

GENERAL NOTES

1. DIMENSIONS ON DRAWINGS: DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS. IF CONFLICTS EXIST NOTIFY THE DESIGNER/ENGINEER BEFORE PROCEEDING WITH THE WORK. DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

2. CONFLICTS IN DOCUMENTS: NOTIFY DESIGNER IMMEDIATELY FOR CLARIFICATION SHOULD ANY CONFLICT IN INFORMATION FOUND IN THE DOCUMENTATION BE DISCOVERED.

3. CUTTING AND PATCHING: WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISH PAINTING OF AREA DISRUPTED.

4. AGENCY, INSPECTIONS, AND UTILITY COORDINATION: THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED CITY AGENCY INSPECTIONS. IN ADDITION, THE CONTRACTOR IS TO COORDINATE WORK WITH ALL UTILITY COMPANIES (GAS, ELECTRICITY, WATER, PHONES, ETC.) SUCH THAT SERVICE TO THE SITE IS EITHER MAINTAINED OR PROVIDED IN A TIMELY MANNER TO THE COMPLETION OF THE WORK. COORDINATE NEW SERVICE LOCATIONS AND CONFIGURATIONS WITH THE APPROPRIATE PROVIDER, THE OWNER, DESIGNER AND THE ENGINEER.

5. SPECIAL INSPECTIONS AND TESTING: IF REQUIRED BY THE GOVERNING AGENCIES, THE OWNER IS TO PROVIDE REQUIRED SPECIAL INSPECTIONS AND TESTING VIA EITHER THE STRUCTURAL ENGINEER OR A LICENSED THIRD-PARTY TESTING AGENCY. THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK AND GIVE THE DESIGNER, STRUCTURAL ENGINEER AND OWNER A MINIMUM FIVE DAY NOTIFICATION ONCE THE WORK IS READY FOR INSPECTION. KEEP ALL REPORTS FOR SUBMITTAL TO AUTHORITIES AT FINAL INSPECTION.

6. SITE UTILITIES: THE CONTRACTOR IS TO CAREFULLY REVIEW ANY EXISTING UTILITIES AND IDENTIFY THOSE THAT REQUIRE RELOCATION WITH REGARD TO THE PROPOSED SCOPE OF WORK. CONTRACTOR IS TO IDENTIFY WHETHER UPGRADES ARE REQUIRED TO MEET THE THE REQUIREMENTS OF THE CODE. VERIFY THE EXISTING ELECTRICAL SERVICE, MAIN PANEL AND SUB-PANELS, WATER AND HVAC ARE ADEQUATE FOR THE PROPOSED SCOPE OF WORK.

7. PROTECTION OF PROPERTY: PROTECT THE ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE. DO NOT TRESPASS ON NEIGHBORING PROPERTY. IF REQUIRED, SUBMIT WRITTEN REQUEST TO NEIGHBOR(S) WITH COPY TO OWNER AND DESIGNER AT LEAST 10 DAYS PRIOR TO NEEDED DATE OF TRESPASS. IF ANY DAMAGE OR DISTURBANCE OCCURS TO NEIGHBORING PROPERTIES, RESTORE TO PREVIOUS EXISTING CONDITION AT NO ADDITIONAL COST TO OWNER.

8. OWNER'S PROPERTY: IF OWNER'S FURNISHINGS, DECORATIONS OR OTHER PERSONAL PROPERTY ARE IN THE WAY OF THE NEW WORK, COORDINATE WITH THE OWNER FOR THEIR SAFE PROTECTION, RELOCATION, OR REMOVAL FROM THE JOBSITE PRIOR TO THE START OF THE WORK.

9. TEMPORARY BARRIERS: PROVIDE TEMPORARY BARRIERS TO PROTECT BOTH EXISTING AREAS AND NEW WORK COMPLETED FROM DISTURBANCE, DUST, DIRT, DEBRIS OR OTHER DAMAGE. IF ANY DISTURBANCE OR DAMAGE OCCURS, RESTORE TO PREVIOUS CONDITION AT NO COST TO THE OWNER.

10. DEBRIS REMOVAL: MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS AND RUBBISH CAUSED BY OPERATIONS. LEAVE THE JOBSITE CLEAN AND SECURE AT THE END OF EACH WORKING DAY.

11. FINAL CLEANING: THE WORK INCLUDES FINAL CLEANING AT THE SITE INCLUDING THE BUILDING INTERIOR, EXTERIOR AND SITE. WIPE DOWN AND DUST ALL SURFACES, VACUUM OR MOP ALL FLOORS, WASH AND POLISH GLASS, REMOVE ANY AND ALL PAINT SPOTS ON EXPOSED SURFACES AND REMOVE ALL DEBRIS AND TRASH.

12. WARRANTIES: ALL WORK PERFORMED IS TO BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, EXCEPT WHERE LONGER PERIODS ARE GIVEN BY PRODUCT MANUFACTURERS OR ELSEWHERE IN THE CONSTRUCTION DOCUMENTS. NEATLY ARRANGE ALL PRODUCT WARRANTIES, USER MANUALS AND OTHER PERTINENT MATERIALS AND PROVIDE THEM TO THE OWNER AT FINAL COMPLETION OF WORK.

13. DOORS AND WINDOWS: THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING DOOR AND WINDOW COORDINATION:

A.) REVIEW ALL ROUGH OPENING SIZES AND LOCATIONS WITH DESIGNER AND WINDOW SUPPLIER AT SITE PRIOR TO THE COMMENCEMENT OF WORK ON BOTH THE FOUNDATIONS AND THE ROUGH FRAMING. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES BETWEEN OPENINGS SHOWN ON THE DESIGNER DRAWINGS AND THOSE AT THE FOUNDATIONS AND FRAMING AS DESCRIBED IN THE STRUCTURAL DRAWINGS.

B.) AT COMPLETION OF ROUGH FRAMING, REVIEW OPENINGS WITH DESIGNER AND WINDOW SUPPLIER. SUBMIT COPY OF WINDOW ORDER TO DESIGNER FOR REVIEW PRIOR TO PROCEEDING WITH ORDER.

