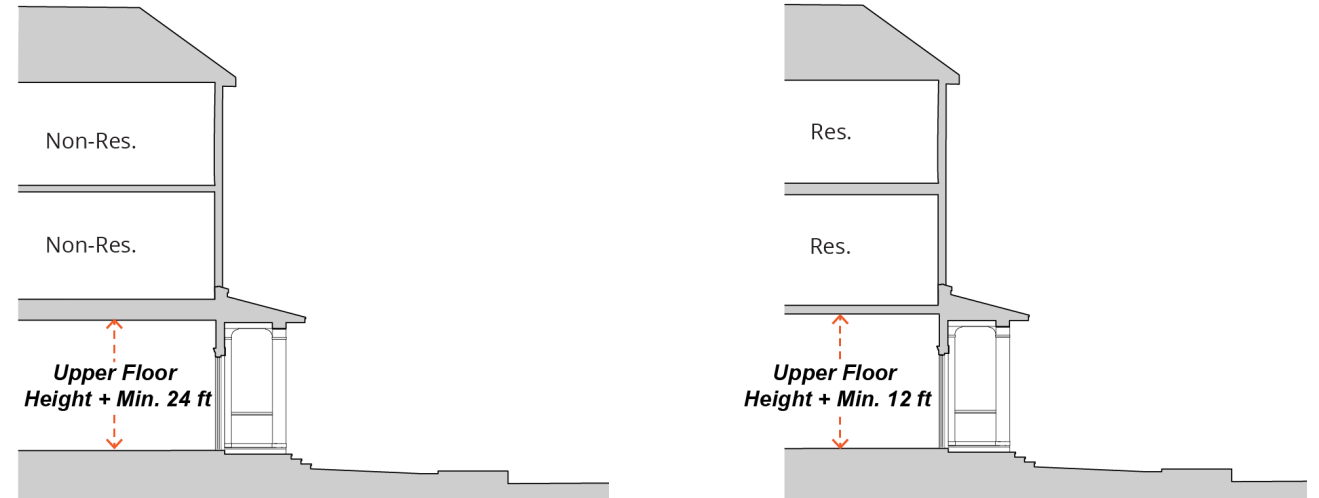
R3-1 District: Photo Simulation



5 ft 4th story step-back
required above max. 3
stories/35 ft base height for
facades 50 ft or greater in
width

