

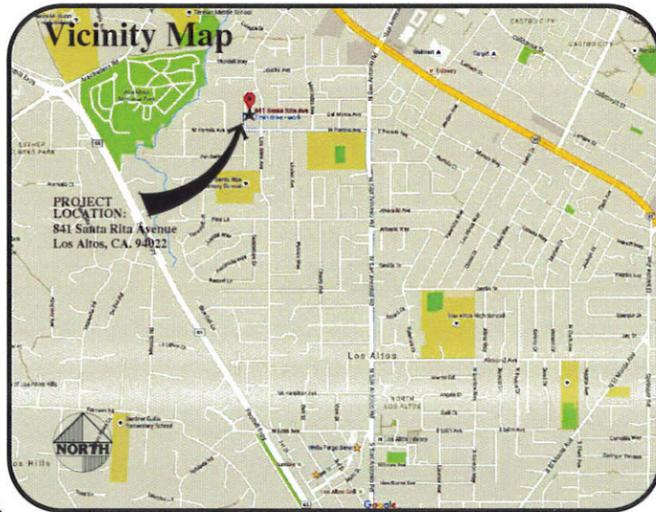
Deferred Approvals

- DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL.
- FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPARATE PERMIT.
- ELECTRICAL FEEDER SCHEDULE SHALL BE PROVIDED PRIOR TO INSTALLATION.
- STAIR RAILING PER TO PROVIDE DESIGN & CALC. FOR APPROVAL PRIOR TO INSTALLATION.
- PLUMBING CONTRACTOR TO PROVIDE NATURAL GAS LINE DIAGRAM AND GAS DEMAND FOR ALL GAS APPLIANCES INCLUDING LINE SIZES AND LENGTH OF EACH LINE BEING PROVIDED TO THE DWELLING TO CITY FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO SUBMIT UL LISTED TANKLESS HOT WATER HEATER SPECS FOR APPROVAL PRIOR TO INSTALLATION.

Special Inspections

- THE ENGINEER OF RECORD WILL PERFORM THE SPECIAL INSPECTIONS.

Conditions of Approval



Vicinity Map

PROJECT LOCATION:
841 Santa Rita Avenue
Los Altos, CA 94022

Basis of Design

- ALL WORK TO BE IN CONFORMANCE WITH:
CALIFORNIA BUILDING CODE - 2013 EDITION
CALIFORNIA RESIDENTIAL CODE - 2013 EDITION
CALIFORNIA FIRE CODE - 2013 EDITION
CALIFORNIA PLUMBING CODE - 2013 EDITION
CALIFORNIA ELECTRICAL CODE - 2013 EDITION
CALIFORNIA MECHANICAL CODE - 2013 EDITION
CALIFORNIA ENERGY CODE - 2013 EDITION
CALIFORNIA GREEN BUILDING CODE - 2013 EDITION
AND ALL PERTINENT STATE AND LOCAL CODES AND ORDINANCES.

General Notes

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF STOTLER DESIGN GROUP PRIOR TO COMMENCING.
- VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- CRC R4013 SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.
- SEPARATE PERMITS ARE REQUIRED FOR OCCUPANCY AND ALL FUTURE TENANT IMPROVEMENTS. SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL & PLUMBING WORK.
- ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.G. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES, DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING, WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR.
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Fire Department Notes

- THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN THE CALIFORNIA BUILDING CODE CBC SECTION 101A32.4, FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4731 OR CALIFORNIA GOVERNMENT CODE SECTION 5102 PER CRC R317.15.R.
- AN APPROVED AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE AND TWO STORY FAMILY DWELLINGS, AND SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION R313 OR NFPA 13D.
- THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED.
- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 14 AND OUR STANDARD DETAIL AND SPECIFICATION S17.
- PREMISES IDENTIFICATION: APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.3". NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. CFC SEC. 809.
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK, SECTION R312 AS ADOPTED AND AMENDED BY LAH.

Consultants

CIVIL ENGINEER
LC Engineering
598 E Santa Clara Street, Suite #270
San Jose, California 95112
(408) 806-7187
nle@lceengineering.net

TITLE 24 / GREENPOINT DOCUMENTATION
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Morgan Hill, CA 95037
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yarmilavera@netscape.net

Drawing Index

- T1 Title Sheet
T1.1 Floor Area & Coverage Calculation Diagram

SURVEY

- Boundary Survey And Topographic Map

CIVIL

- C1 Title Sheet, Legend & Abbev., Demolition Plan, Tree Protection
C2 Grading, Drainage & Building Cross Sections
C3 Erosion Control Plan
C4 Erosion Control Details
C5 Blueprint for a Clean Bay

ARCHITECTURAL

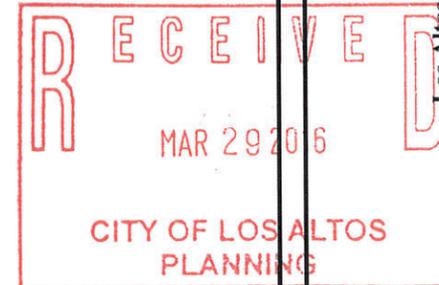
- A1 Architectural Site Plan
A2 Entry Level Floor Plan
A3 Basement Level Floor Plan
A4 Exterior Elevations
A5 Exterior Elevations
A6 Cross Sections
A7 Roof Plan

ENERGY COMPLIANCE

- GPC GreenPoint Checklist

LANDSCAPE

- L-0 Landscape Plan
L-1 Tree Protection Plan



Project Data - Los Altos

PROJECT ADDRESS: 841 Santa Rita Avenue
Los Altos, Ca 94022

A P N: 167-18-068
ZONE DISTRICT: R1-10
OCCUPANCY: R3/U
CONSTRUCTION TYPE: VB
NET LOT AREA: 14,000 S.F. (NET)

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
Lot Coverage: <i>Land area covered by all structures that are over 6' in height</i>	4043 sq.ft. 28.9%	4,581 sq.ft. 32.7%	4900 sq.ft. 35.0%
Floor Area: <i>Measured to the outside surfaces of exterior walls</i>	4043 sq.ft. 28.9%	4,144 sq.ft. 29.6%	4,150 sq.ft. 29.6%
Setbacks:			
Front	25 feet	25 feet	25 feet
Rear	3 feet	25 feet	25 feet
Right side (1st / 2nd)	10 / 0 feet	10 / 0 feet	10 / 17'-6" feet
Left side (1st / 2nd)	10 / 0 feet	10 / 0 feet	10 / 17'-6" feet
Height:	17 feet	20 feet	20 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
Habitable Living Area: <i>Includes habitable basement areas</i>	3107 sq.ft.	1,984 sq.ft.	5,091 sq.ft.
Non-Habitable Area: <i>Does not include covered porches or open structure areas</i>	936 sq.ft.	-226 sq.ft.	710 sq.ft.

