

**ZONING COMPLIANCE**

	Existing	Proposed	Allowed/Required
<b>LOT COVERAGE:</b> <i>Land area covered by all structures that are over 6 feet in height</i>	2,631.25 square feet (.20%)	3,676.75 square feet (.28%)	4,602 square feet (.35%)
<b>FLOOR AREA:</b> <i>Measured to the outside surfaces of exterior walls</i>	2,631.25 square feet (.20%)	3,676.75 square feet (.28%)	4,602 square feet (.35%)
<b>SETBACKS:</b>			
Front	25 feet	25 feet	25 feet
Rear	25 feet	25 feet	25 feet
Right side (1 <sup>st</sup> /2 <sup>nd</sup> )	10 feet/___feet	10 feet/___feet	10 feet/___feet
Left side (1 <sup>st</sup> /2 <sup>nd</sup> )	10 feet/___feet	10 feet/___feet	10 feet/___feet
<b>HEIGHT:</b>	27 feet	27 feet	27 feet

**SQUARE FOOTAGE BREAKDOWN**

	Existing	Change in	Total Proposed
<b>HABITABLE LIVING AREA:</b> <i>Includes habitable basement areas</i>	2,153.5 square feet	1,073.25 square feet	3,226.75 square feet
<b>NON-HABITABLE AREA:</b> <i>Does not include covered porches or open structures</i>	479.5 square feet	-27.75 square feet	451.75 square feet

**LOT CALCULATIONS**

<b>NET LOT AREA:</b>	13,149.0 square feet
<b>FRONT YARD HARDSCAPE AREA:</b> <i>Hardscape area in the front yard setback shall not exceed 50%</i>	138 square feet (.09%)
<b>LANDSCAPING BREAKDOWN:</b>	
Total hardscape area (existing and proposed):	5,241.75 sq ft
Existing softscape (undisturbed) area:	8,557.75 sq ft
New softscape (new or replaced landscaping) area:	1,907.25 sq ft
<i>Sum of all three should equal the site's net lot area</i>	

**SECONDARY DWELLING UNIT REQUIREMENTS:**

**MAXIMUM FLOOR AREA:** 800.0 sq.ft.  
Proposed Floor Area: 677.25 sq.ft.

**Maximum Number of Occupants:** 2

**PARKING REQUIREMENT:**  
One Covered 9'-0" x 18'-0" minimum  
One Uncovered

**PROJECT SCOPE:**  
1,045.5 square foot Addition including secondary dwelling.

These Plans Shall Comply With:

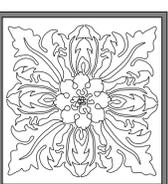
- 2013 CBC - California Building Code
- 2013 CRC - California Residential Code
- 2013 CPC - California Plumbing Code
- 2013 CMC - California Mechanical Code
- 2013 CEC - California Electric Code
- 2013 California Building Energy Efficiency Standards
- 2013 California Fire Code
- 2013 California Administrative Code
- 2013 California Energy Code
- 2013 California Green Building Standards Code (CAL GREEN)

**ARCHITECTURAL DRAWING INDEX:**

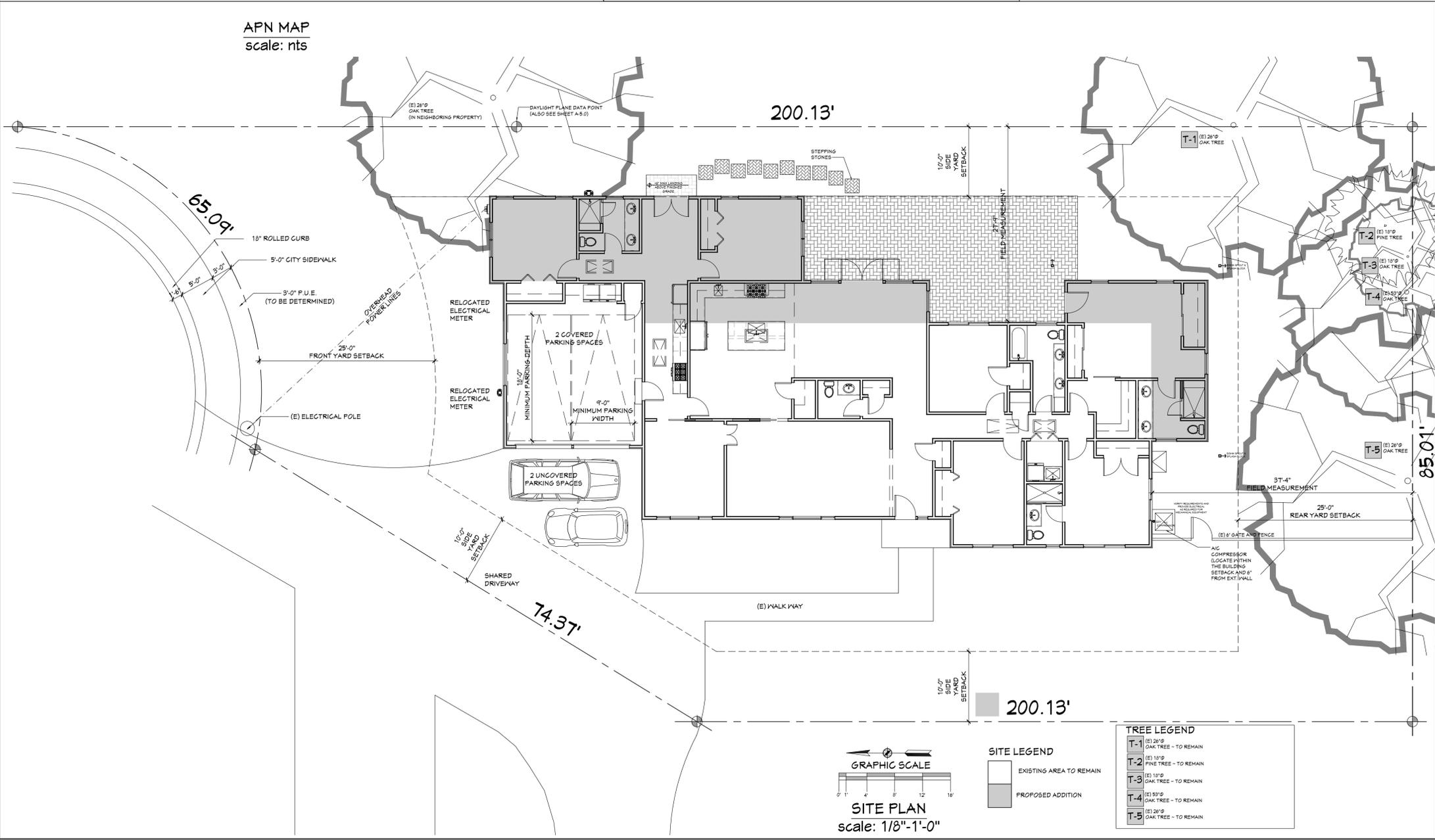
- A-1.0 Site Plan, General Notes
- A-1.1 Neighborhood Context Map
- A-2.0 Existing Floor Plan, Demo Plan
- A-3.0 Proposed Floor Plan
- A-3.1 Floor Area and Lot Coverage Calculations
- A-3.2 Secondary Dwelling Area Calculation
- A-4.0 Roof Plan
- A-5.0 Exterior Elevations
- A-5.1 Exterior Elevations
- A-6.0 Building Sections
- C-1.0 Grading and Drainage Plan
- C-1.1 Grading and Drainage Plan
- S-1.0 Site Survey

**REVISIONS**

NO.	DATE



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**PROJECT DATA:**

Owner: Douglas and Cheryl THIEU  
Project Address: 170 Sylvian Way  
Los Altos, CA 94022  
APN: 167-32-052

Net Lot Area: 13,149.0 sq.ft. [0.32 Acres]  
Zoning: R1-10  
Occupancy Group: R-3/U  
Type of Construction: Y-B  
Flood Zone: NO  
Fire Sprinklers Required?:  
Maximum Floor Area= (35%) = 4,602.0 sq.ft.  
Maximum Lot Coverage= (35%) = 4,602.0 sq.ft.

EXISTING SQUARE FEET: 2,153.5 sq.ft.  
EXISTING GARAGE: 479.5 sq.ft.  
TOTAL EXISTING SQUARE FEET: 2,631.25 sq.ft.

MAXIMUM ADDITION WITHOUT TRIGGERING SPRINKLERS:  
1,076.75 SQ.FT. (50% OF LIVING AREA)

ADDITIONS:  
LIVING AREA / FAMILY ROOM: 788.5 sq.ft.  
MASTER ADDITION: 257.0 sq.ft.  
ADDITIONS: 1,045.5 sq.ft.

GARAGE CONVERSION AT NEW CLOSET: 27.75 sq.ft.

TOTAL ADDITION/CONVERSION: 1,073.25 sq.ft.

TOTAL PROPOSED FLOOR AREA: 3,676.75 sq.ft.

