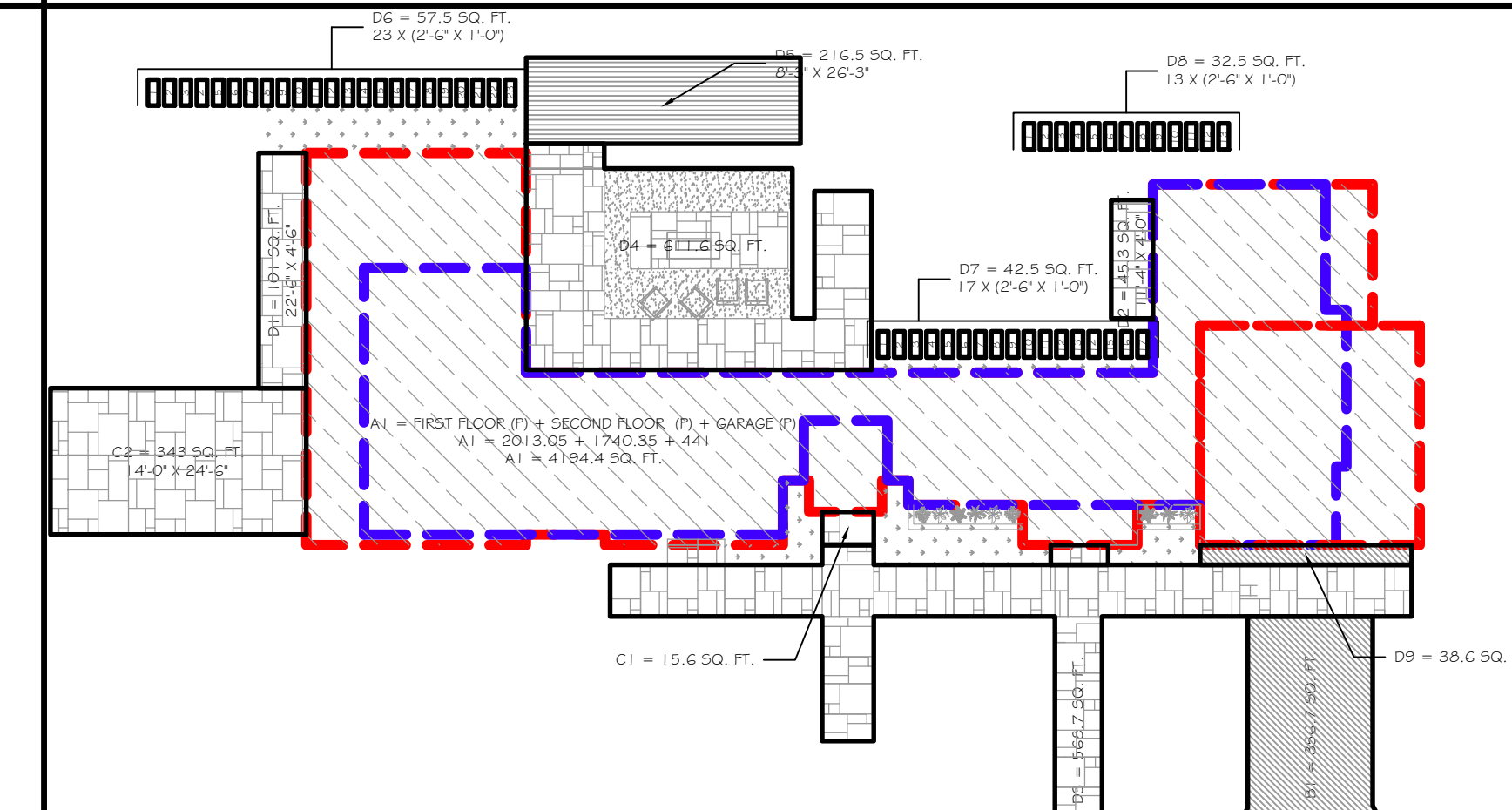
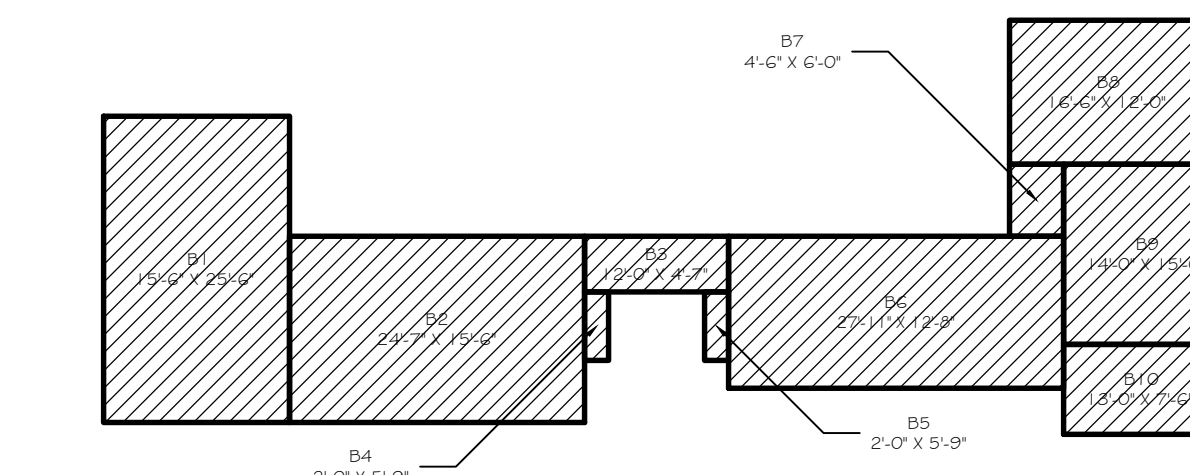
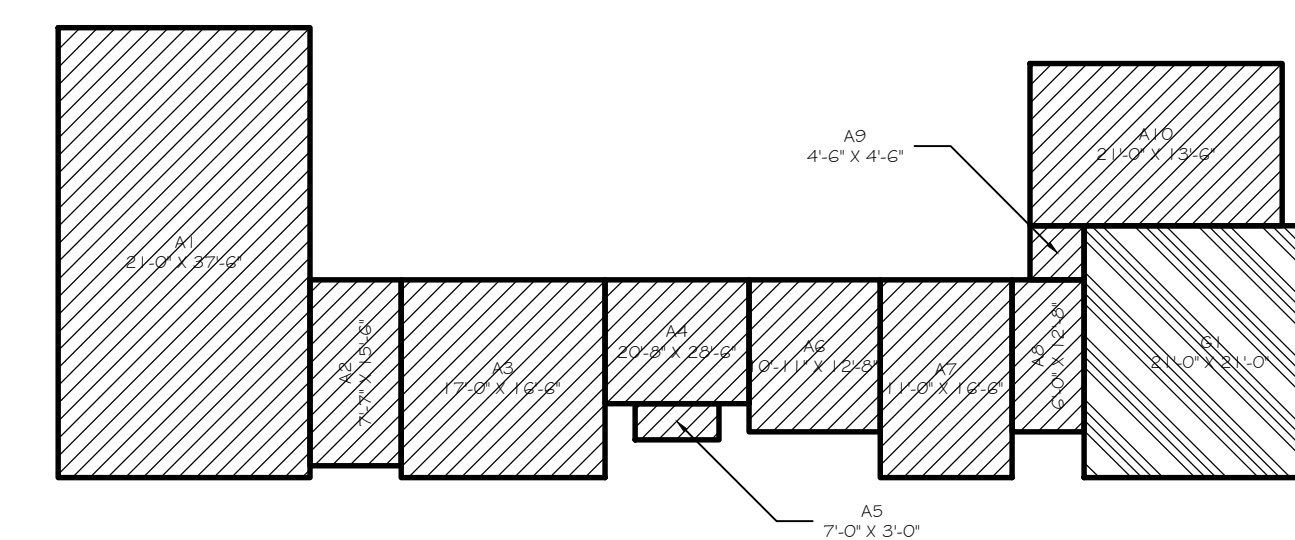


NEW RESIDENCE FOR MALETIN FAMILY

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AREA KEY PLANS



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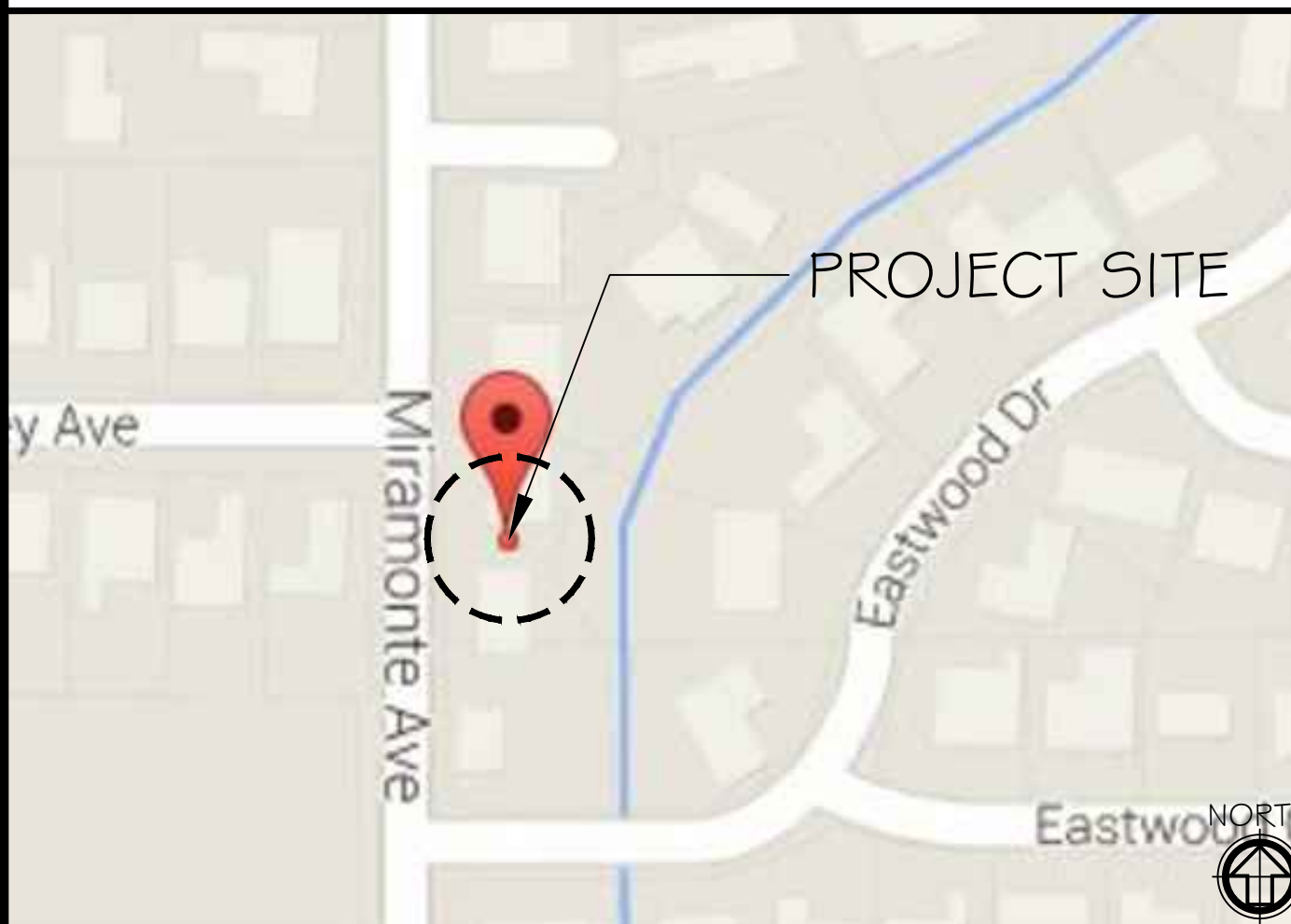
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IMPROVEMENTS TO
THE RESIDENCE OF
THE MALETIN FAMILY
1081 MIRAMONTE AVENUE
LOS ALTOS, CA 94024

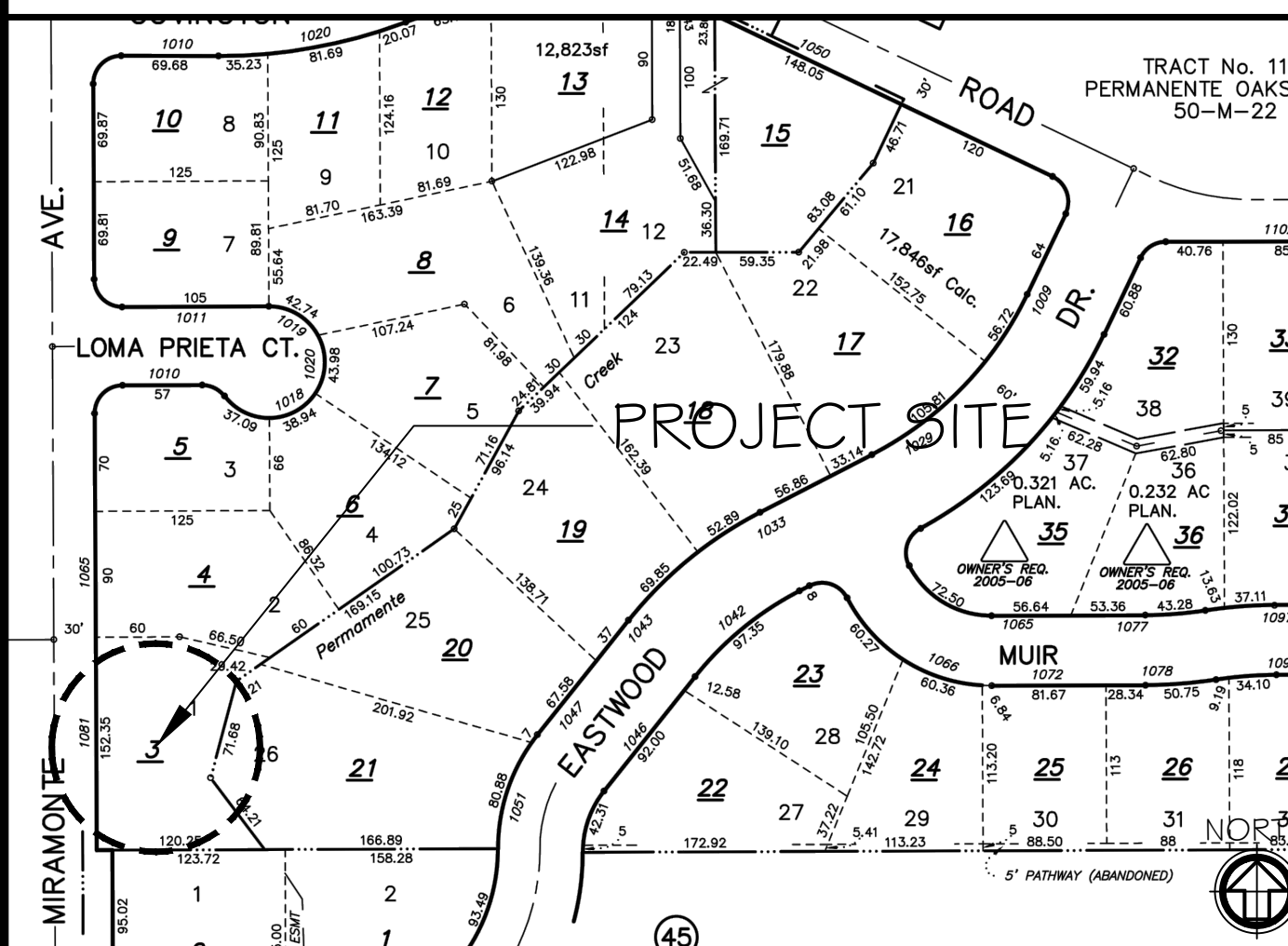
SCHEMATIC DESIGN
TITLE SHEET

01-04-16
T0.1

VICINITY MAP



PARCEL MAP



DRAWING INDEX

ARCHITECTURAL:	
TO.1	TITLE SHEET
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A1.2	PROPOSED SITE PLAN/ TREE PROTECTION
A1.3	PROPOSED FLOOR AREA, LOT COVERAGE & HARDSCAPE CALCULATIONS
A1.4	NEIGHBORHOOD COMPATIBILITY
A2.1	PROPOSED FIRST FLOOR PLAN
A2.2	PROPOSED SECOND FLOOR PLAN
A2.3	PROPOSED ROOF PLAN
A3.1	PROPOSED ELEVATIONS
A3.2	PROPOSED ELEVATIONS
A3.3	STREETSCAPE
A4.1	SECTIONS A, B & C
AG.1	ARCHITECTURAL DETAILS
CIVIL:	
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L1.2	LANDSCAPE PLAN W/ CIVIL REFERENCE
L1.3	ILLUSTRATIVE LANDSCAPE PLAN

GENERAL NOTES

GEOTECHNICAL ASPECTS:
THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, PIER DRILLING, FOOTING EXCAVATIONS, PREPARATION OF SUBGRADE AND PLACEMENT OF NON-EXPANSIVE FILL BENEATH THE BASEMENT SLAB AND SLABS-ON-GRADE, PAVEMENTS, RETAINING WALL BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS INC. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-559-9980) OF ANY EARTH WORK, EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

SITE EXAMINATION:
THE CONTRACTOR SHALL THOROUGHLY EXAMINE AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AND CONDITIONS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.

