

UNIVERSITY AVE.

**SITE PLAN**

1" = 20'-0"

	EXISTING	ADDITION / REMOVAL	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE: (land area covered by all structures that are over 6 feet in height)	4,162.73 sq. ft. (16.22%)	0.00 sq. ft.	4,162.73 sq. ft. (16.22%)	7,697.58 sq. ft. (30.00%)
FLOOR AREA	1st Floor: 2,434.72 s.f. 2nd Floor: 1,875.88 s.f. Total: 4,750.60 s.f. (18.51%)	1st Floor: 0.00 s.f. 2nd Floor: 0.00 s.f. Total: 0.00 s.f.	1st Floor: 2,434.72 s.f. 2nd Floor: 1,875.88 s.f. Total: 4,750.60 s.f. (18.51%)	5,315.86 sq. ft. (20.72%)
SETBACKS:				
Front	29'-0"		29'-0"	25'-0"
Rear	16'-0"		16'-0"	25'-0"
Right Side (1st / 2nd)	17'-6" / 15'-6"		17'-6" / 15'-6"	10'-0" / 17'-6"
Left Side (1st / 2nd)	12'-0" / 19'-0"		12'-0" / 19'-0"	10'-0" / 17'-6"
HEIGHT:	35'-8"		35'-8"	27'-0"

LOT CALCULATIONS	
NET LOT AREA:	25,658.60 square feet
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%	215.50 square feet (10.63%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing & proposed): 4,162.73 sq. ft. Existing softscape (undisturbed area): 21,495.87 sq. ft. New softscape area: 0.00 sq. ft.

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: Includes habitable basement areas	4,310.60 sq. ft.	0.00 sq. ft.	4,310.60 sq. ft.
NON-HABITABLE AREA: Does not include covered porches or open structures	440.00 sq. ft.	0.00 sq. ft.	440.00 sq. ft.

**GENERAL NOTES**

- A** VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
- B** DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
- C** DISCREPANCIES MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
- D** CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

**SITE PLAN NOTES**

- 1** DRIVEWAY EXISTING TO REMAIN
- 2** FLATWORK EXISTING TO REMAIN
- 3** GRADING EXISTING TO REMAIN
- 4** DRAINAGE EXISTING TO REMAIN
- 5** STORM DRAINAGE EXISTING TO REMAIN
- 6** SEWER LATERAL EXISTING TO REMAIN
- 7** GAS & ELEC SERVICE EXISTING TO REMAIN
- 8** SETBACKS AS PER PLAN
- 9** TREES PROTECT EXISTING DURING CONSTRUCTION
- 10** FENCES PROTECT EXISTING DURING CONSTRUCTION
- 11** LANDSCAPE PROTECT EXISTING DURING CONSTRUCTION

**CONSULTANT DIRECTORY**

SURVEYOR N/A  
  
SOILS ENGINEER N/A  
  
CIVIL ENGINEER N/A  
  
STRUCTURAL ENGINEER N/A  
  
ENERGY CONSULTANT N/A  
  
LANDSCAPE ARCHITECT N/A

**TABULATIONS**

EXISTING RESIDENCE	
MAIN FLOOR	2,434.72 s.f.
UPPER FLOOR	1,875.88 s.f.
GARAGE	440.00 s.f.
	4,750.60 s.f.
FRONT PORCH	385.12 s.f.
REAR DECK	479.74 s.f.

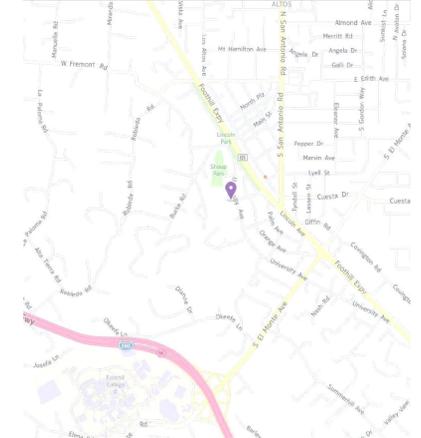
**COVERAGE & F.A.R.**

	SITE PLAN	ACRES =	0.589 ACRES
COV:	ALLOWABLE 7,697.58	SQ. FT. =	30.00 %
	EXISTING 3,739.58	SQ. FT. =	14.57 %
	PROPOSED 3,739.58	SQ. FT. =	14.57 %
FAR:	ALLOWABLE 5,315.86	SQ. FT. =	20.72 %
	EXISTING 4,750.60	SQ. FT. =	18.51 %
	PROPOSED 4,750.60	SQ. FT. =	18.51 %

**PROPERTY DESCRIPTION**

OWNER COURTNEY & PATRICK COPELAND  
 ADDRESS 500 UNIVERSITY AVE.  
 LOS ALTOS, CA 94022  
 PARCEL 175 - 13 - 052  
 ACREAGE 0.589 (NET ACRES)  
 ZONING R1 - 10 (RESIDENTIAL)  
 OCCUPANCY R-3 / U  
 CONST. TYPE V - B  
 PROJECT EXTERIOR ALTERATIONS TO THE REAR  
 DESCRIPTION & RIGHT ELEVATIONS - MOVING AND REPLACING EXTERIOR WINDOWS AND DOORS

**VICINITY MAP**



**SHEET INDEX**

- ARCHITECTURAL SHEETS
- A - 1 SITE PLAN
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  - A - 5 PROPOSED UPPER FLOOR PLAN
  - A - 6 EXISTING FRONT ELEVATION
  - A - 6 EXISTING LEFT ELEVATION
  - A - 7 EXISTING REAR ELEVATION
  - A - 7 PROPOSED REAR ELEVATION
  - A - 8 EXISTING RIGHT ELEVATION
  - A - 8 PROPOSED RIGHT ELEVATION