C.) VERIFY WITH SUPPLIER THAT WINDOWS TO BE USED FOR EGRESS PURPOSES MEET THE MINIMUM REQUIREMENTS SET FORTH IN THE BUILDING CODE. PROVIDE FIRE RATINGS AND TEMPERED GLAZING AS REQUIRED BY THE DRAWINGS OR AS SET FORTH IN THE BUILDING CODE.

D.) COORDINATE INSTALLATION OF ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES TO INSURE A WEATHER-TIGHT CONDITION.

14. MECHANICAL: THE CONTRACTOR IS TO PROVIDE DESIGN-BUILD SERVICES FOR THE PLUMBING AND MECHANICAL SCOPE OUTLINED IN THE DRAWINGS. COMPLY WITH ALL APPLICABLE CODES AND TITLE 24 ENERGY COMPLIANCE. SECURE AND PAY FOR ALL REQUIRED PERMITS. REVIEW DRAWINGS AND COORDINATE PATHWAYS SUCH THAT THEY ARE HIDDEN FROM VIEW. IF PATHWAYS CANNOT BE CONCEALED WITHIN THE WALLS, SOFFITS AND CEILING PROFILES AS SHOWN ON THE DRAWINGS, COORDINATE ALTERNATE LOCATIONS WITH DESIGNER ON SITE PRIOR TO PROCEEDING WITH THE WORK.

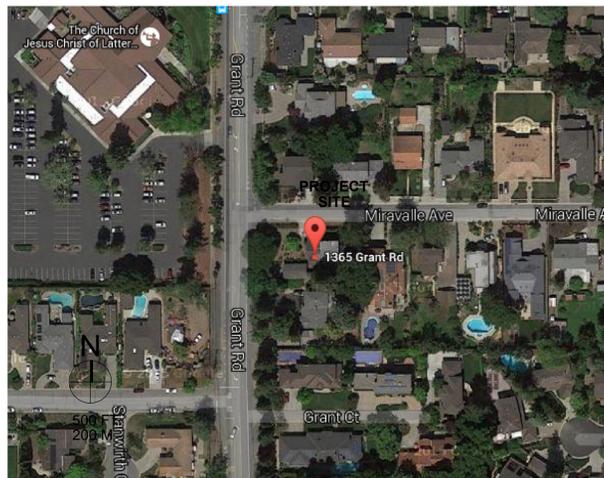
REOUK RESIDENCE EXTERIOR REMODEL

1365 GRANT RD. LOS ALTOS CA 94024 BUILDING PERMIT APPLICATION 11-16-15

SITE MAP



VICINITY MAP



ABBREVIATIONS

Table of abbreviations for electrical, mechanical, plumbing, and structural symbols used in the drawings.

DRAWING LEGEND

Table of drawing legend symbols for wall types, door types, window types, finish types, elevation datums, revisions, and column gridlines.

WALL LEGEND

Table of wall legend symbols for existing walls to remain, existing walls to be demolished, new non-rated walls, new 1-hour fire rated walls, and shear wall locations.

PROJECT DATA

1. PROJECT NAME: DANIL REOUK RESIDENCE
PROJECT DESCRIPTION: EXTERIOR REMODEL TO (E) 2 STORY SINGLE FAMILY RESIDENCE. THE WORKS INCLUDES OUTDOOR PATIO EXTENSION, REPLACEMENT OF FEW (E) 2ND FLOOR WINDOWS AT ELEVATIONS THAT DO NOT FRONT ON STREETS. REMOVAL OF (E) CHIMNEY, INSTALLATION OF (N) AIR CONDITIONING UNIT (N) MECHANICAL, (N) ELECTRICAL AND (N) PLUMBING.

3. PROJECT ADDRESS
1365 GRANT ROAD
LOS ALTOS CA 94024

4. APN: 197-19-104
5. ZONING: R1, RESIDENTIAL SINGLE FAMILY
6. OCCUPANCY: R-3
7. HISTORICAL DESIGNATION: YES
8. HOUSE BUILT : 1914
9. CONSTRUCTION CLASSIFICATION: VB
10. GOVERNING CODES: ALL WORK SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING:

2013 CALIFORNIA HISTORICAL BUILDING CODE (CHBC)
2012 INTERNATIONAL EXISTING BUILDING CODE (I.B.C) AS AMMENDED BY THE 2013 CALIFORNIA BUILDING CODE (C.B.C.)
2012 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) AS AMMENDED BY 2013 CALIFORNIA RESIDENTIAL CODE (I.R.C.)
2012 UNIFORM MECHANICAL CODE (U.M.C.) AS AMMENDED BY 2013 CALIFORNIA MECHANICAL CODE (C.M.C.)
2012 UNIFORM PLUMBING CODE (C.P.C.) AS AMMENDED BY 2013 CALIFORNIA PLUMBING CODE (C.P.C.)
2011 NATIONAL ELECTRIC CODE (N.E.C.) AS AMMENDED BY 2013 CALIFORNIA ELECTRICAL CODE (G.E.C.)
2013 CALIFORNIA ENERGY CODE (E.E.C.)
2013 NATIONAL ENERGY CODE (N.E.C.)
2013 BUILDING ENERGY EFFICIENCY STANDARDS
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (C.G.B.S.C.)

11. FLOOR AREA CALCULATIONS:

Table comparing existing and proposed floor area calculations for the main house and 2-car garage/in law unit.

NOTE: NO NEW AREA IS PROPOSED

PROJECT DIRECTORY

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DESIGNER/DRAFTER
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DRAWING INDEX

Table of drawing index listing project drawings from A-0.0 to A-3.1, including project information, site plan, floor plans, and specifications.

REVISION table with columns for revision number, description, and date.

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Register Engineer: JOHN LANGELOH, PE
Historic Preservation Architect: JILL JOHNSON
Designer/Drafter: RANEL CORTEZ

Project Information, General Notes Index, Legend & Vicinity Map

Reouk Residence
1365 Grant Rd. Los Altos CA 94024
APN: 197-19-104

Table with DATE (11.16.2015), SCALE (As shown), and SHEET information.