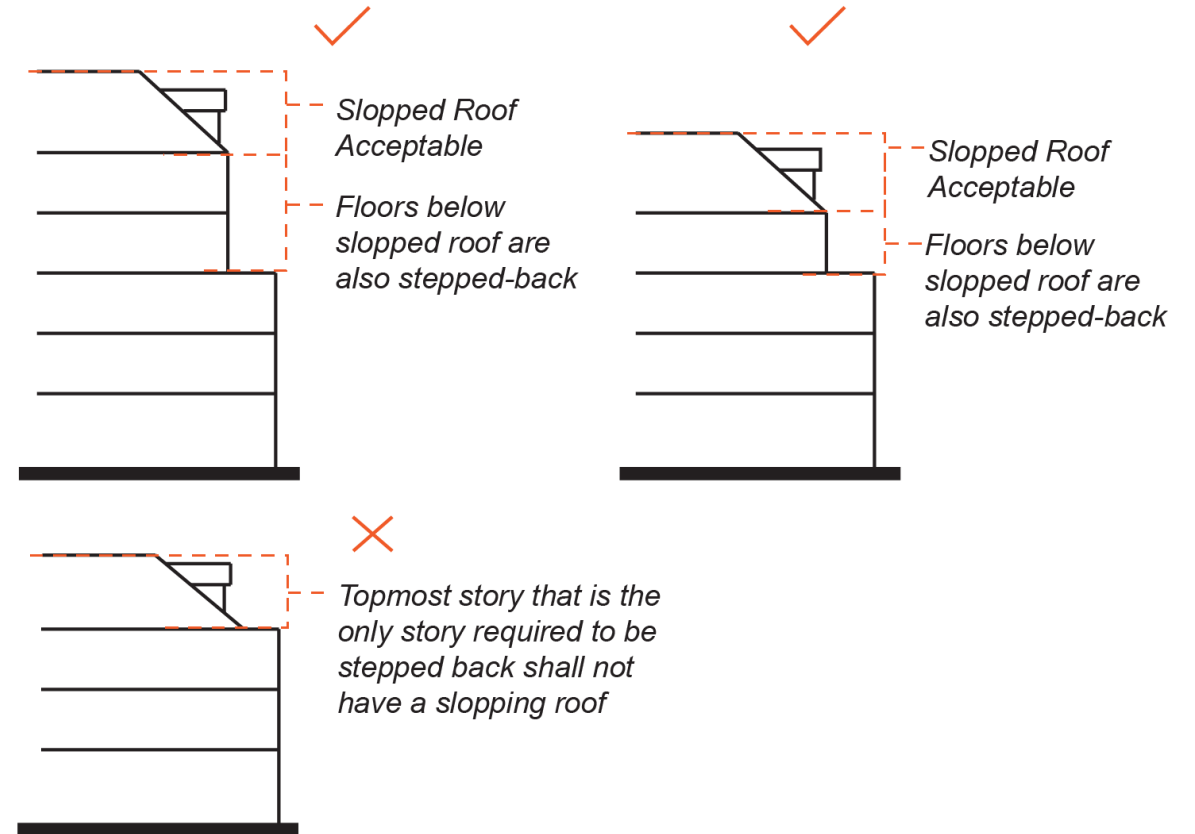
Recommendations: Most or All Zones

Design Element	Typical Standards
Floor-to-Ceiling Heights	<p>Where upper floors are nonresidential: Min. 24 inches taller than typ. upper floor floor-to-ceiling height.</p> <p>Where upper floors are residential: Min. 12 inches taller than typ. upper floor floor-to-ceiling height.</p>
Window Design	<p>All windows must be recessed a minimum of 3 inches from the outer wall surface for all Commercial and Multi-Family zones except the CT zone.</p> <p>Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.</p>



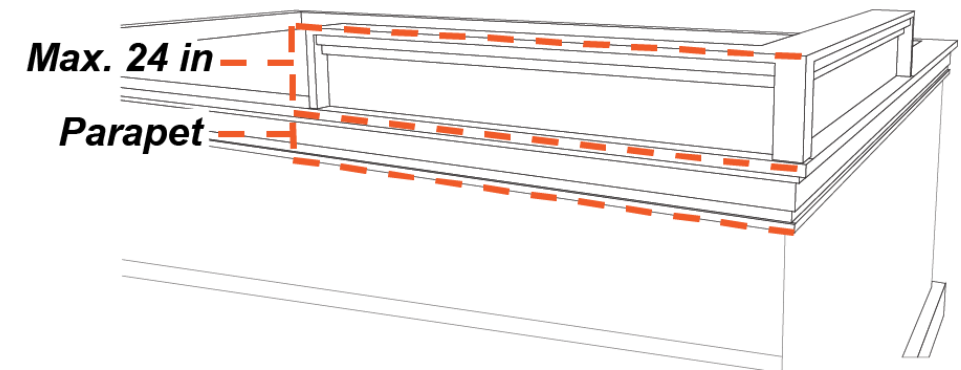
Recommendations: Most or All Zones

Design Element	Typical Standards
Habitable Outdoor Space	<p>Private habitable outdoor space supported by the building structure, such as balconies or terraces shall be either uncovered or sheltered. The following patterns are strongly recommended:</p> <ul style="list-style-type: none"> • Pergola • Trabeation • Articulation • Rectilinear • Fabric Shading
Embed top floor in a sloped roof form	<p>When more than one story is stepped-back from a ground floor street-facing facade, the top floor must, and other floors may, be embedded in a sloped roof form.</p>
Façade Composition	<p>Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.</p>