SAFETY:
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

DAMAGE TO STRUCTURE OR SYSTEMS TO REMAIN:
CONTRACTOR SHALL REIMBURSE OWNER(S) FOR REPAIR AND REPLACEMENT, TOGETHER WITH ANY DESIGN TEAM FEES, FOR ANY DAMAGE CAUSED TO STRUCTURES OR EXISTING SYSTEMS TO REMAIN, AS THE RESULT OF HIS/HER CONSTRUCTION OPERATIONS.

MEASUREMENTS:
THE CONTRACTOR SHALL VERIFY ALL DIMENSION SHOWS ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS IF NECESSARY. PROPER FIT AND ATTACHMENT OF ALL PARTS REQUIRED. BEFORE COMMENCING WORK, CHECK ALL LINE AND LEVELS INDICATED AND SUCH OTHER WORKS TO VERIFY THAT IT HAS BEEN PROPERLY COMPLETED. SHOULD THERE BE ANY DISCREPANCIES, THIS OFFICE IS TO BE NOTIFIED FOR CORRECTIONS AND/OR RESOLUTION PRIOR TO COMMENCEMENT OF ANY RELATED WORK.

EXISTING CONDITIONS:
ALL INFORMATION RELATING TO EXISTING CONSTRUCTION IS GIVEN AS BEING THE BEST INFORMATION AVAILABLE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND BUILDING DATA AT THE JOB SITE. ANY DISCREPANCIES REQUIRING MODIFICATION TO THE CONSTRUCTION SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. NO MODIFICATIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER(S).

CONTRACTOR'S EQUIPMENT:
COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S BUILDING ENTRANCE AND LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE AREA.

UTILITY SHUT-DOWNS AND CONNECTIONS:
BEFORE THE SHUT-DOWN OR TYING INTO ANY UTILITY, PRIOR APPROVAL SHALL BE OBTAINED FROM THE OWNER'S CITY REPRESENTATIVES. ALL BUILDING MATERIALS MUST BE ASBESTOS FREE.

CONSTRUCTION SCHEDULING:
CONTRACTOR SHALL COORDINATE HIS/HER CONSTRUCTION OPERATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO SCHEDULING AND START OF THE WORK. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING SYSTEMS WHICH ARE IN USE AND ARE ADJOINING THE WORK AND ARE NOT PART OF THE WORK.

PLUMBING & ELECTRICAL:
(SEE ALSO PLUMBING AND ELECTRICAL NOTES) EXAMINATION OF PLUMBING AND ELECTRICAL SERVICES TO SITE BY CONTRACTOR PRIOR TO CONNECTION OR TYING INTO IS REQUIRED. IN ANY CASE WHERE A NEW LINE TIES INTO OR EXTENDS AN EXISTING LINE WITHIN THE LIMITS OF WORK, THE CONTRACTOR SHALL EXAM THE ENTRY LINE, OR ARRANGE FOR THE PROPER AGENCIES TO DO SO NOTIFY OWNER OF ANY DEFECTS PRIOR TO TYING INTO (E) LINES.

ALL WORK SHALL CONFORM AND SHALL BE IN CONFORMANCE TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION (TITLE 24) ENERGY EFFICIENCY STANDARDS FOR NEW RESIDENTIAL BUILDINGS AND SPECIFY REGULATION AND MANDATORY FEATURE AS REFERRED TO IN THE ENERGY CALCULATION OR AS NOTED ON DRAWINGS.

ALL GLASS SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AS PER CRC UNLESS OTHERWISE NOTED, AND NAILING SHALL BE AS PER CBC.

PROVIDE SECURITY DEVICES AS REQUIRED BY THE CITY OR COUNTY, AS WELL AS SECURITY DEVICES SPECIFICALLY REQUESTED BY OWNER.

ALL INSULATION TO BE JOHN'S MANVILLE FORMALDEHYDE-FREE FIBER GLASS INSULATION OR EQUAL AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

CONTRACTOR SHALL COMPLETE INSULATION INSTALLATION CERTIFICATE AND PROVIDE OWNER WITH ALL MANUFACTURER'S MANUALS FOR EQUIPMENT SPECIFICALLY DETAILING EFFICIENT OPERATION AND MAINTENANCE REQUIREMENT

CODE SUMMARY

TYPE OF CONSTRUCTION:	OCCUPANCY:
TYPE V-B - FULLY SPRINKLERED	OCCUPANCY GROUPS: R-3/U
CODE COMPLIANCE:	STORIES: 2 STORY W
2013 CALIFORNIA BUILDING CODE	
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE	
2013 CALIFORNIA ELECTRICAL CODE	
2013 CALIFORNIA MECHANICAL CODE	
2013 CALIFORNIA PLUMBING CODE	
2013 CALIFORNIA FIRE CODE	
2010 CALIFORNIA ENERGY CODE	
2013 CALIFORNIA RESIDENTIAL CODE	
LOS ALTOS MUNICIPAL CODE	
NOTHING ON THE DRAWING SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LISTED CODES AND REGULATIONS.	

PROJECT DESCRIPTION

SUMMARY OF WORK:
NEW RESIDENCE CONSISTENT OF:
• TWO-CAR GARAGE
• 5 BEDROOMS
• 4 1/2 BATHROOMS

CONDITIONS OF APPROVAL

T.B.D.

PROJECT TEAM

OWNERS:
ZARKO MALETIN
1081 MIRAMONTE AVENUE
LOS ALTOS, CA 94024

ARCHITECT:
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CIVIL:
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4880 STEVENS CREEK BLVD., SUITE 205
SAN JOSE, CA 95129
CONTACT: MARK A. MELTON, PE, PLS
PHONE: (408) 615-4000 X206
FAX: (408) 615-4004
email: melton@mkengineers.com

ENERGY CONSULTANT:
T.B.D.
CONTACT:
PHONE:
email:

CONTRACTOR:
T.B.D.
CONTACT:
PHONE:
email:

GEOTECHNICAL SERVICES:
MURRAY ENGINEERING, INC.
CONTACT: MARK BAUMANN
PHONE: 650-559-9980
email: mark@murrayengineers.com

STRUCTURAL:
T.B.D.
CONTACT:
PHONE:
email:

PROJECT DATA

A.P.N.	193-46-003
ZONING DISTRICT	R1-10 SINGLE FAMILY
LOT SIZE	14,777 Sq. Ft.
MAXIMUM FLOOR AREA 3,850 Sq. Ft. PLU5 10% TIMES THE NET LOT AREA MINUS 11,000 Sq. Ft. (FOR LOTS OVER 11,000 SQUARE FEET)	4,227.7 Sq. Ft.

FIRE BLK'G NOTES

PROJECT SUMMARY TABLES

LOT CALCULATIONS			
NET LOT AREA	14,777 Sq. Ft.		
PROP. LOT COVERAGE	2,850.05 Sq. Ft.		
MAX. LOT COVERAGE ALLOWED	4433.31 Sq. Ft. (30% OF LOT AREA)		
HARDSCAPE & SOFTSCAPE			
PROP. FRONT HARDSCAPE	979.6 Sq. Ft. (34% OF FRONT YARD)		
TOTAL PROP. HARDSCAPE	6,624.36 Sq. Ft.		
PROP. FRONT SOFTSCAPE	1,891.4 Sq. Ft. (66% OF FRONT YARD)		
ZONING COMPLIANCE			
FLOOR AREA	EXISTING	PROPOSED	ALLOWED/REQUIRED
FIRST FLOOR	1,121 Sq. Ft.	2,013.05 Sq. Ft.	-
GARAGE	440 Sq. Ft.	0 Sq. Ft.	-
SECOND FLOOR	0 Sq. Ft.	1,740.35 Sq. Ft.	-
TOTAL	1,561 Sq. Ft.	4,194.4 Sq. Ft.	4,277.7 Sq. Ft.
SQUARE FOOTAGE BREAKDOWN			
HABITABLE LIVING AREA	EXISTING	CHANGE IN	TOTAL PROPOSED
FIRST FLOOR	1,121 Sq. Ft.	892.05 Sq. Ft.	2,013.05 Sq. Ft.
SECOND FLOOR	0 Sq. Ft.	1,740.35 Sq. Ft.	1,740.35 Sq. Ft.
TOTAL	1,121 Sq. Ft.	2,632.4 Sq. Ft.	3,753.4 Sq. Ft.
NON-HABITABLE LIVING AREA			
FIRST FLOOR	440 Sq. Ft.	1 Sq. Ft.	441 Sq. Ft.
SECOND FLOOR	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.
TOTAL	440 Sq. Ft.	1 Sq. Ft.	441 Sq. Ft.
SETBACKS			
REFERENCE	EXISTING	PROPOSED	ALLOWED/REQUIRED
FRONT	34'-4"	25'-0" / 25'-0"	25'-0"
REAR	29'-3"	26'-7" / 26'-7"	25'-0"
RIGHT SIDE	70'-4"	11'-0" / 18'-0"	10'-0" / 17'-6"
LEFT SIDE	13'-6"	10'-4" / 33'-4"	10'-0" / 17'-6"

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LEGEND

- - - - - PROPERTY LINE
-  (E) HOUSE & GARAGE BOUNDARIES



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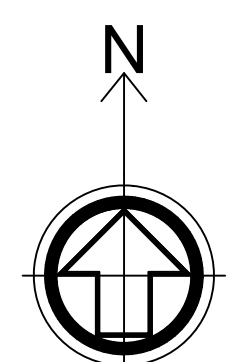
IMPROVEMENTS TO
THE RESIDENCE OF
THE MALETIN FAMILY
1081 MIRAMONTE AVENUE
LOS ALTOS, CA 94024

SCHEMATIC DESIGN

EXISTING SITE PLAN

01-04-16

A1.1



MIRAMONTE AVENUE

EXISTING SITE PLAN



SCALE: 1/8"=1'-0"

1



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SCHEMATIC DESIGN
PROPOSED SITE PLAN/
TREE PROTECTION PLAN

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A1.2

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- LEGEND
- PROPERTY LINE
 - TREE PROTECTION FENCE
 - REQUIRED SETBACK
 - (P) GARAGE @ LOWER LEVEL
 - (P) FIRST FLOOR
 - (P) SECOND FLOOR
 - (N) UPPER ROOFS
 - (N) INTERMEDIATE ROOFS
 - (N) LOWER ROOFS
 - (N) SKYLIGHT
 - SOLAR PANELS - 500 SQ. FT.

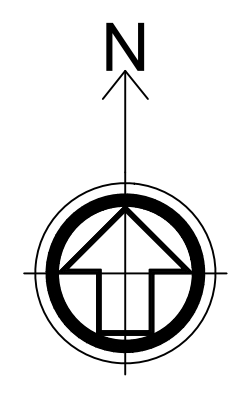


MIRAMONTE AVENUE

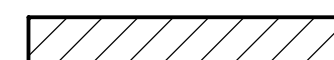
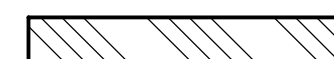