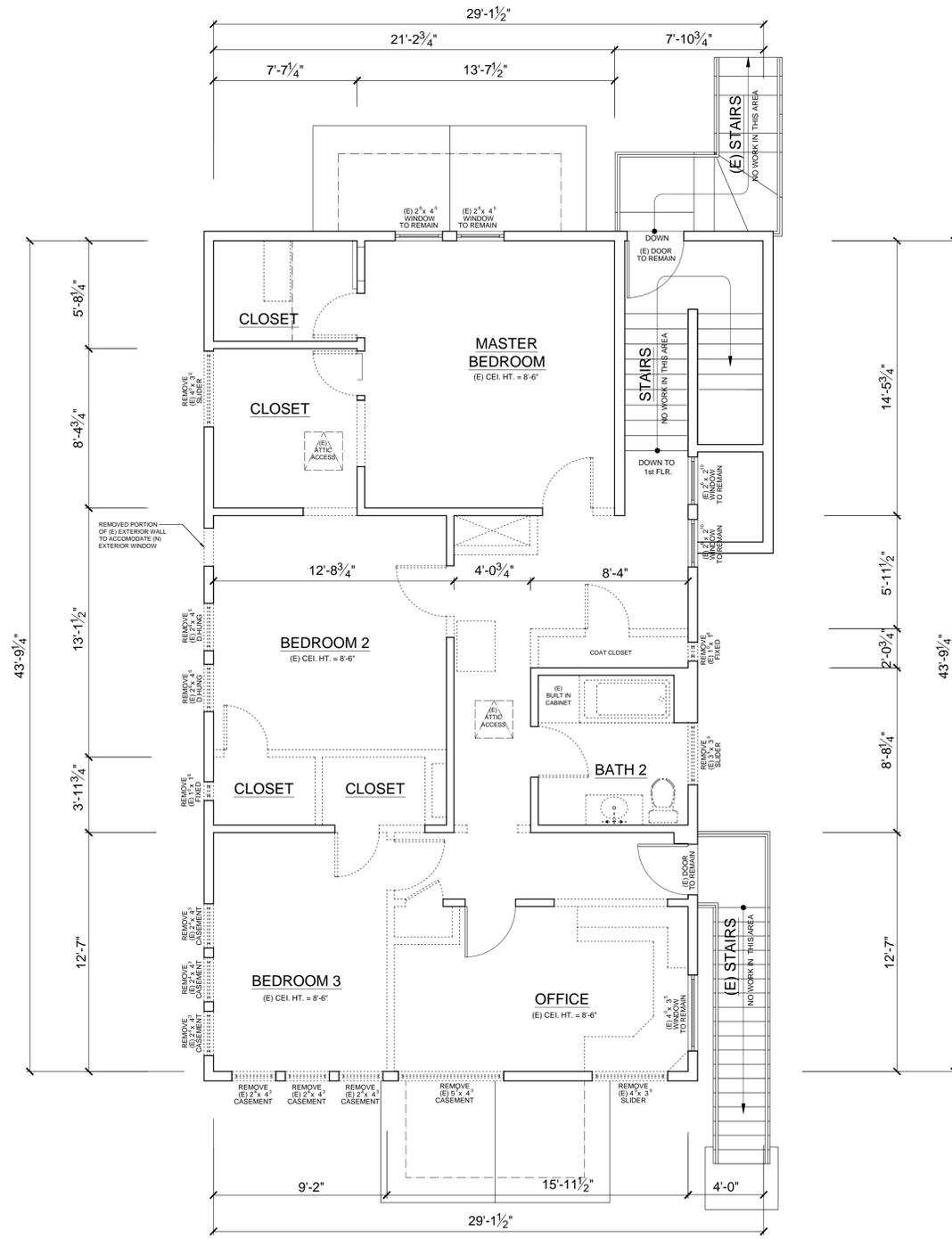
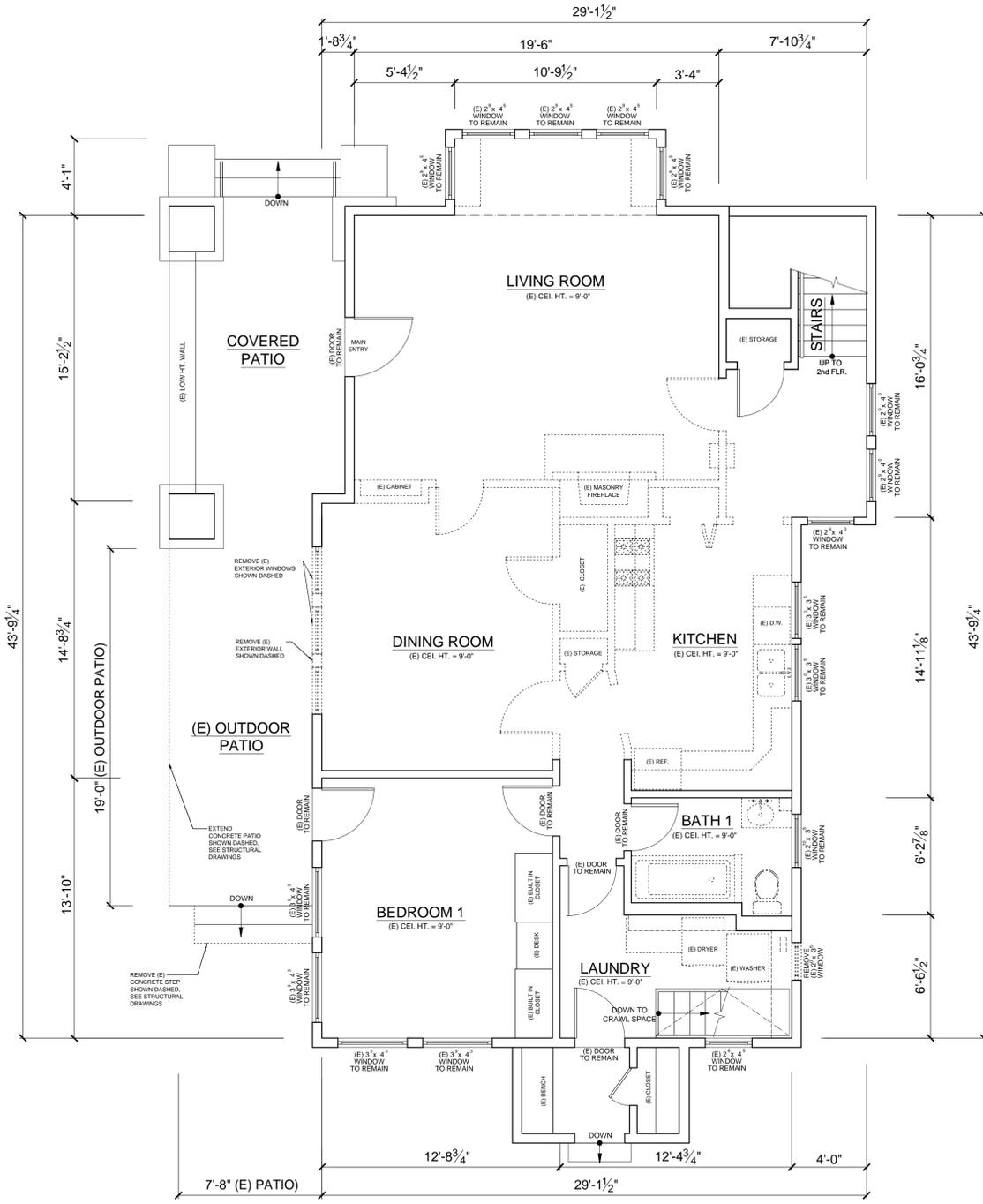
A-0.0

