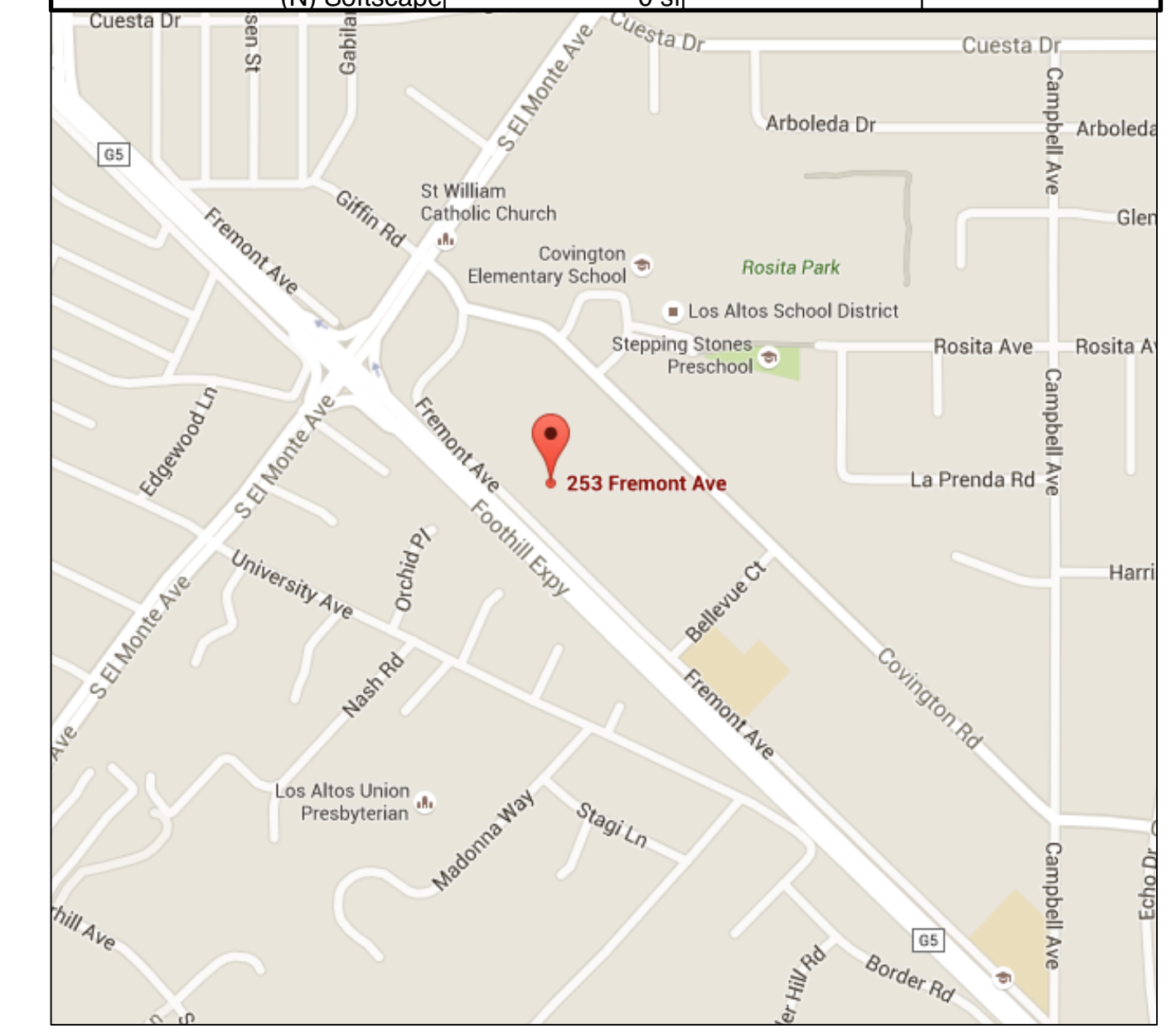


Zoning Compliance			
Assessor's Parcel Number:	APN: 189-48-024		
Zoning:	R1-20 sf		
Lot Area:	37,644 sf		
	0.86 acres		
(E) Main Residence:	2,335 sf		
(E) Garage:	503 sf		
(E) Guest:	788 sf		
(E) Pool Equipment:	125 sf		
(E) Covered Porch:	19 sf		
Proposed First Floor Addition:	1,619 sf	Garage: 488 sf	
Proposed Second Floor:	1,618 sf		
Proposed Pavillion:	665 sf		
(replaces Garage):			
Proposed Covered "porch":	40 sf		
Proposed Elimination of Bay:	22 sf		
	Existing	Proposed	Allowed/Required
Lot Coverage:	3473 sf	5272 sf	9411 sf
	9.23%	14.01%	25.00%
Floor Area:	3751 sf	6463 sf	6514 sf
	9.96%	17.17%	17.31%
Setbacks:			
Front	65'-0"	53'-7"	30'
Rear	91'-5"	91'-5"	35'
Right Side	56'-0"	56'-0"	25'
Left Side	44'-3"	25'-0"	25'
Right Side Second Floor	NA	67'-4"	25'
Left Side Second Floor	NA	38'-2"	25'
Height:	17'-4"	27'	27'
Square Footage Breakdown			
	Existing	Change In	Total Proposed
Habitable Living Area:	3123 sf	3237 sf	6360 sf
Non-Habitable Area:	647 sf	690 sf	1337 sf
(garages, pavillion, porches, and pool equipment)			
Lot Calculations			
Net Lot Area:	37644 sf	32372 sf (minus buildings)	
Front Yard Hardscape Area:	0 sf	0%	
Landscaping Breakdown:			
Hardscape (E) & (N)	0 sf		
(E) Softscape	32372 sf		
(N) Softscape	0 sf		



PROJECT LOCATION: 253 FREMONT AVENUE, LOS ALTOS

PROJECT DESCRIPTION:
NEW SECOND FLOOR AND FIRST FLOOR ADDITION TO EXISTING SINGLE STORY RESIDENCE.
 - NEW GARAGE
 - REPLACE (E) GARAGE WITH (N) OPEN PAVILLION
 - GREAT ROOM ADDITION
 - REMODELED KITCHEN/PANTRY
 - NEW OFFICE
 - NEW SECOND FLOOR INCLUDES (3) BEDROOMS

OCCUPANCY GROUP = R-3; U
 TYPE OF CONSTRUCTION = TYPE V-B
 1-STORY WOOD FRAME CONSTRUCTION

CODES:
 - 2013 CALIFORNIA BUILDING CODE
 - 2013 CALIFORNIA ELECTRICAL CODE
 - 2013 CALIFORNIA MECHANICAL CODE
 - 2013 CALIFORNIA PLUMBING CODE
 - 2013 CALIFORNIA ENERGY CODE
 - LOS ALTOS MUNICIPAL CODE

OWNERS:
RON & NIAMH PELLEGRINI
 253 FREMONT AVENUE
 LOS ALTOS, CA 94024
 650-280-0205

DESIGNER:
GREG MILLER DESIGNS
 212 W. HILTON DRIVE
 BOULDER CREEK, CA. 95006
 GREGMILLER@POBOX.COM
 831-338-1121

SURVEYOR:
WILSON LAND SURVEYS, INC.
 KEN WILSON, LS 5571
 3001 WINCHESTER BOULEVARD, STE. 11
 CAMPBELL, CA 95008
 408-540-7687

Floor Area and Coverage Calculations			
Section	Width	Length	Area
A	22'6"	4'0"	90 sf
B	32'6"	55'7.1/2"	1808 sf
C	12'6"	38'3"	478 sf
D	32'0"	48'2"	1522 sf
E	11'1"	5'3"	10 sf
F	2'0"	8'3"	17 sf
G	9'1"	1'1"	9 sf
L (Guest, lower level)	18'0"	28'6"	491 sf
N (Pool Equipment)	7'3"	17'3"	125 sf
First Floor Subtotal:			4548 sf
H	12'0"	24'0"	288 sf
I	30'6"	34'2"	1042 sf
J	12'0"	24'0"	288 sf
M (Guest, upper level)	18'0"	16'6"	297 sf
Second Floor Subtotal:			1915 sf
Total Floor Area			6463 sf
K (Pavillion: open)	21'3"	33'1"	665 sf
O (Covered Porch Entry)	9'8"	2'0"	19 sf
N (Covered Porch Garage)	10'0"	4'0"	40 sf
First Floor Subtotal:			4548 sf
Total Lot Coverage:			5273 sf

1 EXISTING FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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 GREGMILLER@POBOX.COM

PELEGRINI RESIDENCE
 253 FREMONT AVE.
 LOS ALTOS, CALIFORNIA, 94022

PROJECT INFORMATION

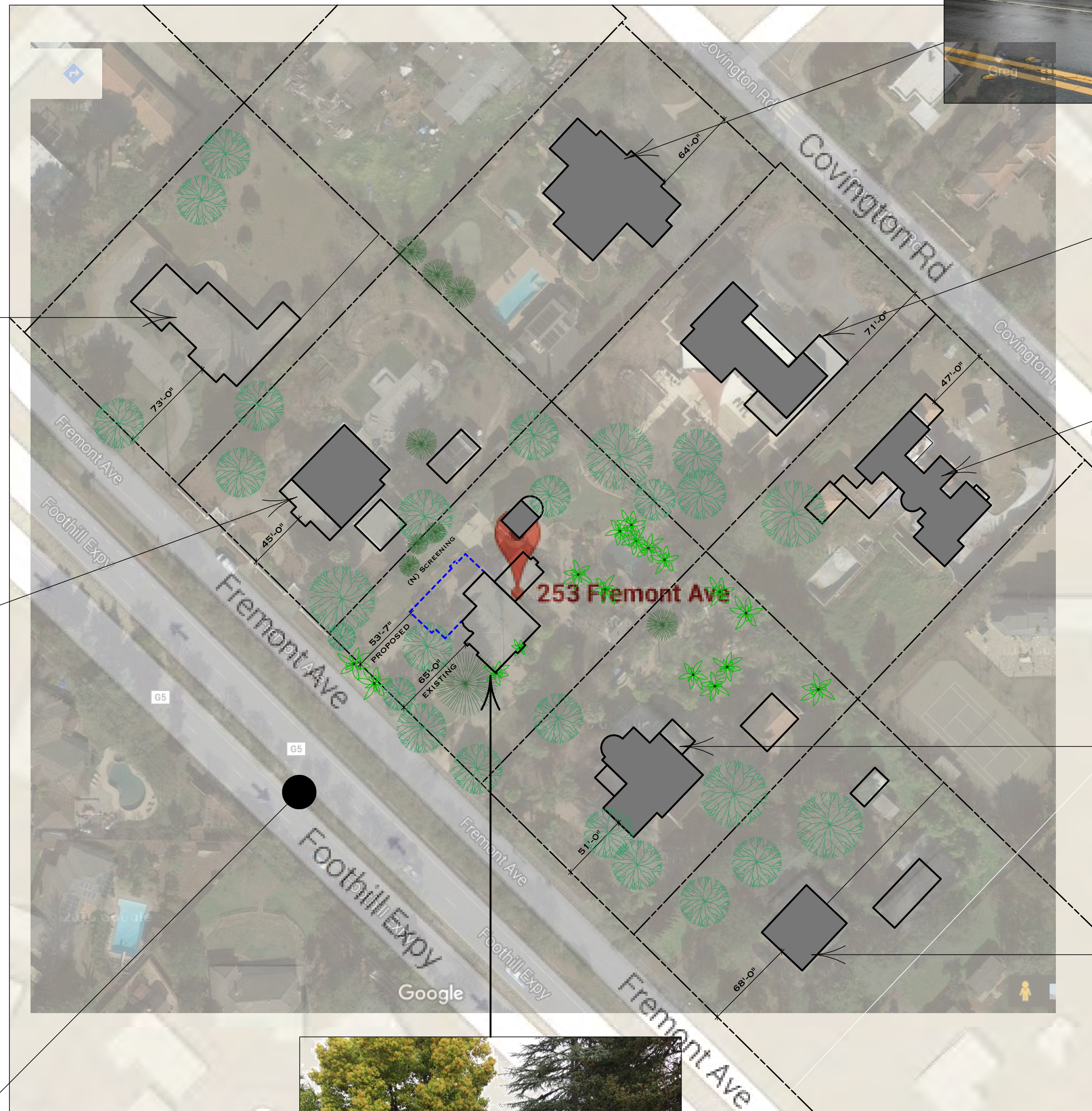
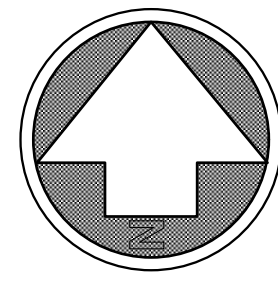
SHEET INDEX:

A1	PROJECT INFORMATION/SITE PLAN
A2	NEIGHBORHOOD PLAN
A2.1	SITE PLAN
A2.2	GRADING & DRAINAGE PLAN
A2.3	LANDSCAPE PLAN AND TREE PROTECTION
A3	FIRST FLOOR PLAN
A4	SECOND FLOOR PLAN
A5	ROOF PLAN
A6	ELEVATIONS (FRONT/REAR)
A7	ELEVATIONS (RIGHT/LEFT)
A8	BUILDING SECTIONS
A9	EXISTING FLOOR PLAN
A10	EXISTING ELEVATIONS
A11	EXISTING GUEST HOUSE/POOL EQ.
C-1	SURVEY