**SETBACKS:**  
Front yard setback: 25.0'  
Rear yard setback: 25.0'  
Side yard setbacks: 10.0'  
Maximum Height: 27.0'

**PARKING REQUIREMENT:**  
Two Covered 9'-0" x 18'-0" minimum  
Two Uncovered

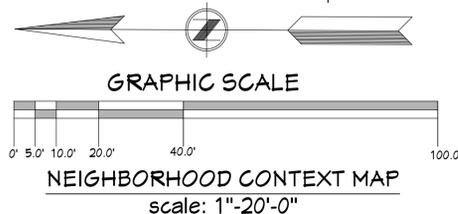
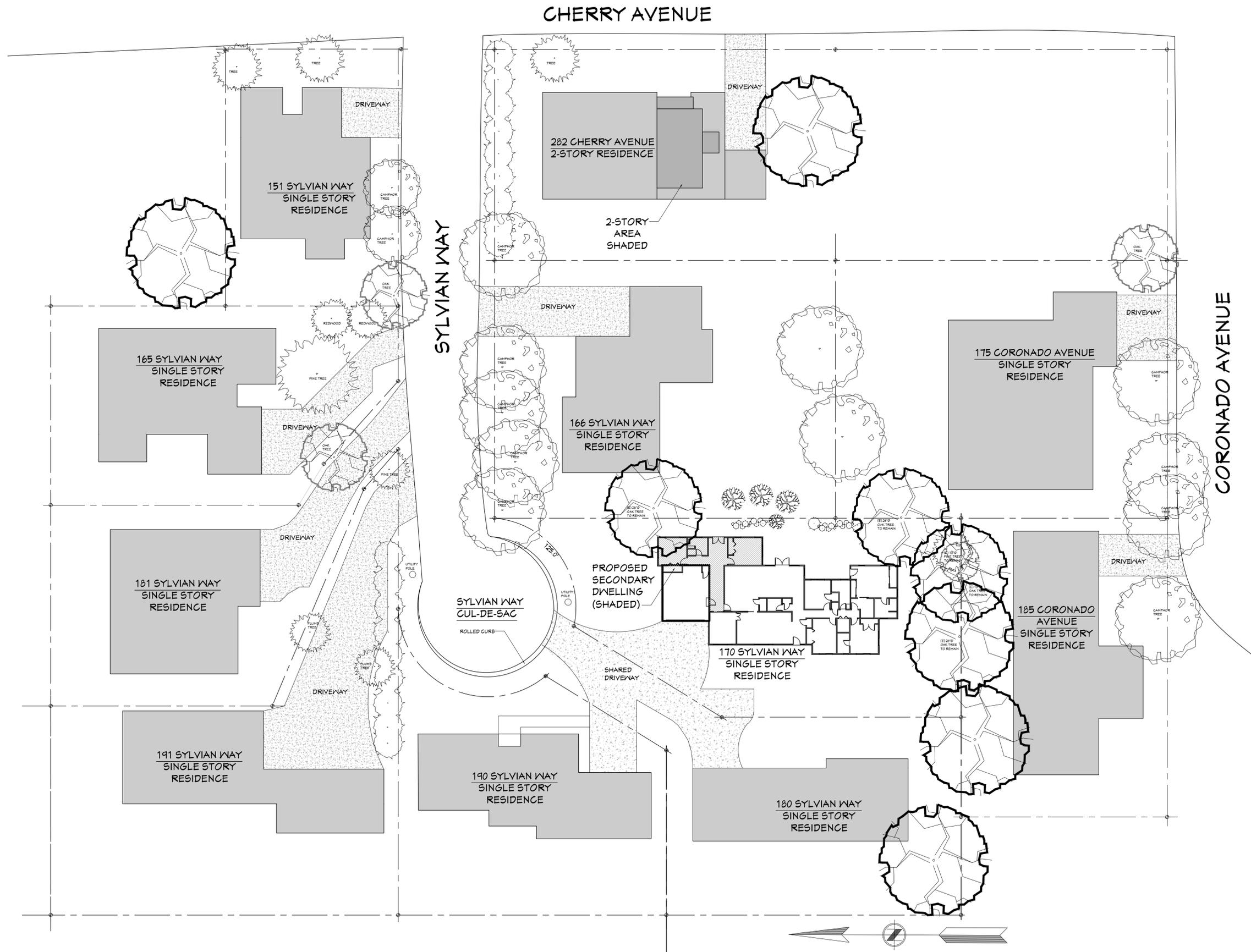


**SITE PLAN**  
GENERAL NOTES

**A Remodel/Addition For The:**  
**THIEU FAMILY**  
170 SYLVIAN WAY  
LOS ALTOS, CA 94022

DRAWN BY: MW  
DATE: 9/30/2016  
SCALE: AS SHOWN  
SHEET NO.

**A-1.0**



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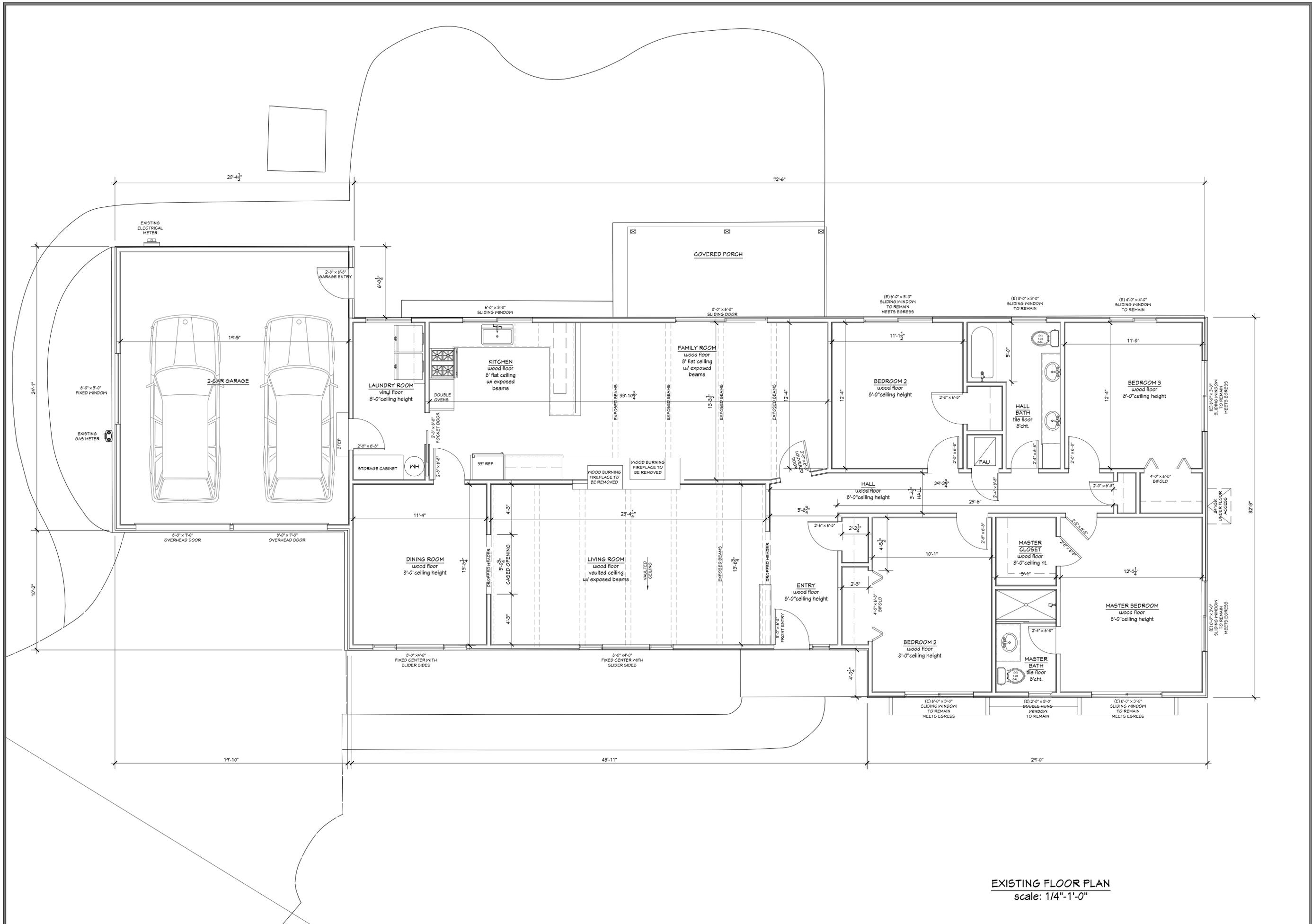
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NEIGHBORHOOD  
 CONTEXT MAP

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**EXISTING FLOOR PLAN**

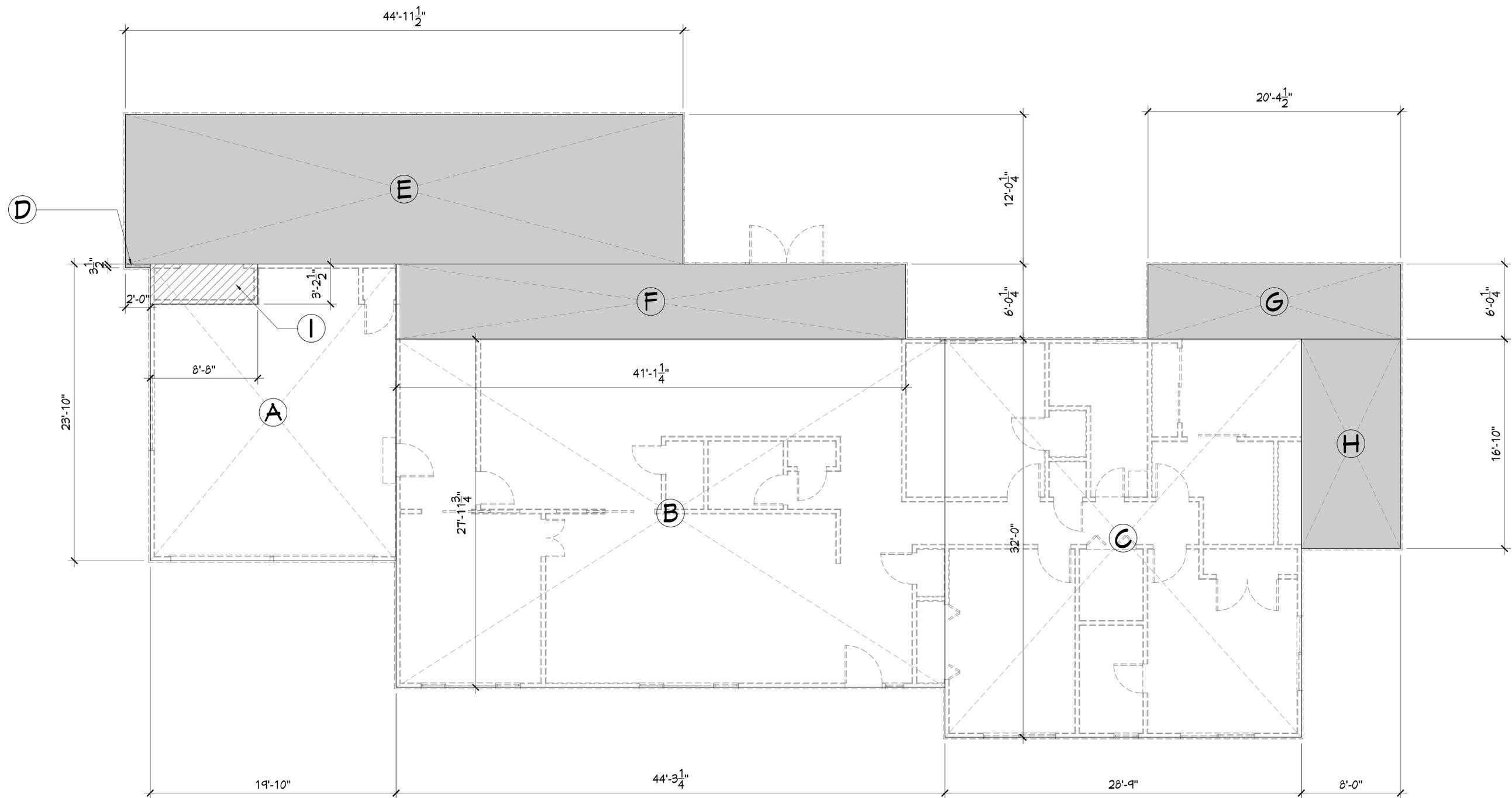
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DRAWN BY:  
**MW**  
DATE:  
**9/30/2016**  
SCALE:  
**AS SHOWN**  
SHEET NO.