**APPLICABLE CODES**

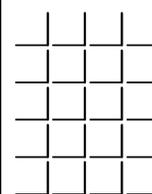
THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:  
 2013 CALIFORNIA BUILDING CODE  
 2013 CALIFORNIA RESIDENTIAL CODE  
 2013 CALIFORNIA MECHANICAL CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA FIRE CODE  
 2010 CALIFORNIA ENERGY CODE  
 2013 CALIFORNIA GREEN BUILDING STANDARDS

**\* NOTE**  
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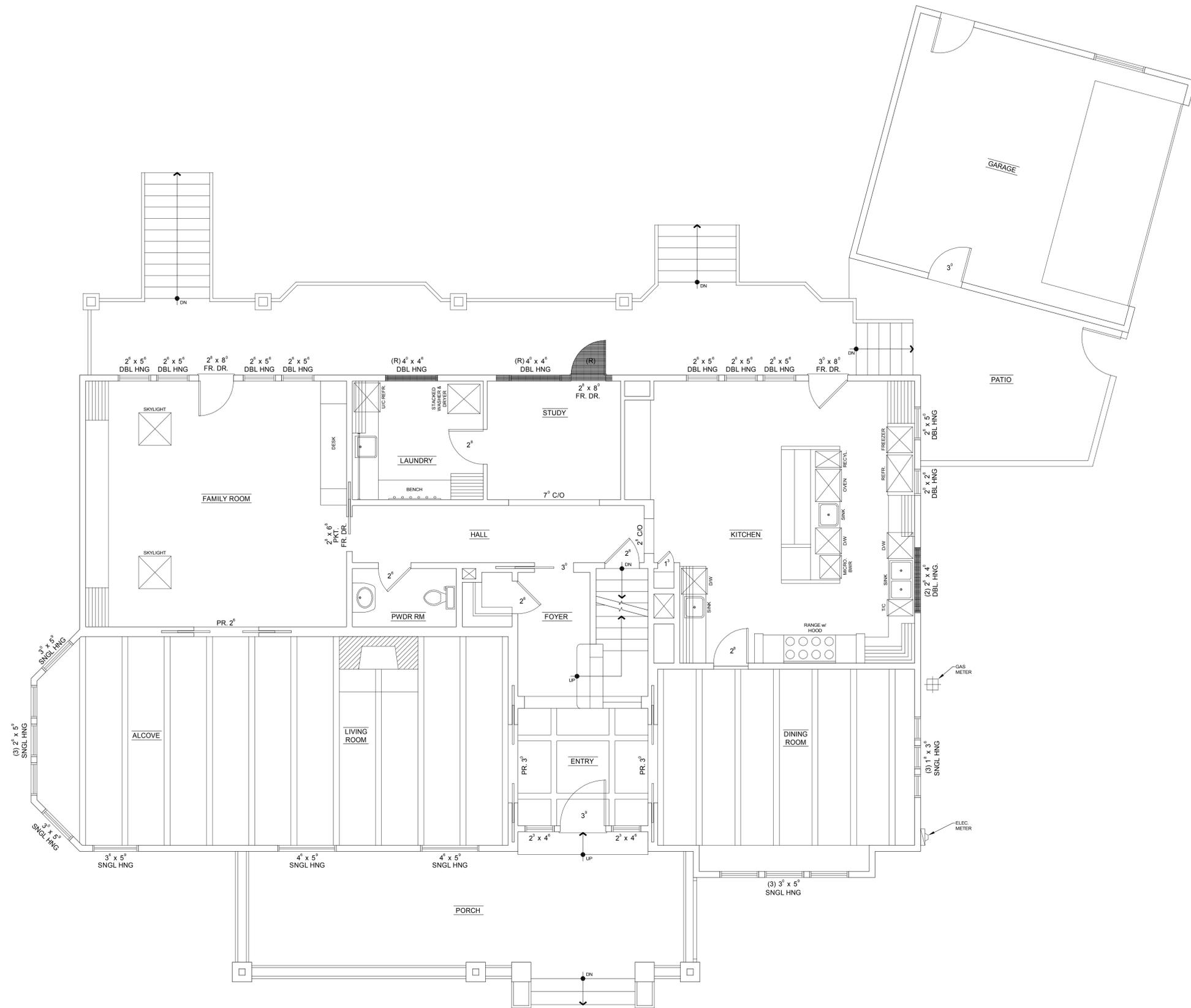
DATE	DESCRIPTION
01-06-15	SUBMITTED FOR HISTORICAL REVIEW

CLIENT (JOB No. 21444)  
 COPELAND RESIDENCE  
 500 UNIVERSITY AVE., LOS ALTOS, CA 94022  
 PHONE NO.

CHAPMAN  
 DESIGN  
 ASSOCIATES  
 620 S. EL MONTE AVENUE  
 LOS ALTOS, CA 94022 (650) 941-6890



SHEET  
 A - 1



**MAIN FLOOR DEMOLITION PLAN**

1/4" = 1'-0"

**GENERAL NOTES**

- I PLUMBING CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

**DEMOLITION NOTES**

- 1 DOORS REMOVE AND DISCARD AS PER PLAN
- 2 WINDOWS & SKYLIGHTS REMOVE AND DISCARD AS PER PLAN
- 3 CABINETS EXISTING TO REMAIN
- 4 FLOOR COVERINGS EXISTING TO REMAIN
- 5 LIGHT FIXTURES EXISTING TO REMAIN
- 6 APPLIANCES EXISTING TO REMAIN
- 7 LANDSCAPE PROTECT (E) WHERE POSSIBLE
- 8 FLATWORK PROTECT (E) WHERE POSSIBLE
- 9 VENEER N/A
- 10 ELECTRICAL METER EXISTING TO REMAIN
- 11 GAS METER EXISTING TO REMAIN