PROPOSED SITE PLAN/ TREE PROTECTION PLAN

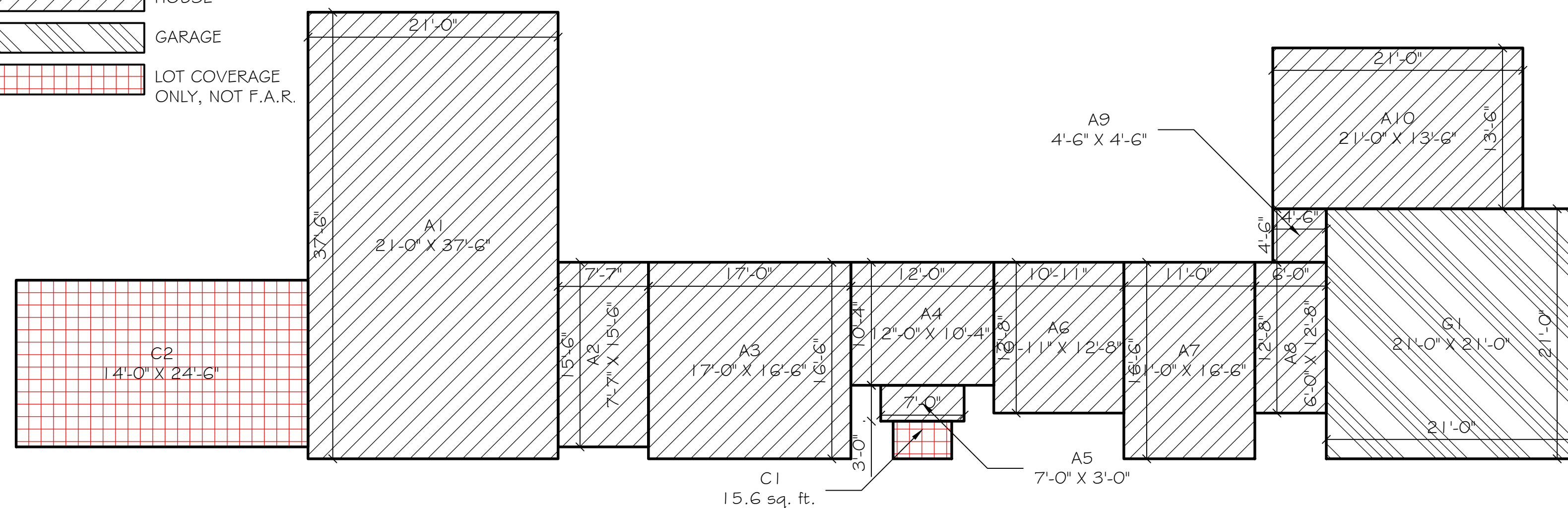


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LEGEND

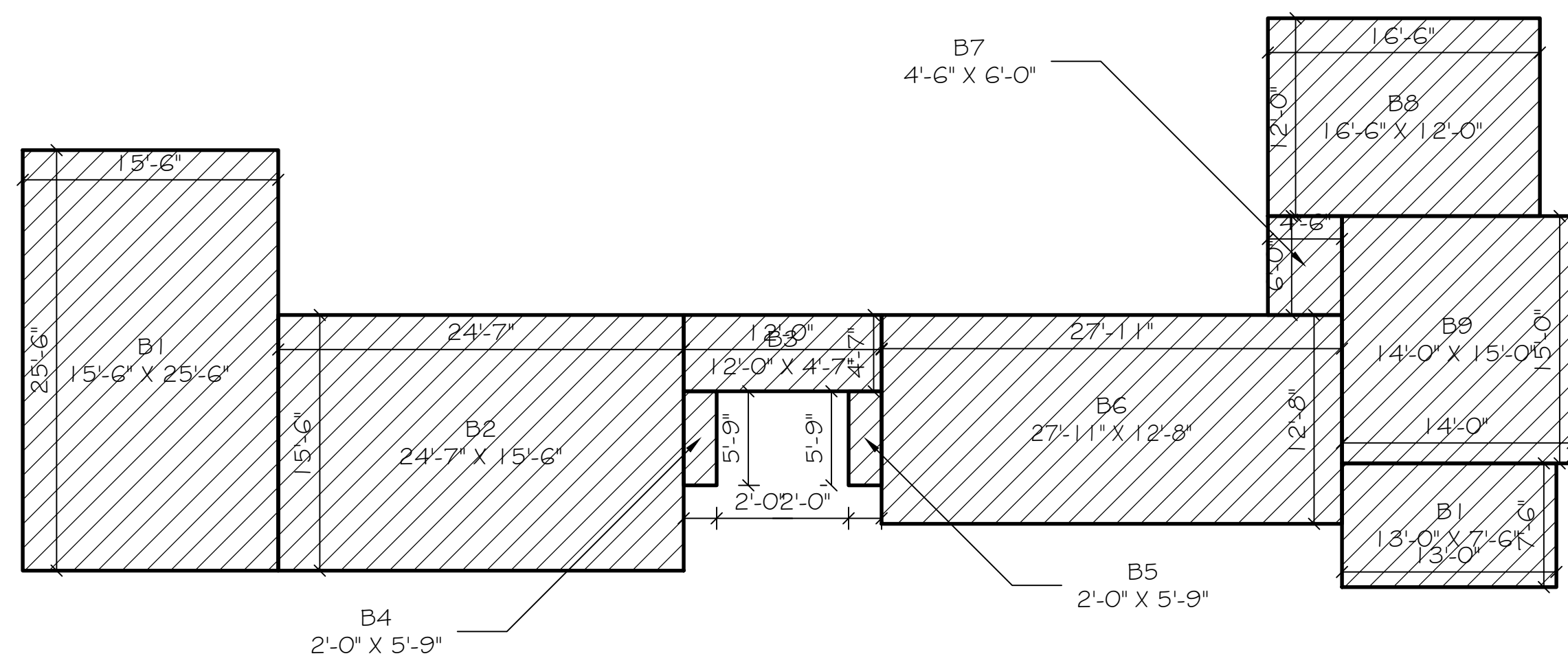
-  HOUSE
-  GARAGE
-  LOT COVERAGE ONLY, NOT F.A.R.



FIRST FLOOR PLAN



SCALE: 1/8"=1'-0" 1



SECOND FLOOR PLAN



SCALE: 1/8"=1'-0" 2

AREA CALCULATION TABLES

FIRST FLOOR AREA		
No.	DIMENSIONS	AREA (Sq. Ft.)
A1	21'-0" X 37'-6"	787.5
A2	7'-7" X 15'-6"	117.5
A3	17'-0" X 15'-6"	263.5
A4	12'-0" X 10'-4"	124
A5	7'-0" X 3'-0"	21
A6	10'-11" X 12'-8"	138.3
A7	11'-0" X 16'-6"	181.5
A8	6'-0" X 12'-8"	76
A9	4'-6" X 4'-6"	20.25
A10	21'-0" X 13'-6"	283.5
ΣA	TOTAL PROP. HAB. AREA	2013.05

SECOND FLOOR AREA		
No.	DIMENSIONS	AREA (Sq. Ft.)
B1	15'-6" X 25'-6"	395.25
B2	24'-7" X 15'-6"	381
B3	12'-0" X 4'-7"	55
B4	2'-0" X 5'-9"	11.5
B5	2'-0" X 5'-9"	11.5
B6	27'-11" X 12'-8"	353.6
B7	4'-6" X 6'-0"	27
B8	16'-6" X 12'-0"	198
B9	14'-0" X 15'-0"	210
B10	13'-0" X 7'-6"	97.5
ΣB	TOTAL PROP. HAB. AREA	1740.35

COVERED AREA		
	FLOOR AREA	AREA (Sq. Ft.)
C1	-	15.6
C2	14'-0" X 24'-6"	343
ΣC	TOTAL PROPOSED	358.6

TOTAL LOT COVERAGE		
	FLOOR AREA	AREA (Sq. Ft.)
ΣA	FIRST FLOOR AREA	2013.05
ΣB	GARAGE AREA	441
ΣC	COVERED AREA	358.6
ΣAGC	TOTAL PROPOSED	2812.65
	TOTAL ALLOWED	4433



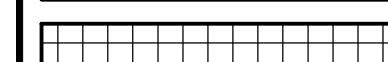
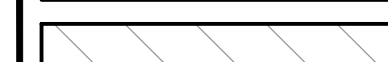

GARAGE AREA		
No.	DIMENSIONS	AREA (Sq. Ft.)
G1	21'-0" X 21'-0"	441
ΣG	TOTAL PROPOSED AREA	441

TOTAL FLOOR AREA		
	FLOOR AREA	AREA (Sq. Ft.)
ΣA	FIRST FLOOR AREA	2013.05
ΣB	SECOND FLOOR AREA	1740.35
ΣG	GARAGE	441
ΣABG	TOTAL PROPOSED	4194.4
	TOTAL ALLOWED	4227

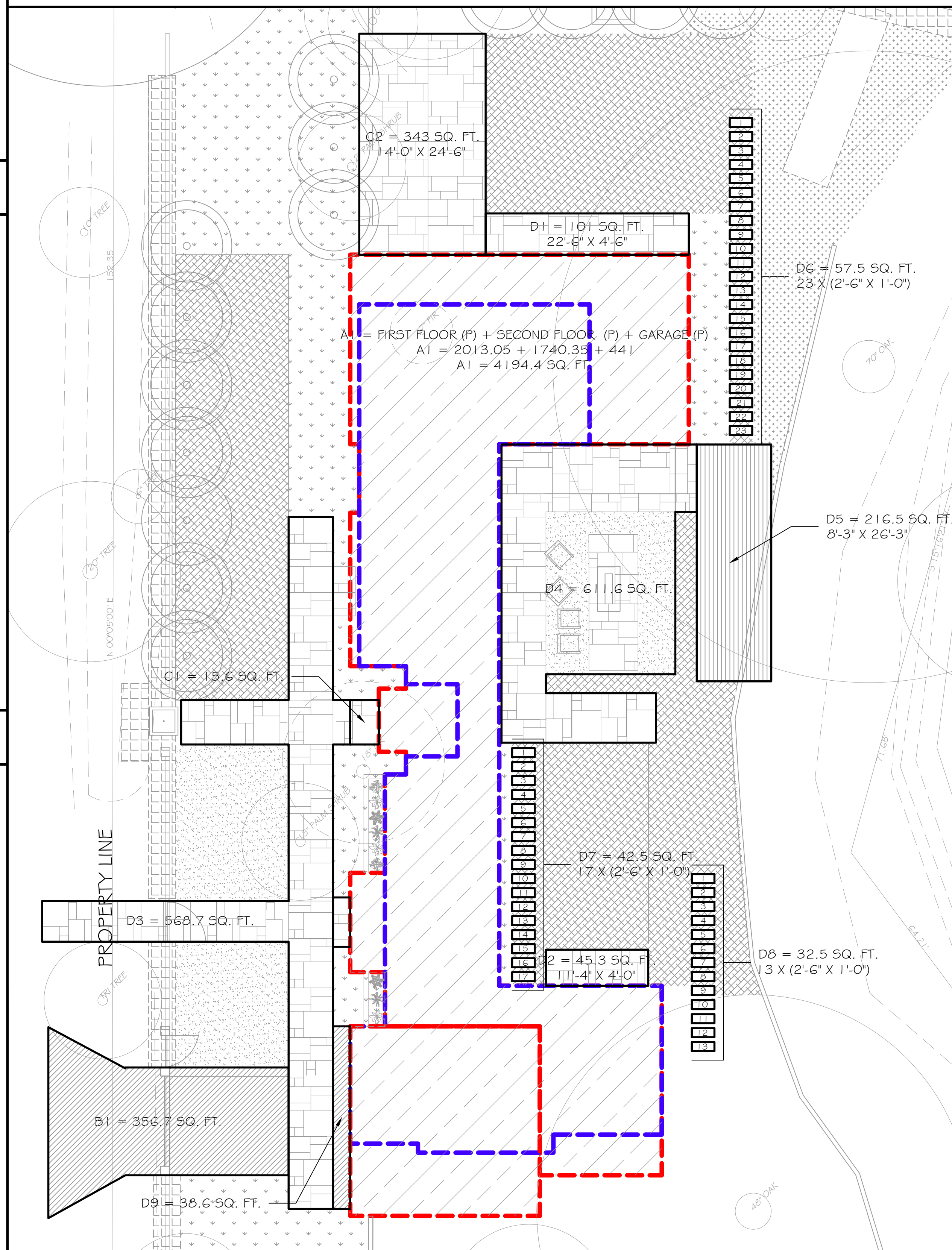
CALCULATIONS

3

LEGEND

-  BUILDING F/S
-  DRIVEWAY / PARKING
-  PATIOS & WALKWAYS
-  COVERED PATIO
-  FOUNTAIN

YARD HARDSCAPE AREA			NOT FOR CONSTRUCTION DRAFT REVIEW ONLY
No.	DIMENSIONS	AREA (Sq. Ft.)	MATERIAL
A1	-	4,194.4	VARIES
B1	-	356.7	CONCRETE
C1	-	15.6	STONE
C2	14'-0" X 24'-6"	343	STONE
D1	22'-6" X 4'-6"	101.25	STONE
D2	11'-4" X 4'-0"	45.3	STONE
D3	-	568.7	STONE
D4	-	611.6	STONE
D5	26'-3" X 8'-3"	216.5	WOOD
D6	23 X (2'-6" X 1'-0")	57.5	STONE
D7	17 X (2'-6" X 1'-0")	42.5	STONE
D8	13 X (2'-6" X 1'-0")	32.5	STONE
D9	1'-11" X 20'-3"	38.6	CONCRETE
ΣABCD	TOTAL AREA	6,624.36	

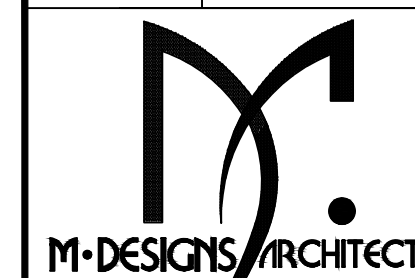


HARDSCAPE



SCALE: 1/8"=1'-0" 1

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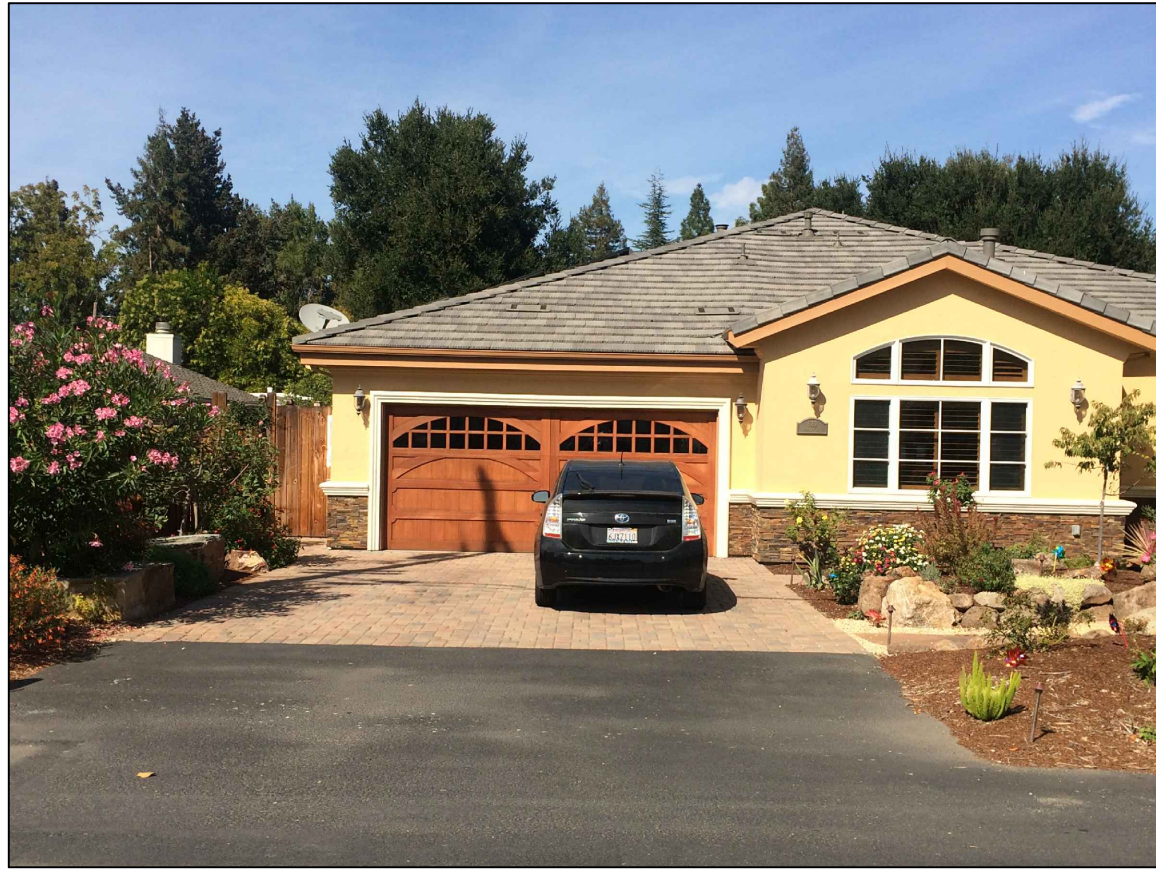
SCHEMATIC DESIGN
FLOOR AREA, LOT COVERAGE &
HARDSCAPE CALCULATIONS

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A1.3

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1065 MIRAMONTE AVE, LOS ALTOS, CA