4/28/16

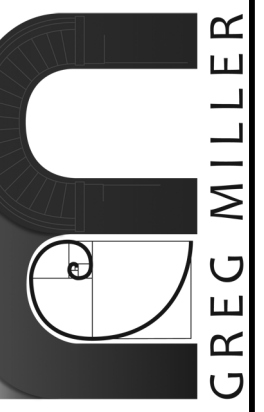
Revisions:

A1



1 NEIGHBORHOOD PLAN
SCALE: 1" = 50 FT

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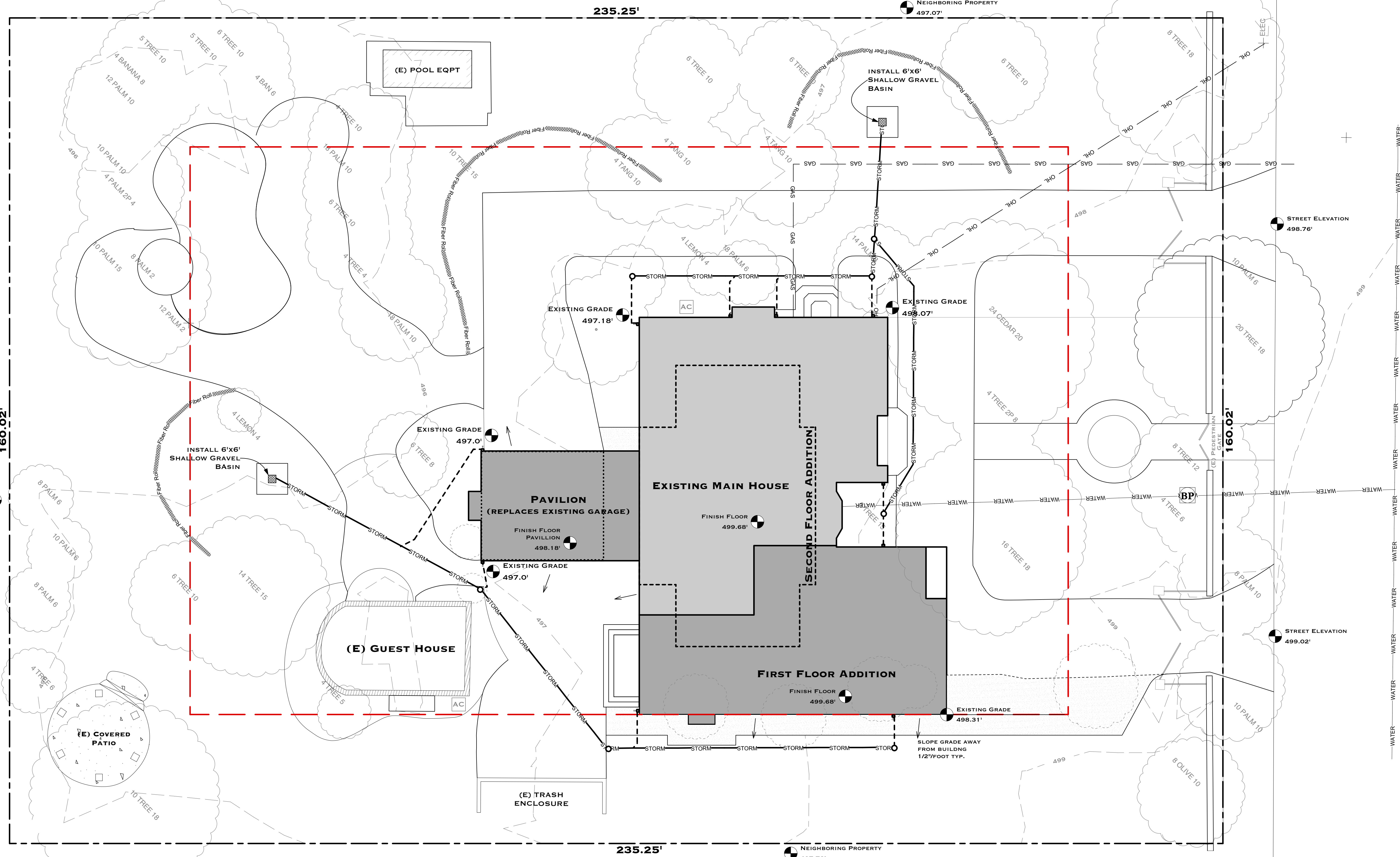
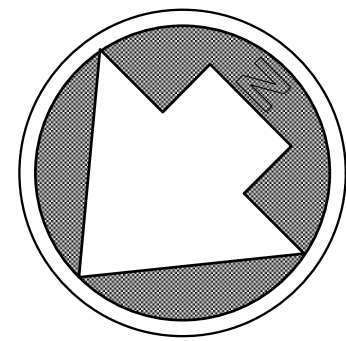
PELEGRINI RESIDENCE
253 FREMONT AVE.
LOS ALTOS, CALIFORNIA, 94022

NEIGHBORHOOD PLAN

4/20/16

Revisions:

A2



1 PRELIMINARY GRADING & DRAINAGE PLAN
SCALE: 1" = 10 FT

- GRADING & DRAINAGE NOTES:**
1. GRADE SLOPE AWAY FROM BUILDING WITH A MIN. GRADE OF 1/2" PER FOOT FOR A DISTANCE OF AT LEAST 30' FROM BUILDING.
 2. NEARLY ALL OF THE LANDSCAPING IS EXISTING AND TO REMAIN.
 3. EXPAND WIDTH OF SOUTHWEST DRIVEWAY.
 4. ADD A PAVED WALKWAY ALONG SIDE OF (N) GARAGE.
 5. (N) STEPS DOWN FROM MAIN LEVEL TO EXISTING PATIO AT BACK.
 6. ADD SMALL AMOUNT PAVING AT SOUTHEAST OF PAVILION TO FILL IN.

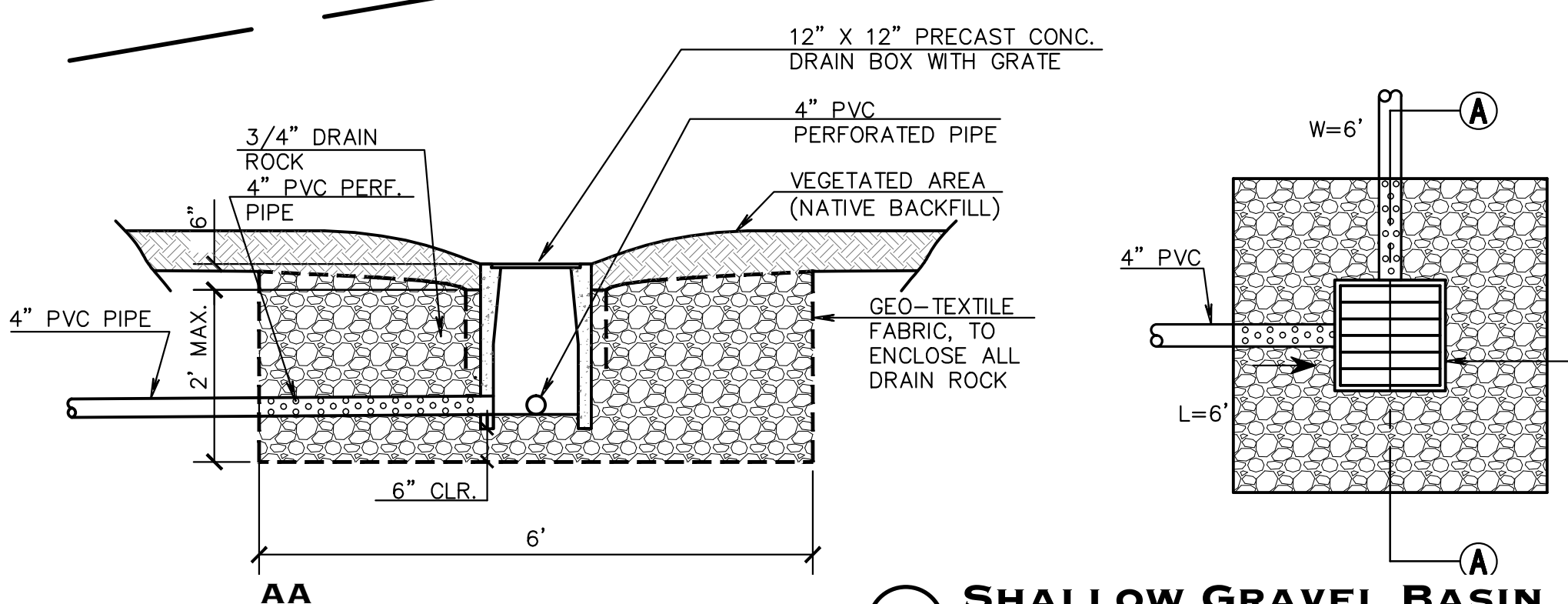
- KEY**
- S— (N) STORM DRAIN LINE
 - - - - - CONNECT DOWNSPOUTS W 4" PVC PIPE
 - TEMPORARY FIBER ROLL
 - CLEANOUT TO FINISHED GRADE
 - DOWNSPOUT

- GENERAL NOTES**
1. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTES.
 2. WHEN APPLICABLE, ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE ORDINANCES, SPECIFICATIONS, AND STANDARDS OF THE CITY OF LOS ALTOS.
 3. UNLESS OTHERWISE SPECIFIED, ALL ON-SITE AREA DRAINS SHALL BE CHRISTY-TYPE PRECAST CONCRETE OR APPROVED EQUAL.
 4. UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THIS PLAN AND THE SITE PLAN ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE PROPER AGENCIES.
 5. THE EXISTING TOPGRAPHIC INFORMATION SHON ON THIS PLAN WAS TAKEN FROM THE DURVEY, SEE SHEET C-1.

TREE PROTECTION

PRIOR TO INITIATION OF CONSTRUCTION ACTIVITY, TEMPORARY BARRICADES SHOULD BE INSTALLED AROUND ALL TREES IN THE CONSTRUCTION AREA:

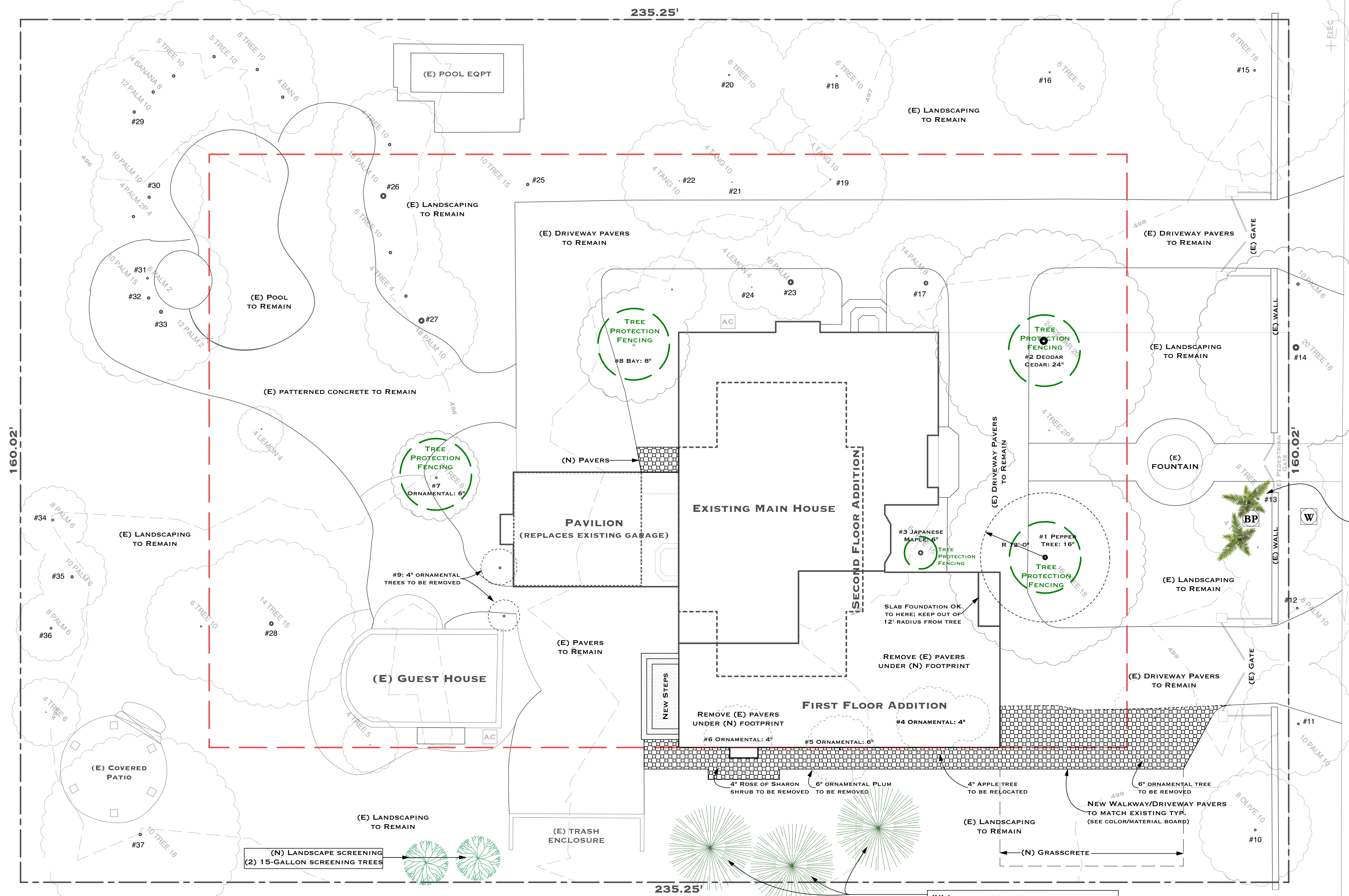
- SIX-FOOT HIGH, CHAIN LINK FENCES ARE TO BE MOUNTED ON STEEL POSTS, DRIVEN 2 FEET INTO THE GROUND, AT NO MORE THAN 10-FOOT SPACING.
- THE FENCES SHALL ENCLOSE ENCLOSE LOW BRANCHES AND PROTECT TRUNK AND AS CLOSE TO THE DRIP LINE AREA AS PRACTICAL.
- TREE PROTECTION TO REMIAN FOR DURATION OF CONSTRUCTION.