**A-2.0**

**EXISTING FLOOR PLAN**  
scale: 1/4"=1'-0"





**LOT COVERAGE AREA CALCULATION**

SECTION	DIMENSION	AREA
A	19'-10" x 23'-10"	472.5 sq.ft.
B	44'-3.5" x 27'-11.75"	1,238.75 sq.ft.
C	28'-9" x 32'-0"	920.0 sq.ft.
<b>EXISTING FLOOR AREA =</b>		<b>2,631.25 sq.ft.</b>
D	2'-0" x 3.5"	0.50 sq.ft.
E	44'-11.5" x 12'-0.25"	540.75 sq.ft.
F	41'-1.25" x 6'-0.25"	247.25 sq.ft.
G	20'-4.5" x 6'-0.25"	122.5 sq.ft.
H	8'-0" x 16'-10"	134.5 sq.ft.
<b>ADDITIONAL FLOOR AREA =</b>		<b>1,045.5 sq.ft.</b>
<b>TOTAL LOT COVERAGE AREA =</b>		<b>3,676.75 sq.ft.</b>

**FLOOR AREA CALCULATION**

SECTION	DIMENSION	AREA
A*	19'-10" x 23'-10"	472.5 sq.ft.
B	44'-3.5" x 27'-11.75"	1,238.75 sq.ft.
C	28'-9" x 32'-0"	920.0 sq.ft.
<b>EXISTING FLOOR AREA =</b>		<b>2,631.25 sq.ft.</b>
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G	20'-4.5" x 6'-0.25"	122.5 sq.ft.
H	8'-0" x 16'-10"	134.5 sq.ft.
<b>ADDITIONAL FLOOR AREA =</b>		<b>1,045.5 sq.ft.</b>

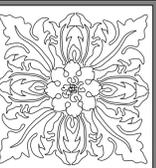
**GARAGE CONVERSION AT NEW CLOSET (INCLUDED IN AREA A)**  
 I\* 8'-8" x 3'-2.5" 27.75 sq.ft.

**TOTAL FLOOR AREA = 3,676.75 sq.ft.**

EXISTING AREA TO REMAIN  
 PROPOSED ADDITIONS  
 GARAGE CONVERSION



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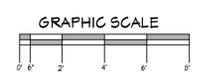
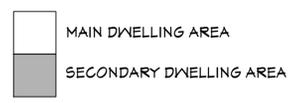
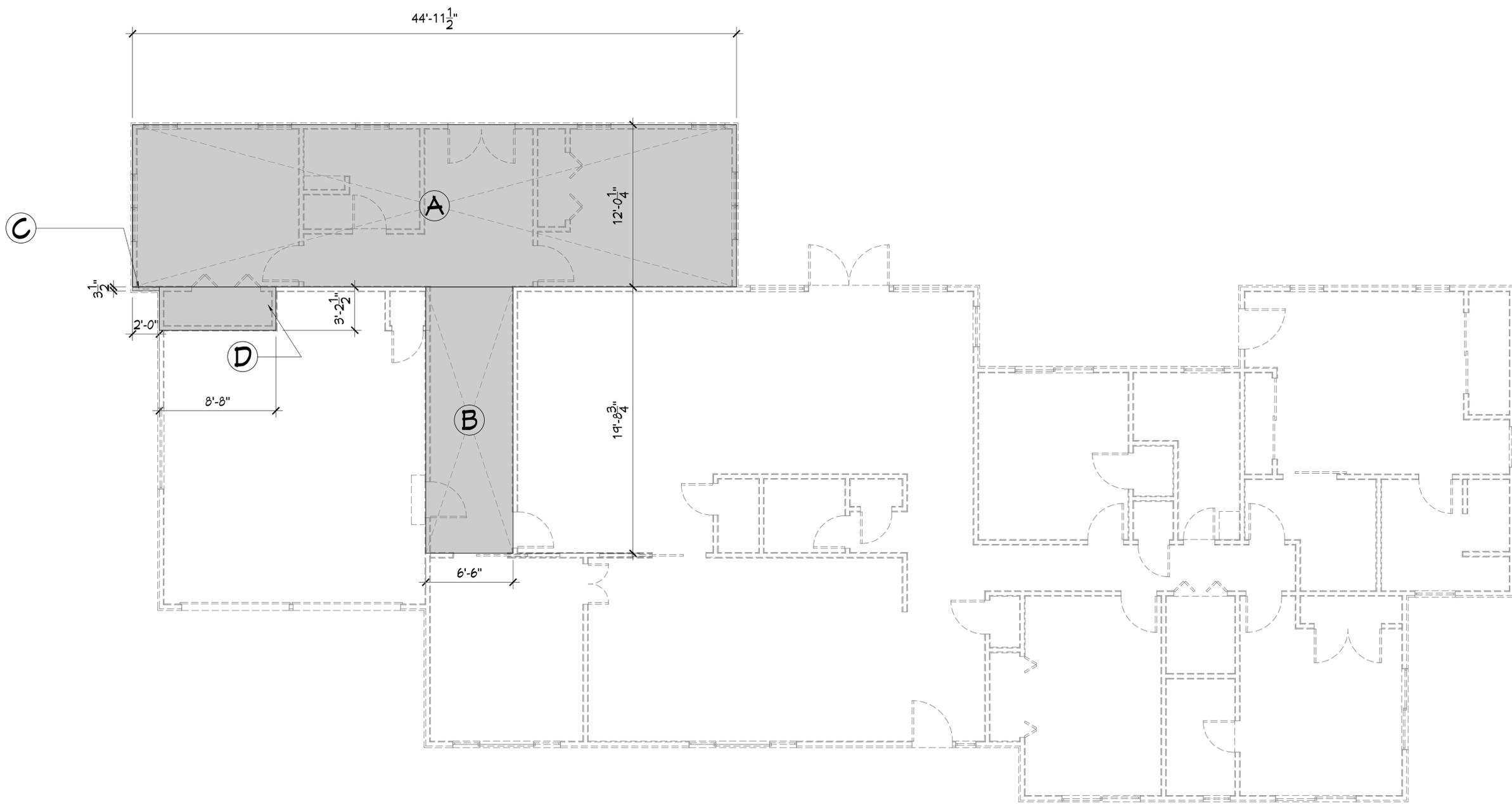
**FLOOR AREA AND  
 LOT COVERAGE  
 CALCULATIONS**

A Remodel/Addition For The:  
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 MW  
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 9/30/2016  
 SCALE:  
 AS SHOWN  
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**A-3.1**

**FLOOR AREA CALCULATION**  
 scale: 1/4"=1'-0"



**SECONDARY DWELLING AREA CALCULATION**

SECTION	DIMENSION	AREA
A	44'-11.5" x 12'-0.25"	540.75 sq.ft.
B	6'-6" x 19'-8.75"	128.25 sq.ft.
C	2'-0" x 3.5"	0.50 sq.ft.
D	8'-8" x 3'-2.5"	27.75 sq.ft.
<b>SECONDARY DWELLING FLOOR AREA =</b>		<b>697.25 sq.ft.</b>

**FLOOR AREA CALCULATION**  
scale: 1/4"=1'-0"

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**SECONDARY DWELLING  
FLOOR AREA  
CALCULATIONS**

A Remodel/Addition For The:  
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**A-3.2**