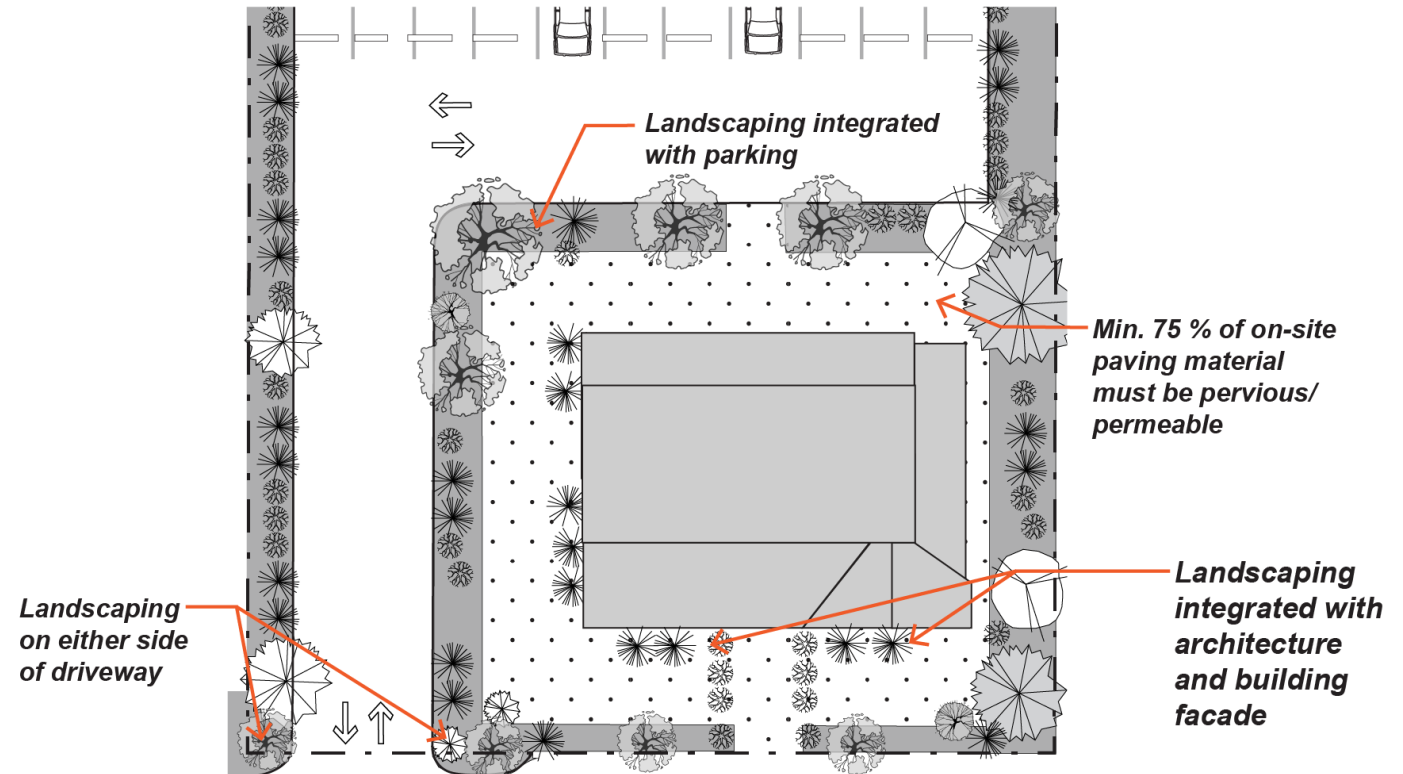
Recommendations: Most or All Zones

Design Element	Typical Standards
Materials palette	<p>Primary cladding materials allowed in some or all zones: Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed), Wood or cement fiberboard siding (lap, vertical, panelized, or shingle), Stone, Brick, Tile, Concrete (board-form only)</p> <p>Secondary cladding materials allowed in some or all zones: Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed), Wood or cement fiberboard siding (lap, vertical, panelized, or shingle), Stone (building base only), Brick (building base only), Tile, Ribbed metal, Cor-ten