LOT CALCULATIONS

Net Lot Area:	14,000 sq.ft.	
Front Yard Hardscape Area: <i>Hardscape area in the front yard setbacks shall not exceed 50%</i>	1010 sq.ft.	40.8%
Landscape Breakdown:		
Total hardscape area (existing and proposed):		5,591 sq.ft.
Existing softscape area (undisturbed):		0 sq.ft.
New softscape area (new or replaced landscape):		8,409 sq.ft.
<i>The sum of all three should equal the site's net lot area</i>		

SCOPE OF WORK:
DEMO EXISTING RESIDENCE AND CONSTRUCT A NEW SINGLE STORY SINGLE FAMILY RESIDENCE WITH A 3-CAR GARAGE

Private Residence

New Single Family Residence

841 Santa Rita Ave.

Los Altos, California 94022



349 FIRST STREET, SUITE A
LOS ALTOS, CALIFORNIA 94022
PHONE: (650) 659-0438
FAX: (650) 659-0458
E-MAIL: info@stotlerdesigngroup.com

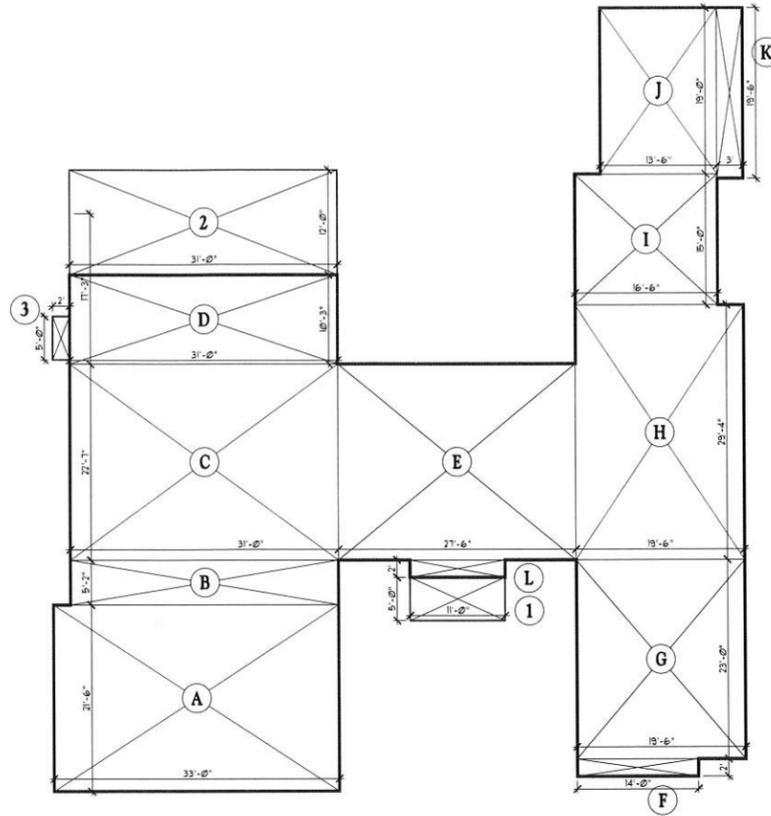
THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

REVISIONS	DATE	BY	DESCRIPTION
01-23-16			
01-23-16			

DRAWING TITLE	Title Sheet
JOB TITLE	Private Residence
JOB ADDRESS	841 Santa Rita Ave. Los Altos, California 94022

DATE	Mar 29, 2016
SCALE	None
PROJECT MANAGER	Stotler
DRAWN	MW
JOB NO	1501
SHEET	

T1



Floor Area & Coverage Calculation Diagram

scale: 1/8"=1'-0"

Floor Area and Coverage Calculations		
Section	Dimensions	Area (sf.ft.)
1st Level		
A (Garage)	33'-0" x 21'-6"	710
B	31'-0" x 5'-2"	160
C	58'-6" x 22'-7"	700
D	2'-0" x 5'-0"	318
E	31'-0" x 10'-3"	621
F	14'-0" x 2'-0"	28
G	19'-6" x 23'-0"	449
H	19'-6" x 29'-4"	572
I	16'-6" x 15'-0"	248
J	13'-6" x 19'-0"	257
K	3'-0" x 19'-6"	22
L	11'-0" x 2'-0"	59
1st Level Sub-Total		4144
2nd Level		
No 2nd level		0
2nd Level Sub-Total		0
Total Floor Area		4,144
Allowed FAR		4,150
Structure Coverage Areas		
1	11'-0" x 5'-0"	55
2	31'-0" x 12'-0"	372
3	2'-0" x 5'-0"	10
4	-	0
5	-	0
Covered Terrace sub Total		437
6 - Accessory Structure (none)		
Sub-Total		0
Total Structure Coverage		4,581
Allowed Structure Coverage		4,900



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WITHOUT PREJUDICE TO ANY RIGHTS OR OBLIGATIONS OF THE CLIENT, THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO HIM AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO HIM AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO HIM AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT.

REVISIONS	DATE	BY	REASON
	03-23-16		
	03-23-16		

DRAWING TITLE	Floor Area & Coverage Calculation Diagram
JOB TITLE	Private Residence
JOB ADDRESS	841 Santa Rita Ave. Los Altos, California 94022

DATE	Mar 23, 2016
SCALE	As Noted
PROJECT MANAGER	B Stotler
DRAWN	M AU
JOB NO	1507
SHEET	