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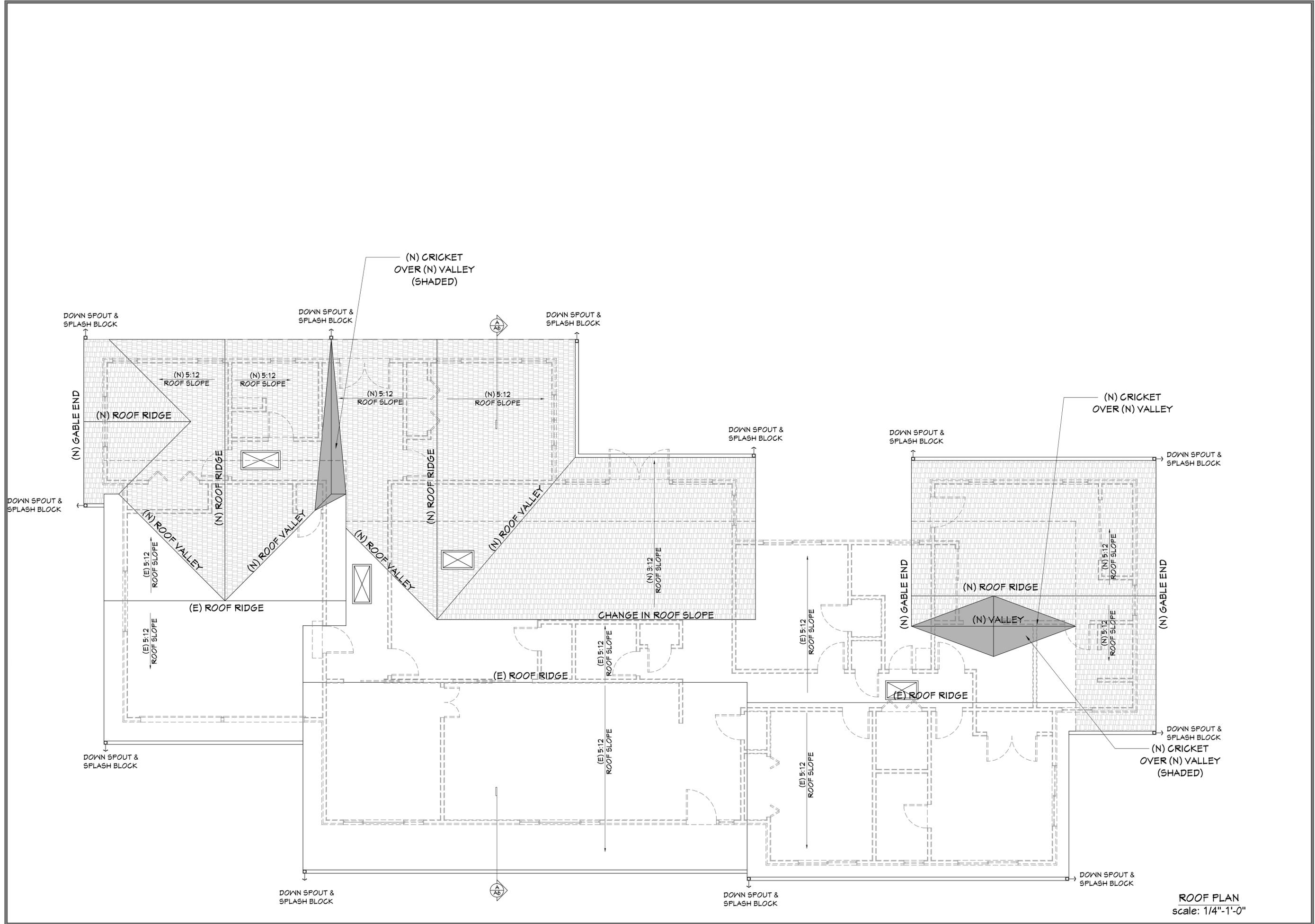
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ROOF PLAN

A Remodel/Addition For The:  
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LOS ALTOS, CA 94022

DRAWN BY:  
MM  
DATE:  
9/30/2016  
SCALE:  
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SHEET NO.

**A-4.0**



ROOF PLAN  
scale: 1/4"-1'-0"

REVISIONS	
NO.	DATE



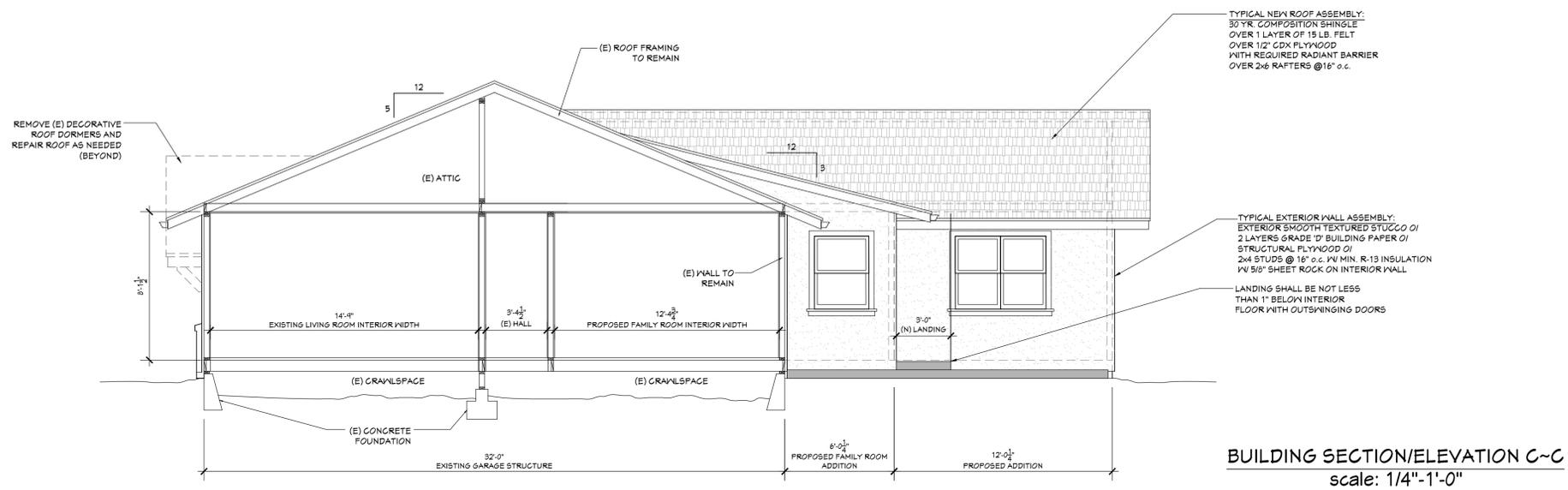
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**EXTERIOR ELEVATIONS**

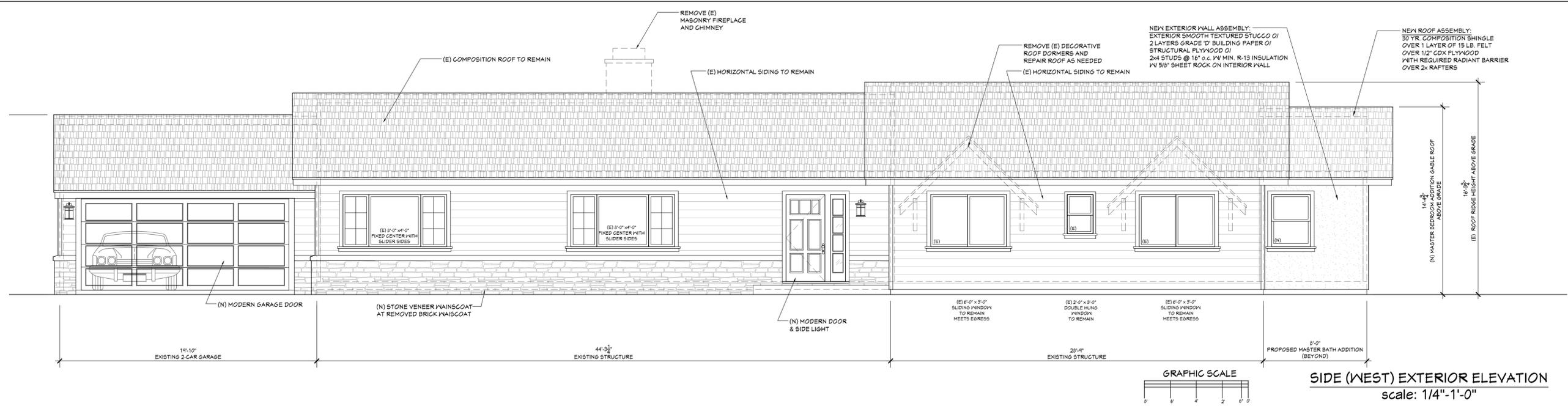
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**MW**  
DATE:  
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SCALE:  
AS SHOWN  
SHEET NO.

**A-5.0**



**BUILDING SECTION/ELEVATION C-C**  
scale: 1/4"-1'-0"



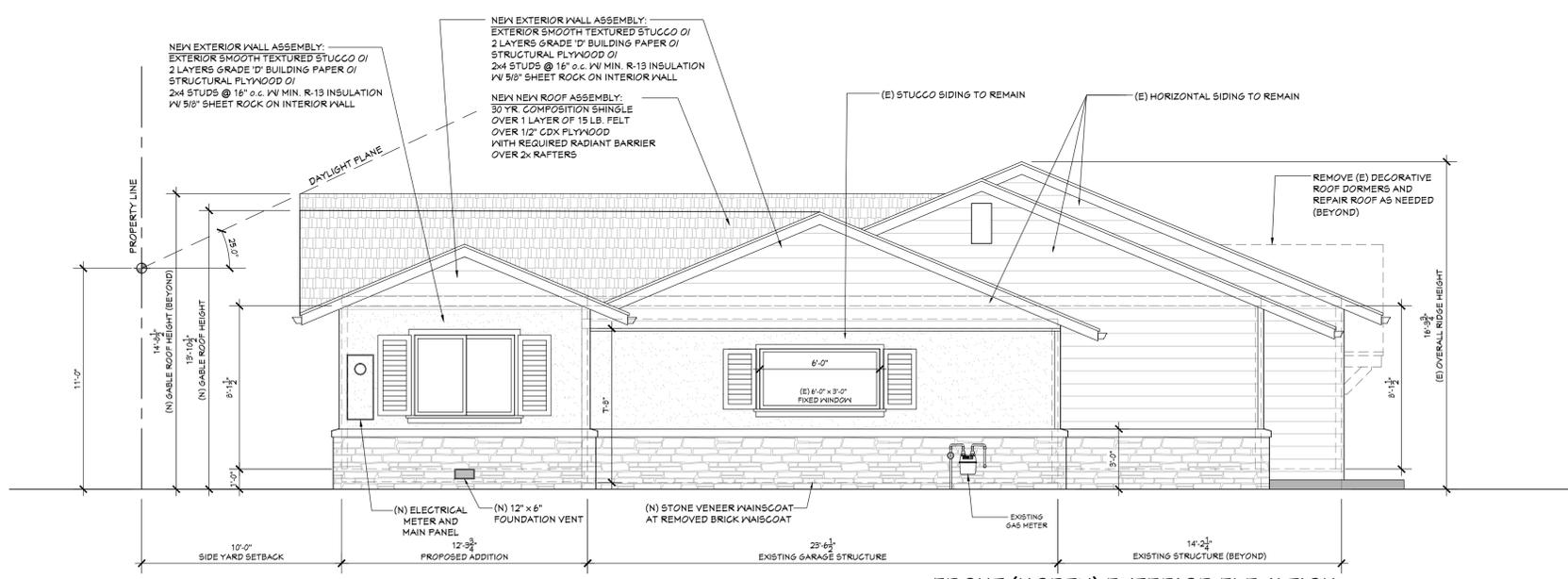
**SIDE (WEST) EXTERIOR ELEVATION**  
scale: 1/4"-1'-0"