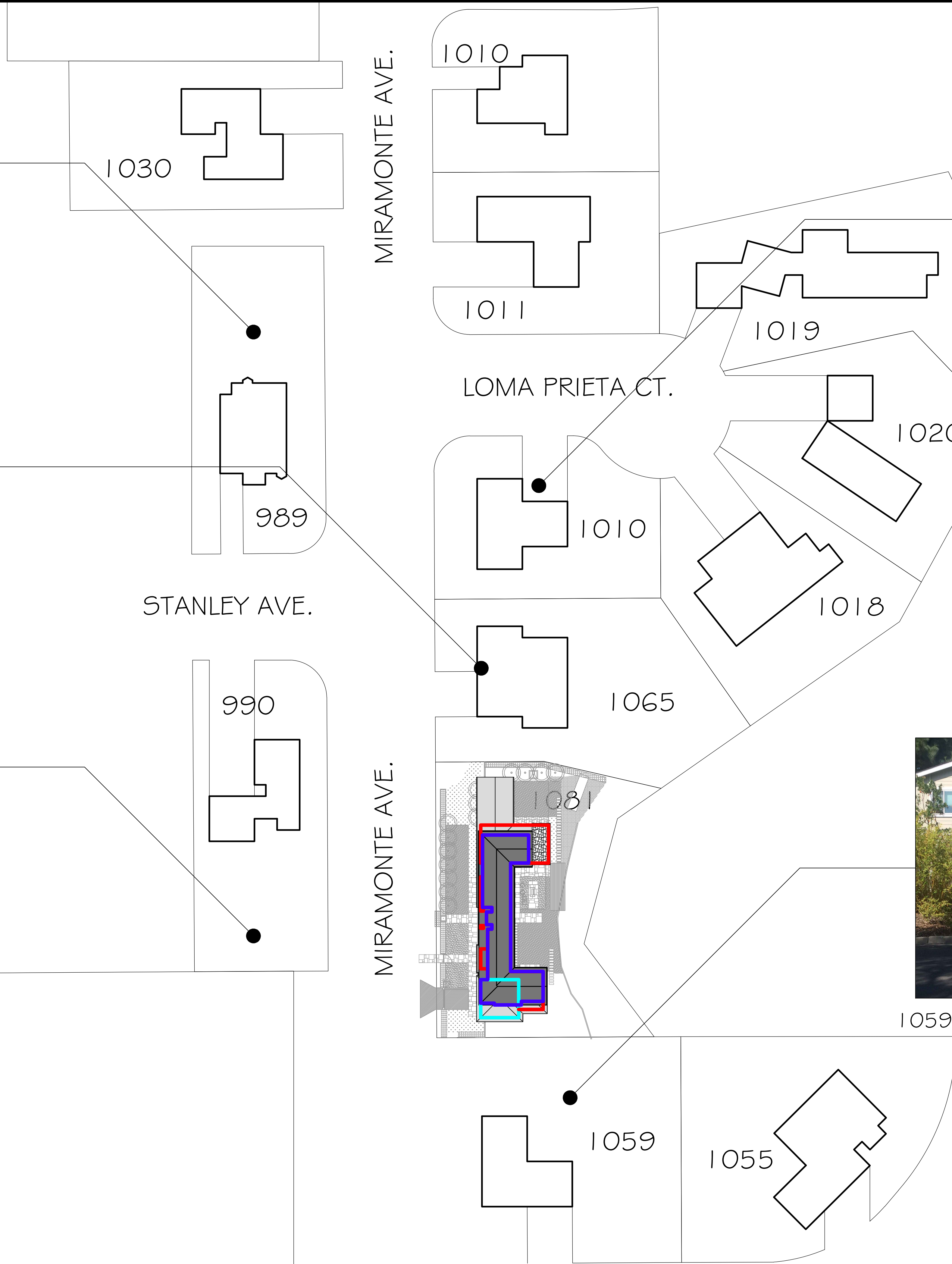
990 STANLEY AVE, LOS ALTOS, CA



1010 LOMA PRIETA CT, LOS ALTOS, CA



1059 EASTWOOD DR, LOS ALTOS, CA



CITY OF MOUNTAIN VIEW

NEIGHBORHOOD COMPATIBILITY

IMPROVEMENTS TO
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1081 MIRAMONTE AVENUE
LOS ALTOS, CA 94024

SCHEMATIC DESIGN
NEIGHBORHOOD
COMPATIBILITY

01-04-16

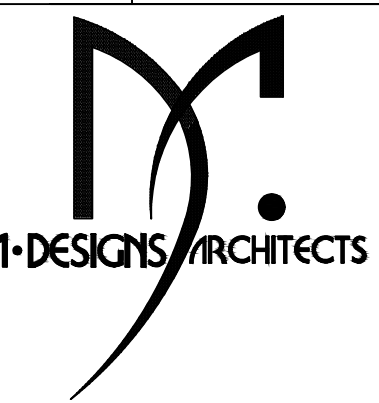
A1.4



SCALE: 1/32"=1'-0"

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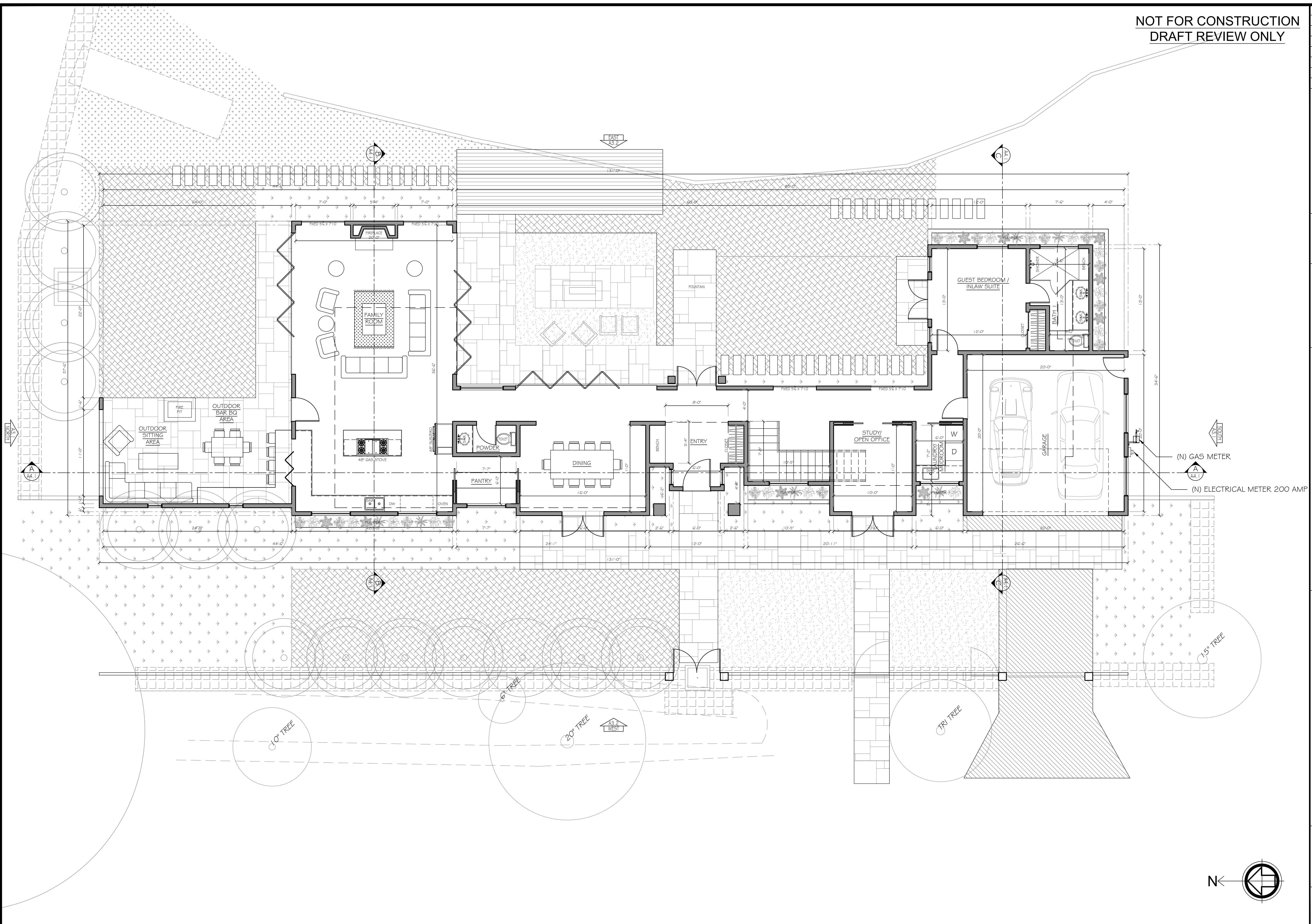
IMPROVEMENTS TO
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THE MALETIN FAMILY
1081 MIRAMONTE AVENUE
LOS ALTOS, CA 94024

SCHEMATIC DESIGN

PROPOSED FIRST FLOOR PLAN

01-04-16

A2.1



PROPOSED FIRST FLOOR PLAN - 2454.05 Sq. Ft.

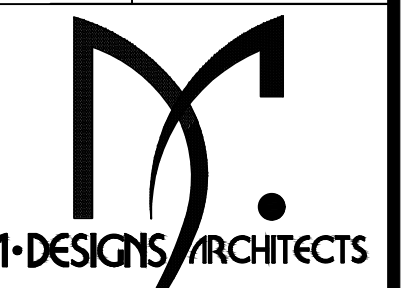


SCALE: 3/16"=1'-0"

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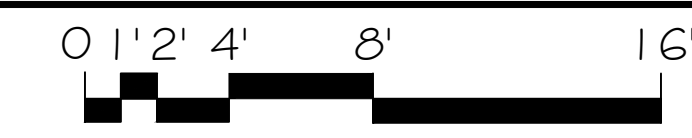
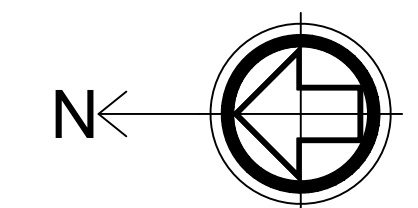
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SCHEMATIC DESIGN
PROPOSED SECOND FLOOR
PLAN

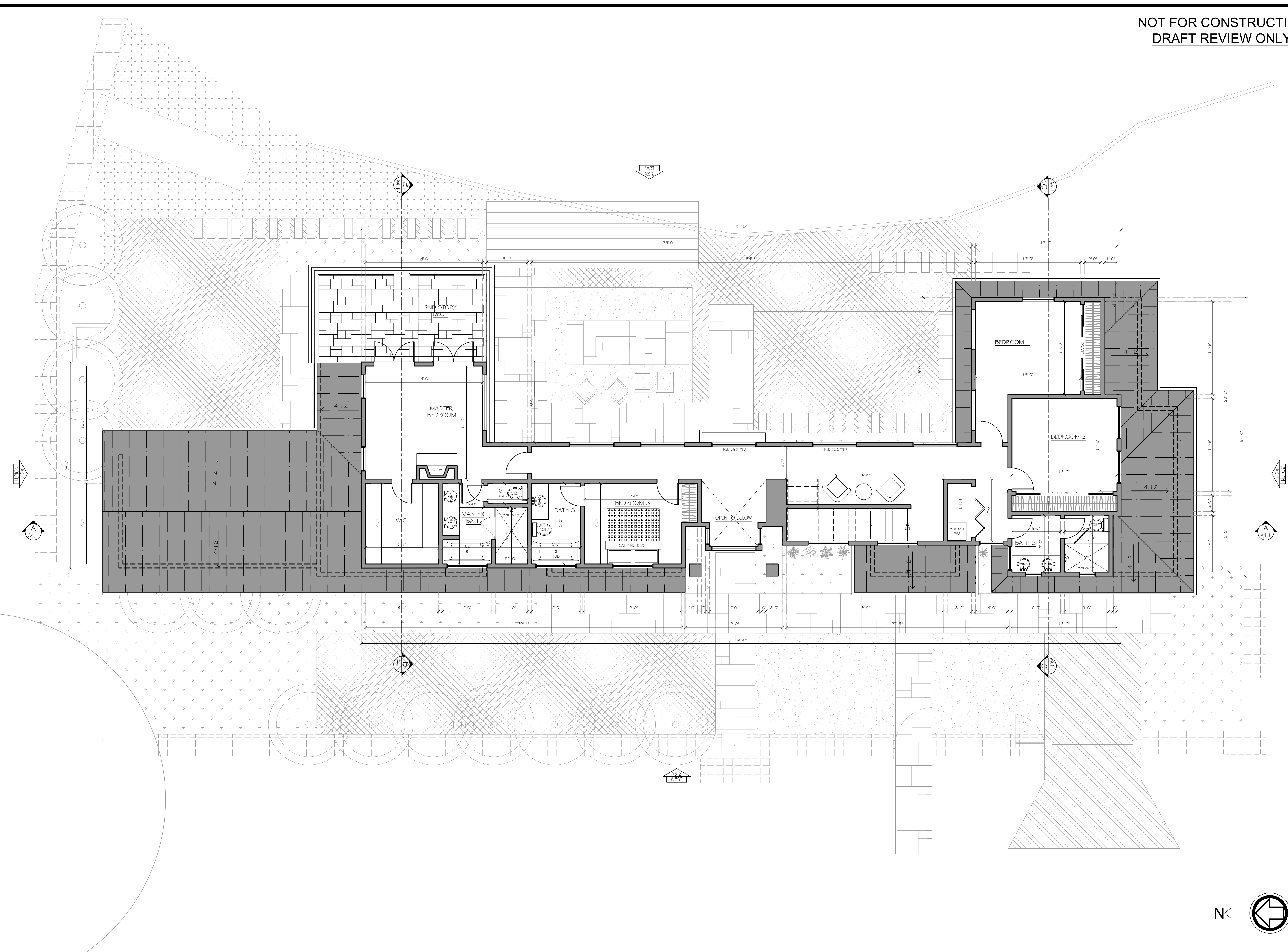
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A2.2







SCALE: 3/16"=1'-0"

1



PROPOSED SECOND FLOOR PLAN - 1740.35 Sq. Ft.

LEGEND

- DS DOWN SPOUT
- GT GUTTER
-  UPPER ROOFS
-  INTERMEDIATE ROOFS
-  LOWER ROOFS
-  NEW ROOFS

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DRAFT REVIEW ONLY**

DATE	REVISION

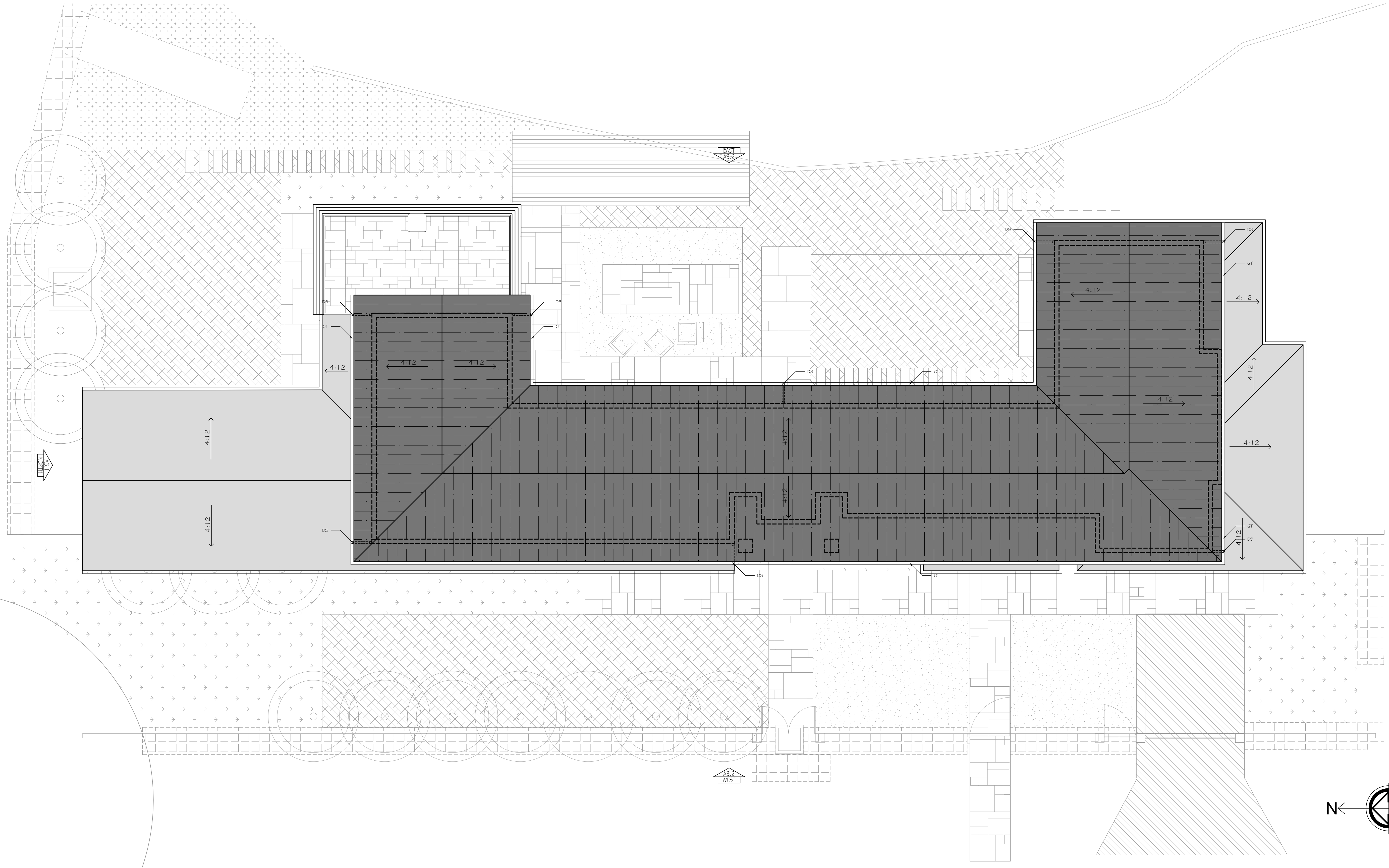
M-DESIGNS ARCHITECTS
 M-DESIGNS ARCHITECTS
 4546 EL CAMINO REAL,
 STE 223, LOS ALTOS, CA
 www.mdesignsarchitects.com
 info@mdesignsarchitects.com
 PH: 650-565-8036 FAX: 650-625-7869