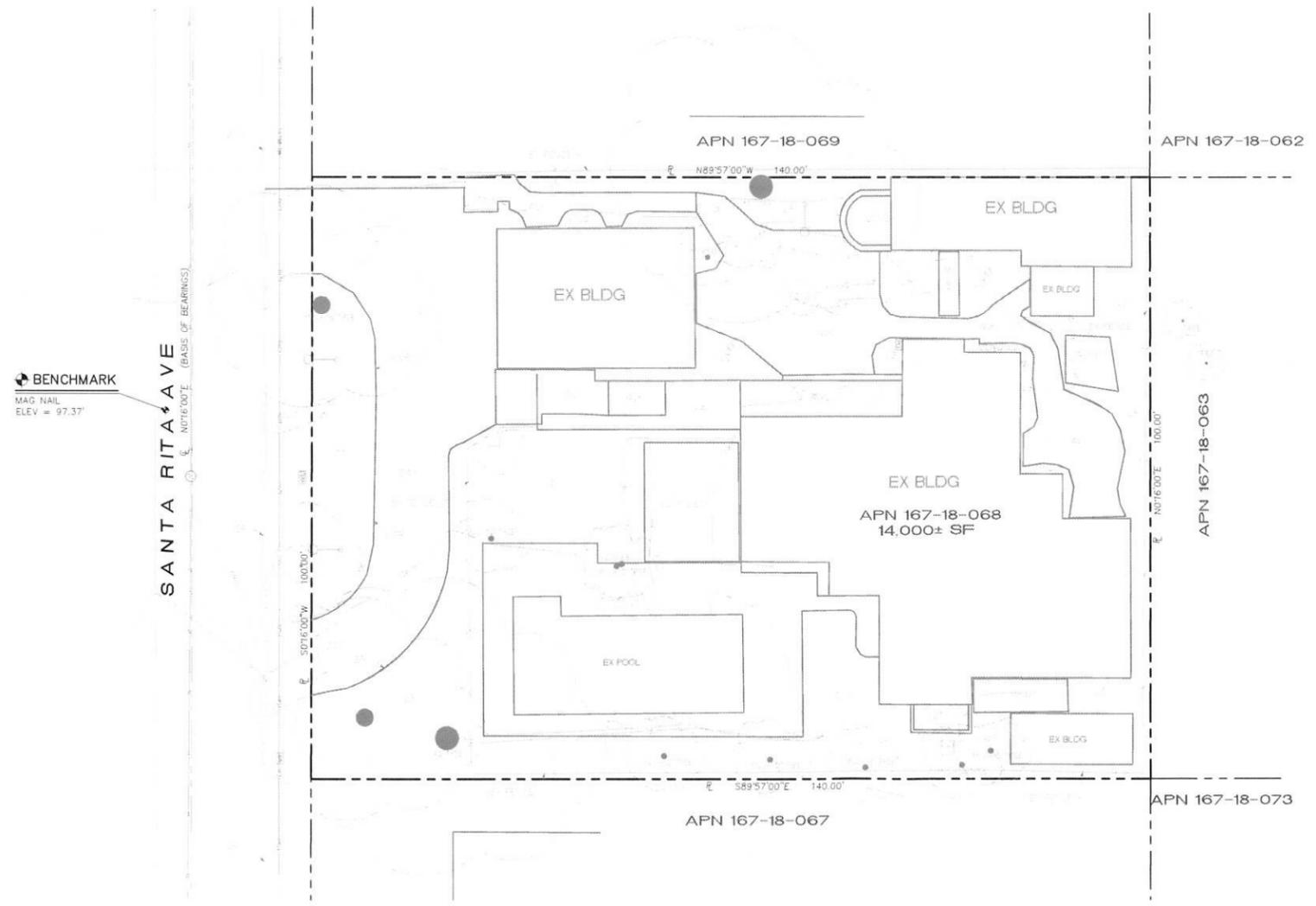
T1.1

AB	AGGREGATE BASE	DS	DOWNSPOUT	GPE	GENERAL PUBLIC	PERF	PERFORATED	SSE	SANITARY SEWER
AC	ASPHALT CONCRETE	DWY	DRIVEWAY	GSB	GRADING SETBACK	R	PROPERTY LINE	STA	EASEMENT
AD	AREA DRAIN	EA	EASEMENT	OSB	GAS METER	PP	PROPOSED	STD	STATION
AE	ANCHOR EASEMENT	ELEV	ELEVATION	OH	OVERHEAD	PROP	PROPOSED	STD	STANDARD CITY DETAIL
AF	ANCHOR EASEMENT	EM	ELECTRIC METER	HP	HI POINT	PSE	PUBLIC SERVICE EASEMENT	SW	SIDEWALK
BB	BUBBLER BOX	EM	ELECTRIC METER	HP	HI POINT	PSE	PUBLIC SERVICE EASEMENT	SW	SIDEWALK
BLDG	BUILDING	INV	INVERT	LIP	LIP OF GUTTER	PSUE	PUBLIC UTILITY EASEMENT	TC	TEMPORARY
BLK	BLOCK	LS	LANDSCAPED AREA	LIP	LIP OF GUTTER	PUE	PUBLIC UTILITY EASEMENT	TC	TEMPORARY
BSL	BUILDING SETBACK LINE	E(UG)	ELECTRIC UNDERGROUND	LS	LANDSCAPED AREA	PVMT	PAVEMENT	TOE	TOP OF COVER
BW	BOTTOM OF WALL/BACK OF WALK	EP	EDGE OF PAVEMENT	LS	LANDSCAPED AREA	PVC	POLYVINYL CHLORIDE	TOE	TOP OF BANK
CG	CURB & CUTTER	EVA	VEHICLE ACCESS	MH	MANHOLE	R	RADIUS	TOE	TOP OF BANK
E	EASEMENT	FD	FACE OF CURB	MN	MINIMUM	R	RADIUS	TOE	TOP OF BANK
CLF	CHAIN LINK FENCE	FF	FOUND	MW	MONUMENT WELL	RE	REMOVE	TW	TOP OF WALL
CO	CLEANOUT	FF	FOUND	N&S	NAIL AND SILVER	R/W	RIGHT OF WAY	TYP	TYPICAL
COP	CURB OPENING	FG	FINISH ELEVATION OF SUBFLOOR	OH	OVERHEAD	SD	STORM DRAIN	UV	UTILITY VAULT
CONC	CONCRETE	FL	FLOW LINE	OG	ORIGINAL GROUND	SE	SLOPE EASEMENT	W	WATER
CSD	COUNTY STANDARD DETAIL	FL	FLOW LINE	P	PAVEMENT FINISH GRADE	SE	SLOPE EASEMENT	W	WATER
CVE	CONSERVATION EASEMENT	G	GARAGE SLAB ELEVATION/GAS LINE	PEE	PEDESTRIAN EQUESTRIAN EASEMENT	SME	SLOPE MAINTENANCE EASEMENT	WCE	WIRE CLEARANCE EASEMENT
DE	DRAINAGE EMITTER	G	GARAGE SLAB ELEVATION/GAS LINE	PEE	PEDESTRIAN EQUESTRIAN EASEMENT	SS	SANITARY SEWER/LATERAL EASEMENT	WLK	WALKWAY
DI	DRAINAGE INLET							WM	WATER METER
								WOE	WIRE OVERHANG EASEMENT
								WV	WATER VALVE

LEGEND & ABBREVIATIONS

---	EASEMENT LINE
---	EXISTING ELEVATION
---	EXISTING FENCE
---	EXISTING TREE TO BE REMOVED
---	EXISTING TREE TO REMAIN
---	FOUND IRON PIPE AT PROPERTY CORNER
---	FIBER ROLLS
---	GAS METER
---	GAS VALVE
---	GRADE TO DRAIN
---	GUY POLE
---	GUY WIRE ANCHOR
---	HIGH POINT
---	HYDRANT: EXISTING
---	HYDRANT: PROPOSED
---	AREA DRAIN
---	BENCHMARK
---	BOUNDARY
---	CATCH BASIN
---	COBBLE ROCK ENERGY DISSIPATOR
---	CONCRETE
---	EXISTING CONTOUR AFTER GRADING
---	ORIGINAL GROUND PRIOR TO GRADING
---	DESIGN GRADE
---	DOWNSPOUT WITH SPLASHBLOCK
---	DRAINAGE EMITTER
---	DIVERSION VALVE
---	BACKWATER VALVE
---	DRAINAGE SWALE

---	IRRIGATION BOX
---	INLET
---	JOINT POLE
---	LIGHTING
---	LIGHTING POLE
---	LOW POINT
---	MAIL BOX
---	MONUMENT WELL
---	OVERLAND FLOW DIRECTION
---	PGE BOX
---	POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
---	PROJECT SITE
---	ROCK RETAINING WALL
---	RIGHT OF WAY
---	SANITARY SEWER CLEAN OUT MANHOLE
---	SANITARY SEWER MANHOLE
---	STORM DRAIN MANHOLE
---	SUMP PUMP
---	ELECTRICAL BOX
---	ELECTRIC METER
---	TELEPHONE BOX
---	TELEVISION BOX
---	TEST PIT
---	TOP OF FILL
---	TOE OF FILL
---	TOP OF CUT
---	TOE OF CUT
---	TREE NUMBER
---	T-VAULT
---	UTILITY: EXISTING
---	UTILITY: PROPOSED OR NEW
---	VERTICAL SHORING
---	WATER METER
---	WATER VALVE
---	HEART WATER TANK
---	WELL



NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 167-18-068
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF SANTA RITA AVENUE AS FOUND MONUMENT AS N00°16'00"E SHOWN ON THE RECORD OF SURVEY, RECORDED IN BOOK 822 OF MAPS AT PAGE 38, SANTA CLARA COUNTY RECORDS.