Steel, Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone), Concrete (building base only, board-form only, cast concrete not permitted)</p>
Corner treatment	Chamfered corners must provide a building entrance; Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wall planes by more than 24 inches.
Continuity of materials	Where a change in material is desired, all façade materials shall turn the corner and terminate into a vertical element of the façade composition.



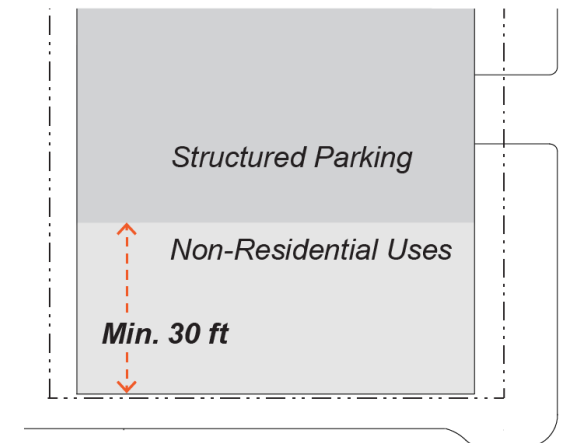
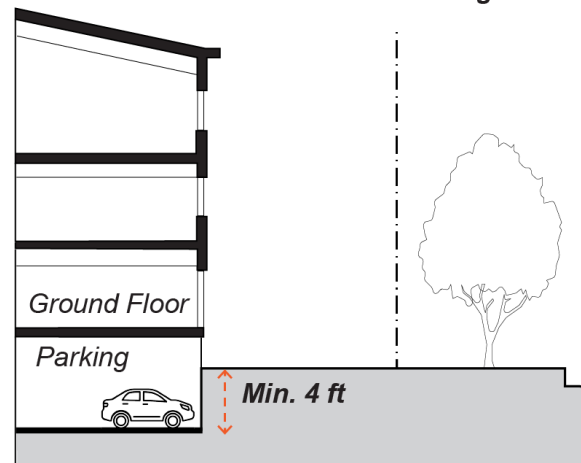
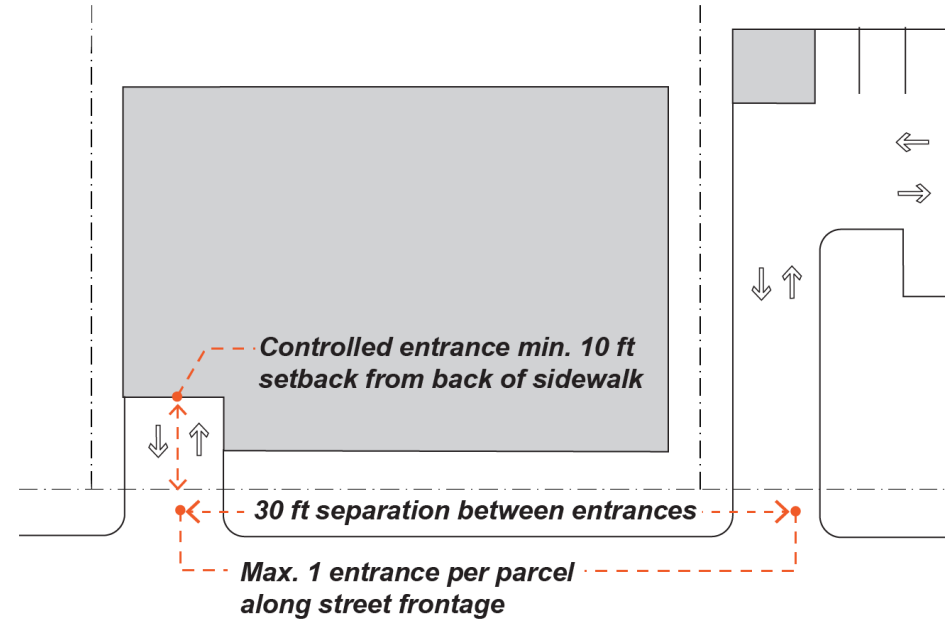
Recommendations: Most or All Zones