(N) WINDOW TO MATCH EXISTING INTEGRITY ULTREX GLIDER IN STONE WHITE



(N) WINDOW TO MATCH EXISTING INTEGRITY ULTREX D.H. IN STONE WHITE



**FRONT (NORTH) EXTERIOR ELEVATION**  
scale: 1/4"-1'-0"

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NO.	DATE



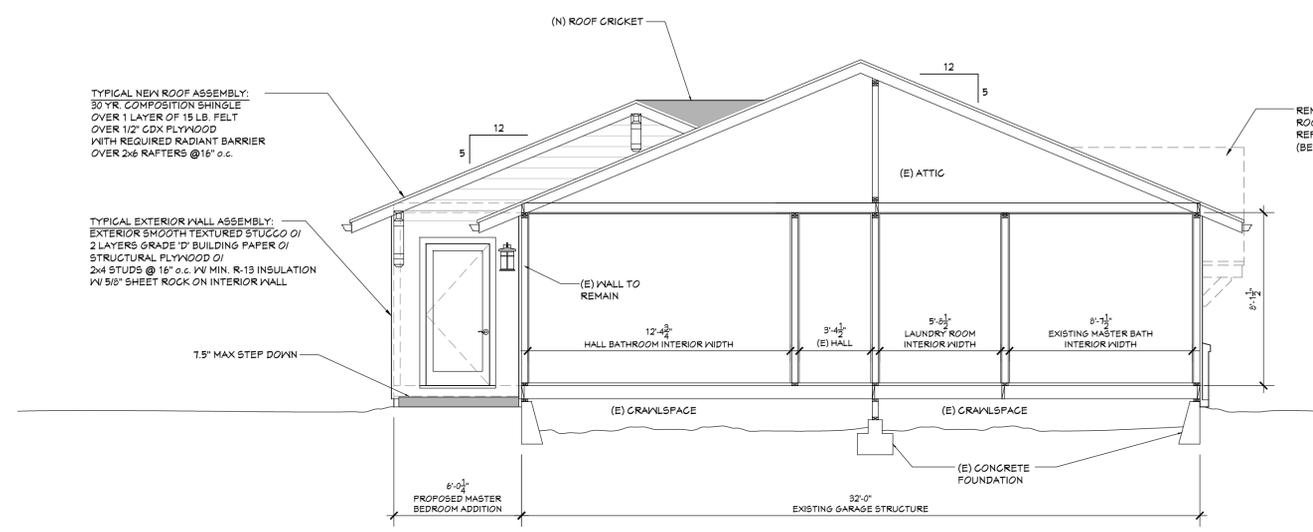
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EXTERIOR  
ELEVATIONS

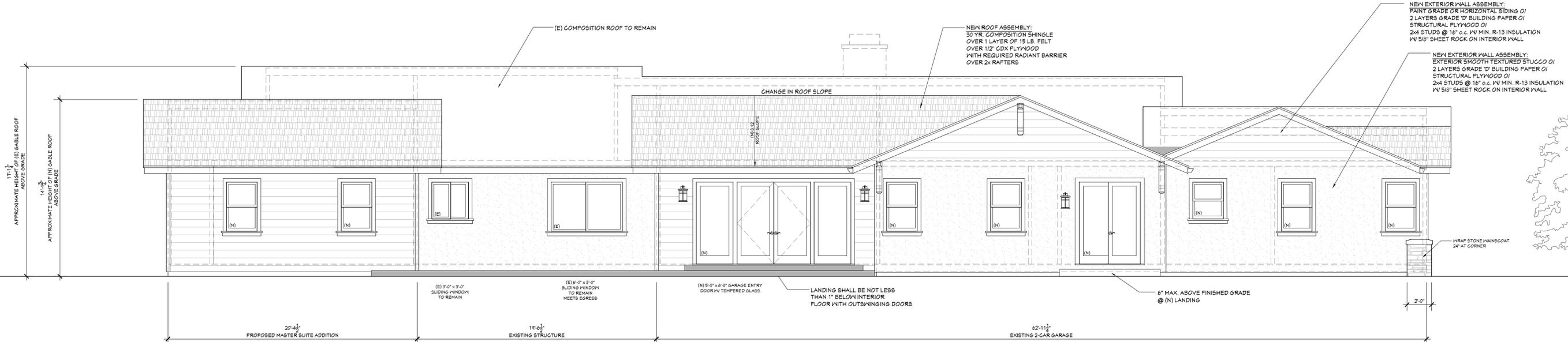
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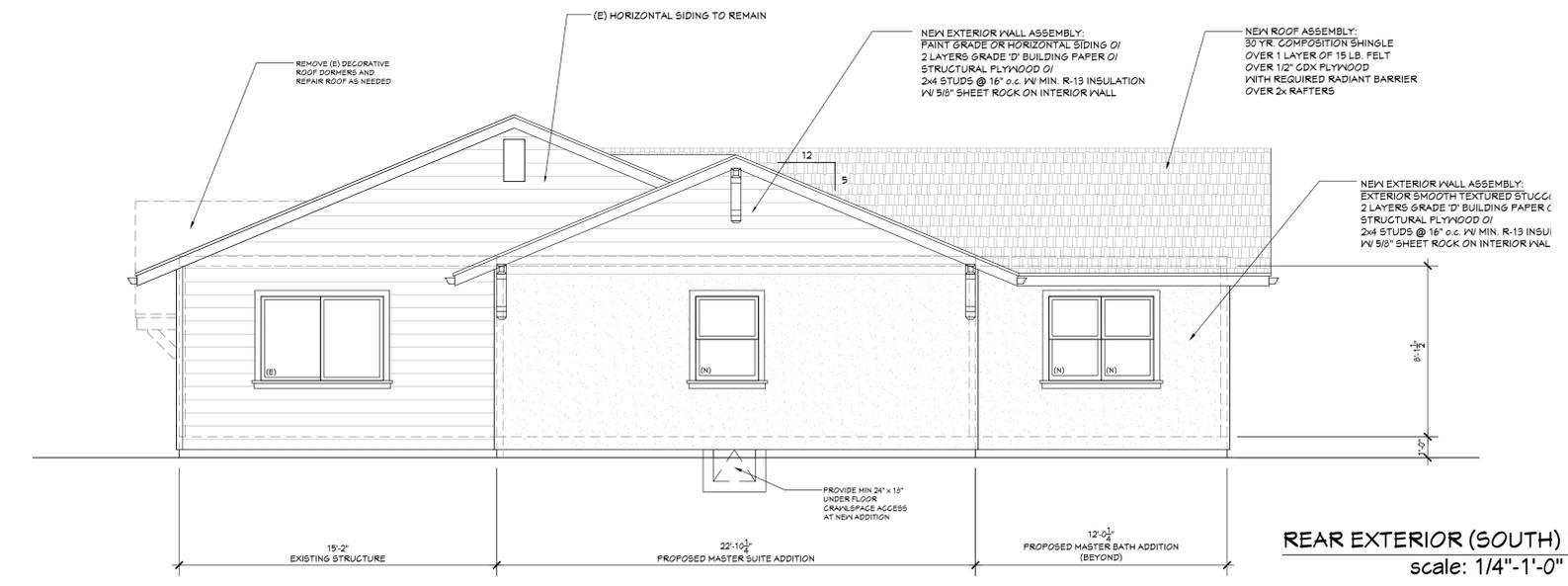
A-5.1



BUILDING SECTION/ELEVATION D-D  
scale: 1/4"-1'-0"

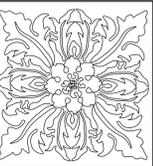


SIDE EXTERIOR (EAST) ELEVATION  
scale: 1/4"-1'-0"



REAR EXTERIOR (SOUTH) ELEVATION  
scale: 1/4"-1'-0"

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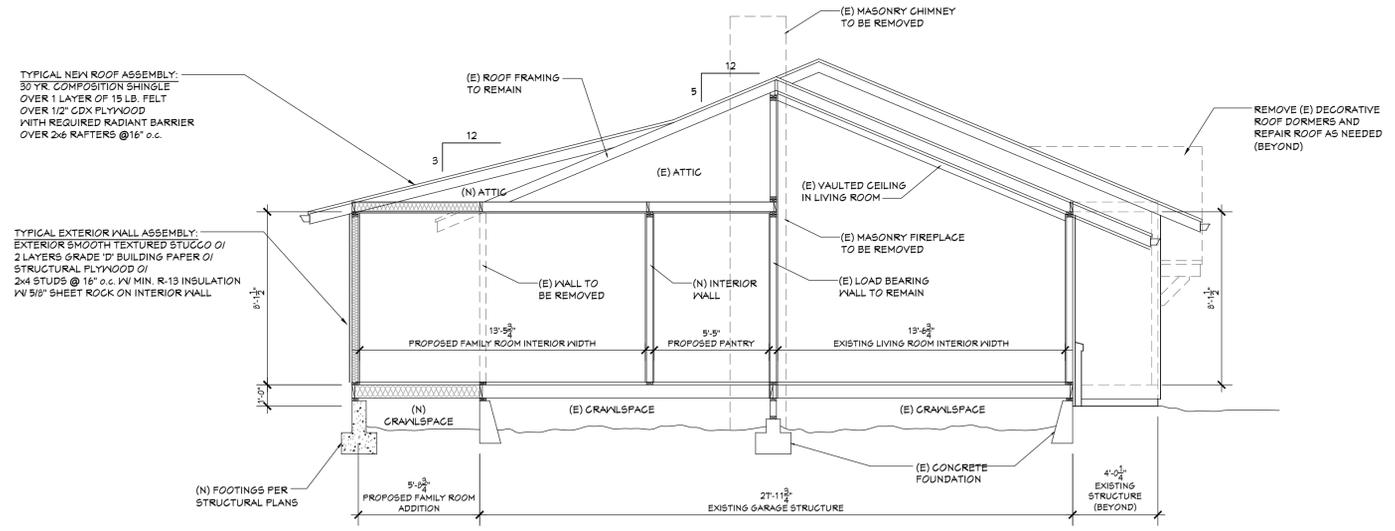
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BUILDING  
SECTIONS