GENERAL PLAN NOTES:

- REFER TO PROJECT DATA ON SHEET A-0.0 FOR APPLICABLE CODES WHICH APPLY TO CONSTRUCTION OF THIS PROJECT. SEE GENERAL NOTES ON SHEET A-0.1 FOR MINIMUM REQUIREMENTS OF GENERAL CONTRACTORS IN THE EXECUTION OF THIS PROJECT.
- TOILETS TO BE INSTALLED CENTERED WITHIN A CLEAR SPACE 2'-6" MIN. NO ADJACENT WALL OR VERTICAL SURFACE MAY BE LESS THAN 1'-3" FROM CENTER OF TOILET.
- TOILET, LAUNDRY, KITCHEN AND BATHROOM EXHAUST FANS, WHEN PROVIDED SHALL HAVE EXTERIOR TERMINATION WITH BACKDRAFT DAMPER A MIN. 3'-0" FROM PROPERTY LINE AND ALL BUILDING OPENINGS PER CMC 504.5. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
- ALL (N) TOILETS SHALL BE MAX. 1.28 GPF. (N) SHOWER HEADS SHALL HAVE A FLOW OF 2.5 GPM AND (N) FAUCETS SHALL HAVE A FLOW OF 2.2 GPM PER 2013 CPC SECTION 402.
- BUILT-IN SHOWERS TO BE PROVIDED WITH CODE APPROVED SHOWER PAN WATERPROOFING SYSTEM W/ FLOOR DRAIN LOCATED 2" MIN. BELOW FIN. THRESHOLD AT SHOWER ENTRY. MIN. FLOOR SPACE AREA INSIDE SHOWER TO BE 1,029 SQ. IN. IN THE EXECUTION OF THIS PROJECT.
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- PROVIDE TEMPERED GLASS SHOWER ENCLOSURE WITH STAINLESS STEEL CLIPS. GLAZING SHALL MEET REQUIREMENTS OF CBC CHAPTER 24. IDENTIFICATION PER 2403.1 & 2406.3 HAZARDOUS LOCATIONS.
- ALL PLUMBING FIXTURES SHALL COMPLY WITH 2013 CALIFORNIA PLUMBING CODE.
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- BEDROOMS TO BE PROVIDED WITH AT LEAST ONE WINDOW MEETING EMERGENCY ESCAPE & RESCUE REQUIREMENTS 2013 CBC SECTION 1026. MIN. NET CLEAR OPENING TO BE 5.7 S.F., MIN. NET CLR. HT. TO BE 24". MIN. NET CLR. WIDTH TO BE 20". MAXIMUM HT. ABOVE FLOOR TO BE 44".
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- INSTALL R-13 BATT INSULATION IN ALL (N) 2x4 INTERIOR WALLS SEPARATING CONDITIONED AND UNCONDITIONED SPACE.
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LEGEND:

-  EXISTING WALLS TO REMAIN
-  EXISTING BRICK FOUNDATION TO REMAIN
-  EXISTING WALLS TO DEMOLISH
-  NEW WALLS
- (E) DENOTES EXISTING
- (N) DENOTES NEW



REVISION	

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Designer/Drafter:
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Phone: 510-352-4102

Existing/Demo - Lower Floor Plan &
Existing/Demo - Upper Floor Plan

Reouk Residence

1365 Grant Rd. Los Altos CA 94024
APN: 197-19-104

DATE
11.16.2015

SCALE
1/4" = 1'-0"