**IMPROVEMENTS TO
THE RESIDENCE OF
THE MALETIN FAMILY
1081 MIRAMONTE AVENUE
LOS ALTOS, CA 94024**

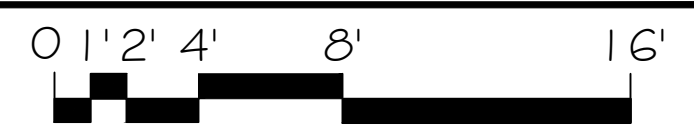
**SCHEMATIC DESIGN
PROPOSED ROOF PLAN**

01-04-16

A2.3



PROPOSED ROOF PLAN



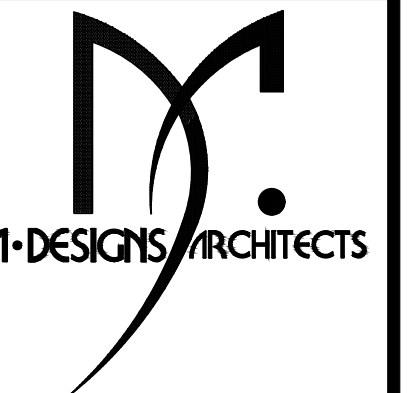
SCALE: 3/16"=1'-0"

1

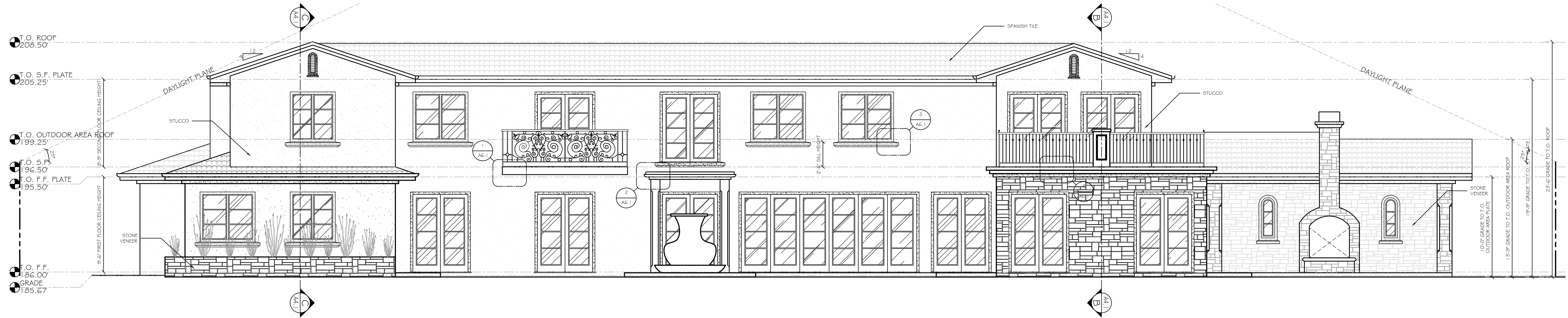
NOTE: STUCCO WITH EXPANSION JOINTS: 7/8" THICK MIN(3) COAT STUCCO WALL SYSTEM, TYPE E/2G GA GALVANIZED WEEP SCREED AT THE FOUNDATION PLATE LINE INSTALLED AT LEAST 4" ABOVE FINISHES OR NATURAL GRADE (OR 2" ABOVE CONCRETE OR MASONRY PAVING) OVER CORROSION-RESISTANT METAL LATH OVER (2) LAYER OF GRADE 'D' BUILDING PAPER OVER 3/8" THICK MIN. PLYWOOD SHEATHING

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DRAFT REVIEW ONLY

DATE REVISION



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PH: 650.565.9036 FAX: 650.625.7669



PROPOSED EAST ELEVATION (REAR)



SCALE: 3/16"=1'-0"

1

IMPROVEMENTS TO
THE RESIDENCE OF
THE MALETIN FAMILY
1081 MIRAMONTE AVENUE
LOS ALTOS, CA 94024



PROPOSED WEST ELEVATION (FRONT)



SCALE: 3/16"=1'-0"

2

SCHEMATIC DESIGN

PROPOSED ELEVATIONS

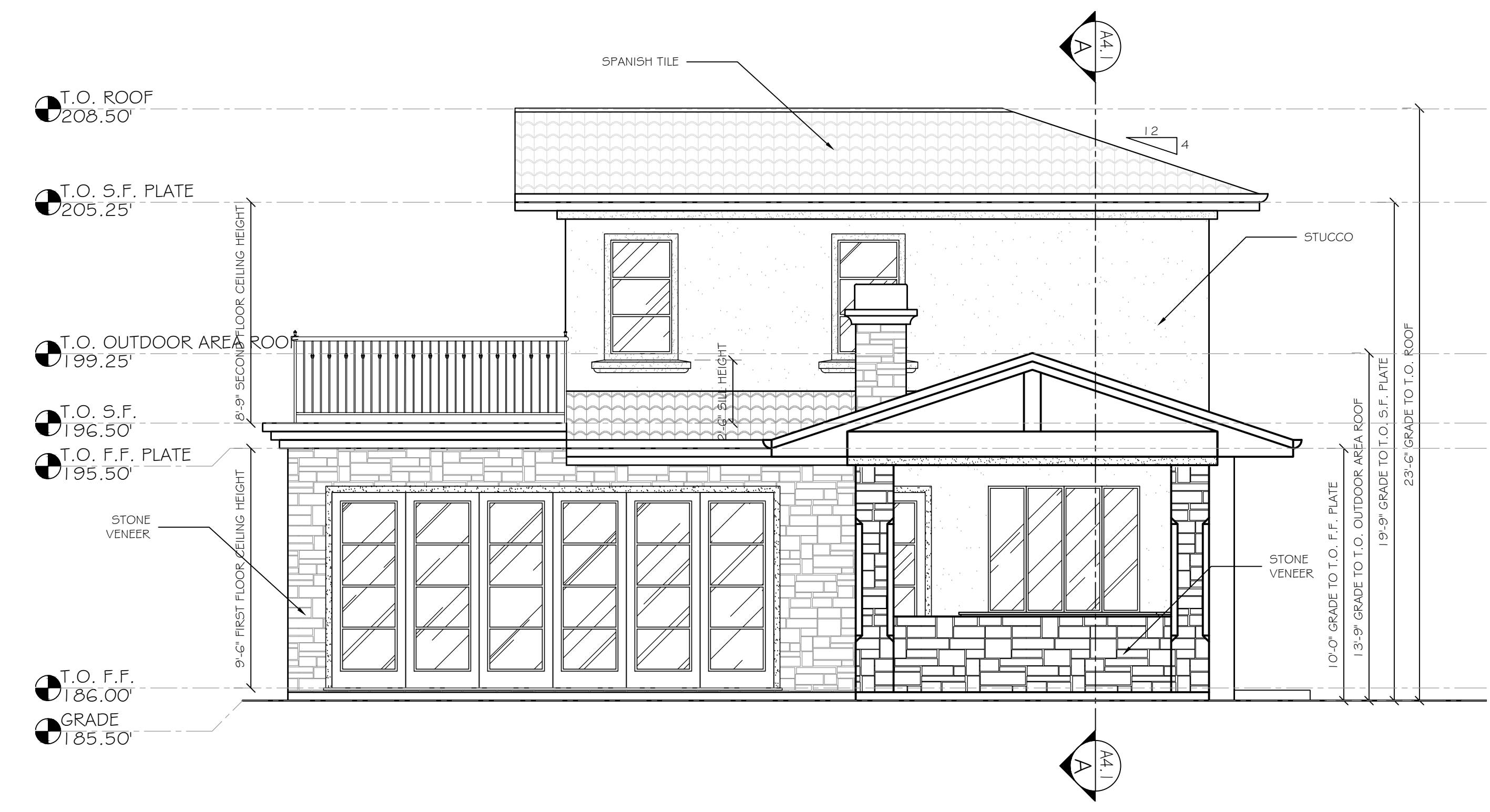
01-04-16

A3.1

DATE	REVISION



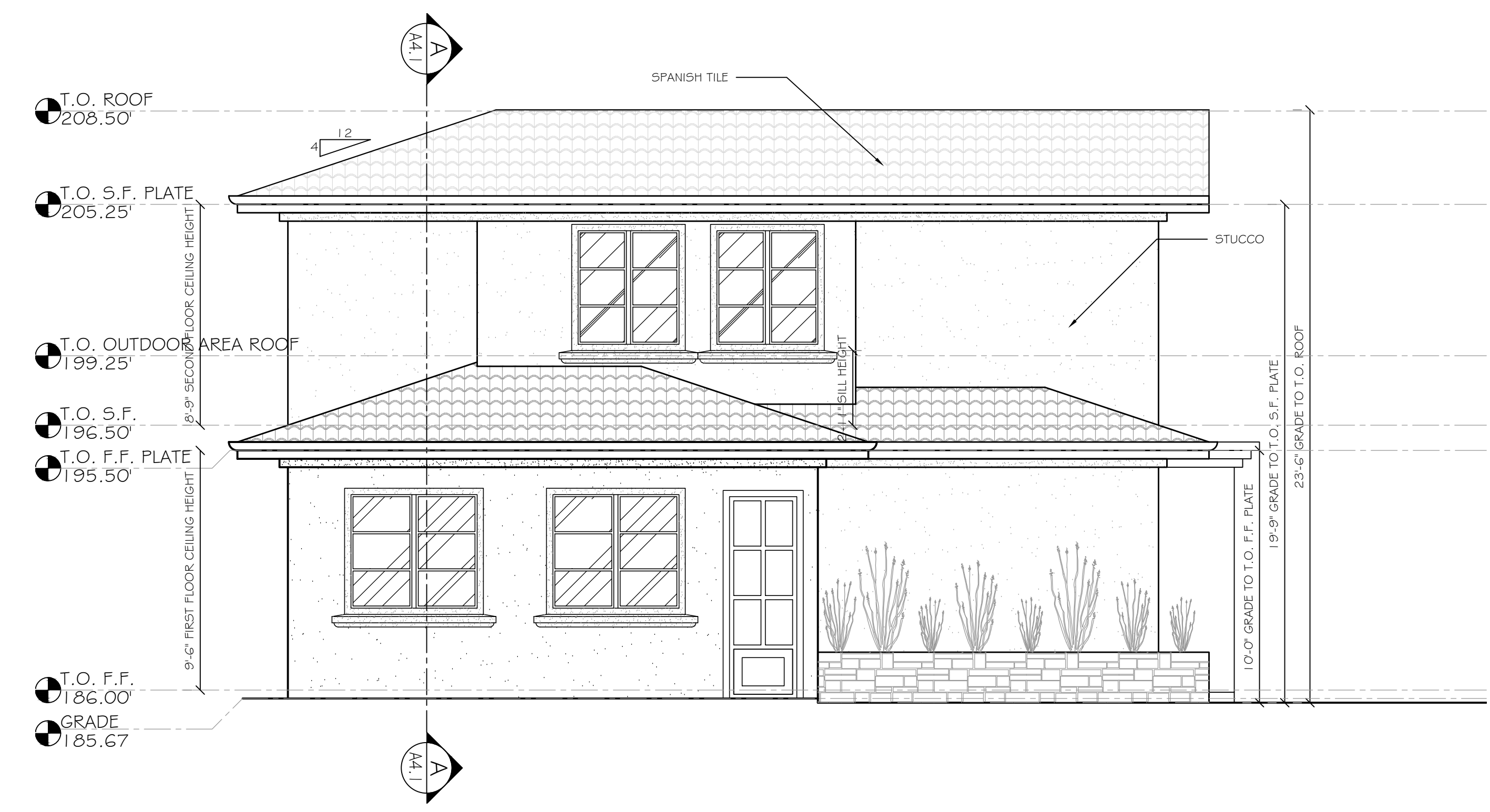
NOTE: STUCCO WITH EXPANSION JOINTS: 7/8" THICK MIN(3) COAT STUCCO WALL SYSTEM, TYPE E/2G GA GALVANIZED WEEP SCREED AT THE FOUNDATION PLATE LINE INSTALLED AT LEAST 4" ABOVE FINISHES OR NATURAL GRADE (OR 2" ABOVE CONCRETE OR MASONRY PAVING) OVER CORROSION-RESISTANT METAL LATH OVER (2) LAYER OF GRADE 'D' BUILDING PAPER OVER 3/8" THICK MIN. PLYWOOD SHEATHING



PROPOSED NORTH ELEVATION (LEFT SIDE)



SCALE: 3/16"=1'-0" 1



PROPOSED SOUTH ELEVATION (RIGHT SIDE)