2 SHALLOW GRAVEL BASIN

4/20/16

Revisions:



TREE NUMBER	DIAMETER	SPECIES	KEEP OR REMOVE	PROTECTION
#1	1'4"	CALIFORNIA PEPPER	KEEP	REQUIRED
#2	2'10"	DEODAR CEDAR	KEEP	REQUIRED
#3	6"	JAPANESE MAPLE	KEEP	REQUIRED (SAVE IF POSSIBLE)
#4	4"	ORNAMENTAL APPLE	REMOVE	RELOCATE
#5	6"	ORNAMENTAL PLUM	REMOVE	NA
#6	4"	ROSE OF SHARON SHRUB	REMOVE	NA
#7	6"	ORNAMENTAL	KEEP	REQUIRED
#8	8"	BAY	KEEP	REQUIRED
#9	(2) @ 4"	ORNAMENTALS	REMOVE	NA
#10 THROUGH 37	8" AND UP (SEE PLAN)	VARIOUS	KEEP ALL	NONE NEEDED PER ARBORIST

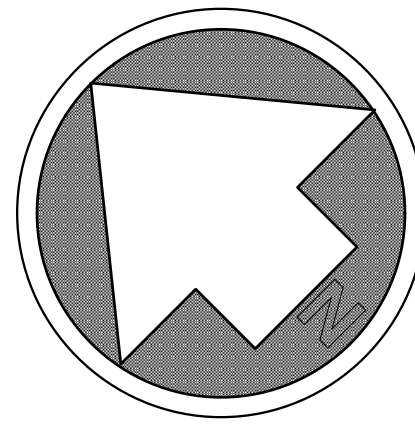
TREE PROTECTION (SEE ALSO ARBORIST REPORT)
 PRIOR TO INITIATION OF CONSTRUCTION ACTIVITY, TEMPORARY BARRICADES SHOULD BE INSTALLED AROUND ALL TREES IN THE CONSTRUCTION AREA AS NOTED ON PLANS:
 - SIX-FOOT HIGH, CHAIN LINK FENCES ARE TO BE MOUNTED ON STEEL POSTS, DRIVEN 2 FEET INTO THE GROUND, AT NO MORE THAN 10-FOOT SPACING.
 - THE FENCES SHALL ENCLOSE LOW BRANCHES AND PROTECT TRUNK AND AS CLOSE TO THE DRIP LINE AREA AS PRACTICAL.
 - TREE PROTECTION TO REMAIN FOR DURATION OF CONSTRUCTION.
 - PAVING STONES WILL BE USED IN PATHWAY IN LIEU OF CEMENT.
 - SLAB WILL BE USED FOR FLOOR OF GARAGE IN LIEU OF DEEP FOUNDATION.
 - IRRIGATION LINES SHOULD BE RUN THROUGH PVC TUBE FOR PROTECTION. TUBING SHOULD LAY UNDER PAVERS OR BETWEEN PAVERS.
 - CONCRETE SLAB SHOULD NOT COME WITHIN 12 FEET OF BASE OF TREE.
 - ANY ROOT CUTTING OF 3" OR GREATER SHOULD BE REVIEW BY A CONSULTING ARBORIST BEFORE CUTTING.

LANDSCAPING NOTES:
 1. NEARLY ALL OF THE LANDSCAPING IS EXISTING AND TO REMAIN.
 2. EXPANDING WIDTH OF SOUTHWEST DRIVEWAY.
 3. ADDING A PAVED WALKWAY ALONG SIDE OF (N) GARAGE.
 4. (N) STEPS DOWN FROM MAIN LEVEL TO EXISTING PATIO AT BACK.
 5. ADDING SMALL AMOUNT PAVING AT SOUTHEAST OF PAVILION TO FILL IN.
 6. ADD (3) SCREENING TREES ALONG NORTHWEST PROPERTY LINE.

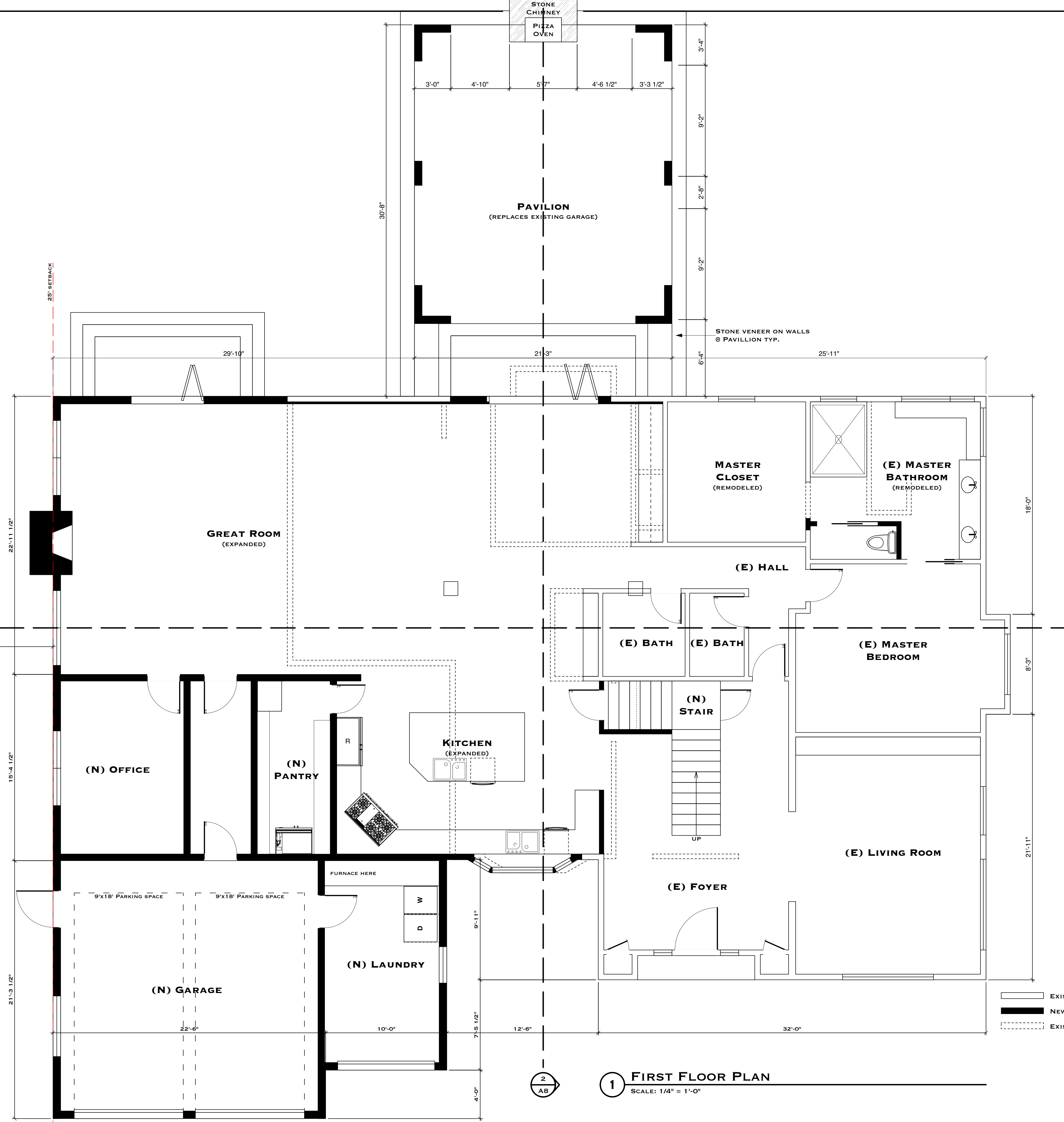
(N) LANDSCAPE SCREENING (3) SWEET BAY (LAURUS NOBILIS); 24" BOX 10 FOOT HIGH GOING IN THE GROUND

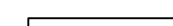


BACKFLOW SCREENING:
 (N) BACKFLOW PREVENTOR IS SCREENED FROM ROAD BY (E) FRONT WALL.
 ADD (2) PALMS TO MATCH FRONT LANDSCAPE PALMS AS ADDITIONAL SCREENING.

1 LANDSCAPE PLAN AND TREE PROTECTION
 SCALE: 1" = 10 FT



PROPERTY LINE



-  EXISTING WALLS TO REMAIN
-  NEW WALLS
-  EXISTING WALLS TO BE REMOVED

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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GREG MILLER

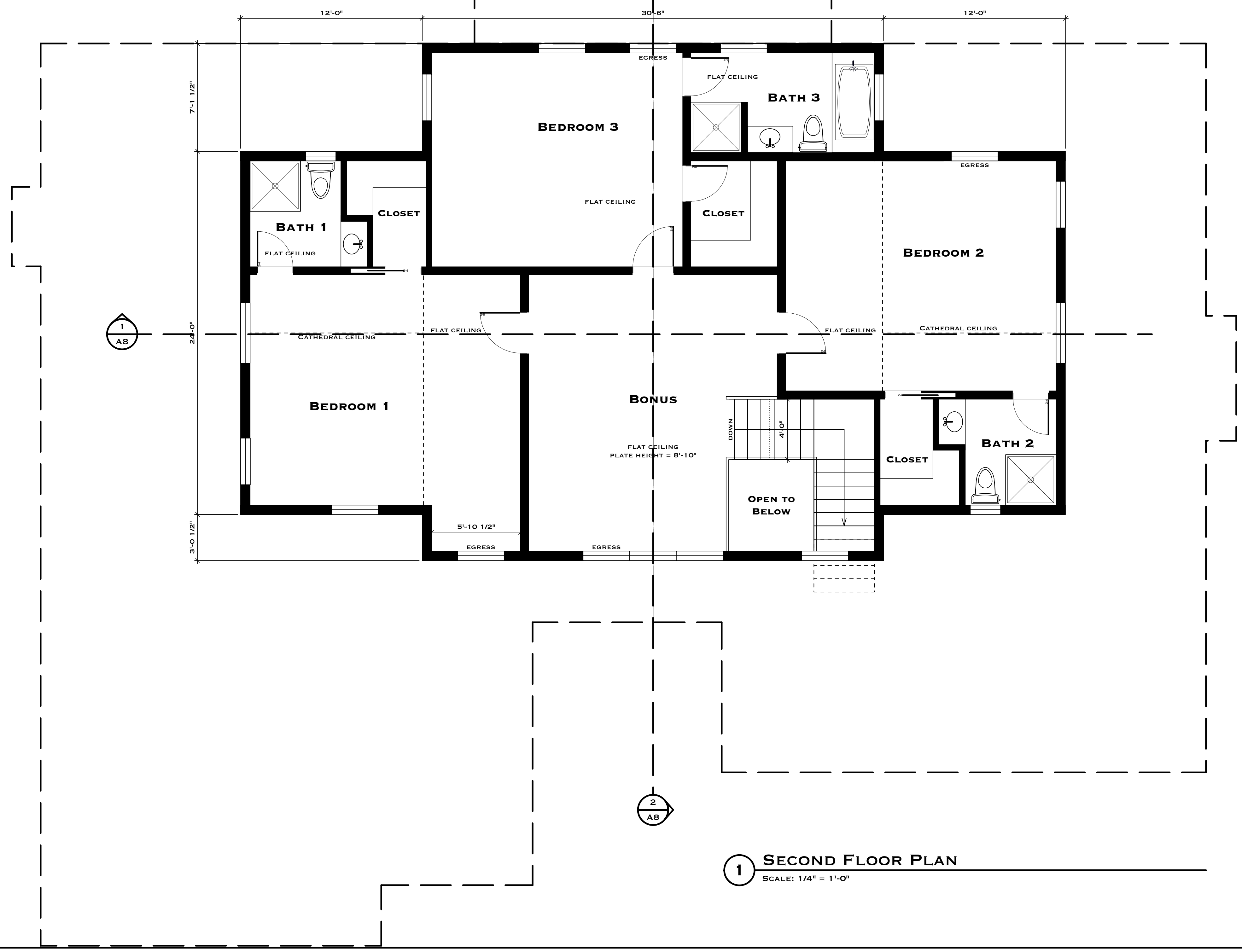
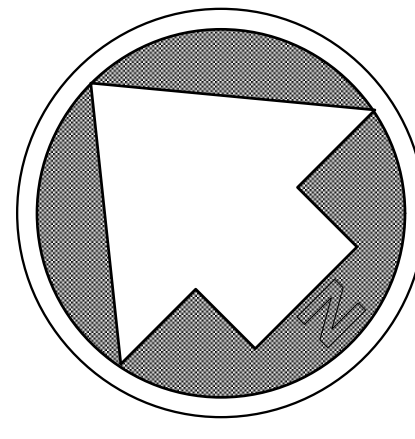
PELEGRINI RESIDENCE
253 FREMONT AVE.
LOS ALTOS, CALIFORNIA, 94022