SURVEYOR'S STATEMENT

THIS BOUNDARY SURVEY AND TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

Tom H. Milo
 TOM H. MILO
 L.S. 6438
 01/14/16
 DATE



DESIGNED	DATE	BY	DATE	APPROVED	DATE
DRAWN	DATE	BY	DATE		
CHECKED	DATE	BY	DATE		
SCALE	1"=10'				
PROJECT NO.					
CONTRACT NO.					
FILE NO.					
ENGINEERING					
598 E Santa Clara St. #270 San Jose, CA 95128 Phone: (408) 806-7187 Fax: (408) 583-4006					
BOUNDARY SURVEY AND TOPOGRAPHIC MAP					
LANDS OF KHURANA					
841 SANTA RITA AVENUE					
APN 167-18-068					
LOS ALTOS					
California					

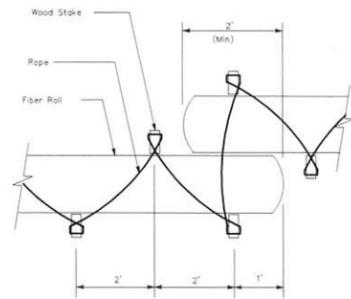
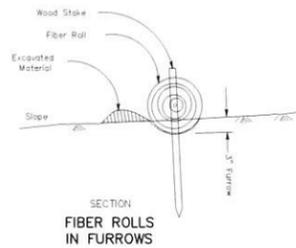
APPLICANT :

ROAD NAME :

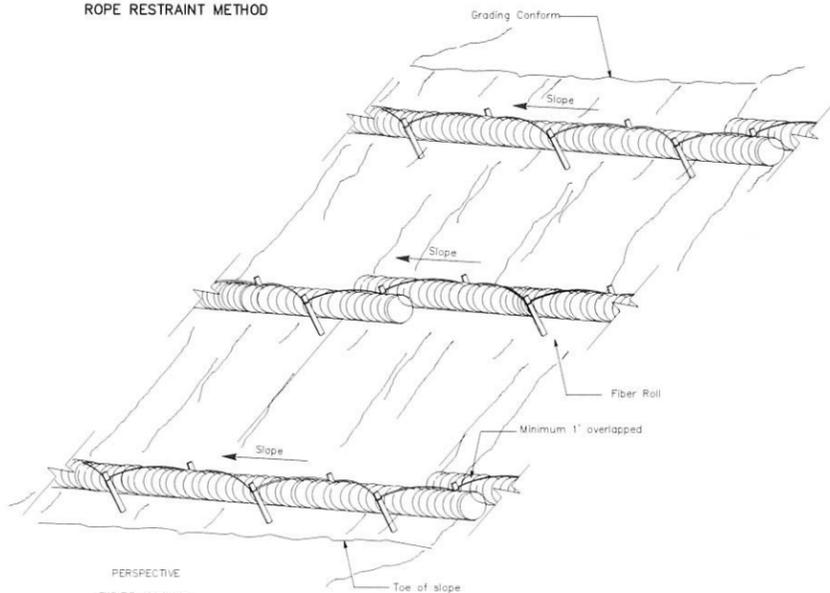
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EROSION CONTROL NOTES

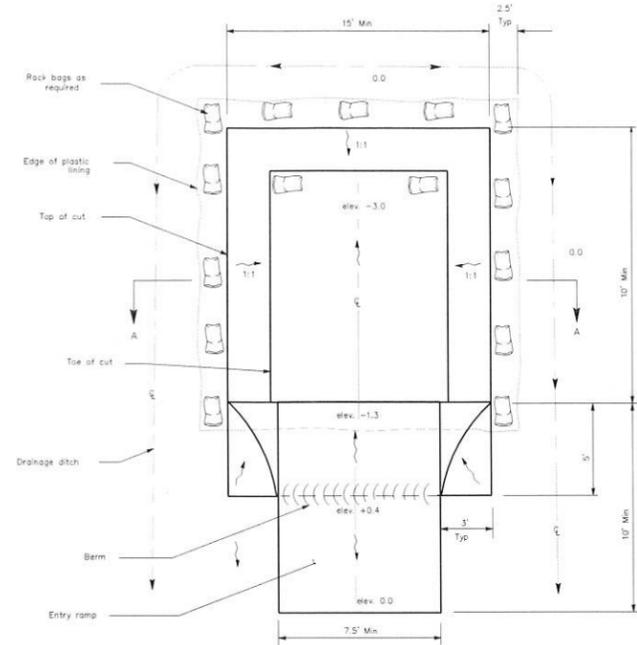
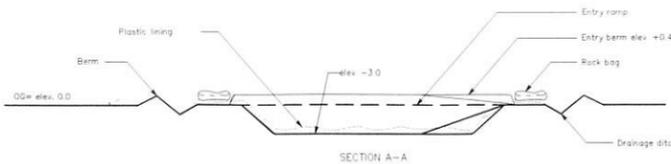
1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE COUNTY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL EROSION CONTROL MEASURES DURING EARTHWORK OPERATION.
2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR THE PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
5. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY.
6. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO:
7. CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
8. FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS. UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM EROSION AS SHOWN ON THE EROSION CONTROL PLAN. HAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES STEEPER THAN FIVE PERCENT.



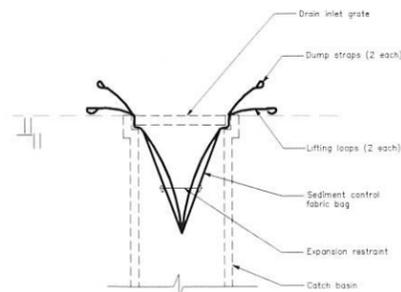
PLAN
FIBER ROLLS
ROPE RESTRAINT METHOD



PERSPECTIVE
FIBER ROLLS
ROPE RESTRAINT METHOD

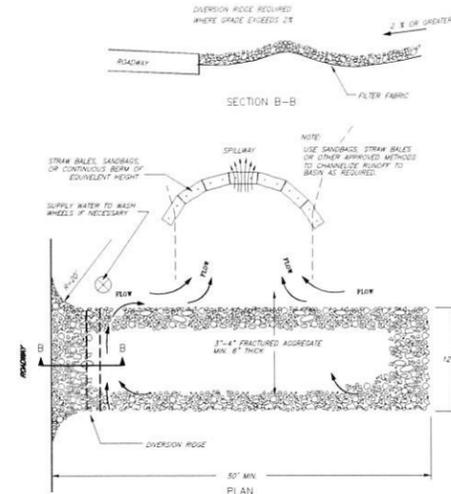


PLAN
TEMPORARY EQUIPMENT WASHING FACILITY
(Below Grade)



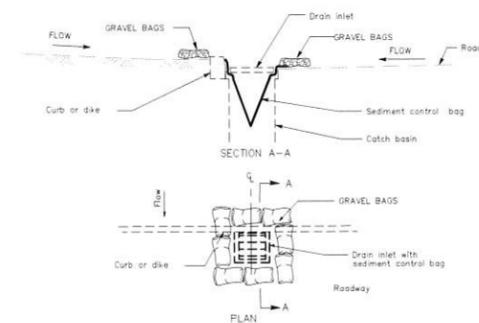
SECTION
SEDIMENT CONTROL BAG

NOTE:
The temporary equipment washing facility sign shall be installed within 20 feet of the temporary concrete washout facility.