Design Element	Typical Standards
Landscape	<ul style="list-style-type: none"> • Landscaping required on either side of a driveway at grade or in raised planters. • Landscape elements shall be integrated with the building architecture, parking, and streetscape. • Landscape plans shall incorporate: Planters for flowers and shrubs within street frontage; landscape buffers between parking spaces and building facades; landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks; publicly visible and accessible pedestrian amenity in C zones
Paving	A minimum 75 percent of on-site paving material must be pervious/permeable.
Screening	Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.



Recommendations: Most or All Zones

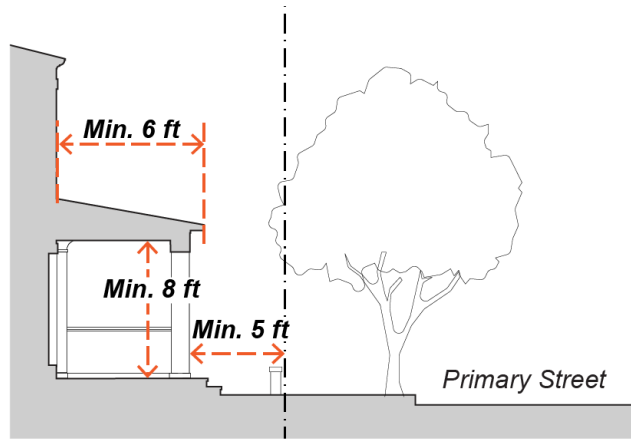
Design Element	Typical Standards
<p>Parking design</p>	<p>Where structured parking is provided, the parking area must be either:</p> <ul style="list-style-type: none"> • "Lined" with uses at least 30 feet deep as measured from the front façade; or • Designed such that the floor elevation is a minimum 4 vertical feet below the elevation of the adjacent sidewalk. <p>Entrances to Parking Facilities:</p> <ul style="list-style-type: none"> • Max 2 curb cuts for 1-way traffic and 1 curb cut for 2-way traffic per street frontage per lot • Controlled entrances shall be a min. 10 feet from the back of sidewalk. • Entrances shall be separated by a minimum of 30 to 40 feet, depending on zone • Where possible, curb cuts serving adjacent parking areas shall be shared.



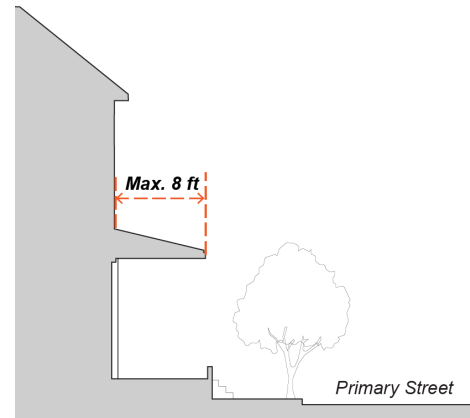
Recommendations: Most or All Zones

Design Element	Typical Standards
Architectural Integrity	<ul style="list-style-type: none">• Each building shall be designed as a unified whole.<ul style="list-style-type: none">a. Architectural style and material palette must be consistent across all floors within a building mass/bay. Style and material palette may not change from one floor to the next; however, material used for water table or podium need not be repeated.b. Piers, columns, and other supporting elements articulated on the ground floor facade must relate to composition of upper floors as regards supporting elements and placement of windows or any opening.• Where a building exhibits a particular style, the following building elements should be reflective of that style to create a design that is internally consistent: materials, entry design, window design, roof design, and color.• Where a building in the CRS or CD/R3 zone is designed to appear as separate buildings to reflect the underlying 25-foot lot line module, each portion that appears as a separate building shall exhibit architectural integrity.