FIRST FLOOR PLAN

4/28/16

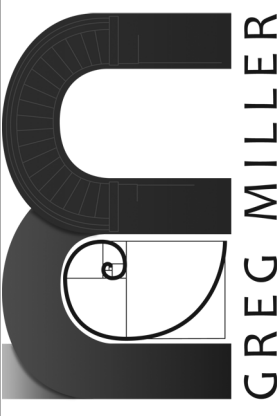
Revisions:

A3



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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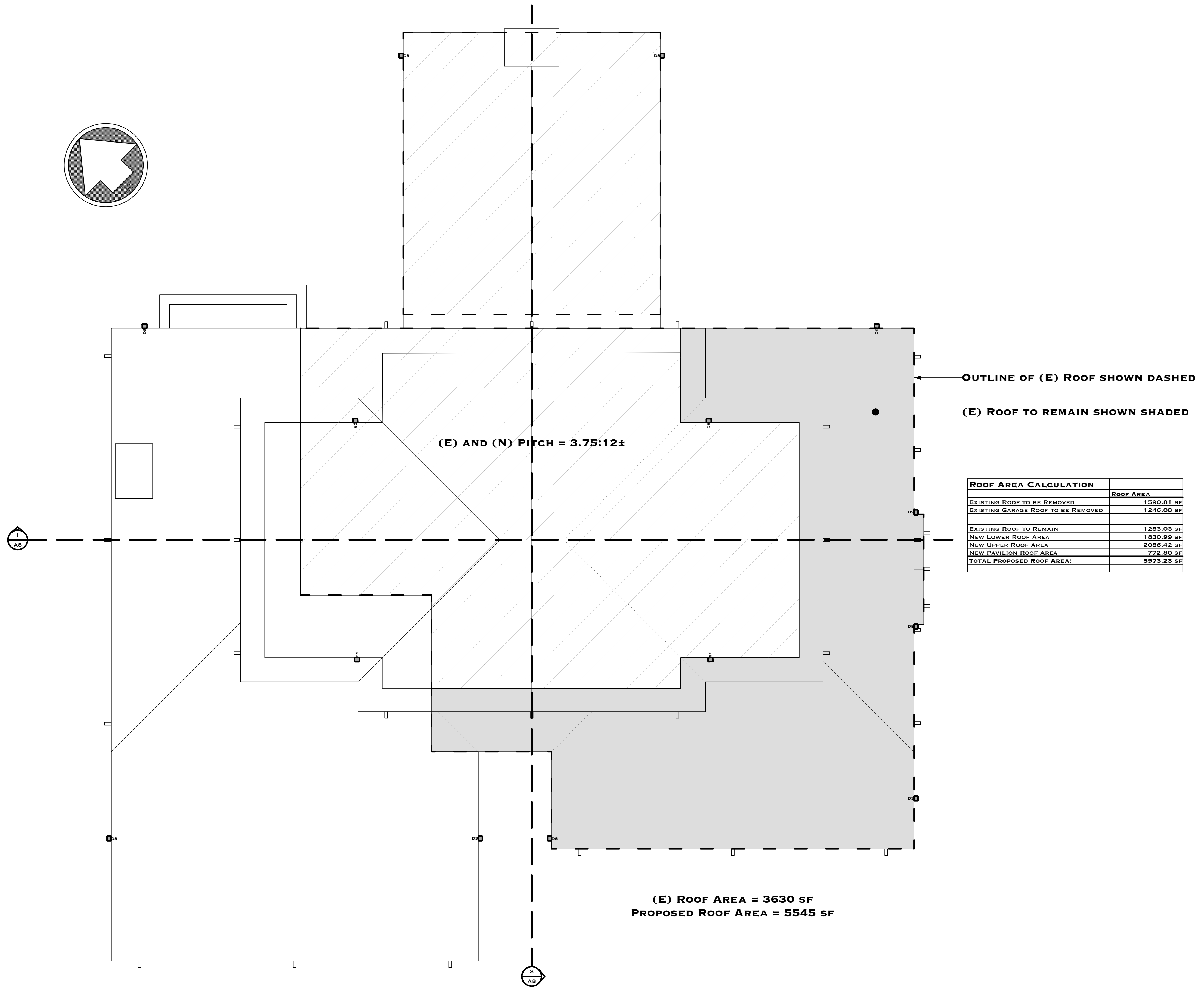
PELEGRINI RESIDENCE
253 FREMONT AVE.
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SECOND FLOOR PLAN

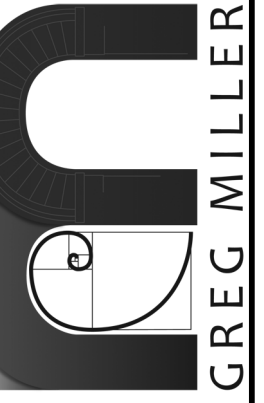
4/20/16

Revisions:

A4



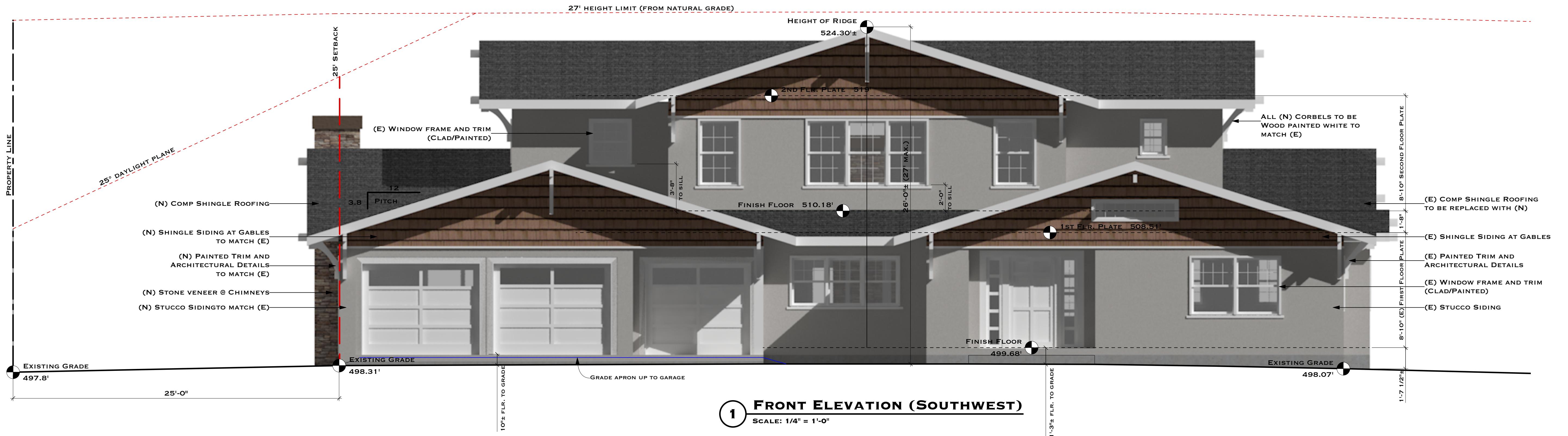
1 ROOF PLAN
SCALE: 3/16" = 1'-0"



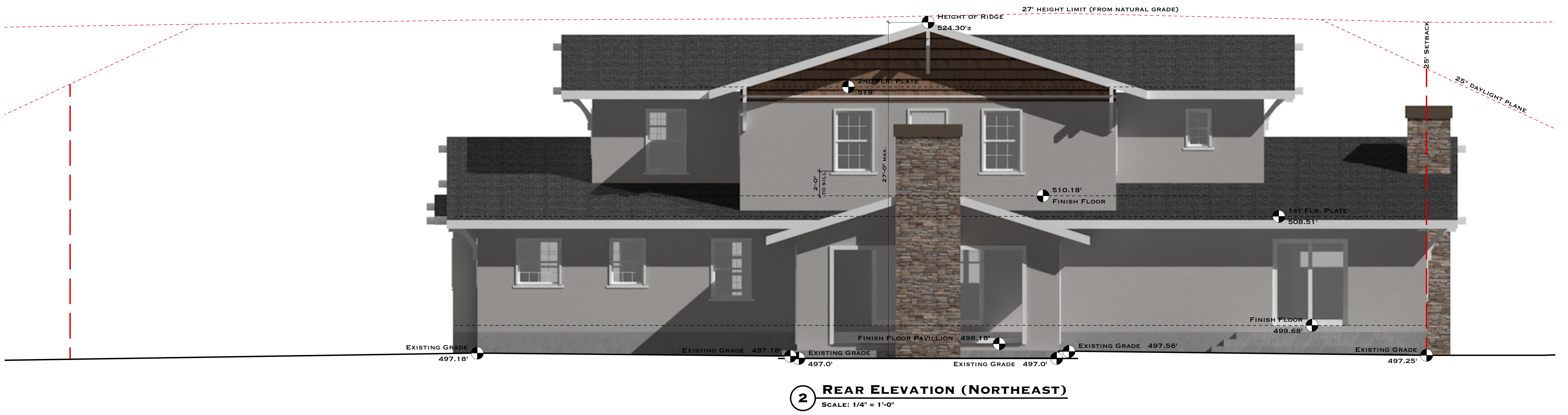
ROOF PLAN

4/20/16

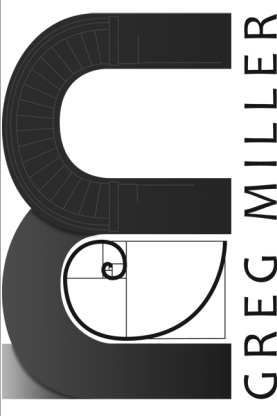
Revisions:



1 FRONT ELEVATION (SOUTHWEST)
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION (NORTHEAST)
SCALE: 1/4" = 1'-0"



4/28/16

Revisions:

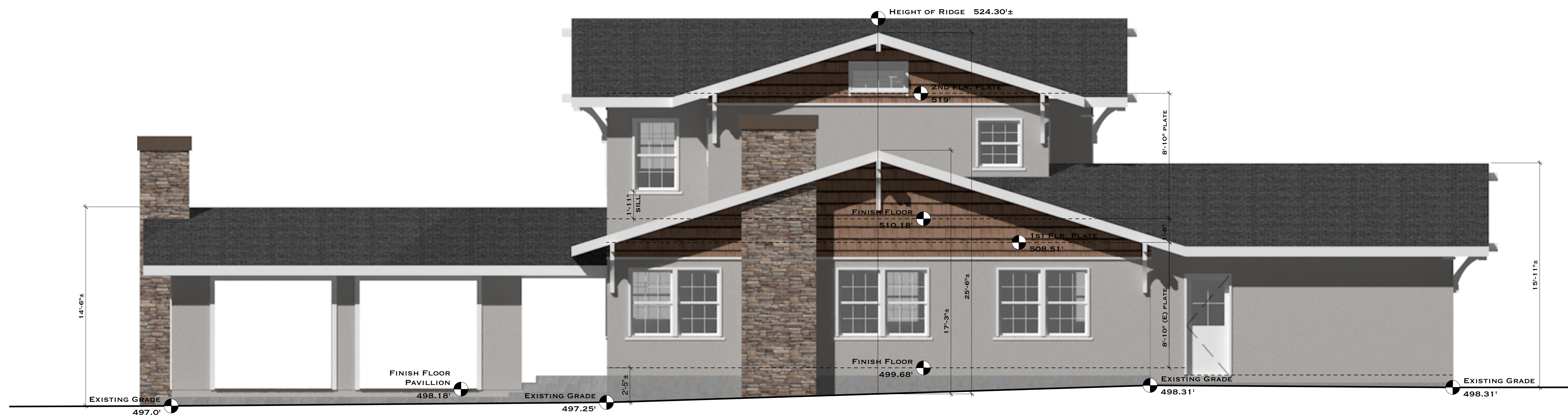
EXISTING



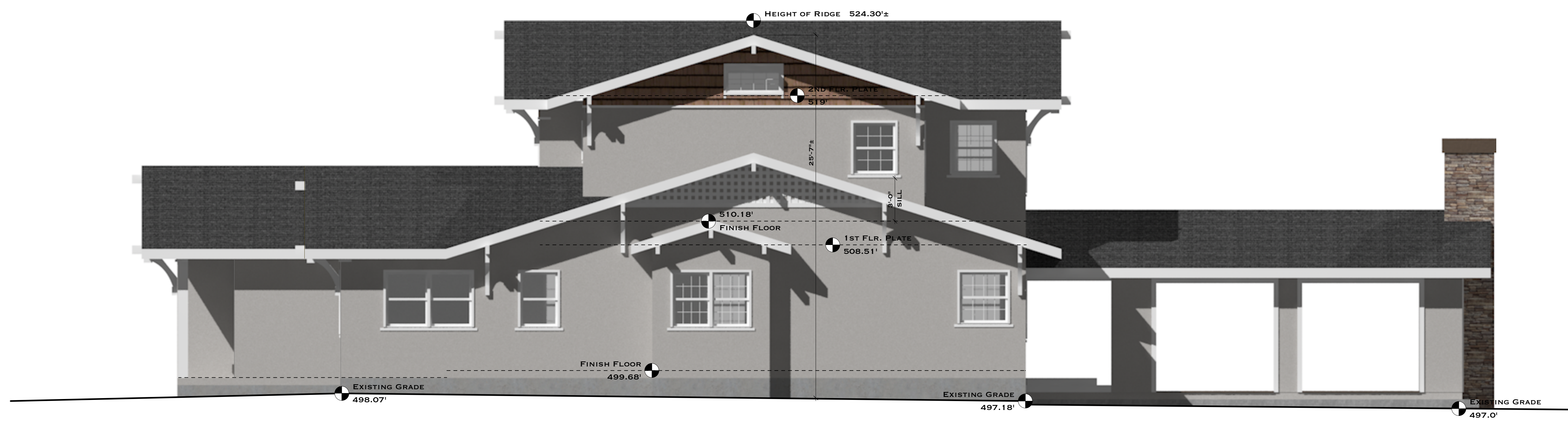
LEFT AND RIGHT ELEVATIONS

4/28/16

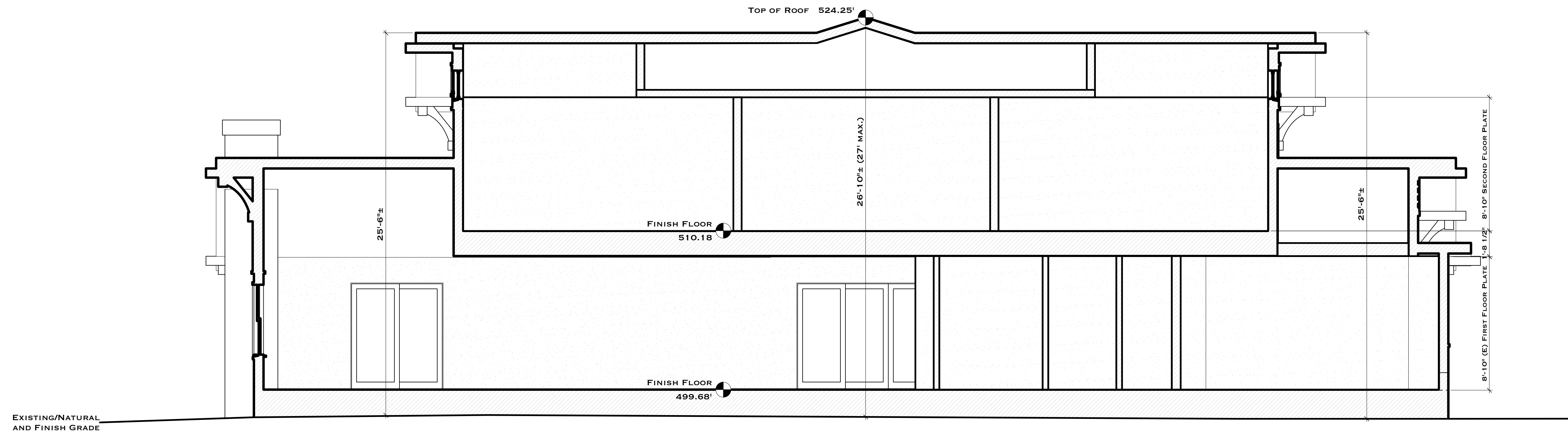
Revisions:



1 LEFT ELEVATION (NORTHWEST)
 SCALE: 1/4" = 1'-0"

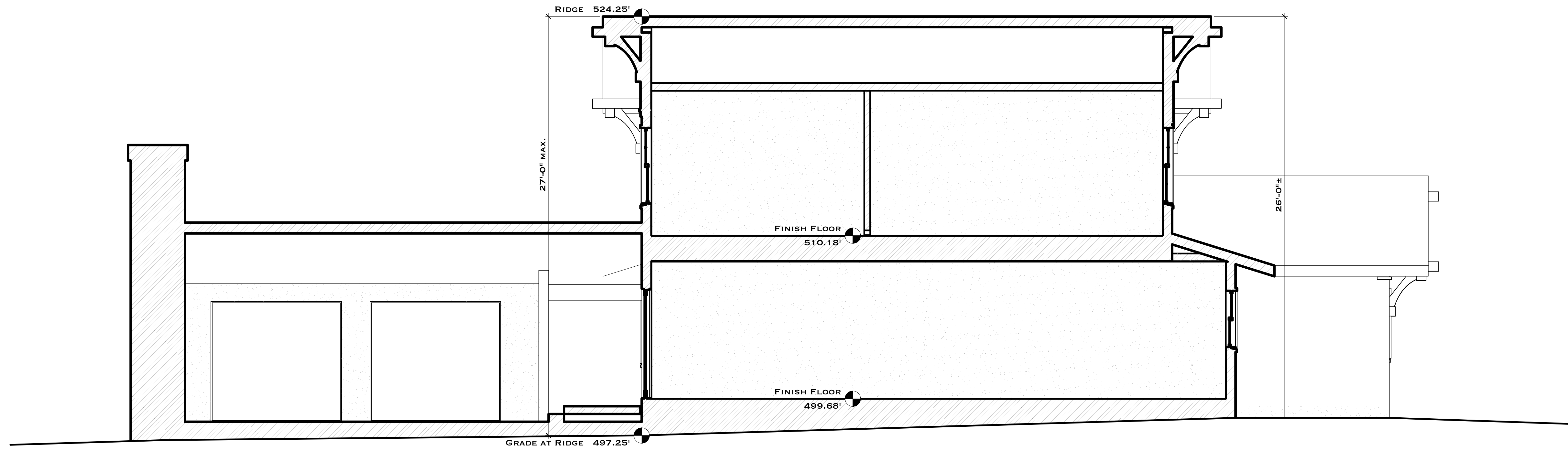


2 RIGHT ELEVATION (SOUTHEAST)
 SCALE: 1/4" = 1'-0"



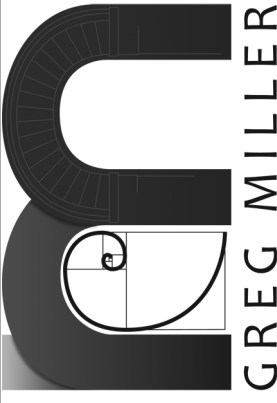
EXISTING/NATURAL
AND FINISH GRADE

1 SECTION 1
SCALE: 1/4" = 1'-0"



2 SECTION 2
SCALE: 1/4" = 1'-0"

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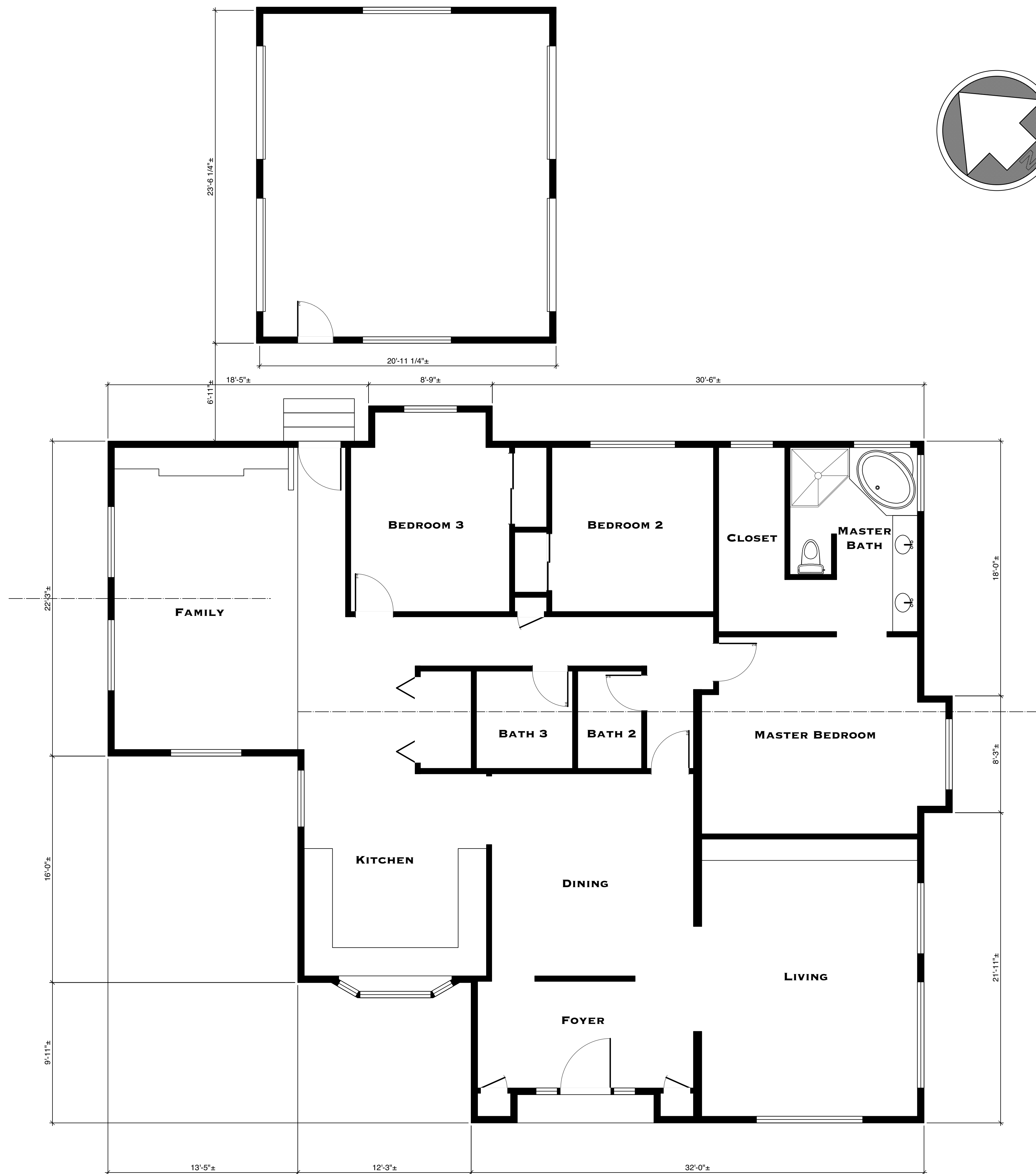
GREG MILLER

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LOS ALTOS, CALIFORNIA, 94022

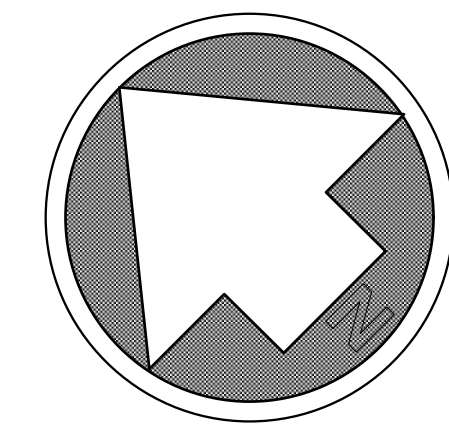
BUILDING SECTIONS

4/20/16

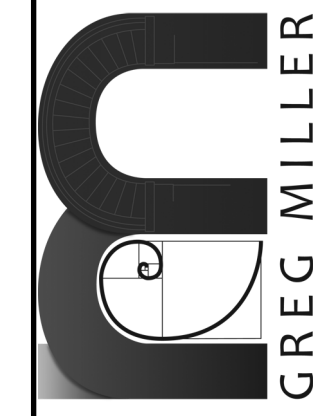
Revisions:



1 EXISTING MAIN RESIDENCE
SCALE: 1/4" = 1'-0"



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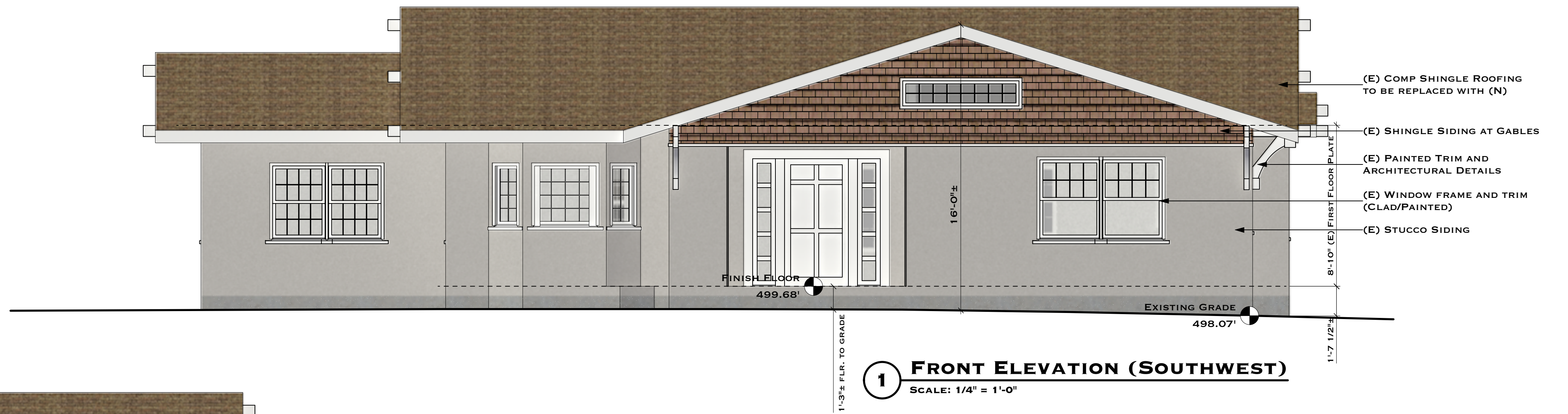
PELEGRINI RESIDENCE
253 FREMONT AVE.
LOS ALTOS, CALIFORNIA, 94022

EXISTING FLOOR PLAN

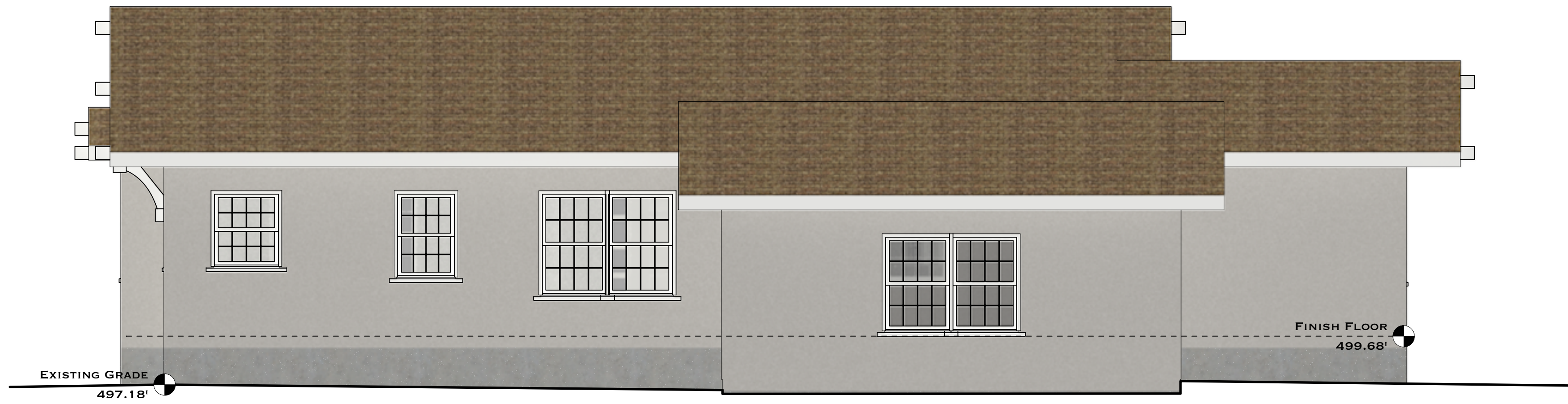
4/28/16

Revisions:

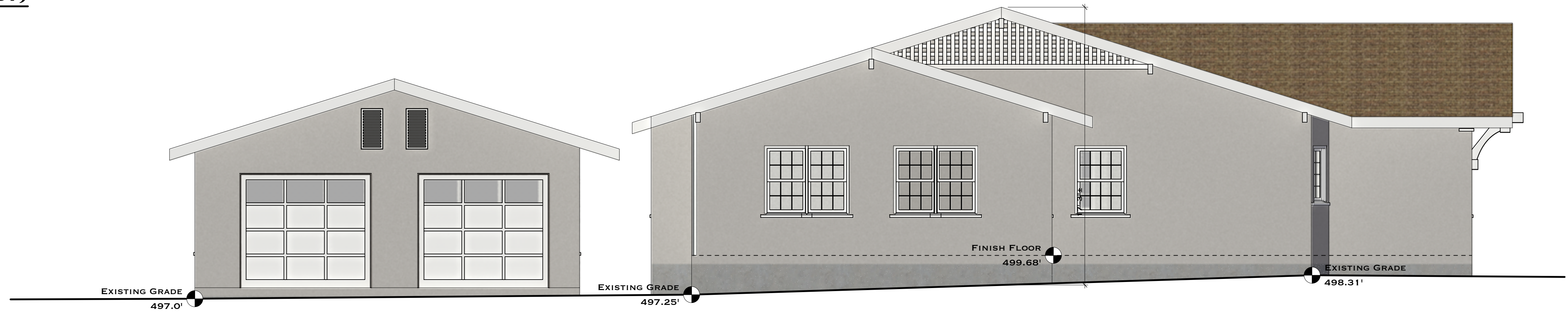
A9



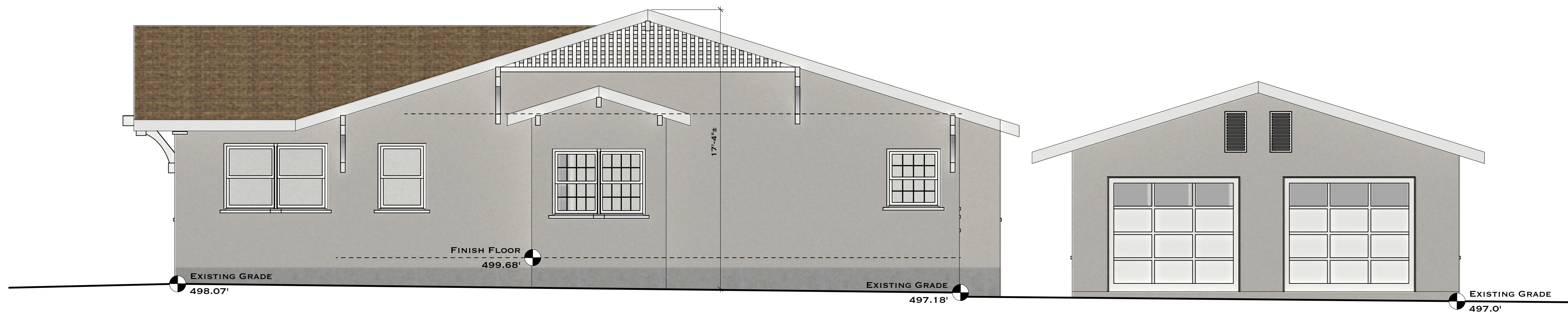
1 FRONT ELEVATION (SOUTHWEST)
SCALE: 1/4" = 1'-0"



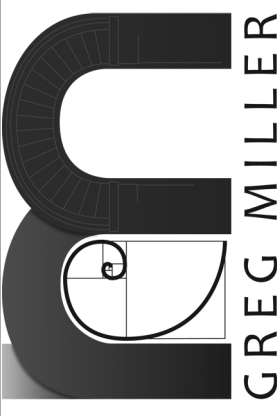
2 REAR ELEVATION (NORTHEAST)
SCALE: 1/4" = 1'-0"