**LEGEND**

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

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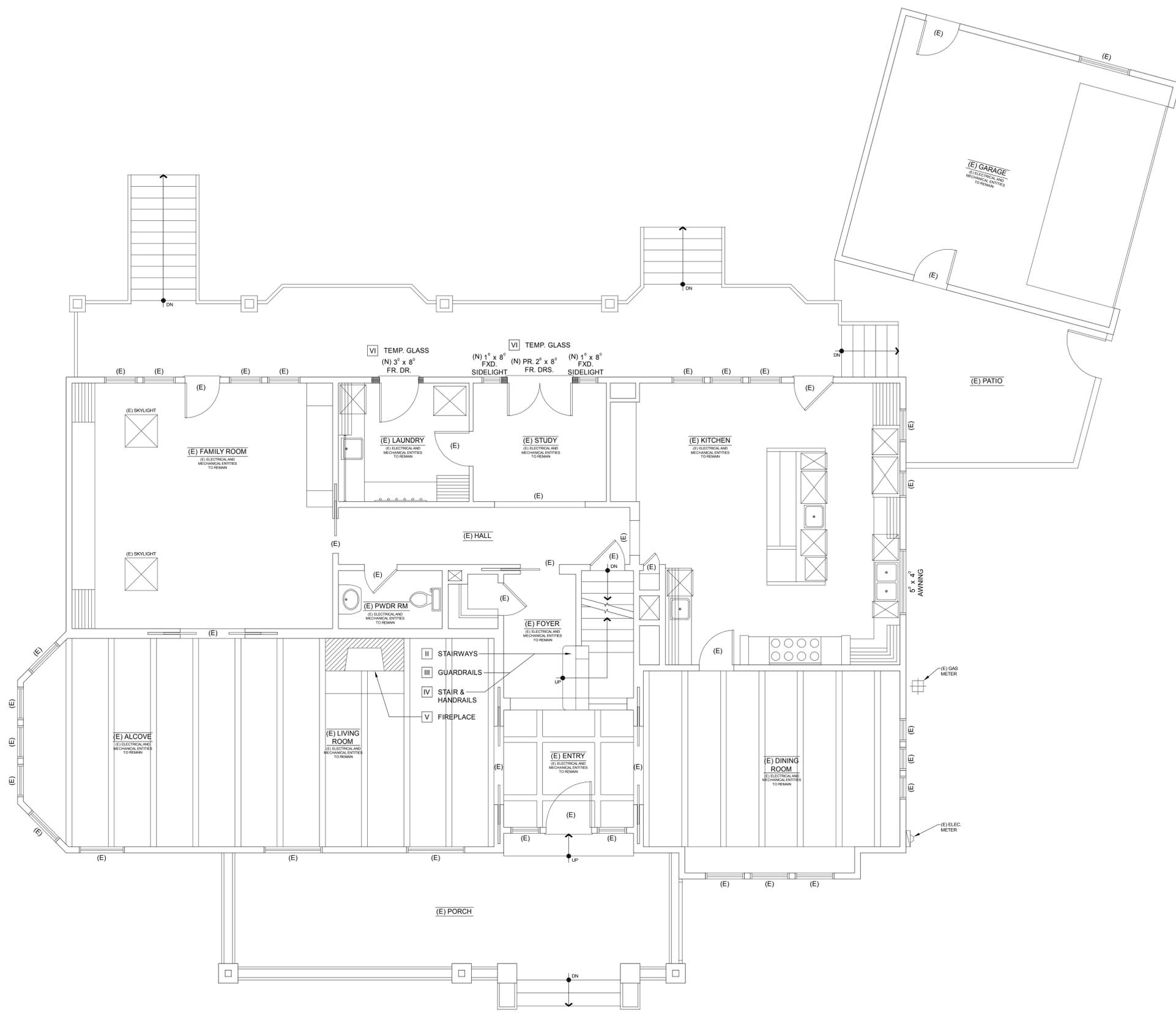
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**SHEET**  
**A - 2**





**PROPOSED MAIN FLOOR PLAN**  
1/4" = 1'-0"

**GEN. NOTES - FLOOR PLAN**

- I EGRESS ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2013  
- MIN. NET CLEAR OPENABLE AREA 5.7 S.F.  
- MIN. NET CLEAR OPENABLE WIDTH = 20"  
- MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II STAIRWAYS EXISTING TO REMAIN
- III GUARDRAILS EXISTING TO REMAIN
- IV STAIR & HANDRAILS EXISTING TO REMAIN
- V FIREPLACE EXISTING TO REMAIN
- VI TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
- VII FIRE BLOCKS PROVIDE FIRE BLOCKING IN ALL AREAS (WHEN NECESSARY) AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2013
- VIII WATER CLOSETS EXISTING TO REMAIN
- IX SHOWERS EXISTING TO REMAIN

**ROOM FINISH SCHEDULE**

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS
PER OWNER'S SPECIFICATIONS (AS REQUIRED AT AREAS OF CONSTRUCTION). CONTRACTOR TO PROVIDE ALLOWANCE AS NECESSARY					

**LEGEND**

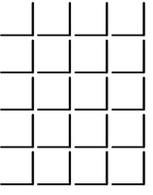
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- RELOCATED