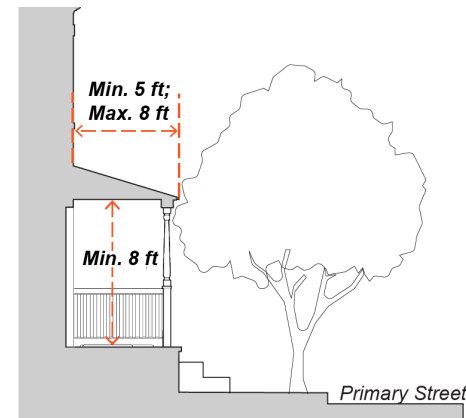
New Section 14.66.275: Entrance Type Standards



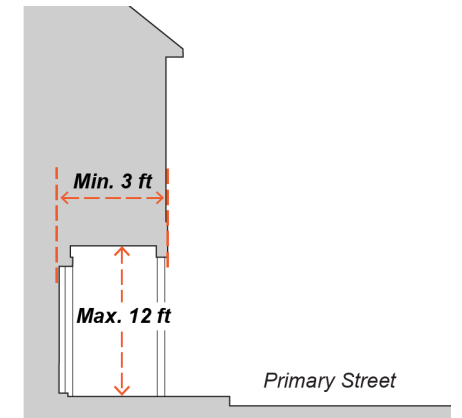
Porch



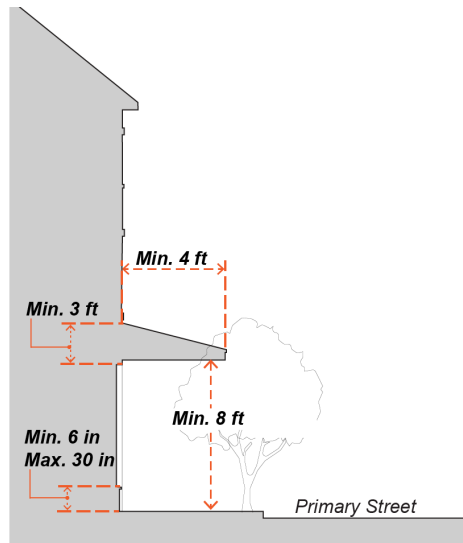
Terrace



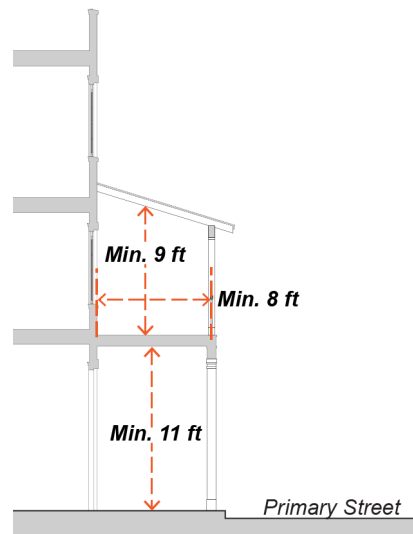
Stoop



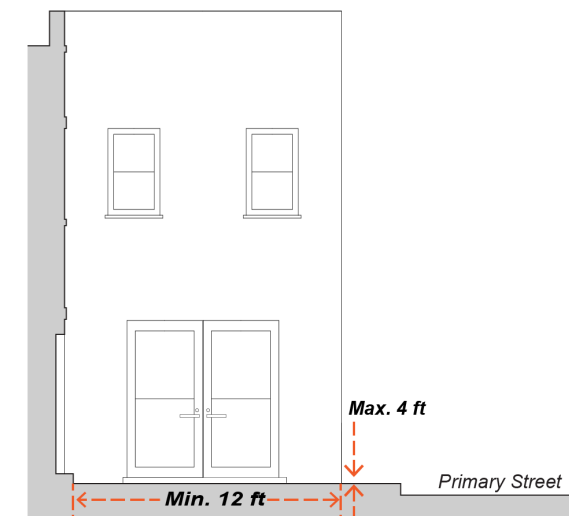
Arcade



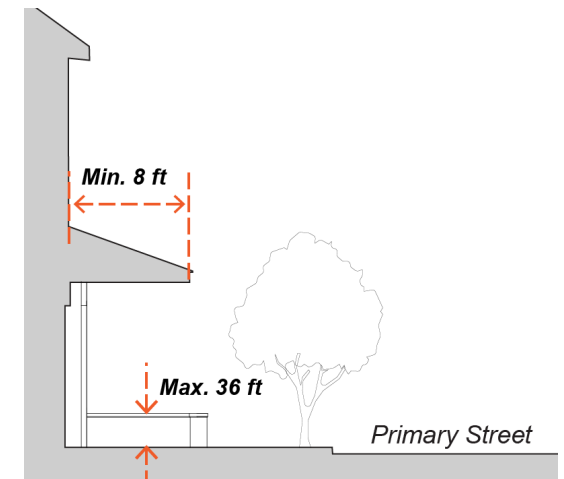
Shopfront



Gallery



Forecourt



Dooryard



Thank you!

Additional slides for reference

What is the State Density Bonus Law?

- A State mandate - CA Government Code Section 65915-65918.
- A way for developers to obtain more favorable development requirements in exchange for building or donating land for affordable or senior units.
- Allows up to 35% increase in project density (80% increase in density for projects that are completely affordable).
- Requires local jurisdiction to provide “incentives or “concessions.” Concessions are defined as:
 - Modification of site development standards
 - Approval of mixed-use zoning
 - Other regulatory incentives that result in cost reductions.
- Number of required incentives is based on the percentage of affordable units.

DB in Zones with No Specified Density Limit

The Los Altos Code specifies no maximum residential density limit for zones CN, CD, CD/R3, CRS, and CRS/OAD.

This is not uncommon. In dense, mixed-use, and downtown areas, development is often regulated through controls on physical form (setback, height, architectural standards, etc.). However, this poses a challenge when to interpreting and implementing the State Density Bonus Law.