TEMPORARY
GRAVEL CONSTRUCTION
ENTRANCE/EXIT

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



SECTION A-A
TEMPORARY DRAINAGE INLET PROTECTION
For paved areas exposed to traffic



SIGN ELEVATION



NO.	REVISIONS	DATE	BY	APFD

PT	DESIGNED	DATE	DATE	DATE
PT		02/25/18	02/25/18	02/25/18

ENGINEERING
588 E Santa Clara St. #270
San Jose, CA 9512
Phone: (408) 806-7187
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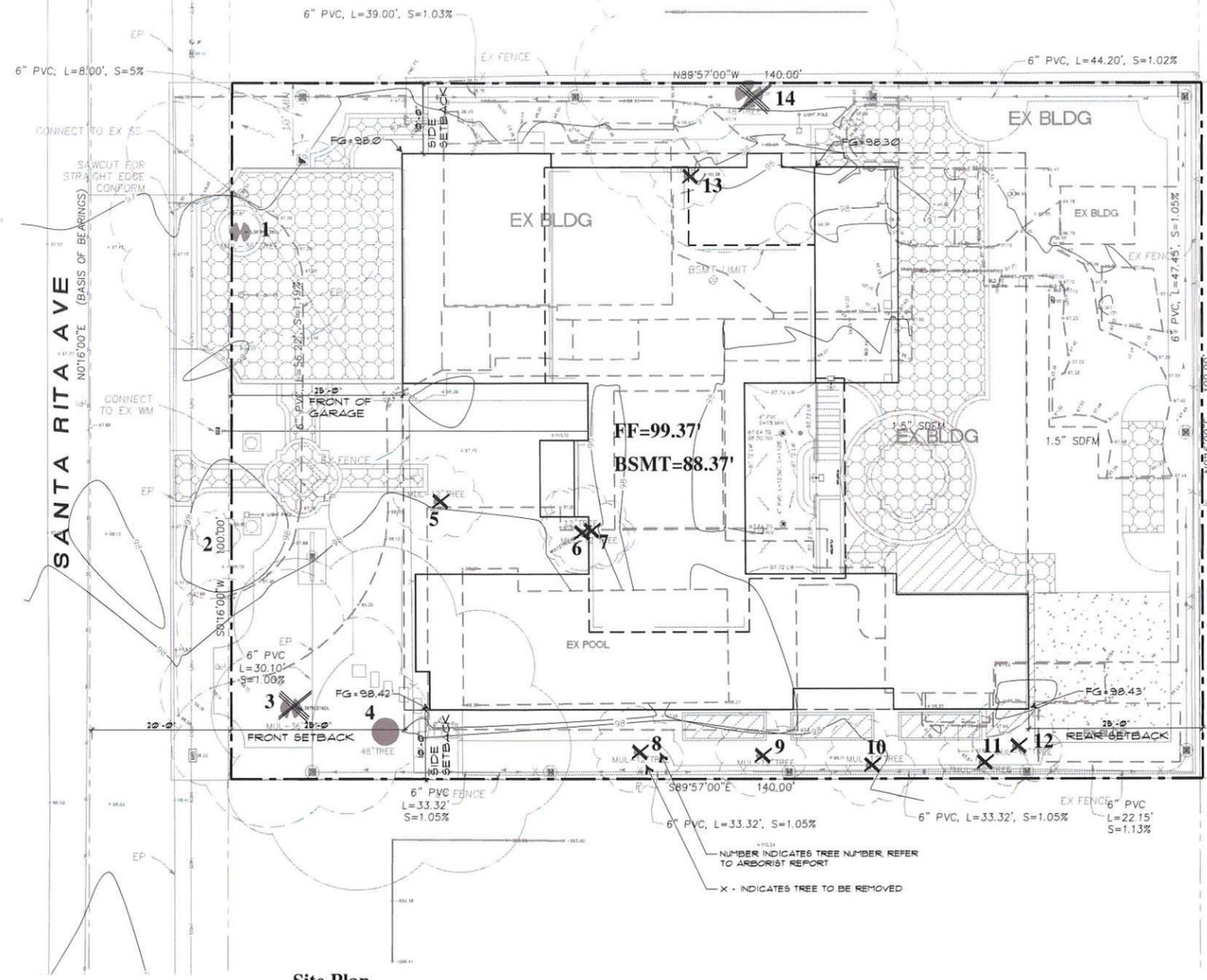
EROSION CONTROL DETAILS
LANDS OF KHURANA
841 SANTA RITA AVE
APN 167-18-068

California
PROJECT NO.
CONTRACT NO.
Los Altos
DRAWING NO. 4 OF 5
FILE NO.

APPLICANT : KHURANA

ROAD NAME : SANTA RITA AVE

FILE NO : .



Site Plan

scale: 1/8"=1'-0"

GENERAL SITE PLAN NOTES:

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS & LOCATIONS OF EXISTING UTILITIES AND DIMENSIONS * JOB SITE PRIOR TO BID, ORDERING OF MATERIALS AND CONSTRUCTION.

GRADES TO BE SLOPED A MINIMUM OF 2% AWAY FROM THE STRUCTURES FOR HORIZONTAL DISTANCE OF AT LEAST 10'-0".

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

CONNECT ALL DOWNSPOUTS TO 3" SOLID DRAIN LINE AROUND PERIMETER OF HOUSE- DRAIN TO CURB, OR APPROVED DRAINAGE SYSTEM.

ALL CONCRETE "FLATWORK" (DRIVEWAY, WALKS, ETC.) SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE SOILS REPORT.

POOL, HOT TUB AND EXTERIOR TERRACES ARE UNDER SEPARATE CONTRACT/PERMIT AND SHALL INCLUDE MEASURES FOR A SURROUNDING POOL BARRIERS PER SECTION AG105-92, SEE SHEET A2 FOR NOTES PER SECTION AG105-92.

ALL RETAINING WALLS SHALL BE POURED IN PLACE CONCRETE WITH STUCCO FINISH TO MATCH TEXTURE AND COLOR OF THE HOME, TOP OF WALL SHALL BE FLAT TOP TYPE.