SHEET

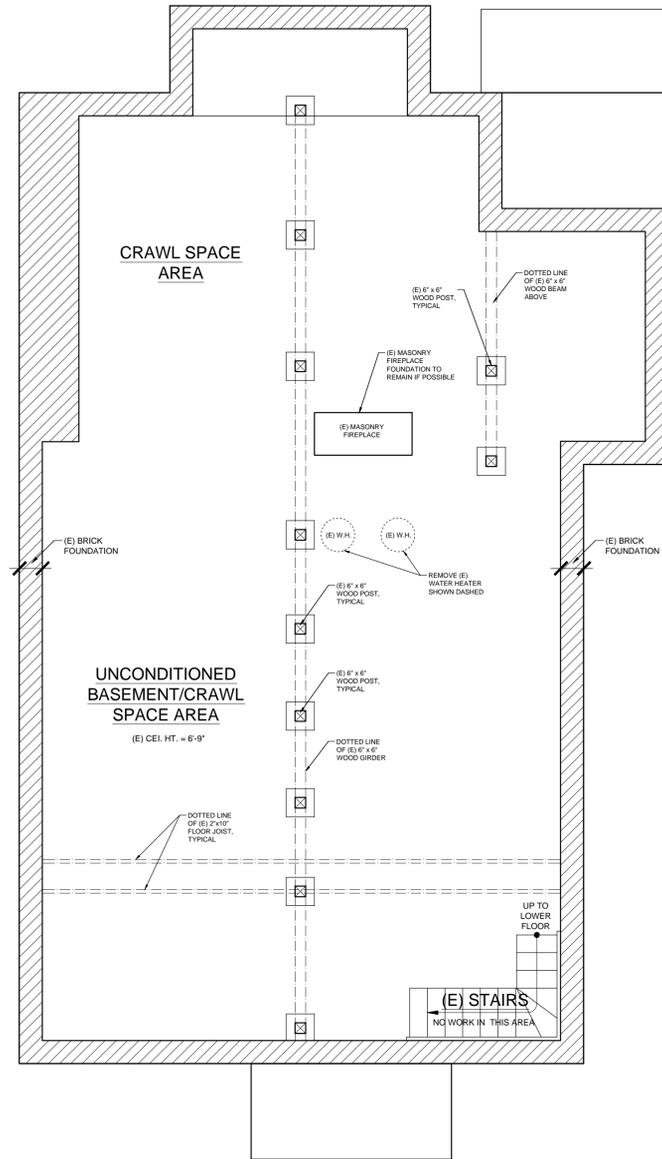
A-1.1

GENERAL PLAN NOTES:

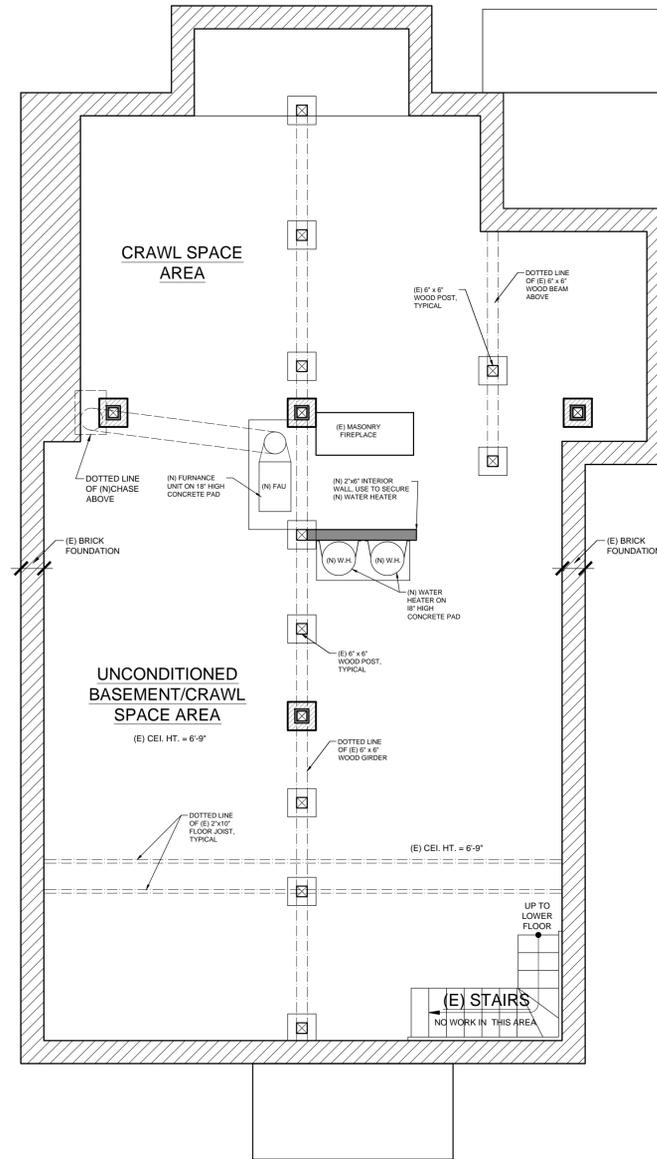
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-  EXISTING WALLS TO DEMOLISH
-  NEW WALLS
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- (N) DENOTES NEW



1 EXISTING/DEMO - BASEMENT/CRAWL SPACE PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED - BASEMENT/CRAWL SPACE PLAN
SCALE: 1/4" = 1'-0"

REVISION	

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Designer/Drafter:
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San Leandro CA 94578
Phone: 510-352-4102

Existing/Demo- Basement/Crawl Space Plan &
Proposed - Basement/Crawl Space Plan

Reouk Residence
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DATE
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SHEET

A-1.2

GENERAL PLAN NOTES:

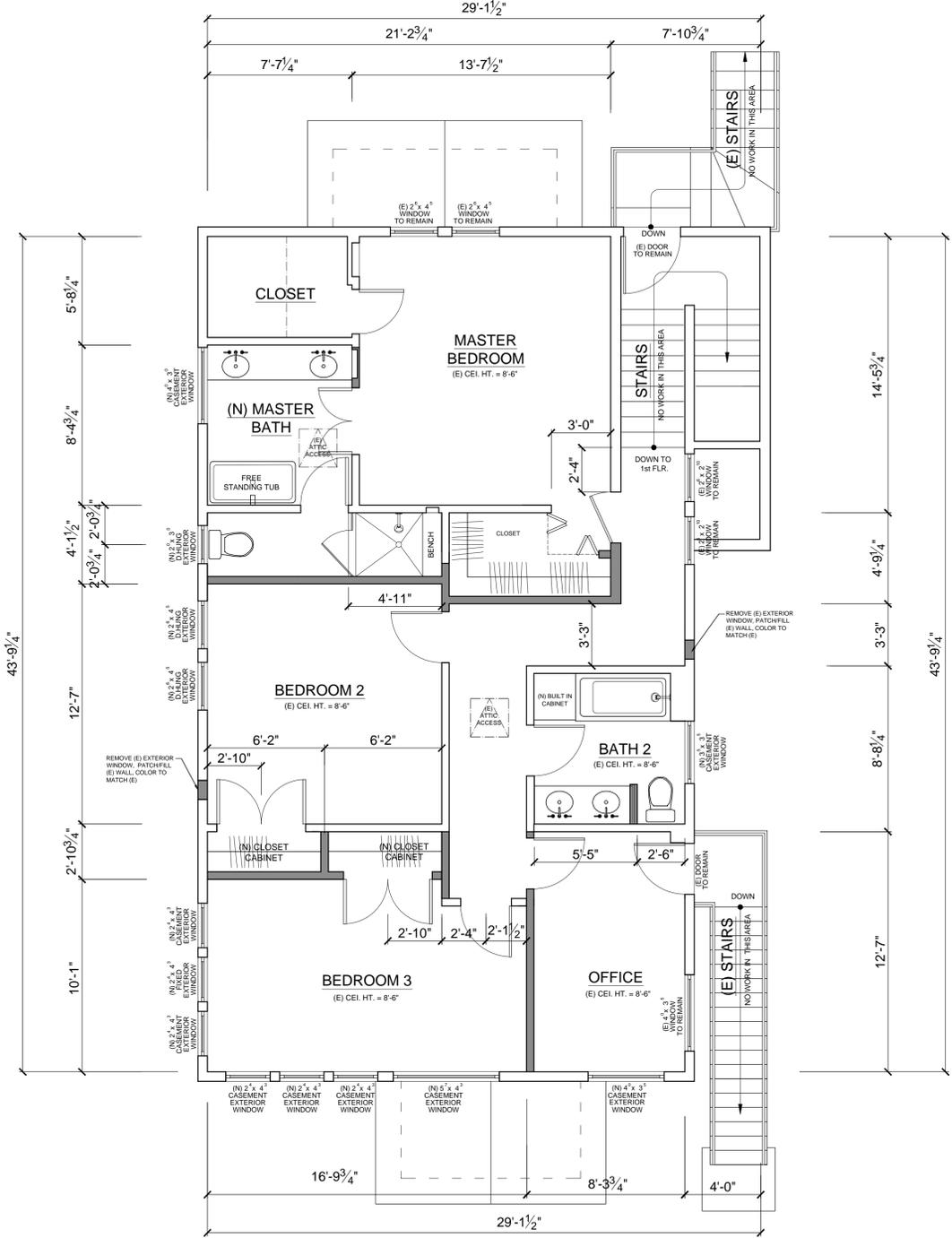
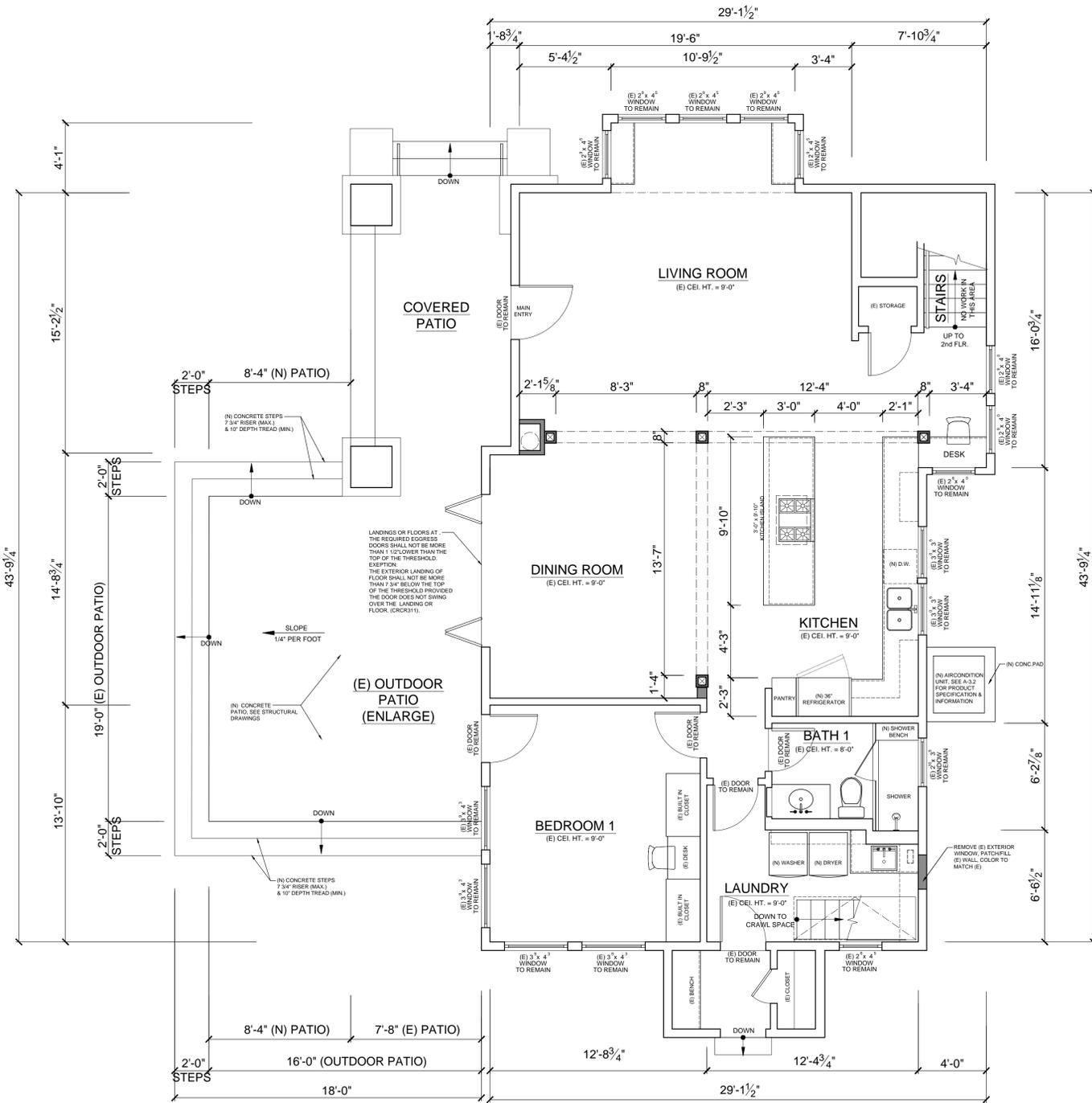
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- BEDROOMS TO BE PROVIDED WITH AT LEAST ONE WINDOW MEETING EMERGENCY ESCAPE & RESCUE REQUIREMENTS 2013 CBC SECTION 1026. MIN. NET CLEAR OPENING TO BE 5.7 S.F., MIN. NET CLR. HT. TO BE 24", MIN. NET CLR. WIDTH TO BE 20". MAXIMUM HT. ABOVE FLOOR TO BE 44".
- (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
- (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B. U MAX=0.40 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
- STAIRS TO BE PROVIDED WITH 1 1/4" MAX. DIA. HANDRAIL, 3'-0" ABOVE TREAD NOSING. MIN. 1 1/2" OUT FROM FACE OF WALL.
- INSTALL R-13 BATT INSULATION IN ALL (N) 2x4 INTERIOR WALLS SEPARATING CONDITIONED AND UNCONDITIONED SPACE.