SCALE: 3/16"=1'-0" 2

IMPROVEMENTS TO
THE RESIDENCE OF
THE MALETIN FAMILY
1081 MIRAMONTE AVENUE
LOS ALTOS, CA 94024

SCHEMATIC DESIGN
PROPOSED ELEVATIONS

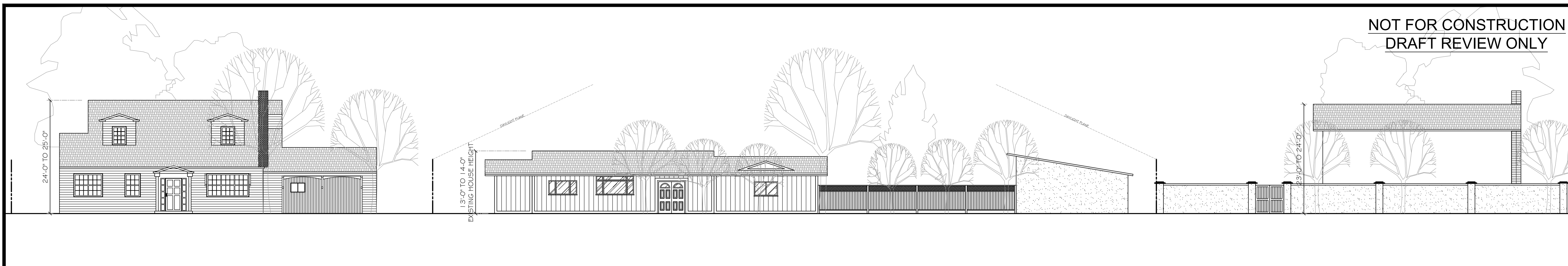
01-04-16

A3.2

NOT FOR CONSTRUCTION
DRAFT REVIEW ONLY

DATE	REVISION

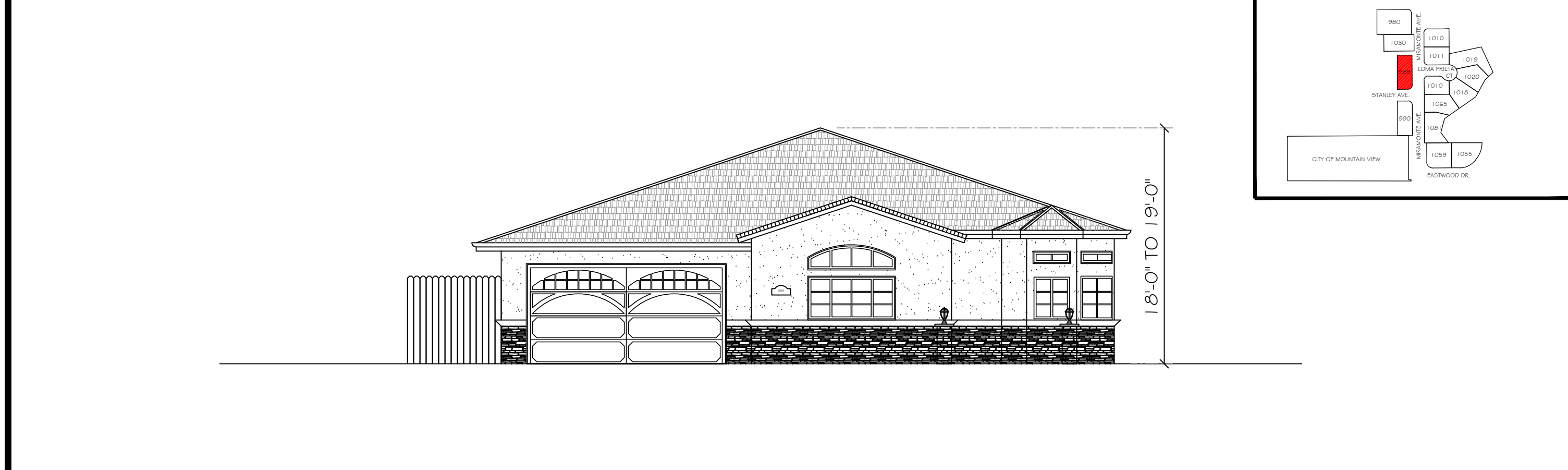
M-DESIGNS ARCHITECTS
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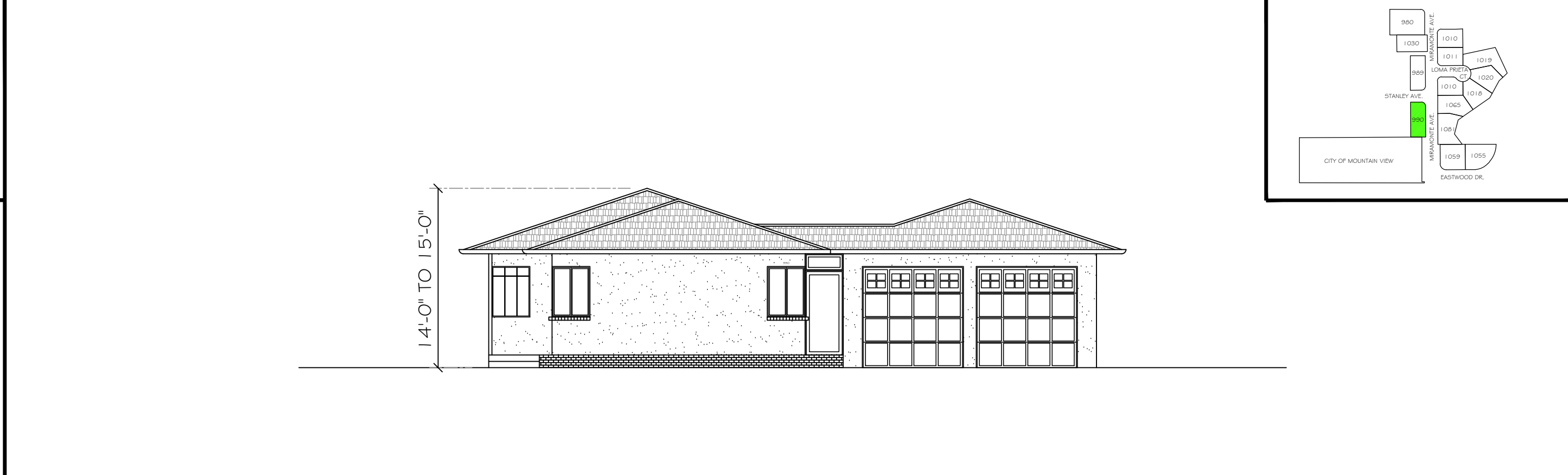
STREETScape OF EXISTING HOUSE & ADJACENT NEIGHBORS SCALE: 3/32"=1'-0" 1



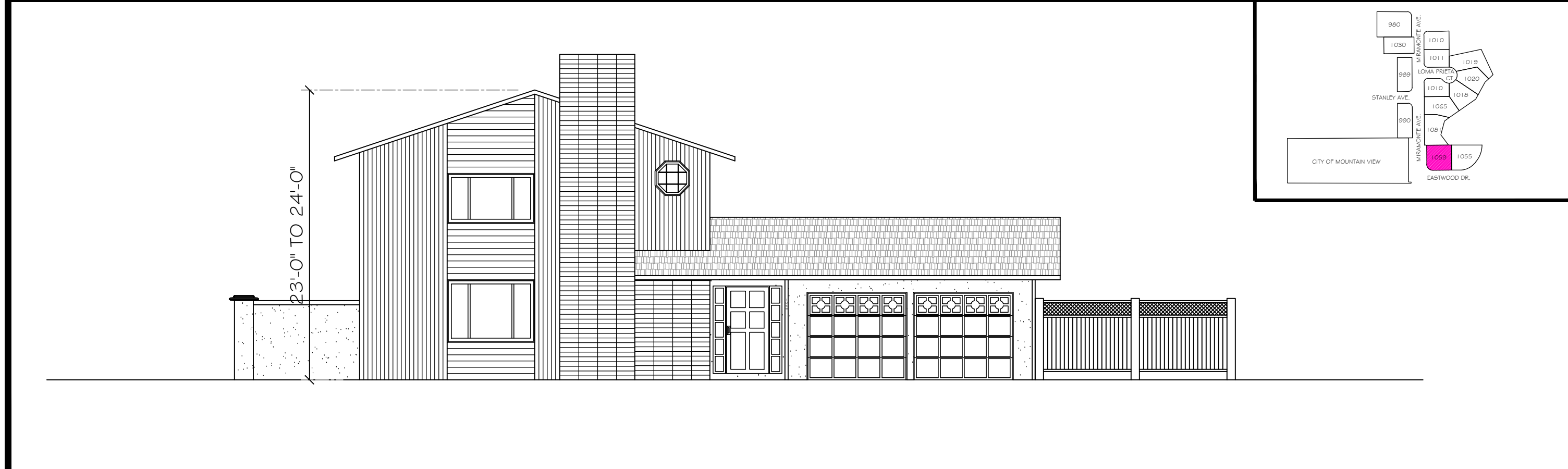
STREETScape OF PROPOSED HOUSE & ADJACENT NEIGHBORS SCALE: 3/32"=1'-0" 2