349 FIRST STREET, SUITE A
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EMAIL: info@stotlerdesigngroup.com

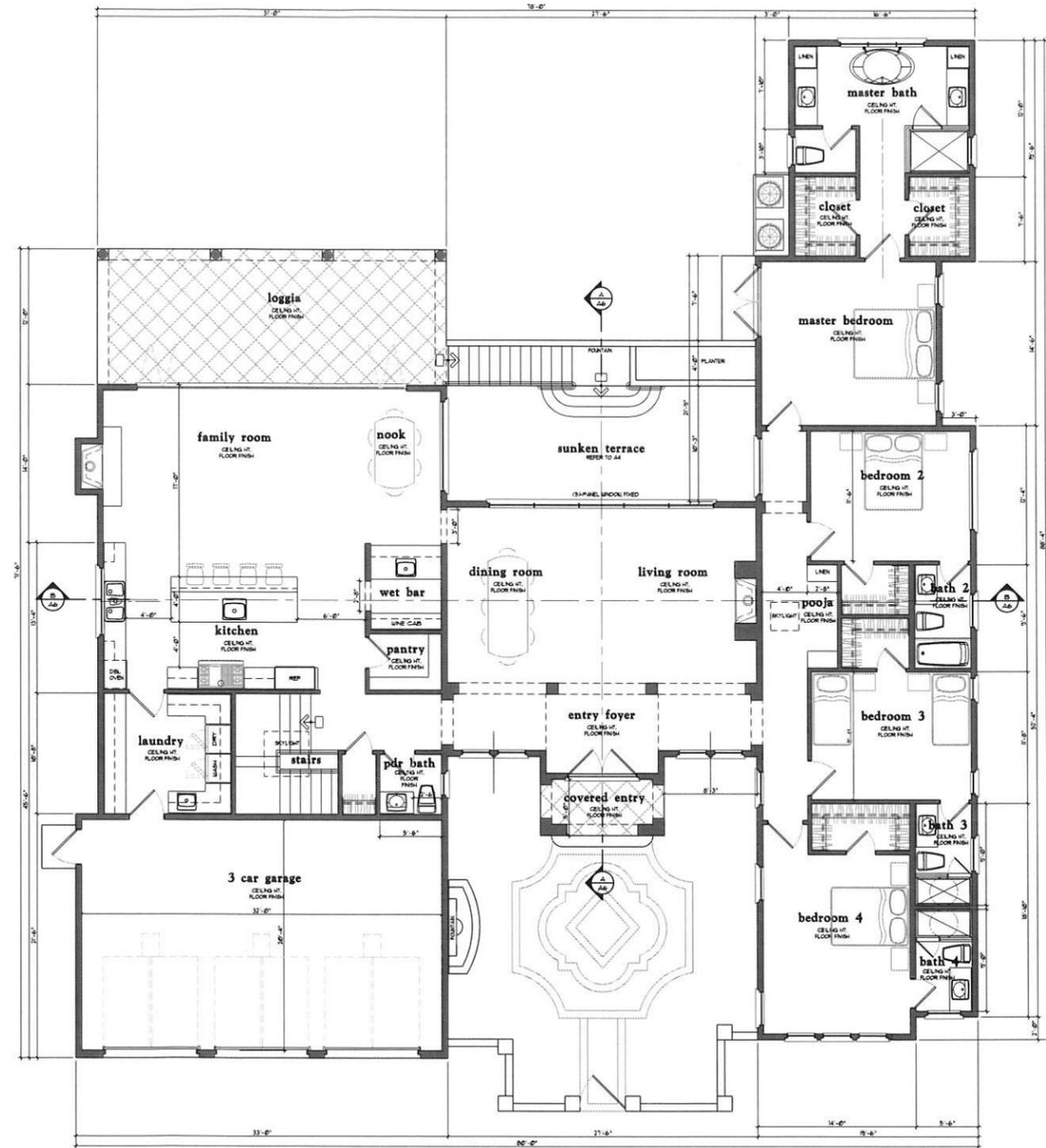
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE USER. STOTLER DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THESE PLANS AND SPECIFICATIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO STOTLER DESIGN GROUP. STOTLER DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS AND SPECIFICATIONS.

REVISIONS	DATE	BY
SCALE FOR PLANNING	02-15-16	02-15-16
REVISION #		

DRAWING TITLE	Site Plan
JOB TITLE	Private Residence
JOB ADDRESS	841 Santa Rita Ave. Los Altos, California 94022

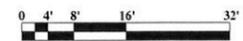
DATE	Mar 29, 2016
SCALE	As Noted
PROJECT MANAGER	Stotler
DRAWN	Mau
JOB NO.	1501
SHEET	

A1



Entry Level Floor Plan

scale: 3/16"=1'-0"



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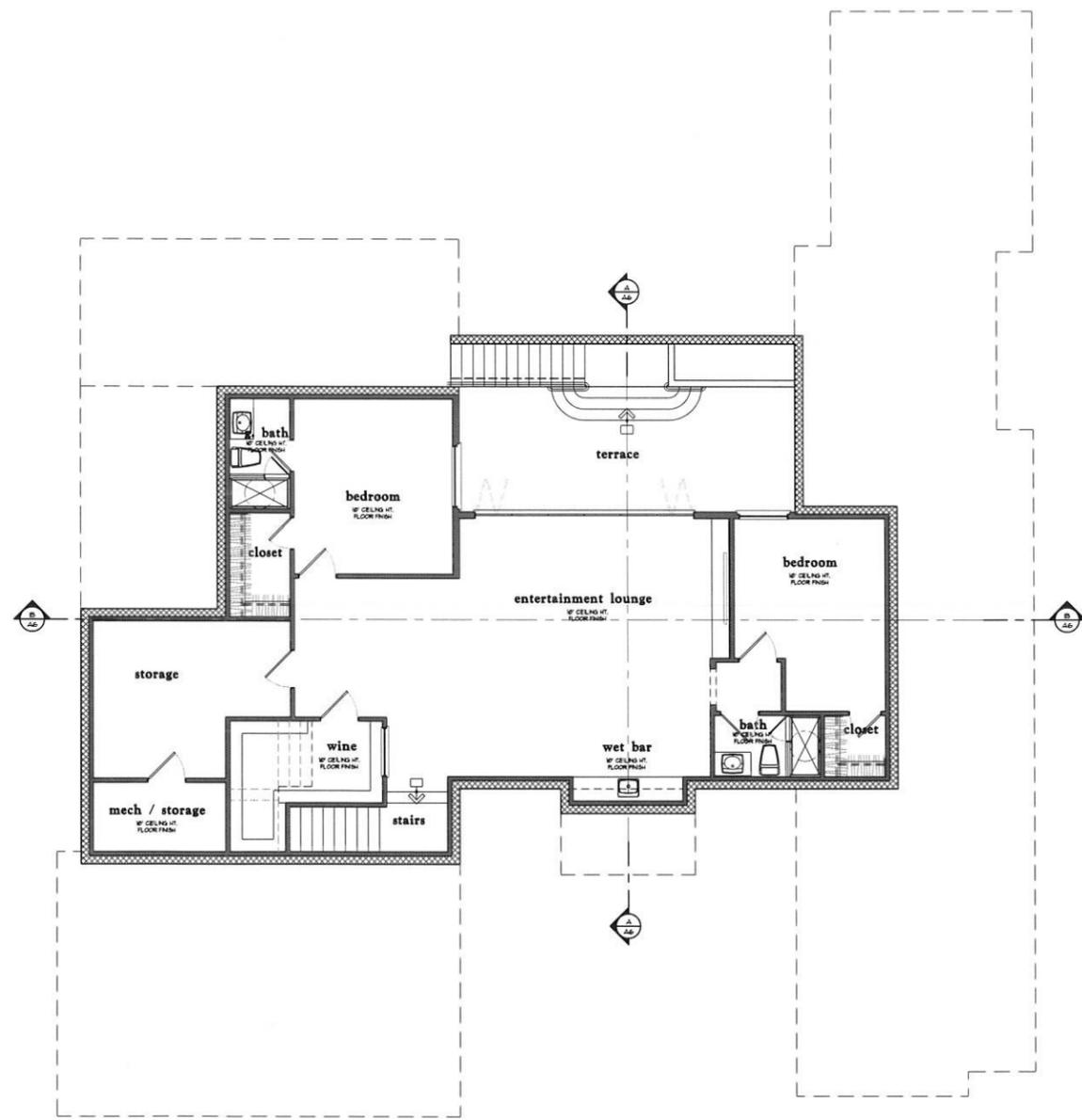
WITHOUT PREJUDICE VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE BY THE CLIENT OF THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE REPAIR OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE REPLACEMENT OF ANY ITEMS.

REVISIONS	ISSUE FOR PLANNING	DATE
		02-18-16
	REQUIREMENT PLANNING	02-25-16

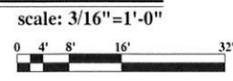
DRAWING TITLE	Entry Level Floor Plan
JOB TITLE	Private Residence
JOB ADDRESS	841 Santa Rita Ave. Los Altos, California 94022

DATE	Mar 29, 2016
SCALE	As Noted
PROJECT MANAGER	Stotler
DRAWN	M.A.W.
JOB NO.	1507
SHEET	

A2



Basement Level Floor Plan



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 E-MAIL: info@stotlerdesigngroup.com

WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF AGENCY. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE ARCHITECT AND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CLIENT. ANY REVISIONS TO THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CLIENT. ANY REVISIONS TO THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CLIENT. ANY REVISIONS TO THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CLIENT.