Three approaches include:

- 1. Density Bonuses Implicitly Defined**
- 2. Expand Density Bonus to Development Standards**
- 3. Density Bonuses through Concessions and Waivers**

General Plan Policies

Land Use Balance and Compatibility

Policy 1.1: Maintain flexibility of standards and procedures to accommodate changing trends in retail, housing, and office uses.

Policy 2.2: Encourage a variety of residential housing opportunities by allowing residential uses with adequate parking in appropriate commercial areas, including sections of the Downtown area, Foothill Plaza and along El Camino Real.

Downtown

Policy 3.1: Encourage residential development above the ground floor that includes affordable housing units.

Policy 3.2: Consider zoning code incentives to encourage mixed-use development.

General Plan Policies

El Camino Real Corridor

Policy 4.1: Discourage projects which are exclusively office use.

Policy 4.2: Encourage mixed-use projects with retail, housing, and/or lodging in addition to retail and office uses.

Policy 4.4: Encourage the development of affordable housing.

Policy 4.5: Consider amending the zoning code to allow a third story for projects that include a residential component.

Foothill Plaza

Policy 5.1: Consider amending the zoning code to allow increased development density and intensity for the provision of mixed use and affordable housing.

Policy 5.2: Consider amending the zoning code to allow development of three-story buildings to encourage construction of below market rate housing units.