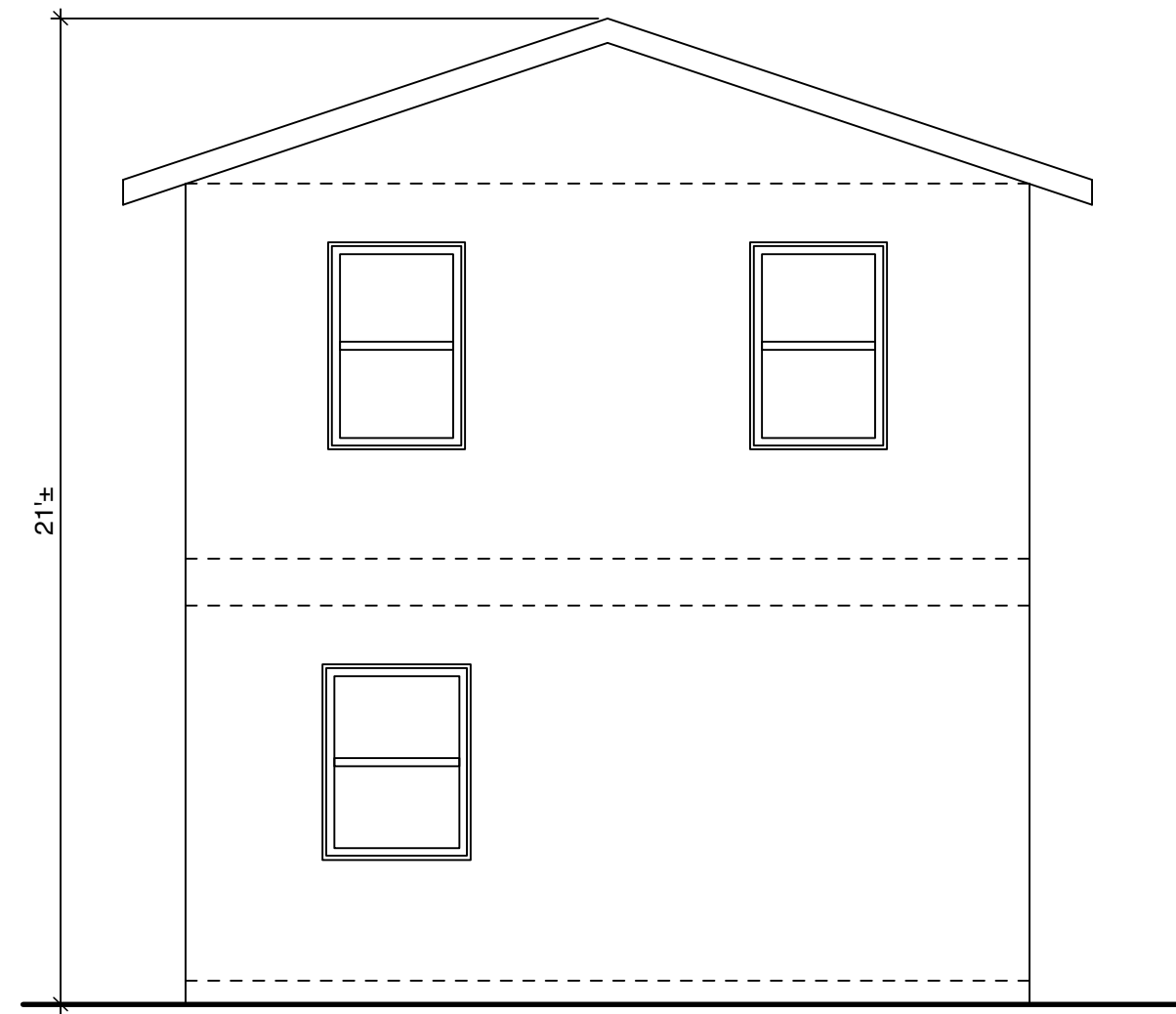


3 LEFT ELEVATION (NORTHWEST)
SCALE: 1/4" = 1'-0"

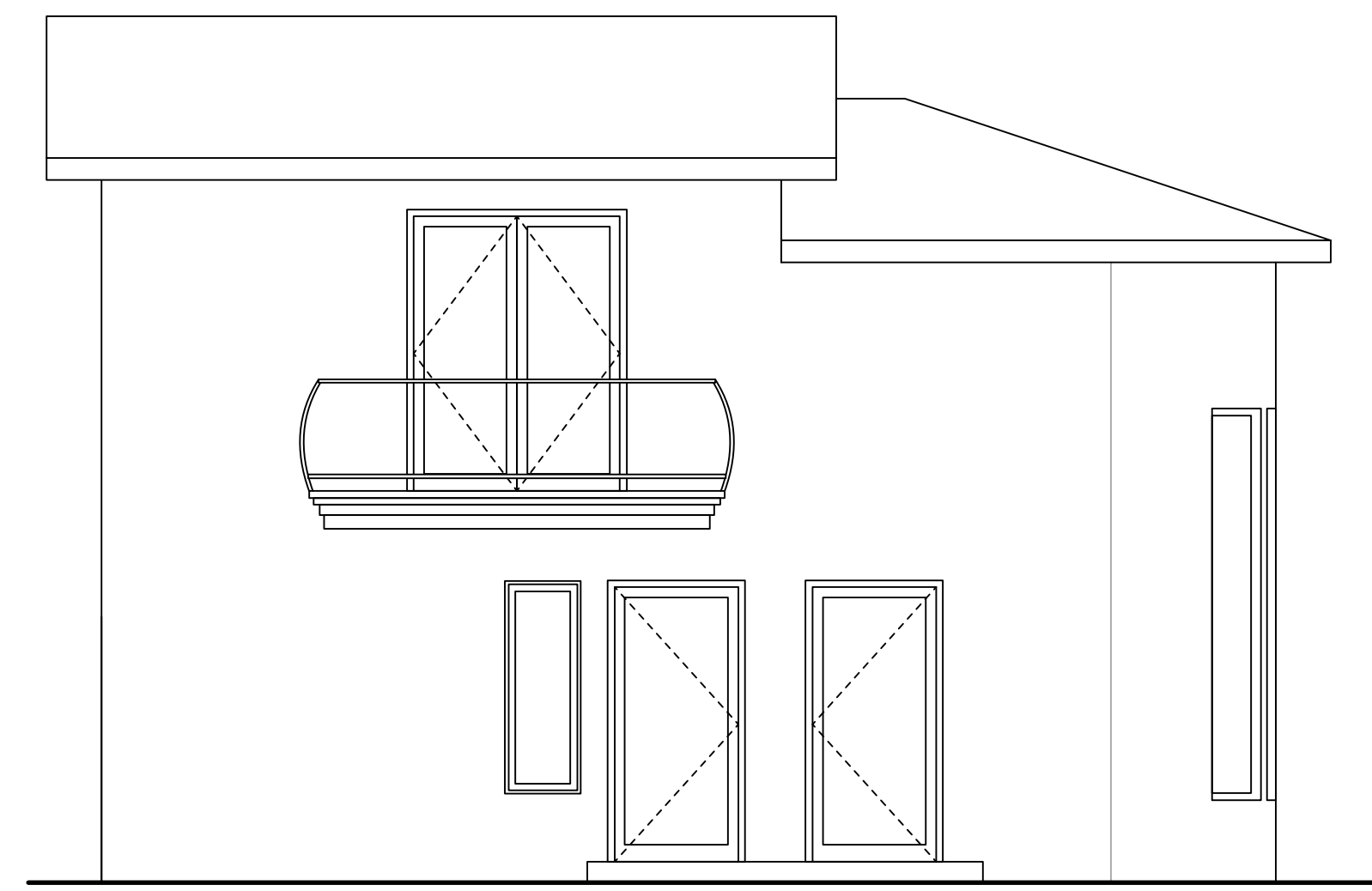


4 RIGHT ELEVATION (SOUTHEAST)
SCALE: 1/4" = 1'-0"

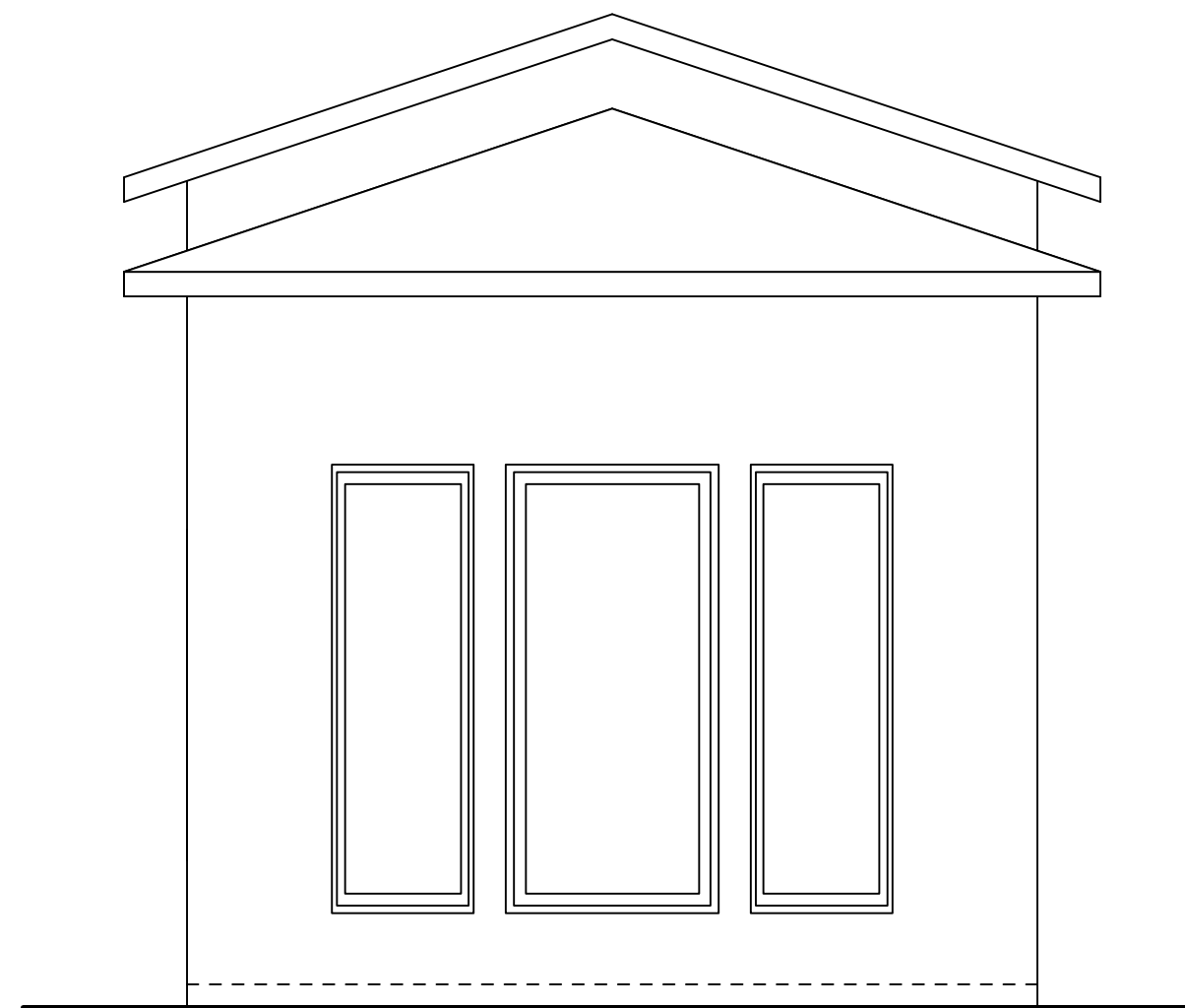




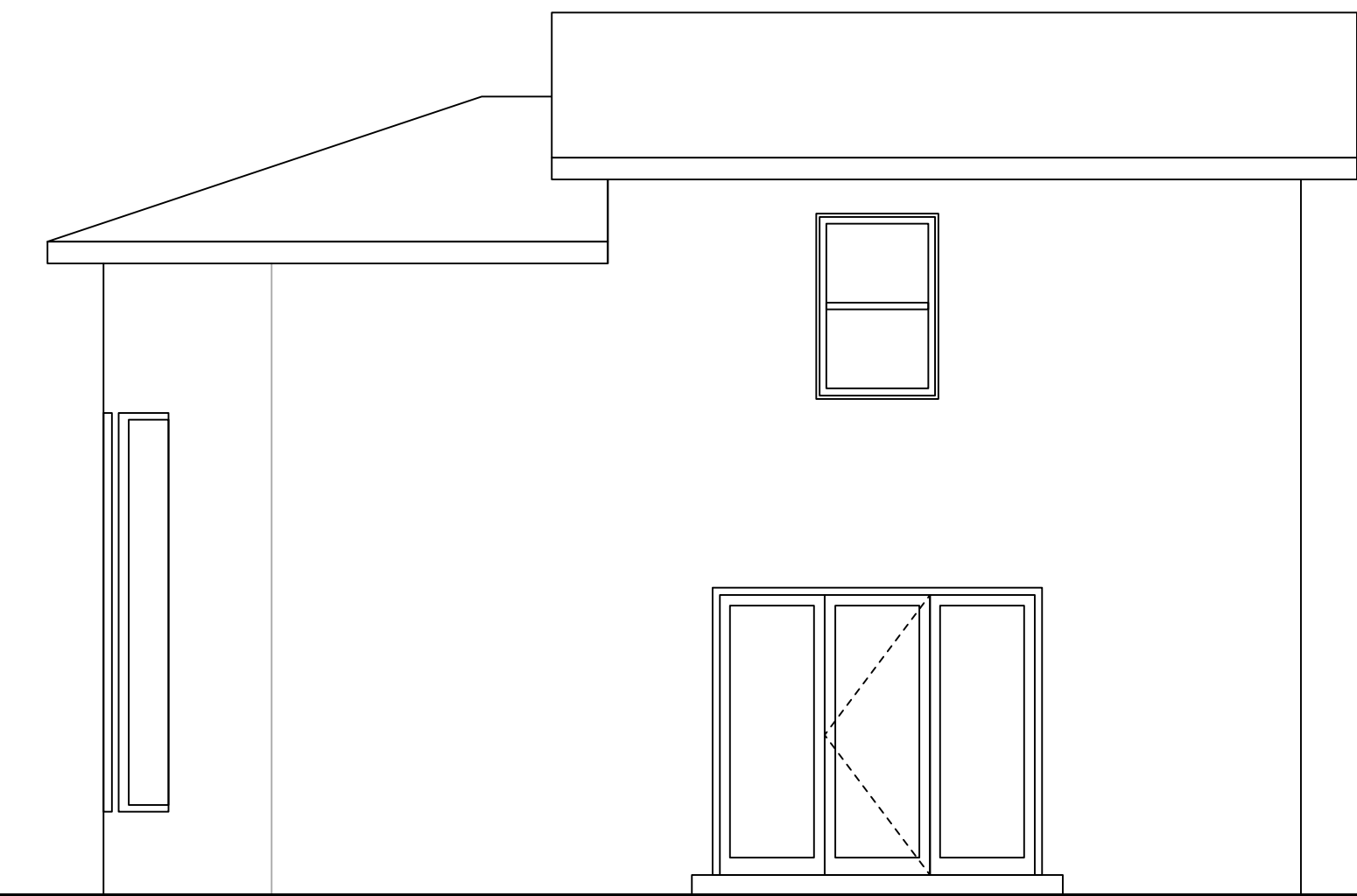
3 **SOUTHWEST GUEST HOUSE**
SCALE: 1/4" = 1'-0"



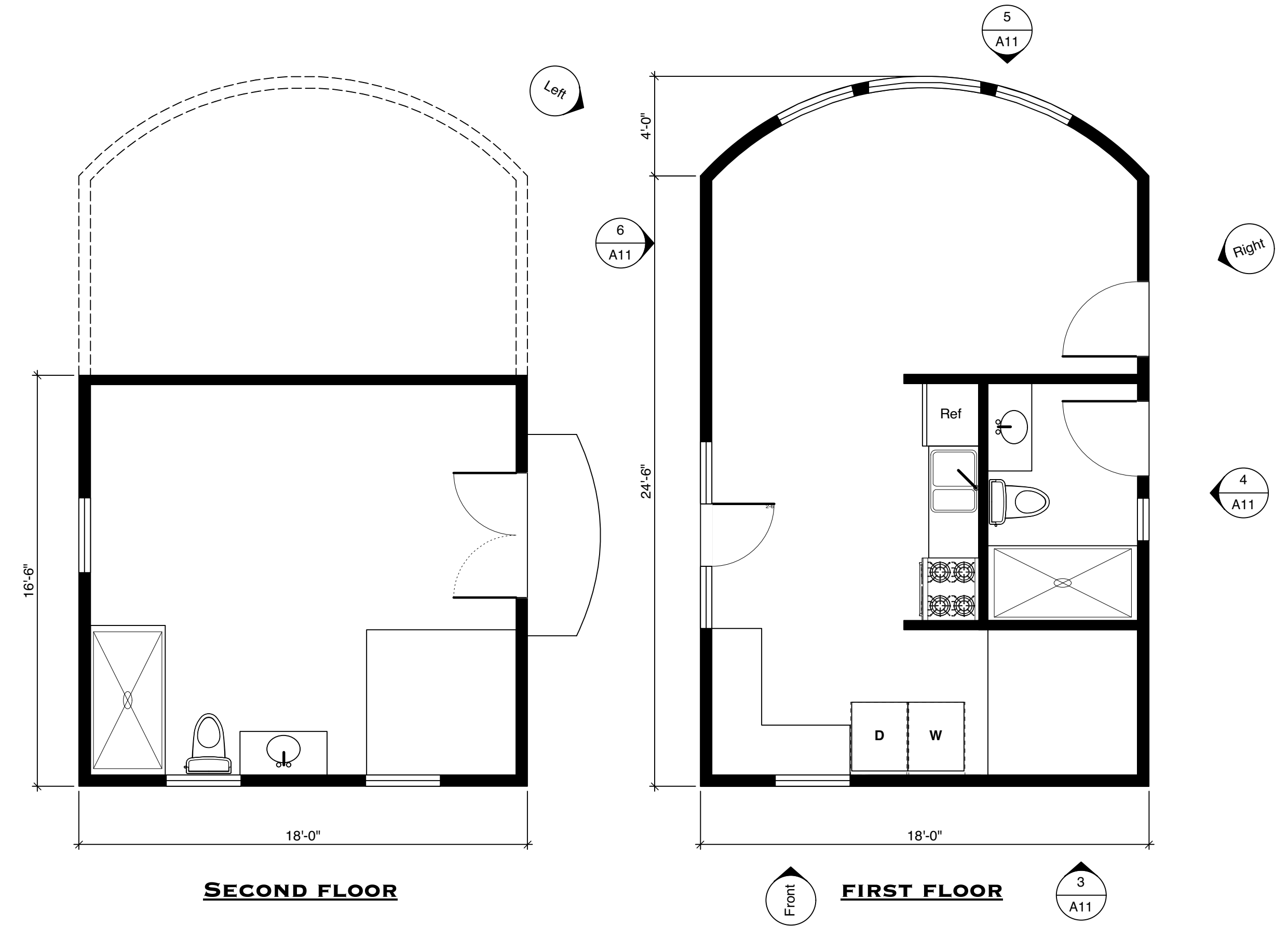
4 **SOUTHEAST GUEST HOUSE**
SCALE: 1/4" = 1'-0"