REVISIONS	DATE	BY
ISSUE FOR PLANNING	02-23-16	
REVISION #1	03-23-16	

DRAWING TITLE	Basement Level Floor Plan
JOB TITLE	Private Residence
JOB ADDRESS	841 Santa Rita Ave. Los Altos, California 94022

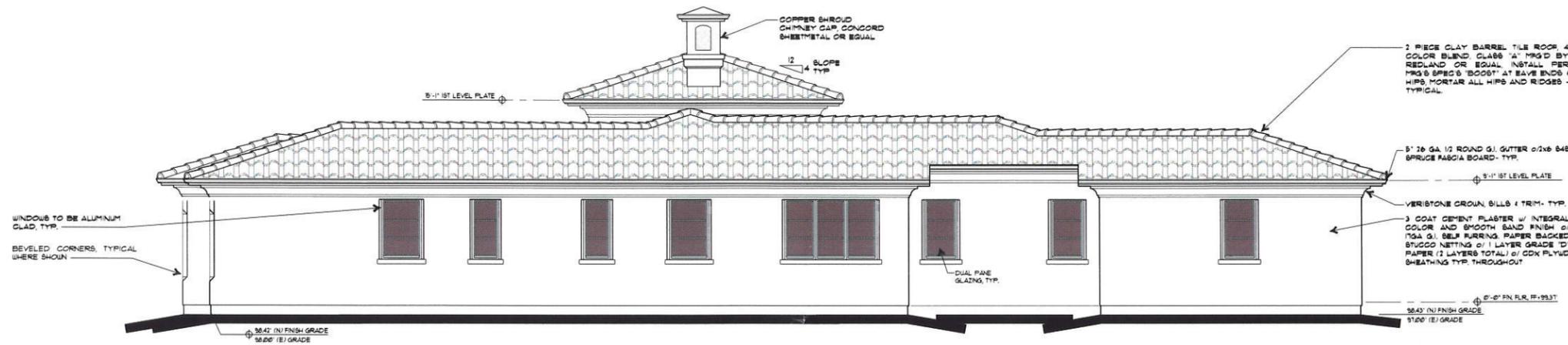
DATE	Mar 29 2016
SCALE	As Noted
PROJECT MANAGER	S Stotler
DRAWN	MALW
JOB NO.	1507
SHEET	

A3



Front - Exterior Elevation

scale: 1/4"=1'-0"



Right Side - Exterior Elevation

scale: 1/4"=1'-0"

EXTERIOR ELEVATION GENERAL NOTES :

- STUCCO CONSTRUCTION SHALL BE COMPLIANCE WITH C.B.C. SEC. 2510 & 2512
- CONCRETE ROOF TILE CONSTRUCTION SHALL BE PER C.B.C. SEC. 5011 AND THE MANUFACTURER'S RECOMMENDATION.
- ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE.
- ALL EXPOSED WOOD TRIM, PLYWOOD, SHUTTERS, POSTS AND CORBELS TO BE "RESAWN", AND SHALL BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION / ASSEMBLY.
- ALL EXPOSED POST TO BEAM HARDWARE TO HAVE HIDDEN INSTALLATION OR STRUCTURALLY APPROVED "ORNAMENTAL" CONNECTORS WITH A POWDER-COAT FINISH.



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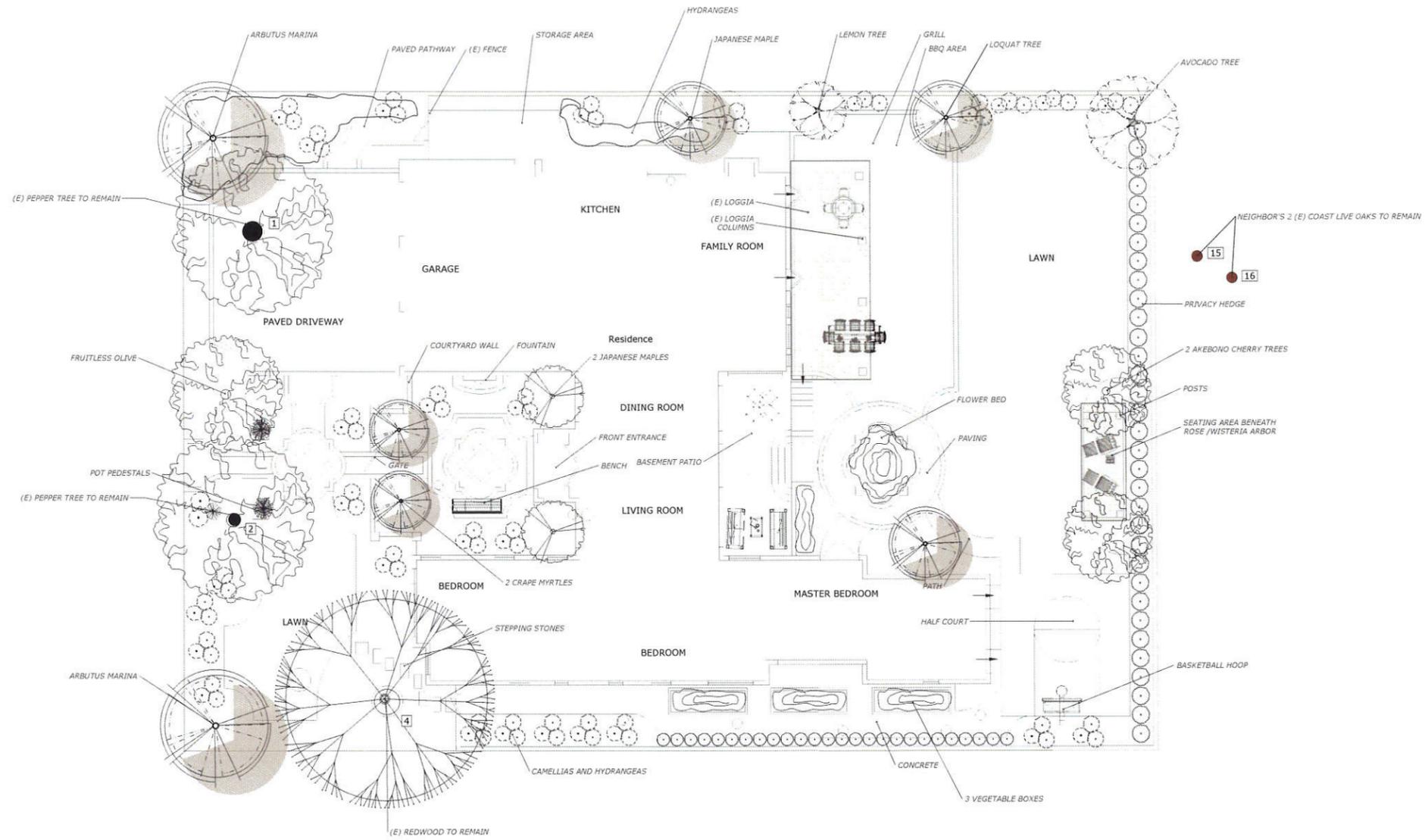
WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE ARCHITECT'S REVISIONS, CORRECTIONS, AND SUPPLEMENTATIONS SHALL BE MARKED AND PUBLISHED ON THESE PLANS AND SPECIFICATIONS. THE ARCHITECT'S REVISIONS, CORRECTIONS, AND SUPPLEMENTATIONS SHALL BE MARKED AND PUBLISHED ON THESE PLANS AND SPECIFICATIONS. THE ARCHITECT'S REVISIONS, CORRECTIONS, AND SUPPLEMENTATIONS SHALL BE MARKED AND PUBLISHED ON THESE PLANS AND SPECIFICATIONS. THE ARCHITECT'S REVISIONS, CORRECTIONS, AND SUPPLEMENTATIONS SHALL BE MARKED AND PUBLISHED ON THESE PLANS AND SPECIFICATIONS.