- INSTALL R-19 BATT INSULATION IN (N) 2X6 EXTERIOR WALLS AND R-13 BATT INSULATION IN (N) 2X4 EXTERIOR WALLS AND LOCATIONS AT (E) EXTERIOR WALLS WHERE THE SHEATING IS TO BE REMOVED AS REQUIRED FOR CONSTRUCTION.
- PROVIDE HIGH & LOW COMBUSTION AIR OPENINGS FROM OUTSIDE WITHIN 12" OF FLOOR AND CEILING AT FURNACE AND WATER HEATER SPACE PER CMC SECTION 702. MIN. DIA. OF 8"
- PROVIDE METAL SEISMIC STRAPS TO WALL AT WATER HEATERS.
- DRYER EXHAUST DUCT TO BE MIN. 4" DIA. AND 14'-0" MAX. LENGTH WITH TWO 90 DEGREE TURNS MAX. PER CMC 504.3.2.
- PROVIDE 100 SQ. IN. NET OPENING IN CLOSET DOOR FOR DRYER MAKE-UP AIR PER CMC SECTION 504.3.2.
- EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF CMC 403.7 TABLE 4-4 AND SOURCE OF MAKE-UP AIR, MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION.

- WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION AND MAKE UP AIR AS NEEDED. DRYER EXHAUST TO MEET REQUIREMENTS OF: CMC 504.3.1 AND 4" Ø DUCT PER CMC 504.3.2 DRYER DUCTS PER CMC 504.3.2.1 AND 504.3.2.2/ TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.
- DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3.
 - GAS VENT TERMINATION PER CMC 802.6.2(1)&(2)
 - GAS VENT TERMINATION CAP PER CMC 802.6.2.5
 - GAS VENT SUPPORT PER MFG AND CMC 802.5.6 & 802.6.5.
- DOMESTIC RANGE AND COOKTOP UNIT INSTALLATION PER MFR'S. INSTRUCTIONS AND VENT SHALL PER CMC 504.2

LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING BRICK FOUNDATION TO REMAIN
- EXISTING WALLS TO DEMOLISH
- NEW WALLS
- (E) DENOTES EXISTING
- (N) DENOTES NEW



REVISION	

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Designer/Drafter:
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Phone: 510-352-4102

Proposed - Lower Floor Plan &
Proposed - Upper Floor Plan

Reouk Residence
1365 Grant Rd. Los Altos CA 94024
APN: 197-19-104

DATE
11.16.2015

SCALE
1/4" = 1'-0"