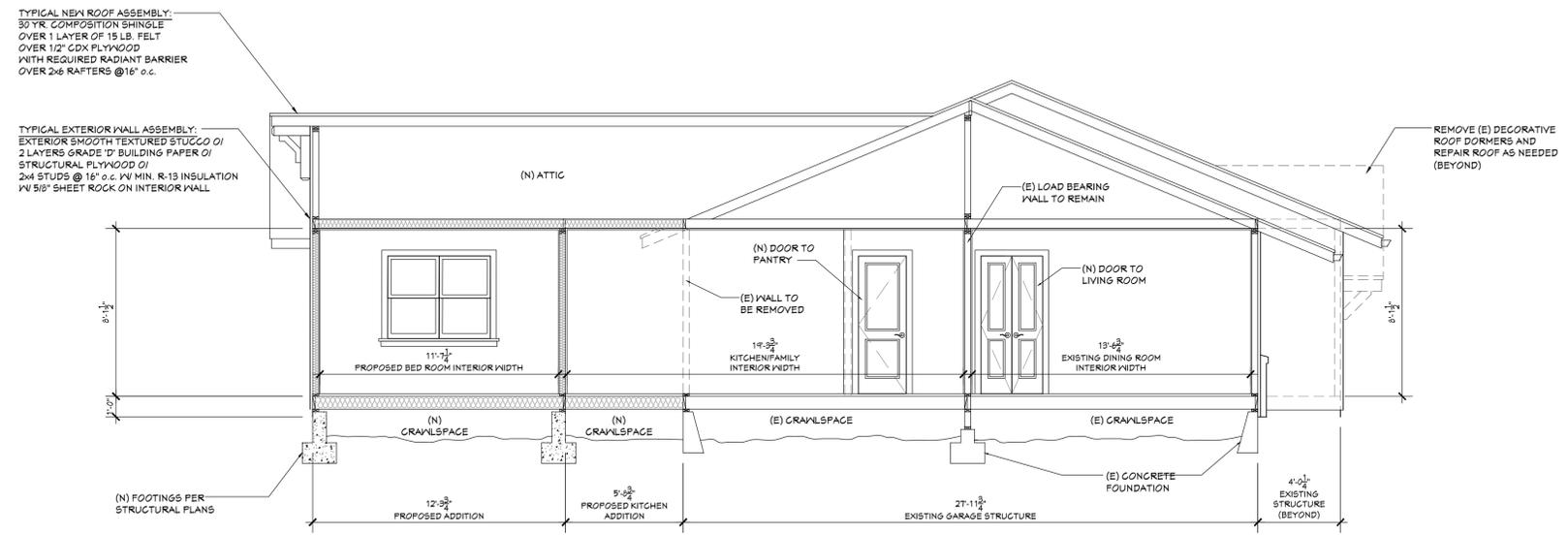
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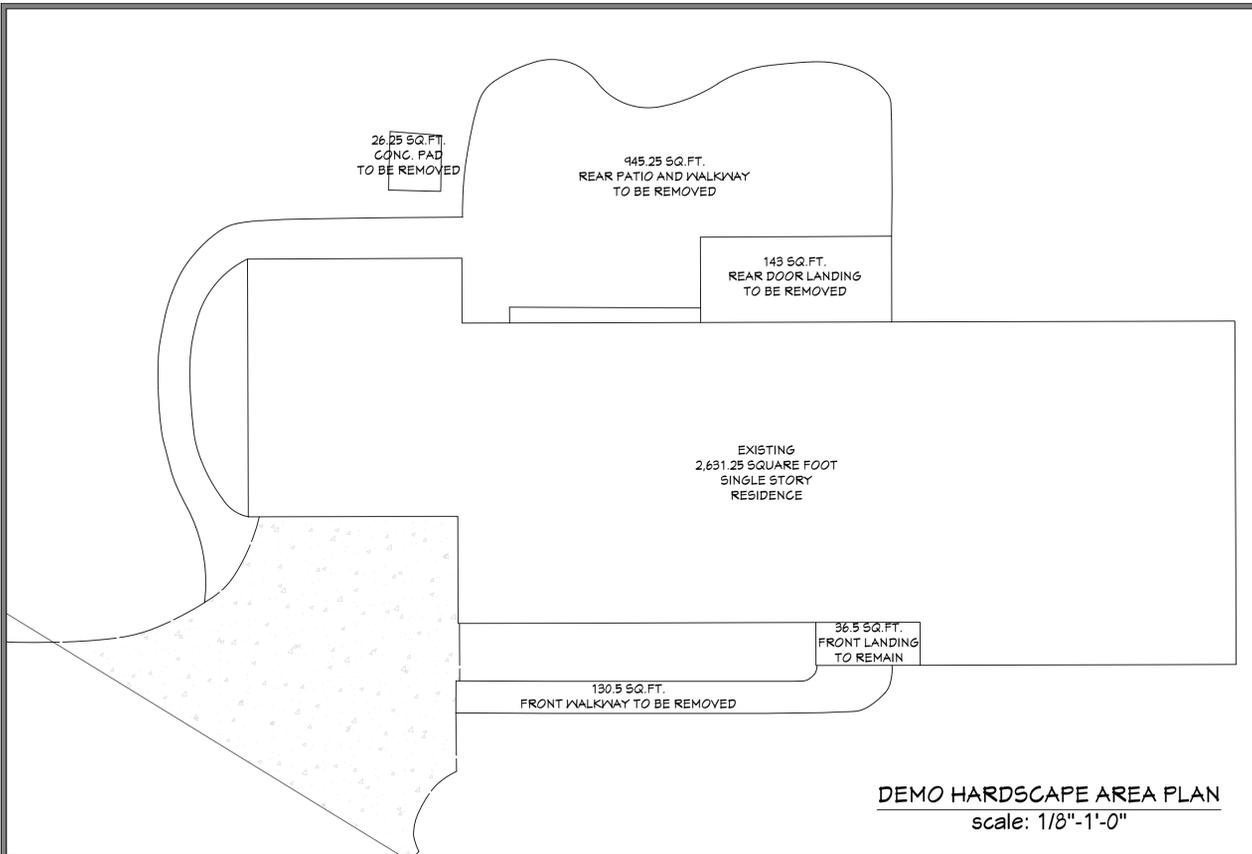
A-6.0



**BUILDING SECTION B~B**  
scale: 1/4"-1'-0"



**BUILDING SECTION A~A**  
scale: 1/4"-1'-0"

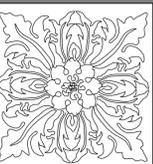


**HARDSCAPE AREA PLAN CALCULATION**

	EXISTING	PROPOSED
BUILDING AREA	2,631.25 sq.ft.	3,676.75 sq.ft.
FRONT DOOR LANDING	36.5	36.5
FRONT WALKWAY	130.5	201.5
DRIVEWAY	678.5	678.5
REAR PATIO AND WALK	945.25	587.0
REAR DOOR LANDING	143.0	21.5
REAR CONCRETE PAD	26.25	0.0
REAR STEPPING STONES	0.00	40.0
<b>TOTALS</b>	<b>4,591.25 sq.ft.</b>	<b>5,241.75 sq.ft.</b>
<b>DIFFERENCE:</b>		<b>+650.5 sq.ft.</b>