REVISIONS	DATE	DESCRIPTION
01-23-16	01-23-16	ISSUE FOR PLANNING
01-29-16	01-29-16	RESUBMIT PLANNING

DRAWING TITLE	Exterior Elevations
JOB TITLE	Private Residence
JOB ADDRESS	841 Santa Rita Ave. Los Altos, California 94022

DATE	Mar 29, 2016
SCALE	As Noted
PROJECT MANAGER	S Stotler
DRAWN	Mau
JOB NO	1507
SHEET	

A4



SQUARE FOOTAGE OF FRONT SETBACK
 SQUARE FOOTAGE OF HARDSCAPE: 1278 SQ. FT., 38%
 SQUARE FOOTAGE OF LANDSCAPE: 2086 SQ. FT., 62%
 SQUARE FOOTAGE OF FRONT SETBACK (TOTAL): 3364

* NOTES (E) = Existing

NOTE: LANDSCAPE PLAN COMPLIES WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE



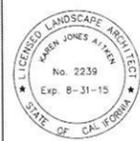
REVISIONS BY

NO.	DESCRIPTION	BY



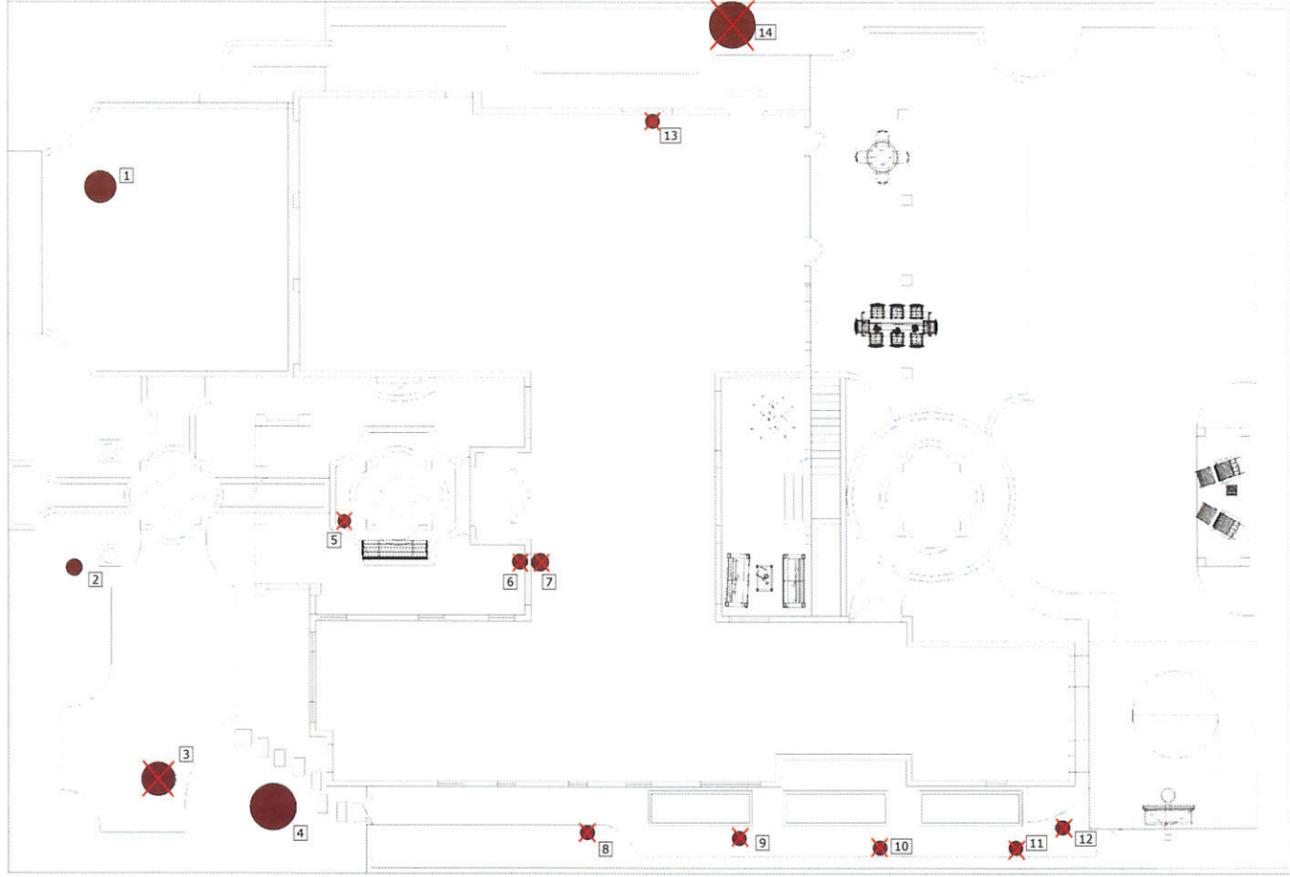
AITKEN ASSOCIATES
LANDSCAPE ARCHITECTS
 8262 Rancho Real Gilroy Ca. 95020
 Calif. Reg.#2239 (408) 842-0245
 aitkenassociates@gmail.com

KHURANA RESIDENCE
 841 SANTA RITA, LOS ALTOS, CA
LANDSCAPE PLAN



DATE	4-20-2015
SCALE	1/8"=1'-0"
DRAWN	SHA
JOB	KHURANA

L-1



TREE PROTECTION LEGEND

- RETAIN (E) TREE
- (E) TREE TO BE REMOVED

TREE PROTECTION TABLE

Tree #	SIZE	Botanical Name	Common Name	
1	36" tree	Schinus molle	California Pepper	Retain
2	12" tree	Schinus molle	California Pepper	Retain
3	36" tree	Washingtonia robusta	Mexican Fan Palm	Remove
4	48" tree	Sequoia sempervirens	Redwood	Retain
5	12" tree	Pittosporum eugenioides	Pittosporum	Remove
6	12" tree	Thuja occidentalis	American arborvitae	Remove
7	12" tree	Betula pendula	Birch	Remove
8	12" tree	Schinus terebinthifolius	Brazilian pepper	Remove
9	12" tree	Lingustrum japonicum	Privet	Remove
10	12" tree	Laurus nobilis	Sweet Bay	Remove
11	12" tree	Photinia spp.	Photinia	Remove
12	12" tree	Photinia spp.	Photinia	Remove
13	12" tree	Lagerstroemia spp.	Crape myrtle	Remove
14	48" tree	Sequoiadendron giganteum	Giant Sequoia	Remove
*15	12" tree	Quercus agrifolia	Coast Live Oak	Retain
*16	12" tree	Quercus agrifolia	Coast Live Oak	Retain

Note: Trees indicated with * symbol are neighbors trees

REVISIONS BY



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KHURANA RESIDENCE
 841 SANTA RITA, LOS ALTOS, CA
TREE PROTECTION PLAN



DATE 4-20-2015
 SCALE 1/8"=1'-0"
 DRAWN SHA
 JOB KHURANA

L-2

* NOTES (E) = Existing