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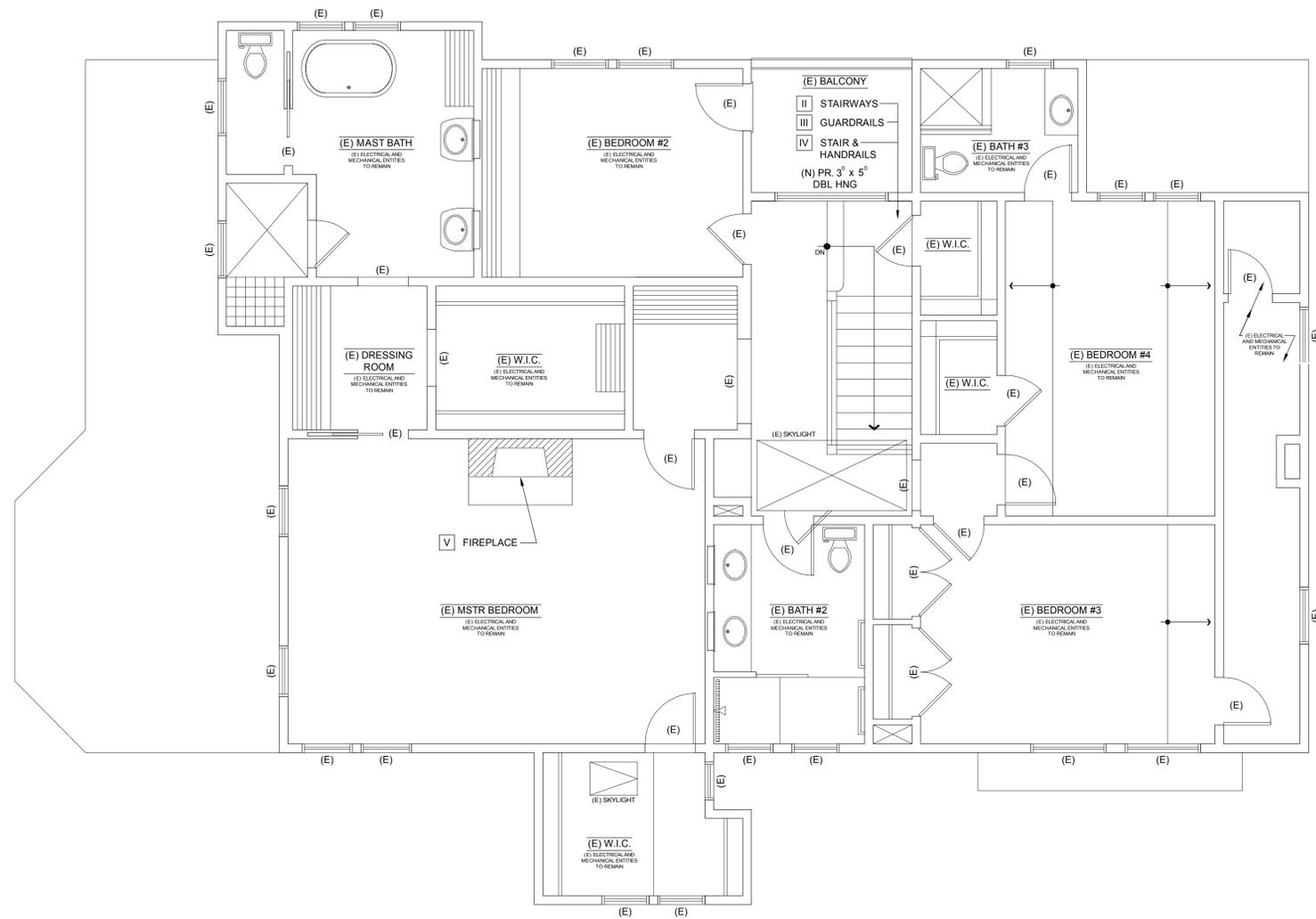
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**SHEET**

**A - 4**



**PROPOSED UPPER FLOOR PLAN**

1/4" = 1'-0"

**GEN. NOTES - FLOOR PLAN**

- I EGRESS ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2013  
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.  
 - MIN. NET CLEAR OPENABLE WIDTH = 20"  
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II STAIRWAYS EXISTING TO REMAIN
- III GUARDRAILS EXISTING TO REMAIN
- IV STAIR & HANDRAILS EXISTING TO REMAIN
- V FIREPLACE EXISTING TO REMAIN
- VI TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
- VII FIRE BLOCKS PROVIDE FIRE BLOCKING IN ALL AREAS (WHEN NECESSARY) AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2013
- VIII WATER CLOSETS EXISTING TO REMAIN
- IX SHOWERS EXISTING TO REMAIN

**ROOM FINISH SCHEDULE**

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS
PER OWNER'S SPECIFICATIONS (AS REQUIRED AT AREAS OF CONSTRUCTION). CONTRACTOR TO PROVIDE ALLOWANCE AS NECESSARY					

**LEGEND**

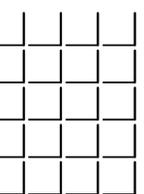
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- RELOCATED