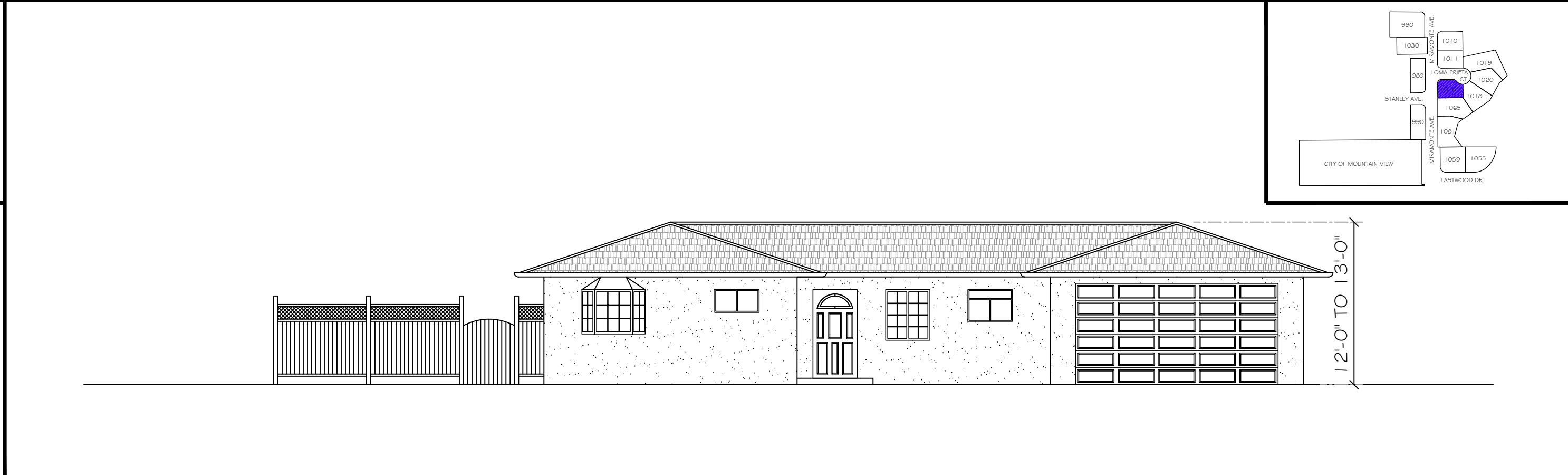
989 STANLEY AVE. SCALE: 1/8"=1'-0" 3



990 STANLEY AVE. SCALE: 1/8"=1'-0" 4



1059 EASTWOOD DR. SCALE: 1/8"=1'-0" 5



1010 LOMA PRIETA CT. SCALE: 1/8"=1'-0" 6

IMPROVEMENTS TO
 THE RESIDENCE OF
 THE MALETIN FAMILY
 1081 MIRAMONTE AVENUE
 LOS ALTOS, CA 94024

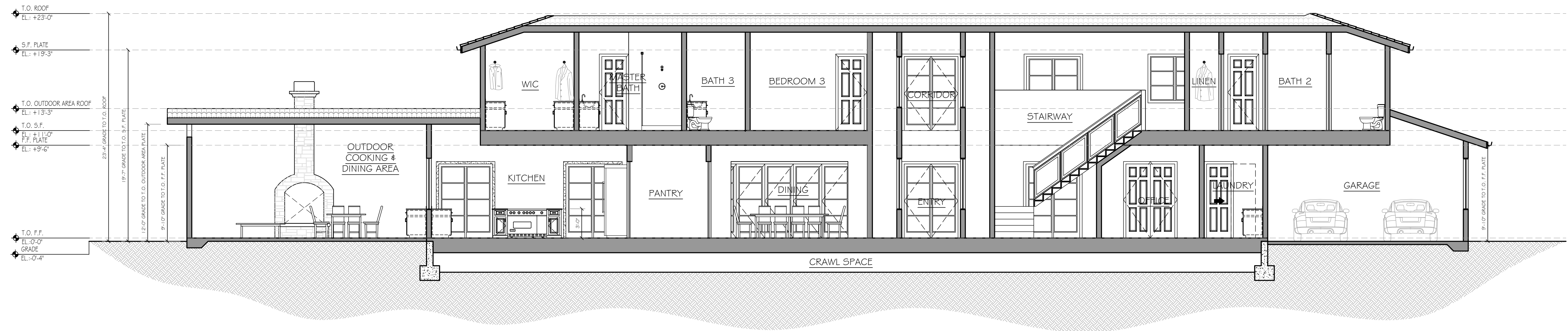
SCHEMATIC DESIGN
 STREETSCAPE

01-04-16

A3.3

NOT FOR CONSTRUCTION
DRAFT REVIEW ONLY

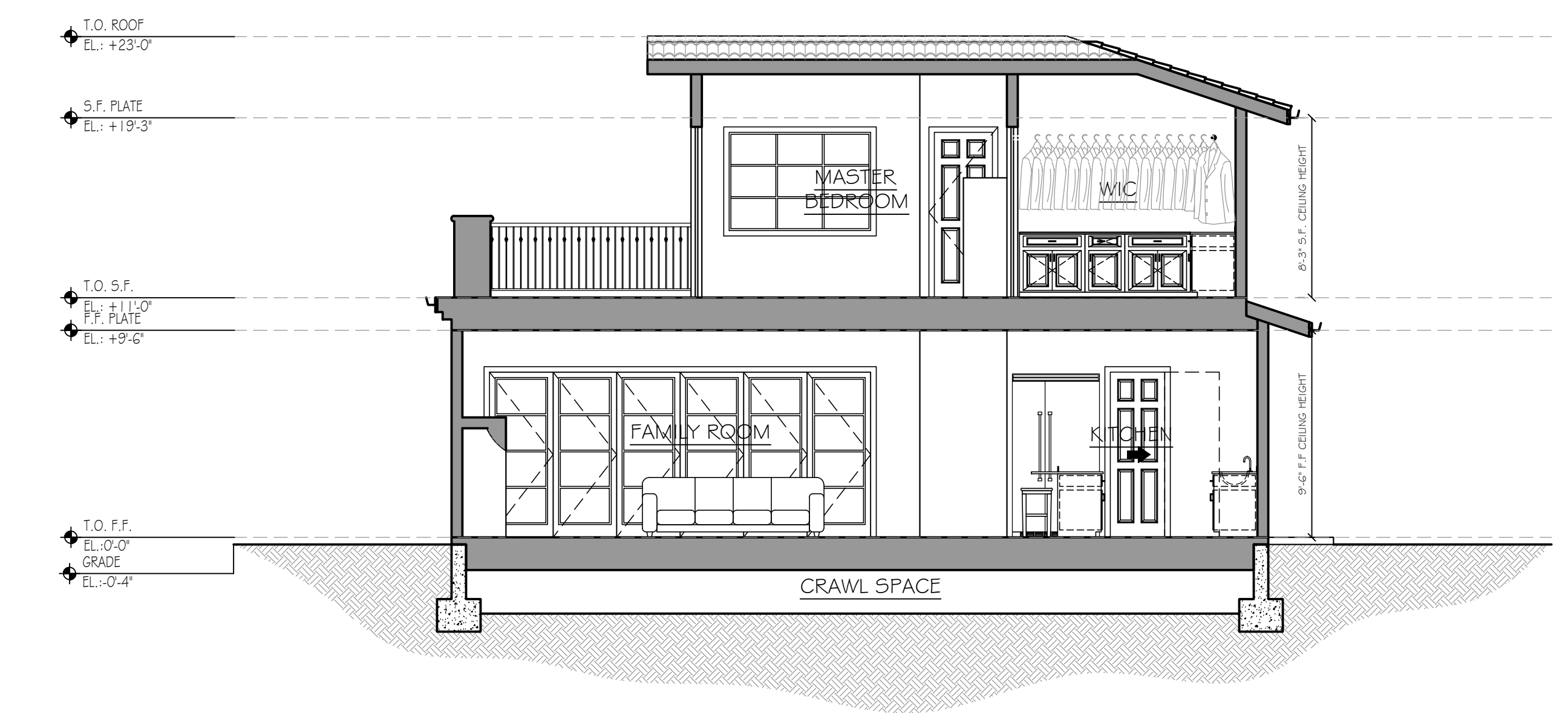
DATE	REVISION



PROPOSED SECTION A-A

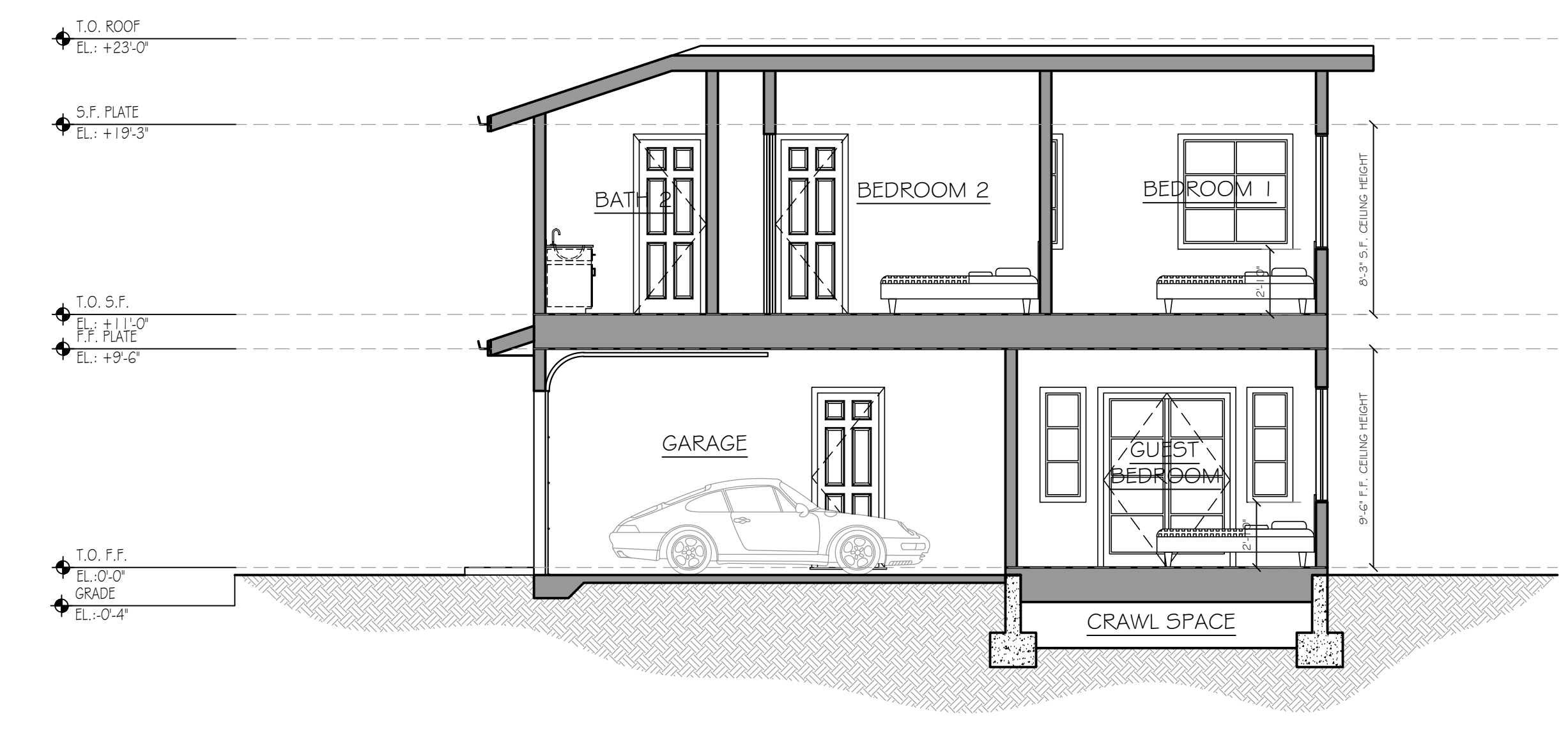
0 1' 2' 4' 8' 16' SCALE: 3/16"=1'-0" 1