5 **NORTHEAST GUEST HOUSE**
SCALE: 1/4" = 1'-0"



6 **NORTHWEST GUEST HOUSE**
SCALE: 1/4" = 1'-0"



FRONT

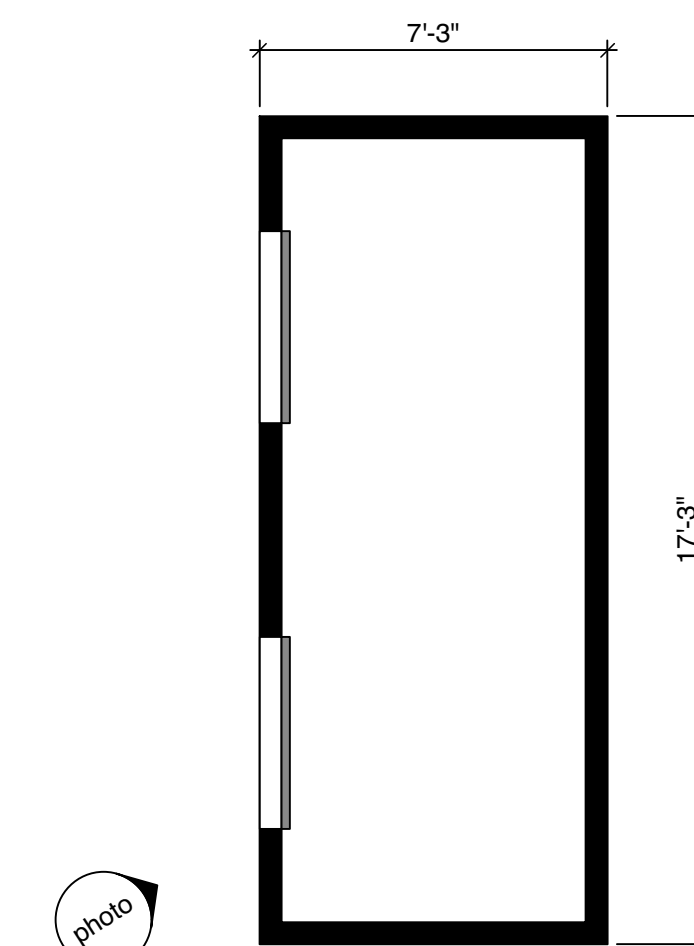


RIGHT



LEFT

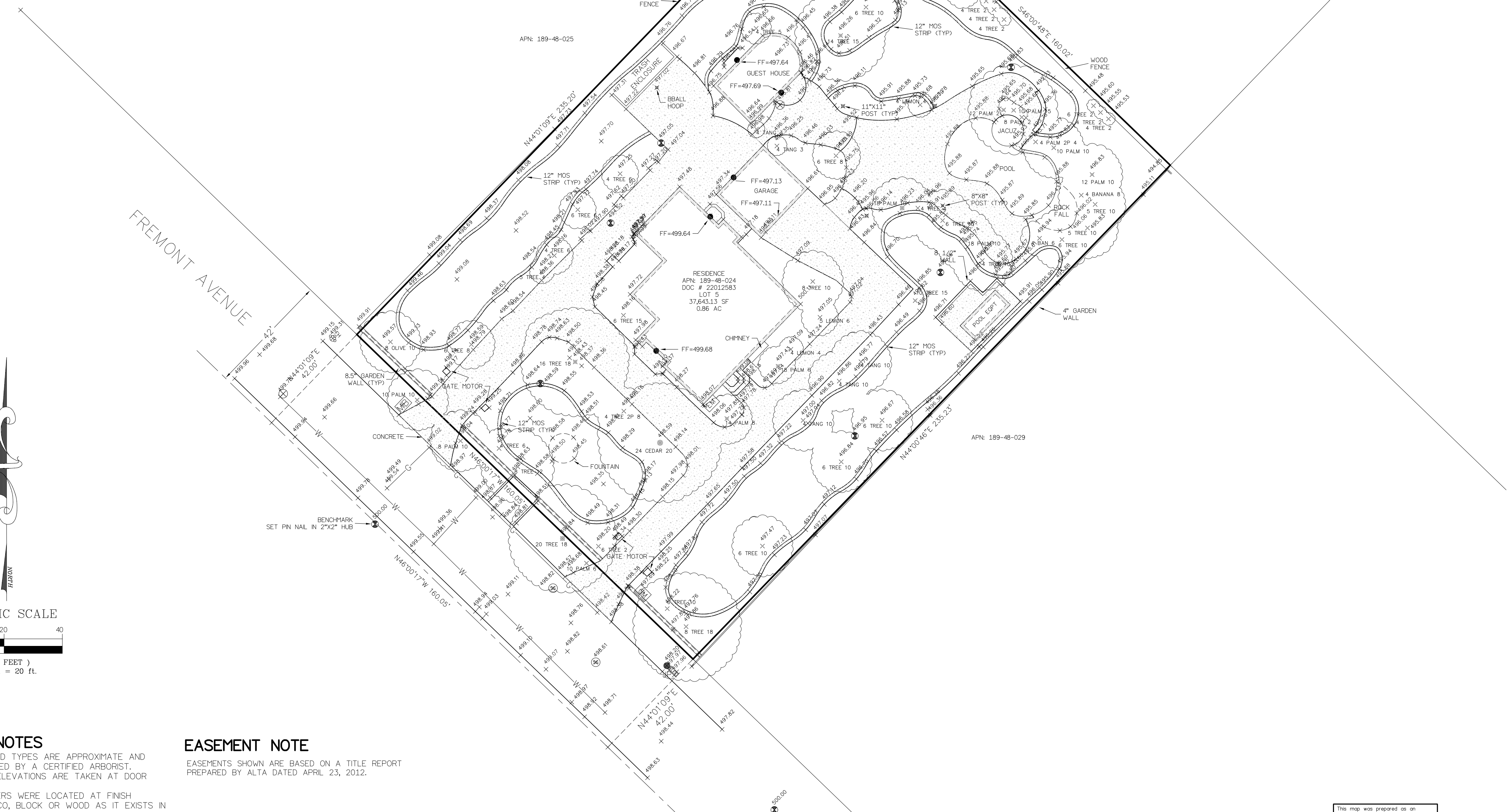
1 **EXISTING GUEST HOUSE**
SCALE: 1/4" = 1'-0"



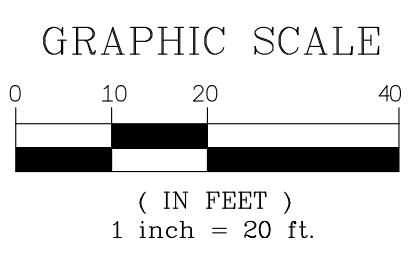
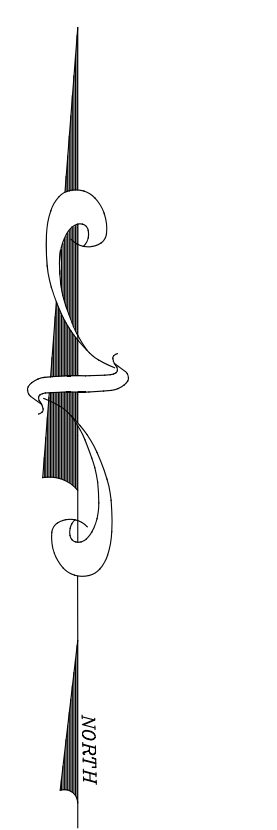
photo



2 **EXISTING POOL EQUIPMENT**
SCALE: 1/4" = 1'-0"



- ### LEGEND
- FOUND MONUMENT AS NOTED
 - SET 5/8" REBAR LS 5571 UNLESS OTHERWISE NOTED
 - SET NAIL AND 3/4" BRASS TAG LS 5571 IN CONCRETE
 - SET WOODEN HUB ON PROPERTY LINE OR AT OFFSET AS NOTED
 - ⊗ FIRE HYDRANT
 - ⊗ WATER VALVE
 - ⊗ WATER METER
 - ⊗ JOINT POLE
 - ⊗ UTILITY POLE
 - ⊗ TELEPHONE POLE
 - ⊗ GUYWIRE
 - W — BLUE PAINT - EVIDENCE OF UG WATER LINE
 - ⊗ ELECTRIC METER
 - ⊗ GAS METER
 - ⊗ MONITORING WELL
 - G — YELLOW PAINT, EVIDENCE OF UG GAS LINE
 - ⊗ PHONE PEDESTAL
 - ⊗ PHONE BOX
 - P — ORANGE PAINT, EVIDENCE OF UG PHONE LINE
 - ⊗ TRAFFIC SIGNAL CONTROL BOX
 - ⊗ TRAFFIC SIGNAL
 - ⊗ TV BOX
 - OH — OVERHEAD LINE
 - TV — ORANGE PAINT, EVIDENCE OF UG TV LINE
 - ⊗ HANDICAP RAMP
 - ⊗ STORM DRAIN MANHOLE
 - ⊗ DROP INLET
 - ⊗ PHONE MANHOLE
 - ⊗ SEWER MANHOLE
 - ⊗ SEWER CLEANOUT
 - ⊗ PARKING METER
 - ⊗ SIGN
 - ⊗ CONTROL POINT
 - ⊗ LAMP POST
 - ⊗ ELECTRIC BOX
 - ⊗ WALL
 - ⊗ BOLLARD
 - ⊗ WOOD FENCE
 - ⊗ CONCRETE
 - LO LIVE OAK
 - WO WHITE OAK
 - RW REDWOOD
 - TYP. TYPICAL
 - PROPERTY LINE
 - CHAIN LINK FENCE
 - P.U.E. PUBLIC UTILITY EASEMENT
 - S.P.E. SLOPE PROTECTION EASEMENT



GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

EASEMENT NOTE

EASEMENTS SHOWN ARE BASED ON A TITLE REPORT PREPARED BY ALTA DATED APRIL 23, 2012.

SURVEYOR'S NOTE

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

KWS 2/25/16

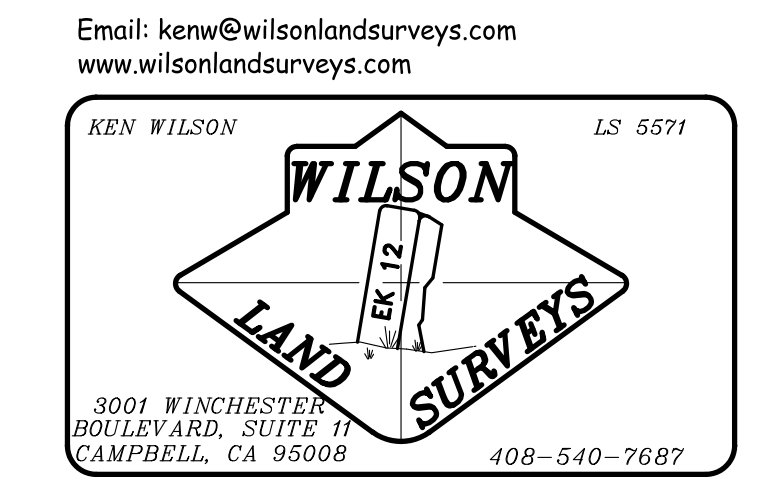
KENNETH D. WILSON LS 5571

SITE BENCHMARK

BENCHMARK FOR THIS SURVEY IS ASSUMED DATUM BASED ON SET CONTROL POINT BEING A PIN NAIL SET IN 2"x2" HUB HAVING AN ELEVATION OF 500.00'.

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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TOPOGRAPHIC SURVEY				
AS REQUESTED BY:				
NIAM PELLEGRINI				
LEGAL DESCRIPTION: LOT 5 BOOK "P" OF MAPS PAGE 5 IN THE CITY OF LOS ALTOS, COUNTY OF SANTA CLARA, CALIFORNIA				
APN: 189-48-024				
DATE: FEBRUARY 2016				
FILENAME: G-004 PELLEGRINI TOPO				
DRAWN BY:	SCALE:	PROJECT:	JOB NUMBER:	SHEET:
BEL	1" = 20'	G-004	G-004	1 OF 1