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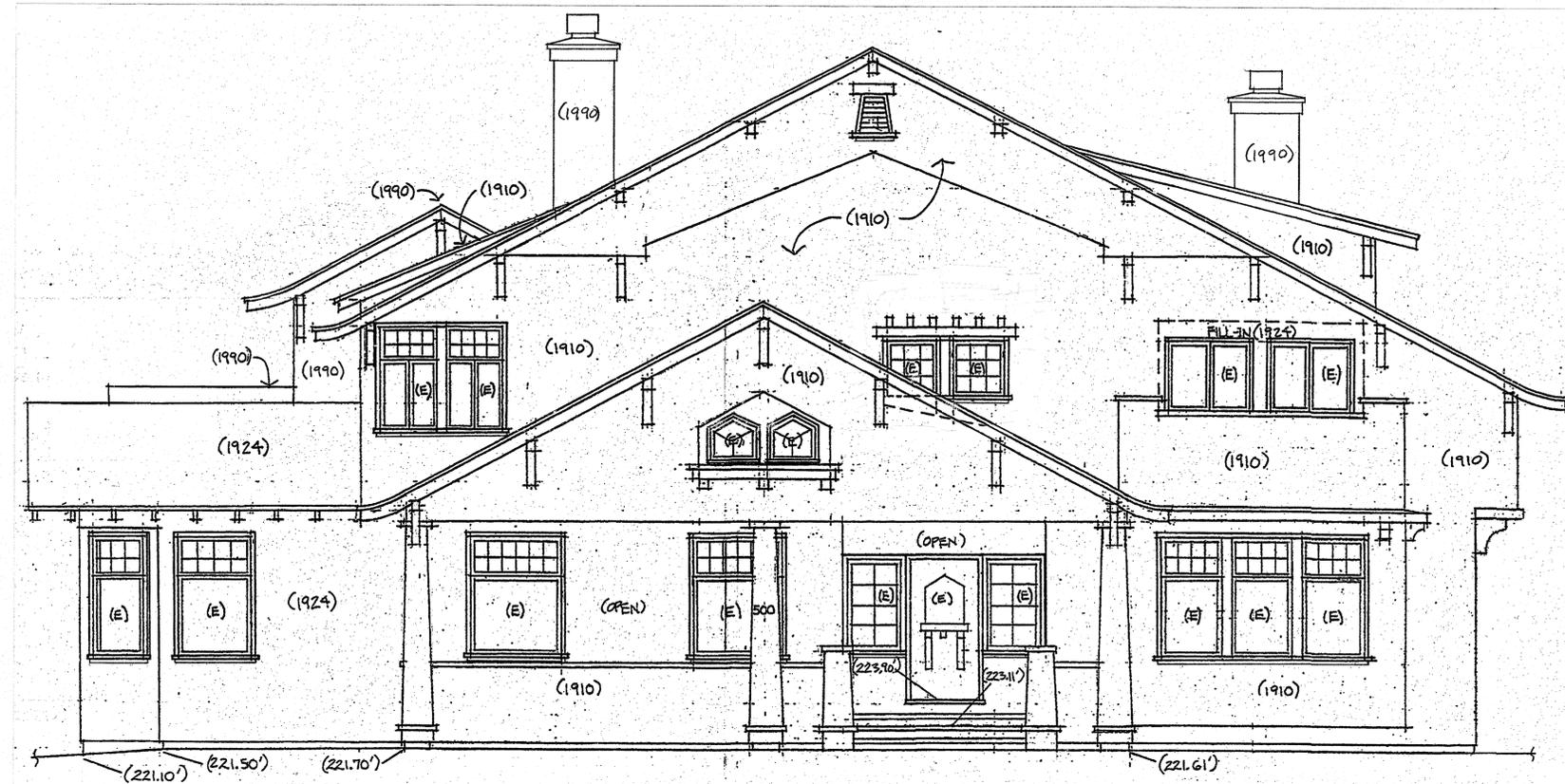
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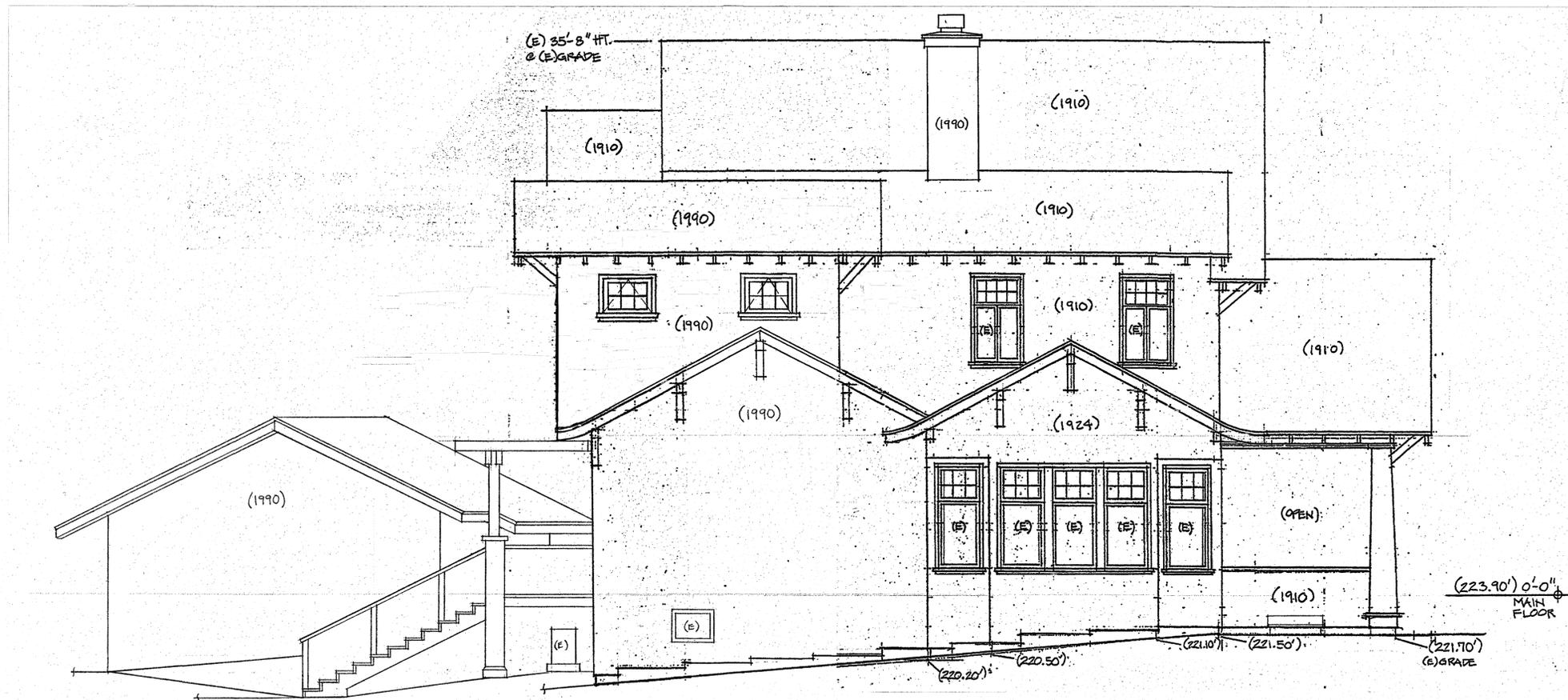