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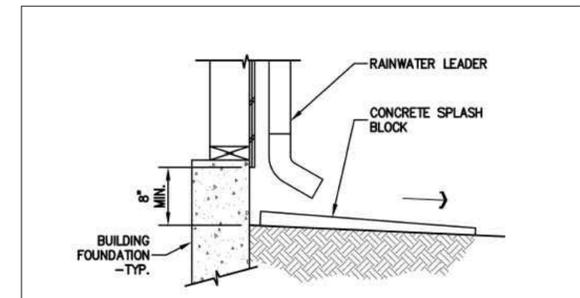
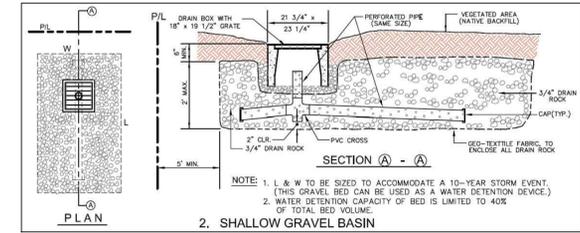
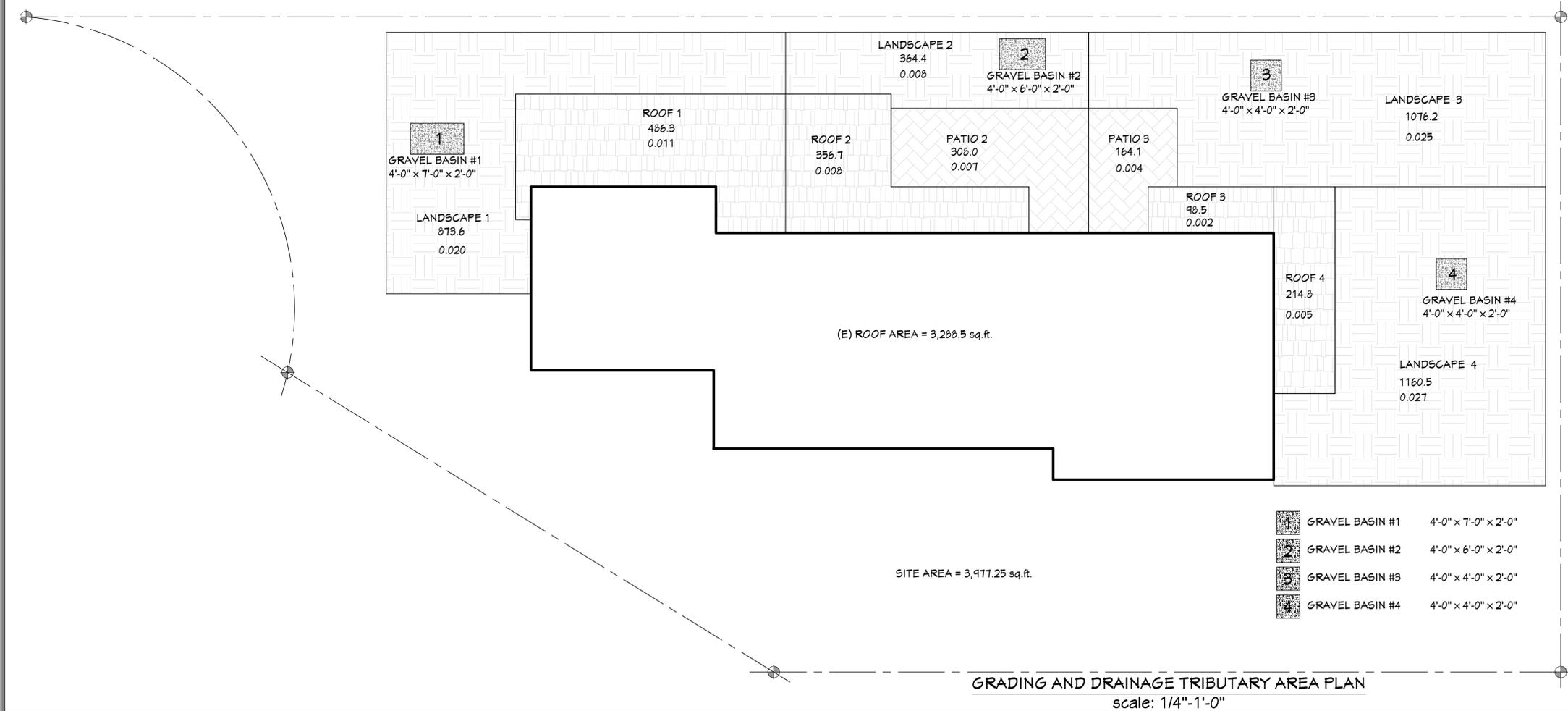


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GRADING AND DRAINAGE PLAN SHALL COMPLY WITH:  
Santa Clara County C.3 Storm water Handbook  
City of Los Altos

- GRADING AND DRAINAGE SITE NOTES:
- All new downspouts for addition shall direct water to pervious areas of the site and not to adjacent properties.
  - Create earthen swales to direct water run-off
  - Direct all run off to a new 36"x36"x24" deep SHALLOW GRAVEL BASIN (see Detail)

GRADING AND DRAINAGE PLAN  
LANDSCAPE PLAN



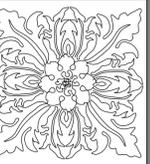
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**C-1.0**

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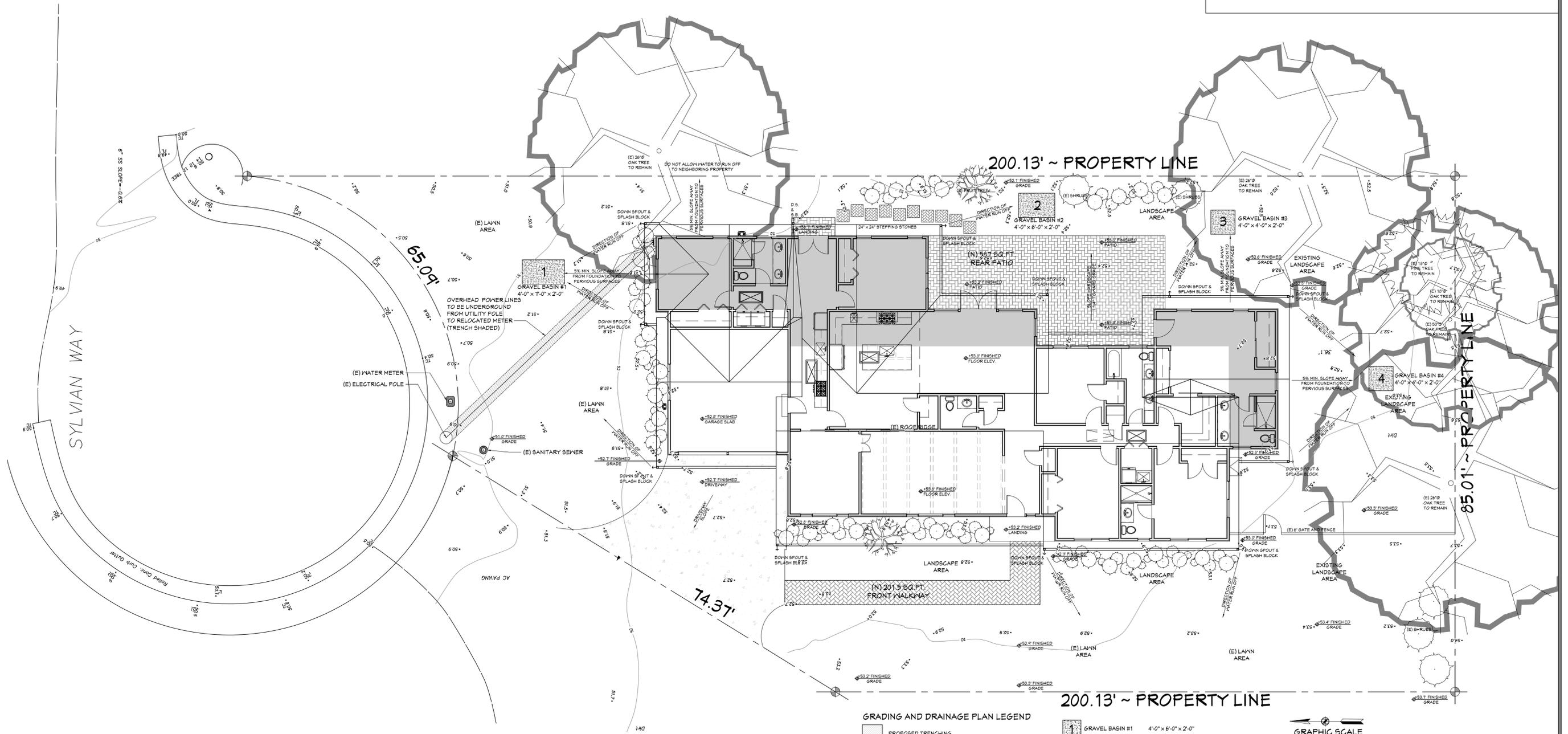
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GRADING AND DRAINAGE  
 PLAN  
 LANDSCAPE PLAN

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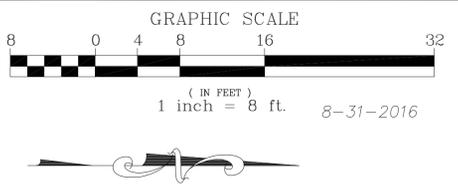
GRADING AND DRAINAGE PLAN LEGEND

- PROPOSED TRENCHING
- PROPOSED ADDITIONS
- PROPOSED NEW SEMI-PERMEABLE PAVEMENT
- 36' x 36' x 24' SHALLOW GRAVEL BASIN

- 1** GRAVEL BASIN #1 4'-0" x 6'-0" x 2'-0"
- 2** GRAVEL BASIN #2 4'-0" x 6'-0" x 2'-0"
- 3** GRAVEL BASIN #3 4'-0" x 4'-0" x 2'-0"
- 4** GRAVEL BASIN #4 4'-0" x 6'-0" x 2'-0"



GRADING AND DRAINAGE PLAN  
 scale: 1/8"=1'-0"