SHEET

A-1.3

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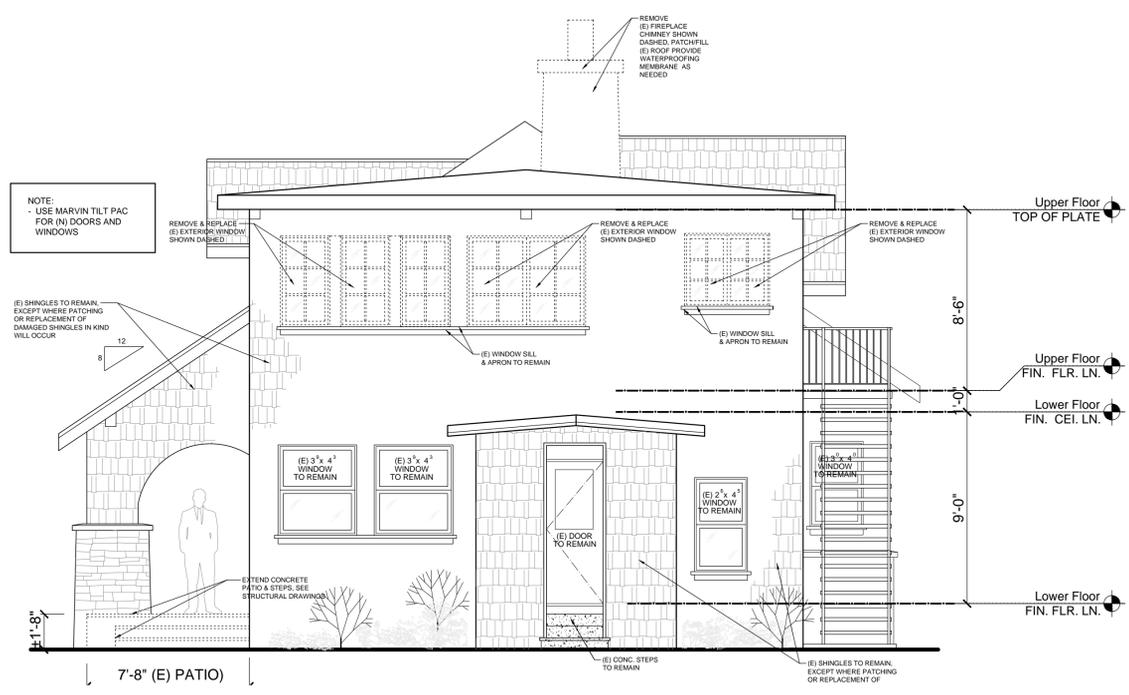
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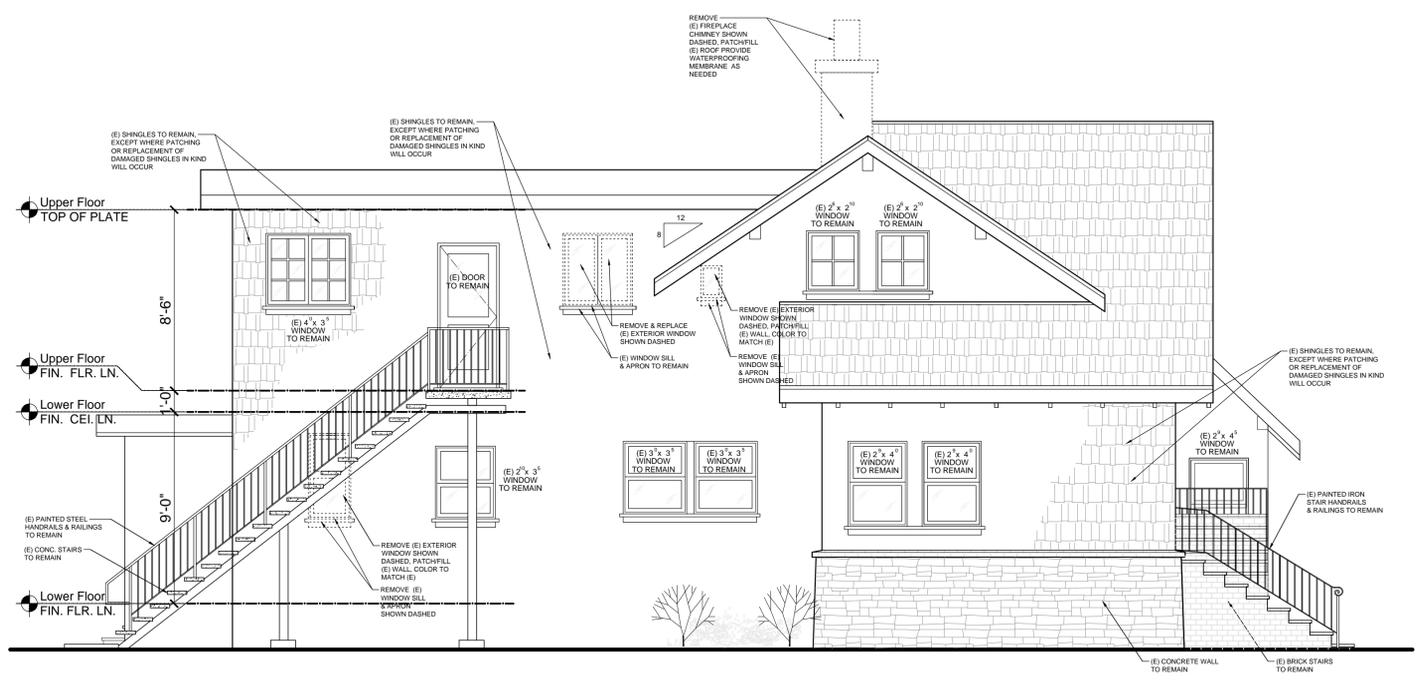
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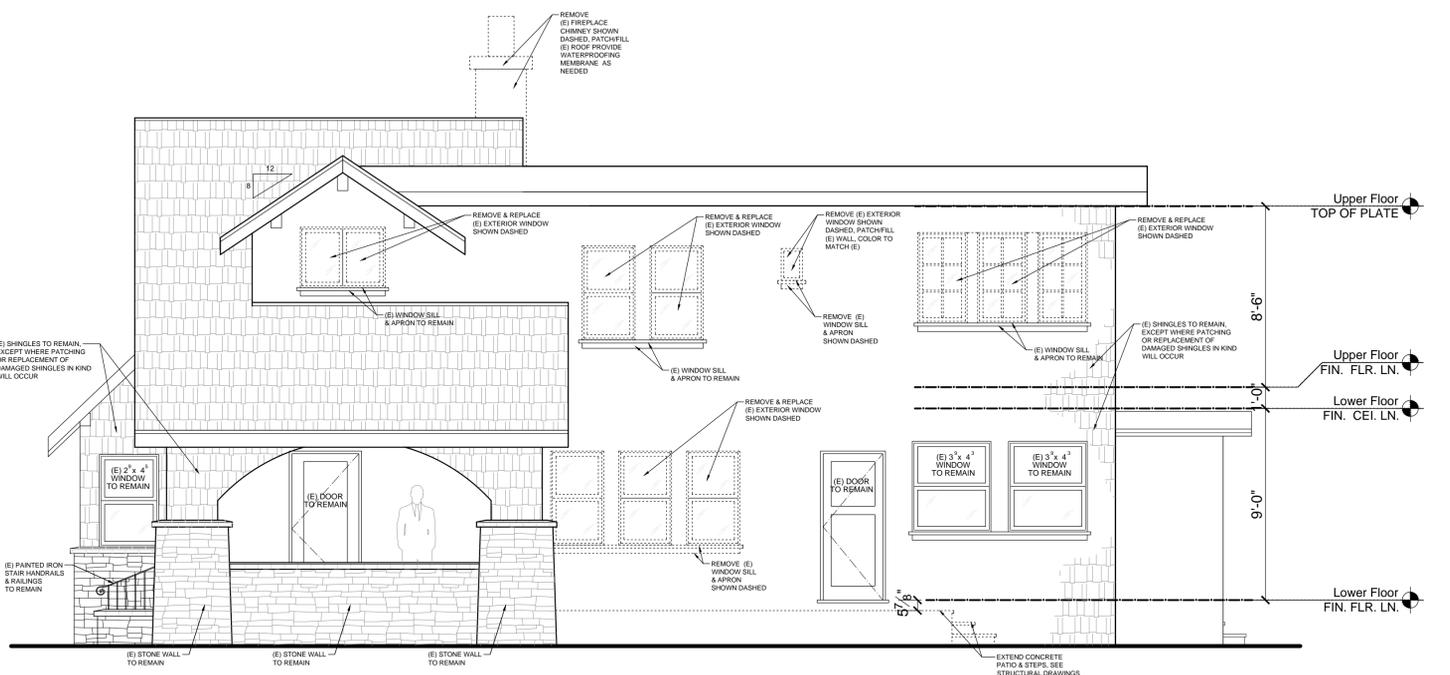
1 EXISTING - REAR (WEST) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING - SIDE (SOUTH) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING - FRONT (EAST) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING - SIDE (NORTH) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING - EXTERIOR ELEVATION

Reouk Residence
1365 Grant Rd. Los Altos CA 94024
APN: 197-19-104

DATE
11.16.2015
SCALE
1/4" = 1'-0"
SHEET

A-2.1