SHEET  
 A - 5



EXISTING FRONT ELEVATION (NO ALTERATIONS)

1/4" = 1'-0"



EXISTING LEFT ELEVATION (NO ALTERATIONS)

1/4" = 1'-0"

GENERAL NOTES

- I FLUE CLEARANCE EXISTING TO REMAIN
- II CHIMNEY BRACING EXISTING TO REMAIN
- III SPARK ARRESTOR EXISTING TO REMAIN
- IV TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

EXTERIOR MATERIAL NOTES

- 1 ROOFING EXISTING TO REMAIN
- 2 GUTTER EXISTING TO REMAIN
- 3 DOWN SPOUTS EXISTING TO REMAIN
- 4 SIDING EXISTING TO REMAIN
- 5 TRIM EXISTING TO REMAIN
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS EXISTING TO REMAIN
- 9 WINDOW TRIM EXISTING TO REMAIN
- 10 SKYLIGHTS EXISTING TO REMAIN
- 11 CHIMNEY EXISTING TO REMAIN

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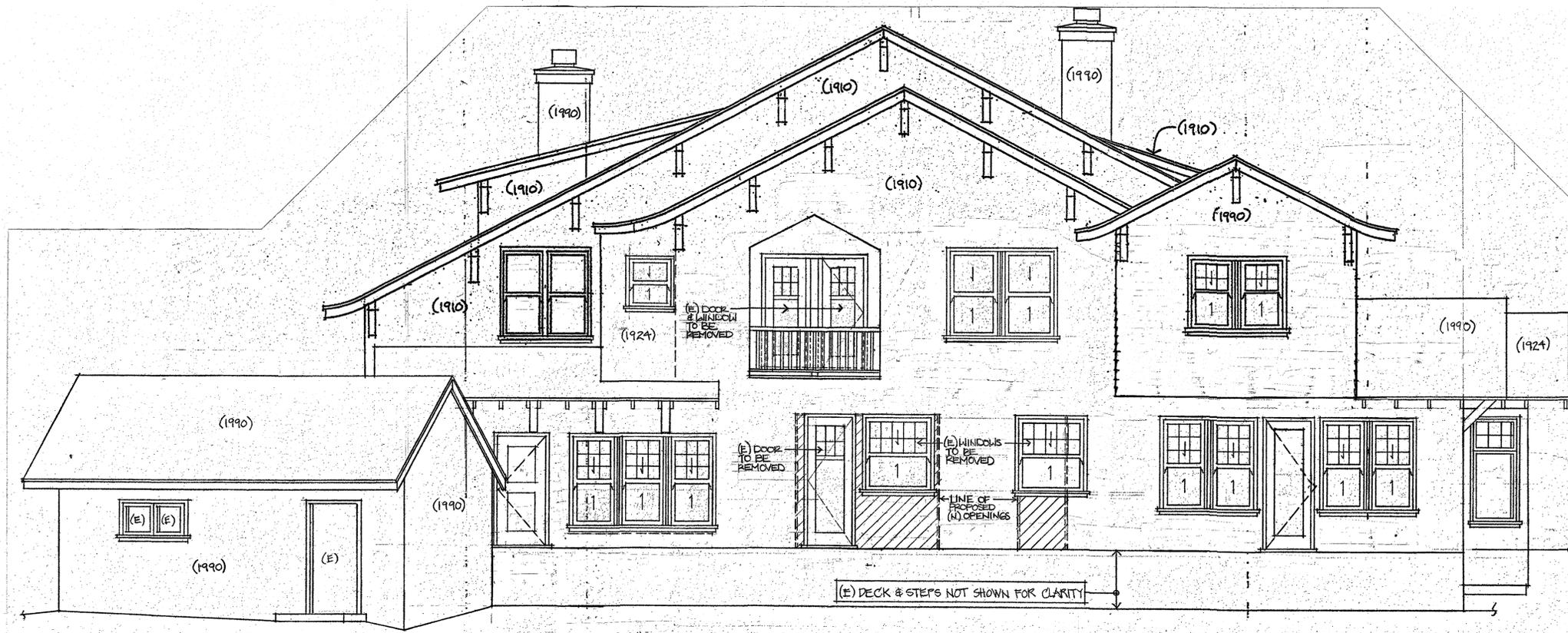
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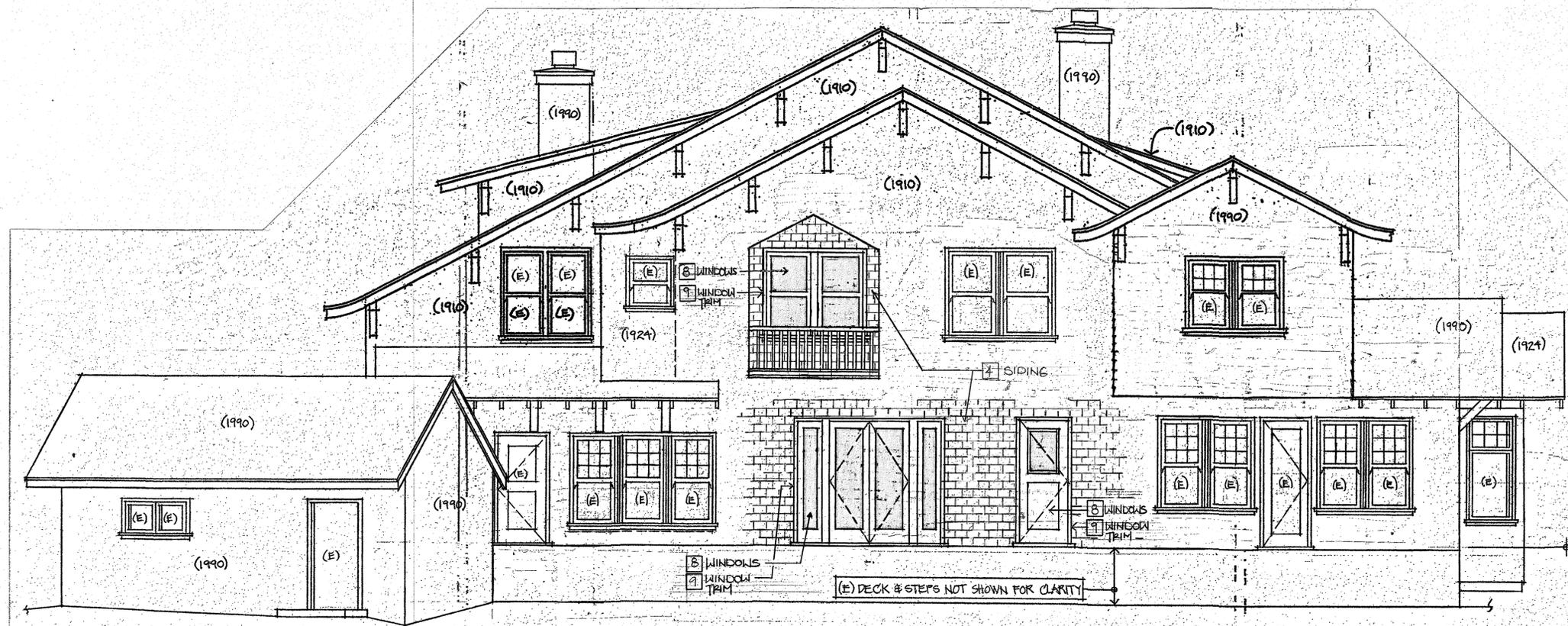