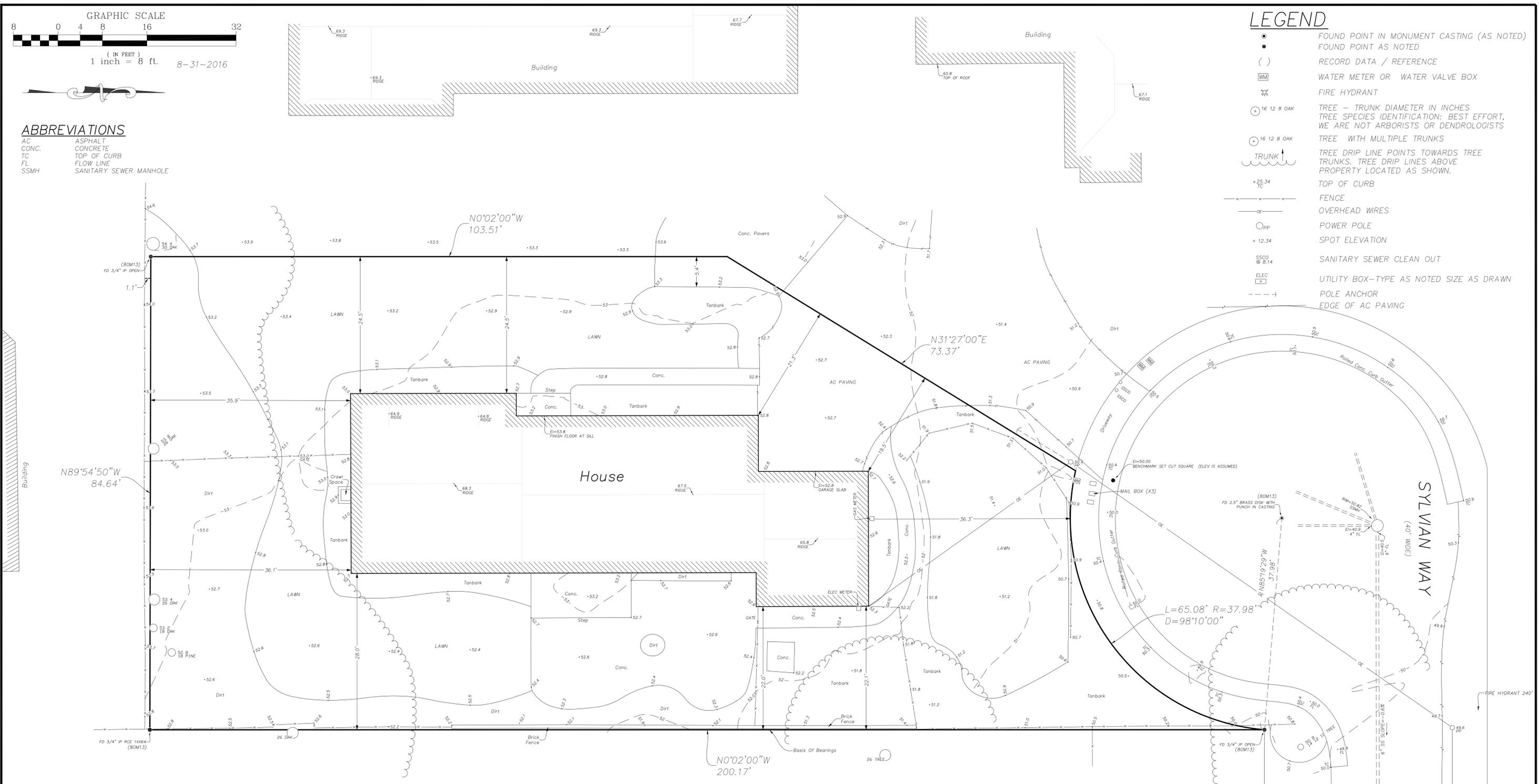


**ABBREVIATIONS**

AC	ASPHALT
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLE

**LEGEND**

●	FOUND POINT IN MONUMENT CASTING (AS NOTED)
○	FOUND POINT AS NOTED
( )	RECORD DATA / REFERENCE
WM	WATER METER OR WATER VALVE BOX
⊗	FIRE HYDRANT
⊙ 16 12 8 OAK	TREE - TRUNK DIAMETER IN INCHES
⊙ 16 12 8 OAK	TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
⊙ 16 12 8 OAK	TREE WITH MULTIPLE TRUNKS
TRUNK ↑	TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
+25.34	TOP OF CURB
—x—x—x—	FENCE
—o—o—o—	OVERHEAD WIRES
○PP	POWER POLE
+ 12.34	SPOT ELEVATION
SSCO 8 8 14	SANITARY SEWER CLEAN OUT
ELEC	UTILITY BOX—TYPE AS NOTED SIZE AS DRAWN
—x—x—	POLE ANCHOR
---	EDGE OF AC PAVING



**NOTES**

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BOUNDARY CONTROL: REF: 80 M 13

UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL TO THE PROPERTY LINES.

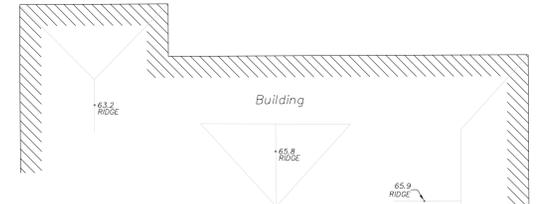
DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)

FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

BENCHMARK: ASSUMED DATUM, POINT AS SHOWN

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

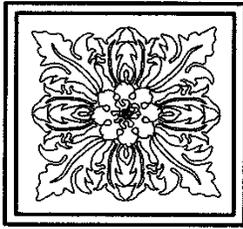
TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS



**SURVEY**  
 170 SYLVIAN WAY  
 LOS ALTOS  
 APN: 167-32-052  
 80 MAPS 13  
 LOT AREA: 13,129 SQ. FT



**L. Wade Hammond**  
 Licensed Land Surveyor  
 No. 6163  
 36660 Newark Blvd. Suite C  
 Newark, California 94560  
 Tel: (510) 579-6112 Fax: (510) 991-8054  
 wade@whlandsurveyor.com

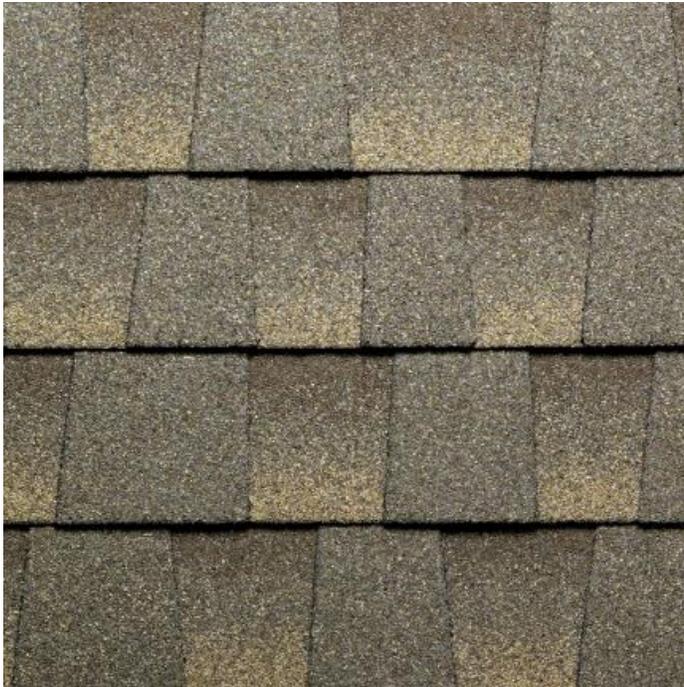


**MARGARET WIMMER**, *residential design*

P.O. Box 60681 ~ PALO ALTO, CA ~ 94306

(650) 646-1610 ~ [MMWIMMER@YAHOO.COM](mailto:MMWIMMER@YAHOO.COM)

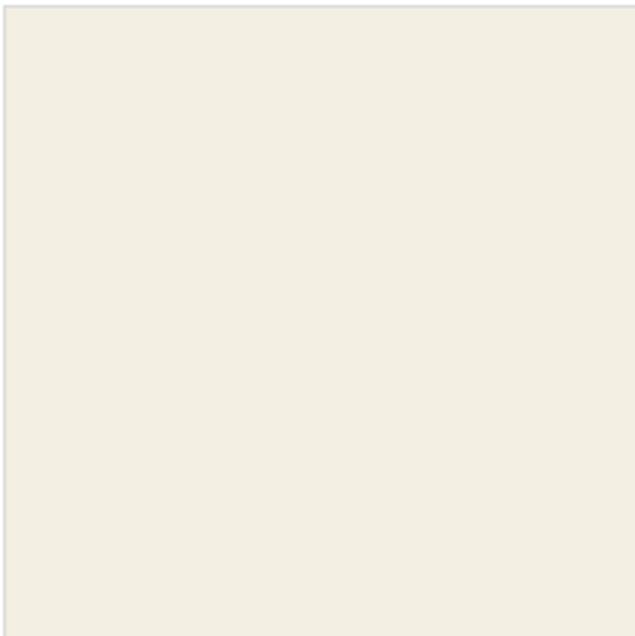
**170 SYLVIAN WAY ~ EXTERIOR MATERIALS BOARD**



**ROOF MATERIAL**

GAF COOL ROOF

COLOR: BARKWOOD



**WINDOW MATERIAL**

INTEGRITY BY MARVIN

FIBERGLASS CLAD EXTERIOR

COLOR: STONE WHITE

Stone White

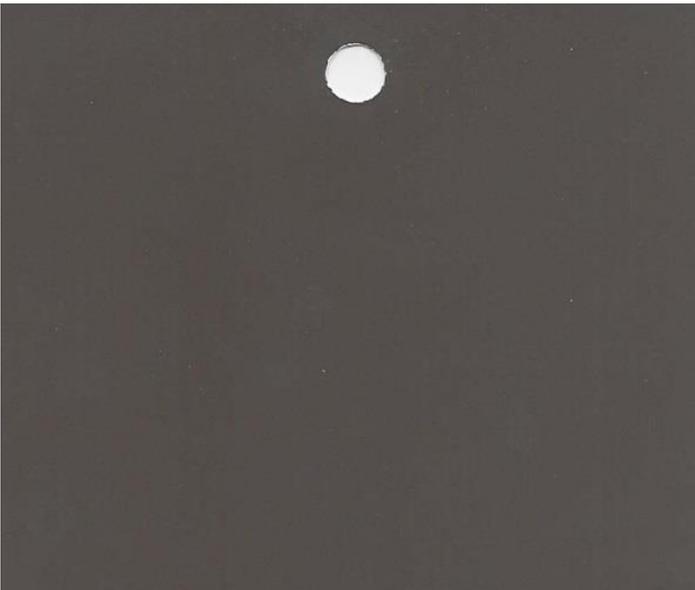


EXTERIOR WALL COLOR

MATERIAL: SMOOTH STUCCO FINISH

COLOR: BENJAMIN MOORE

#HC-39 PUTNAM IVORY



ACCENT PAINT COLOR

FOR SHUTTERS AND FRONT DOOR

COLOR: BENJAMIN MOORE

#HC-67 CLINTON BROWN



STONE VENEER WAINSCOAT

ELDORADO STONE

COLOR: DURANGO