SHEET

A-6



**EXISTING REAR ELEVATION**

1/4" = 1'-0"



**PROPOSED REAR ELEVATION**

1/4" = 1'-0"

**GENERAL NOTES**

- I FLUE CLEARANCE EXISTING TO REMAIN
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- IV TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

**EXTERIOR MATERIAL NOTES**

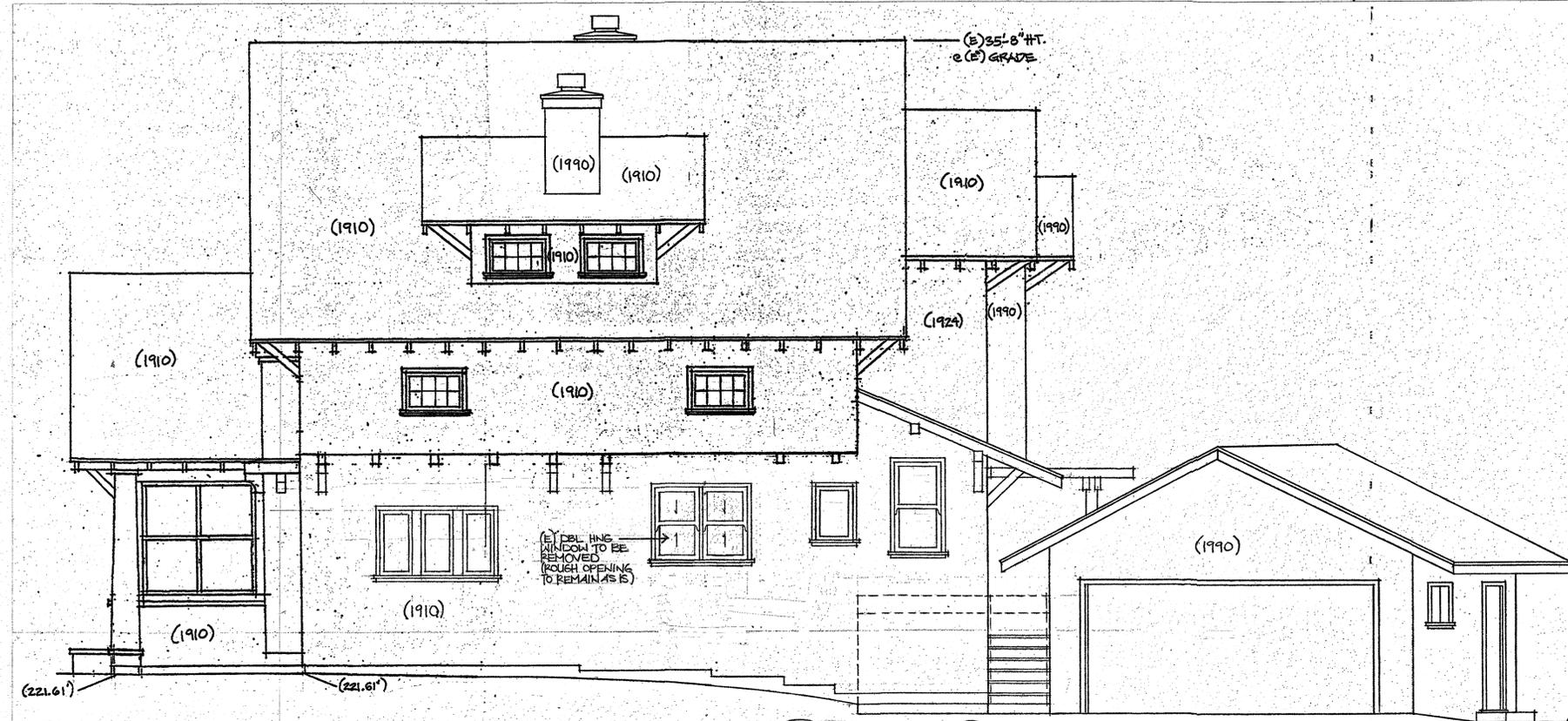
- 1 ROOFING EXISTING TO REMAIN
- 2 GUTTER EXISTING TO REMAIN
- 3 DOWN SPOUTS EXISTING TO REMAIN
- 4 SIDING MATCH (E) WOOD SHINGLES
- 5 TRIM EXISTING TO REMAIN
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED, WOOD WINDOWS & DOORS w/ TRUE DIVIDED LITES TO MATCH EXISTING
- 9 WINDOW TRIM MATCH EXISTING w/ SHINGLE MOULDINGS, DRIP SILLS, MULLIONS & APRON TRIM (CAP FLASHING REQUIRED)
- 10 SKYLIGHTS EXISTING TO REMAIN
- 11 CHIMNEY EXISTING TO REMAIN

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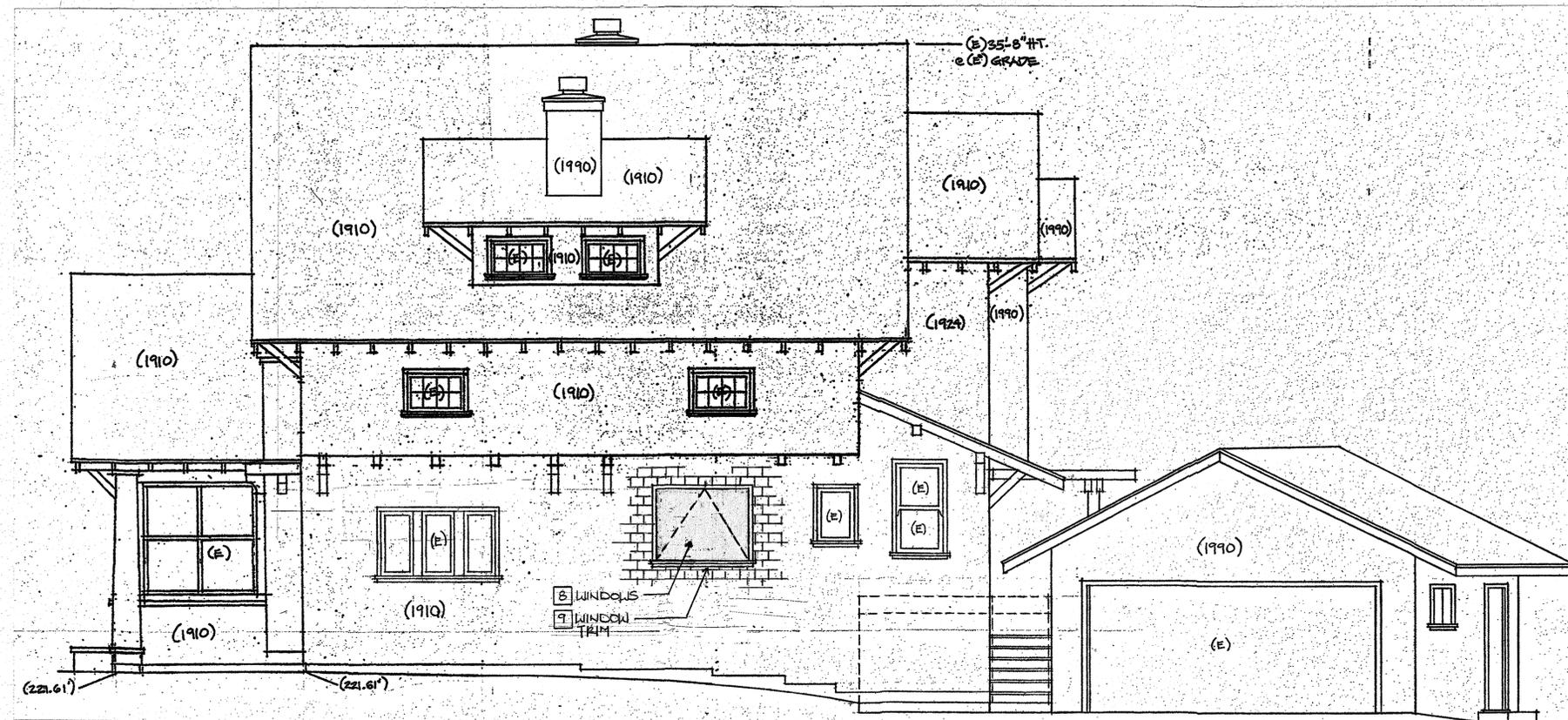
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 LOS ALTOS, CA 94022 (650) 941-6890


SHEET  
 A-7



**EXISTING RIGHT ELEVATION**

1/4" = 1'-0"



**PROPOSED RIGHT ELEVATION**

1/4" = 1'-0"

**GENERAL NOTES**

- I FLUE CLEARANCE EXISTING TO REMAIN
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- IV TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

**EXTERIOR MATERIAL NOTES**

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- 3 DOWN SPOUTS EXISTING TO REMAIN
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- 5 TRIM EXISTING TO REMAIN
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- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED, WOOD WINDOWS & DOORS w/ TRUE DIVIDED LITES TO MATCH EXISTING
- 9 WINDOW TRIM MATCH EXISTING w/ SHINGLE MOULDINGS, DRIP SILLS, MULLIONS & APRON TRIM (CAP FLASHING REQUIRED)
- 10 SKYLIGHTS EXISTING TO REMAIN
- 11 CHIMNEY EXISTING TO REMAIN

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SHEET  
**A - 8**