IMPROVEMENTS TO
THE RESIDENCE OF
THE MALETIN FAMILY
1081 MIRAMONTE AVENUE
LOS ALTOS, CA 94024



PROPOSED SECTION B-B

0 1' 2' 4' 8' 16' SCALE: 3/16"=1'-0" 2



PROPOSED SECTION C-C

0 1' 2' 4' 8' 16' SCALE: 3/16"=1'-0" 3

SCHEMATIC DESIGN
PROPOSED SECTIONS

01-04-16

A4.1



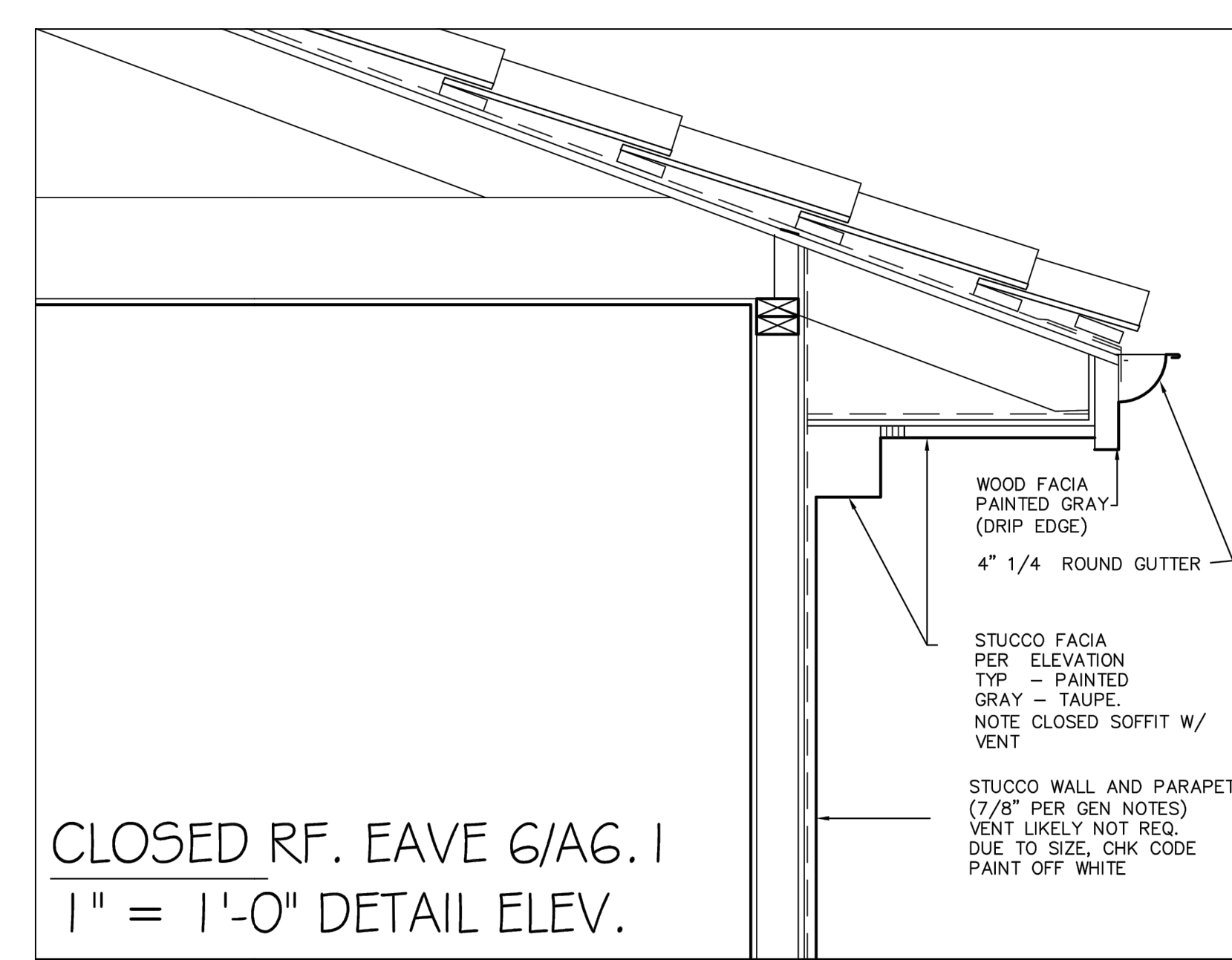
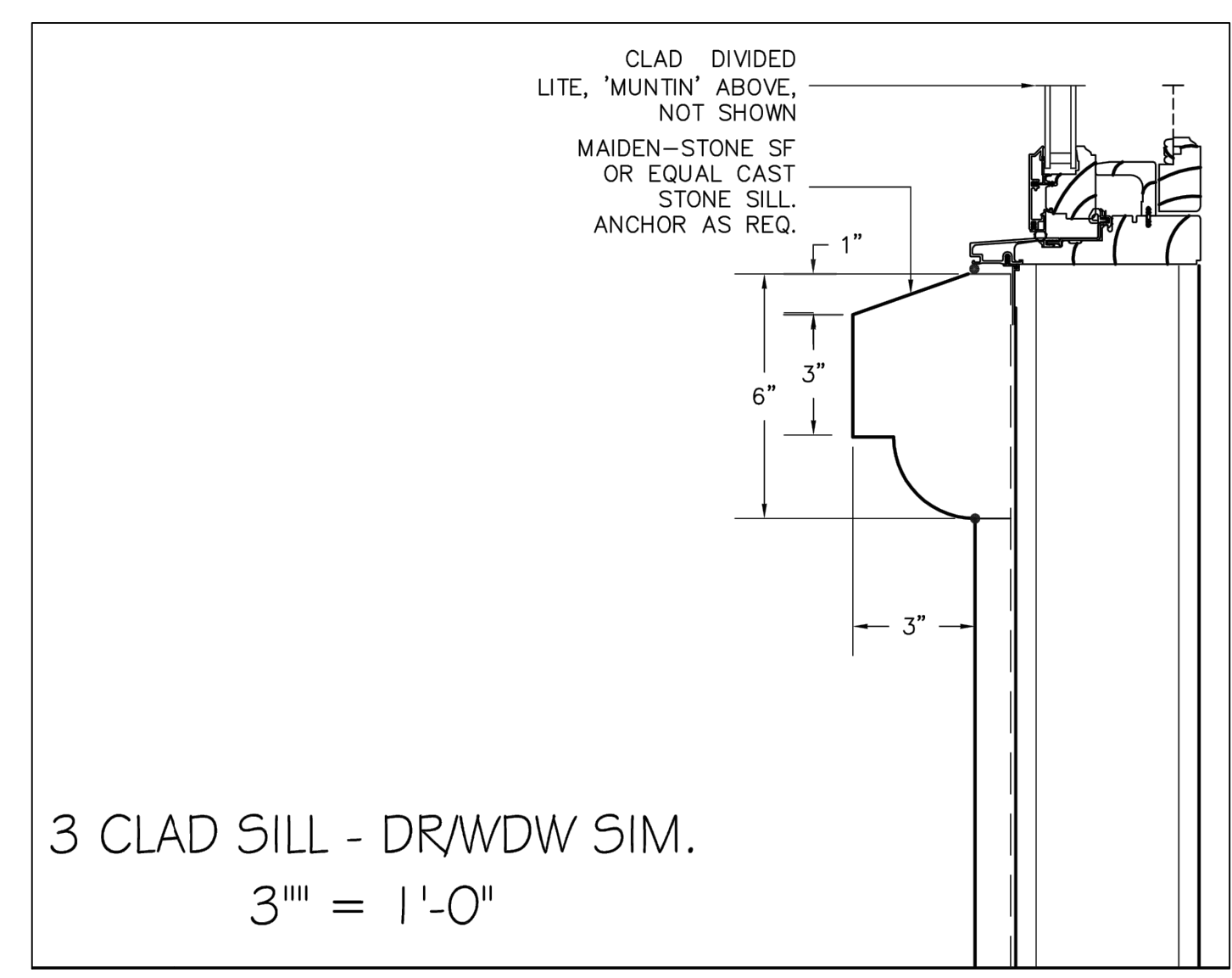
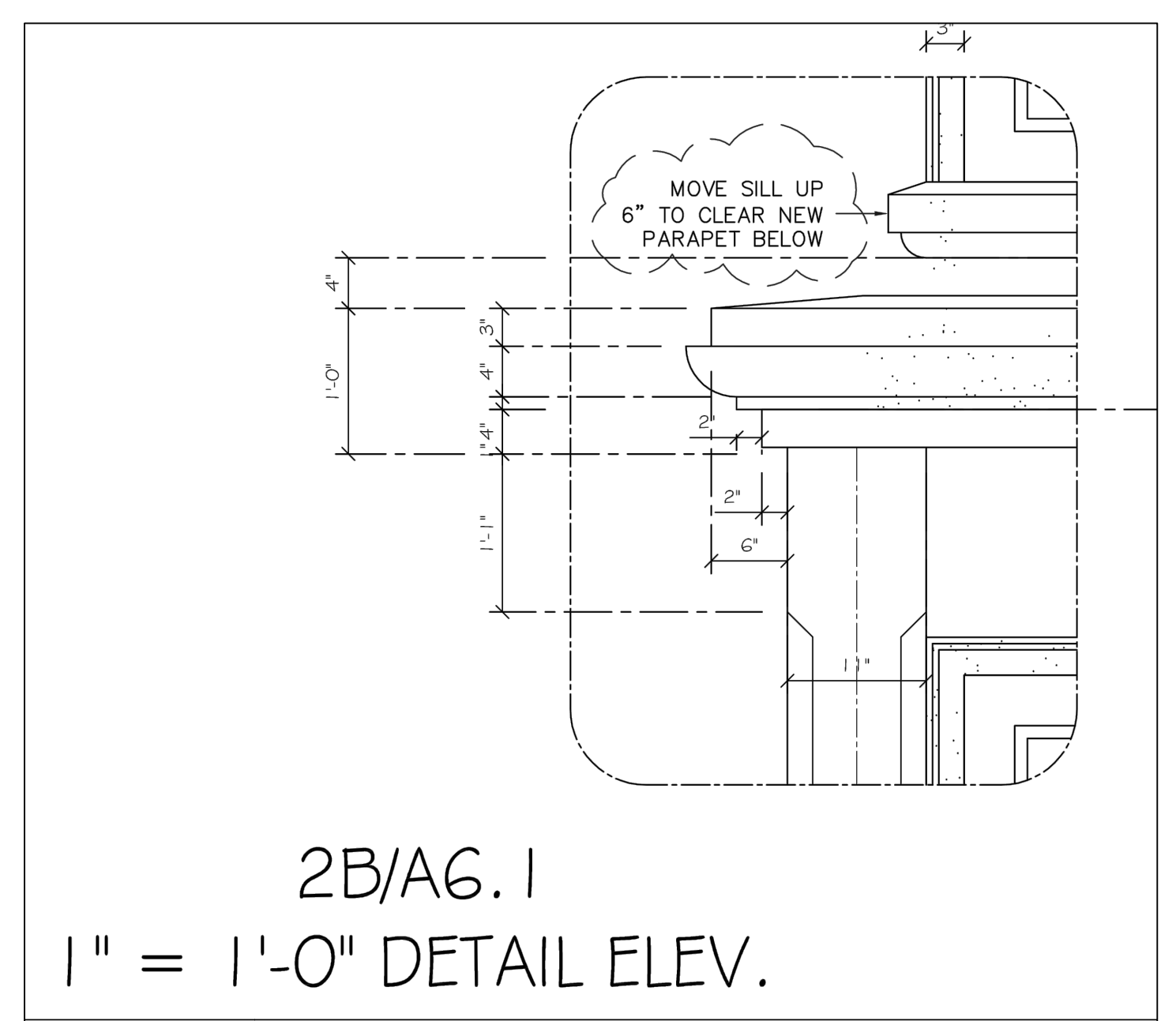
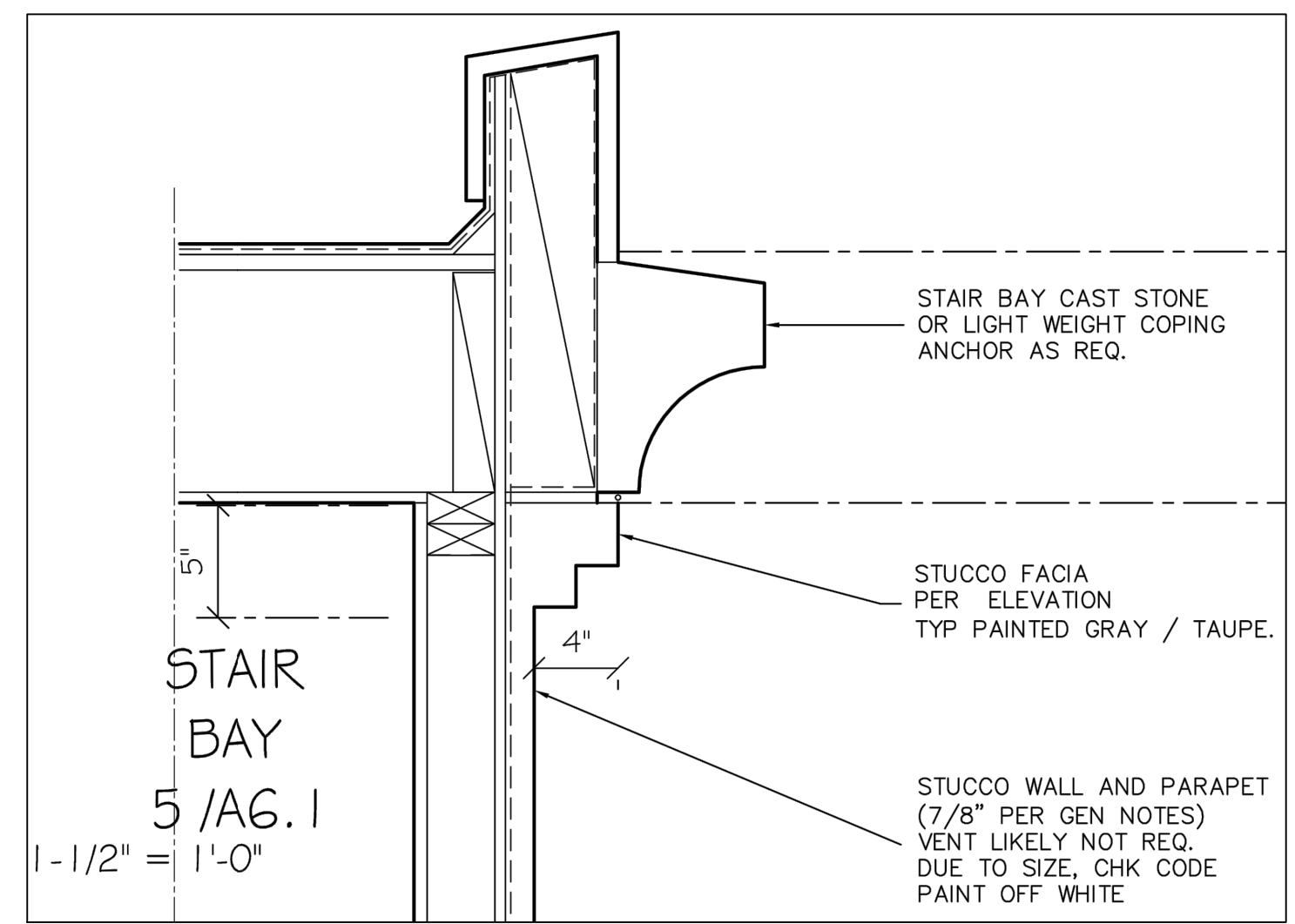
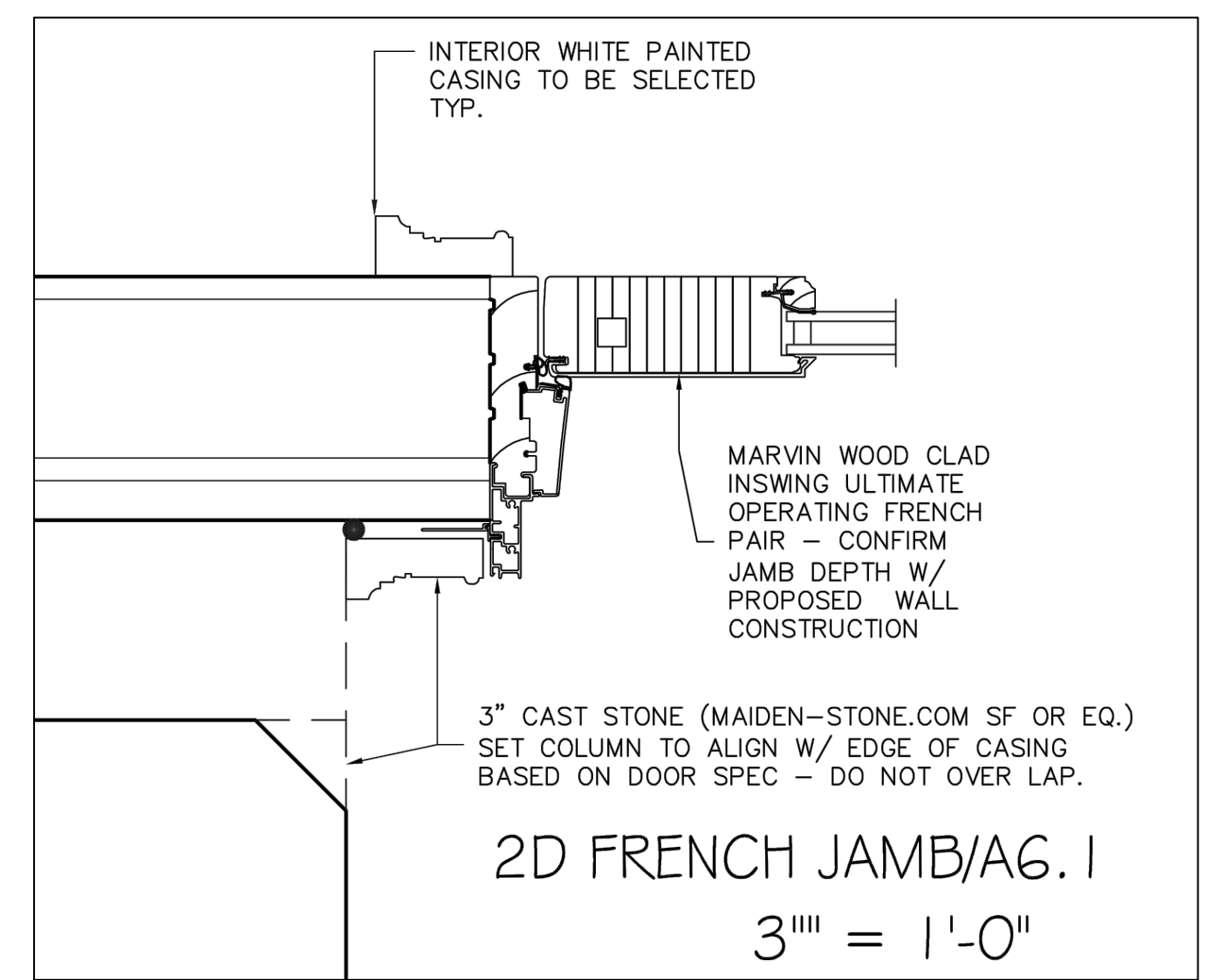
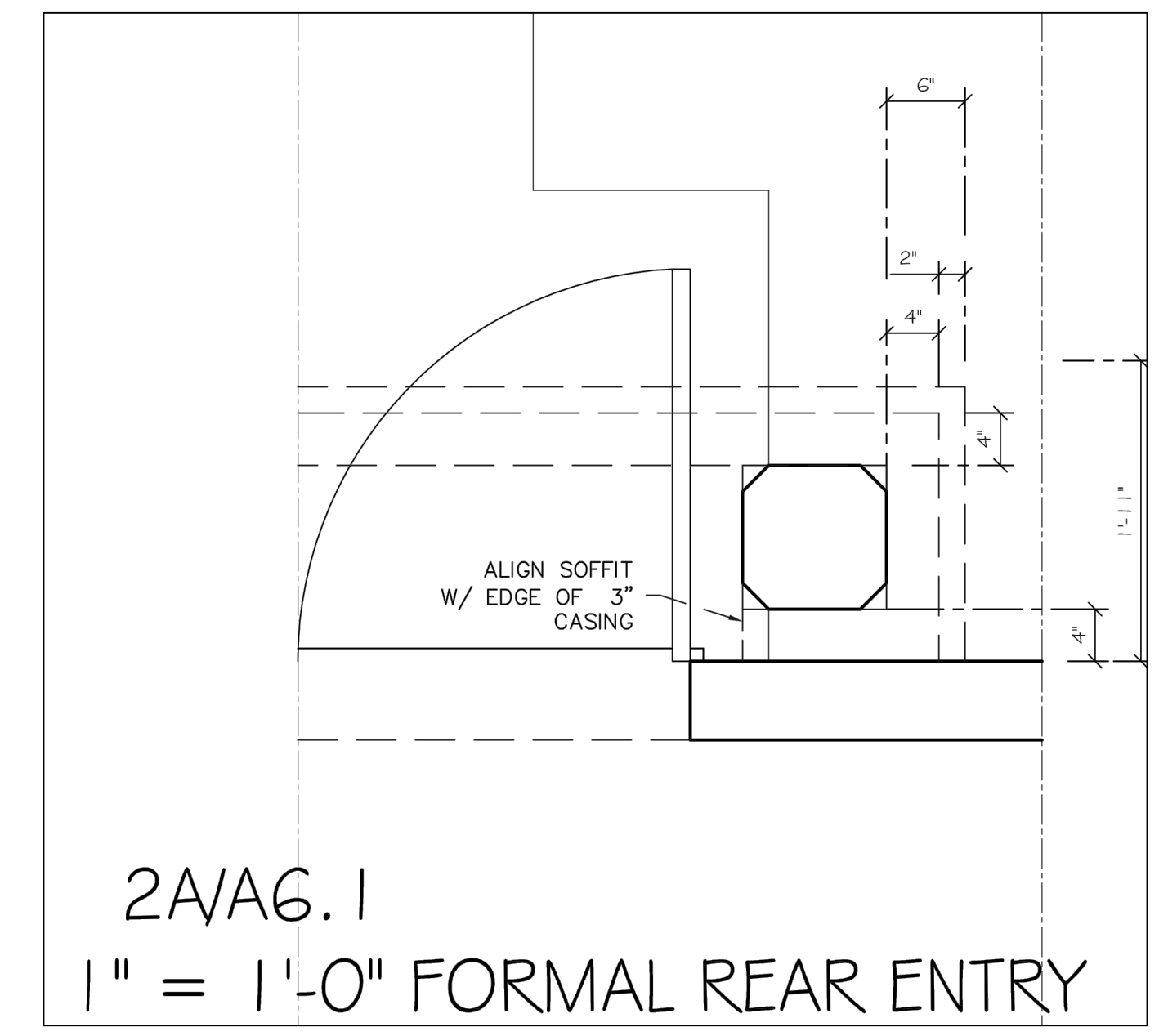
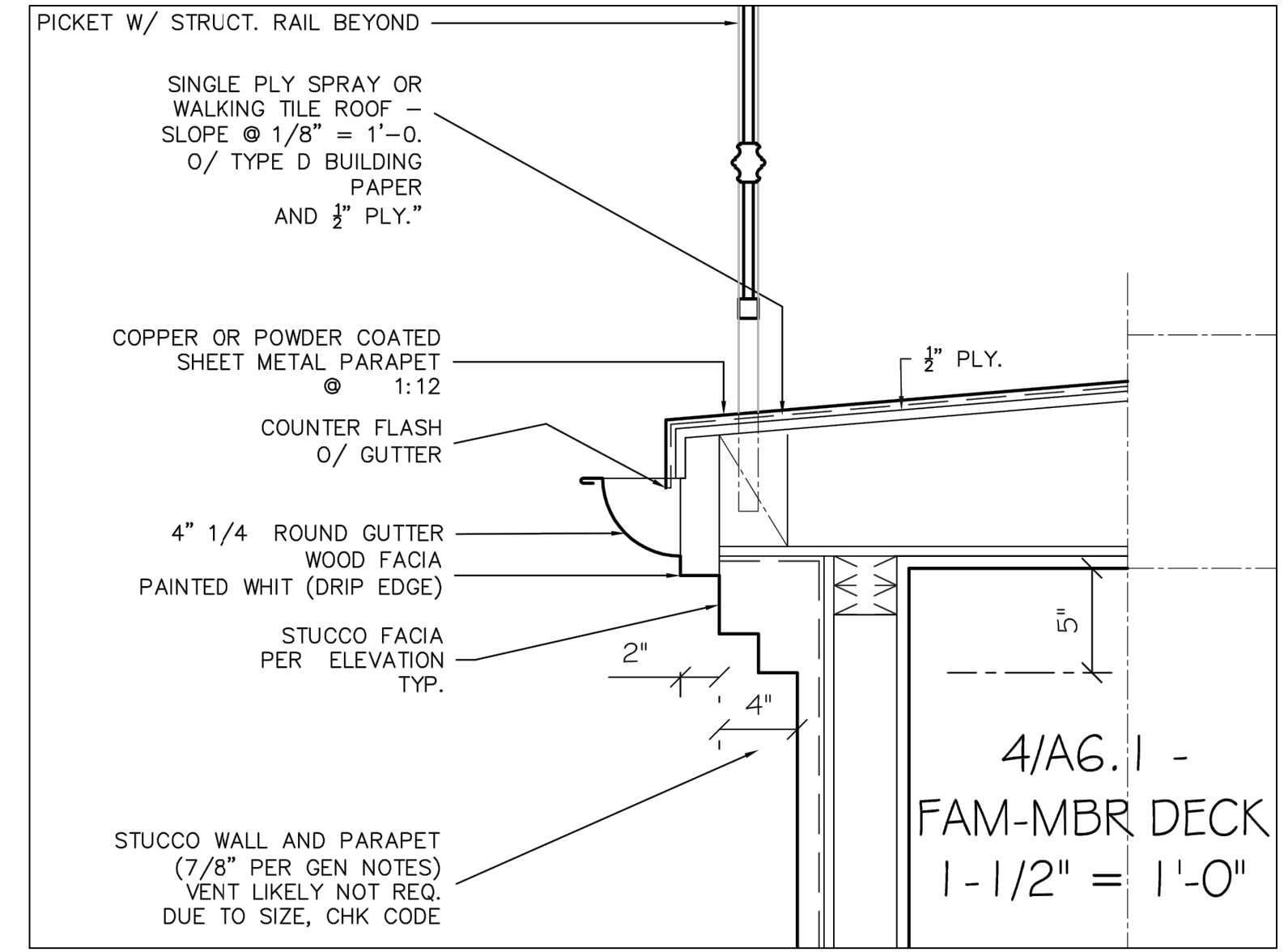
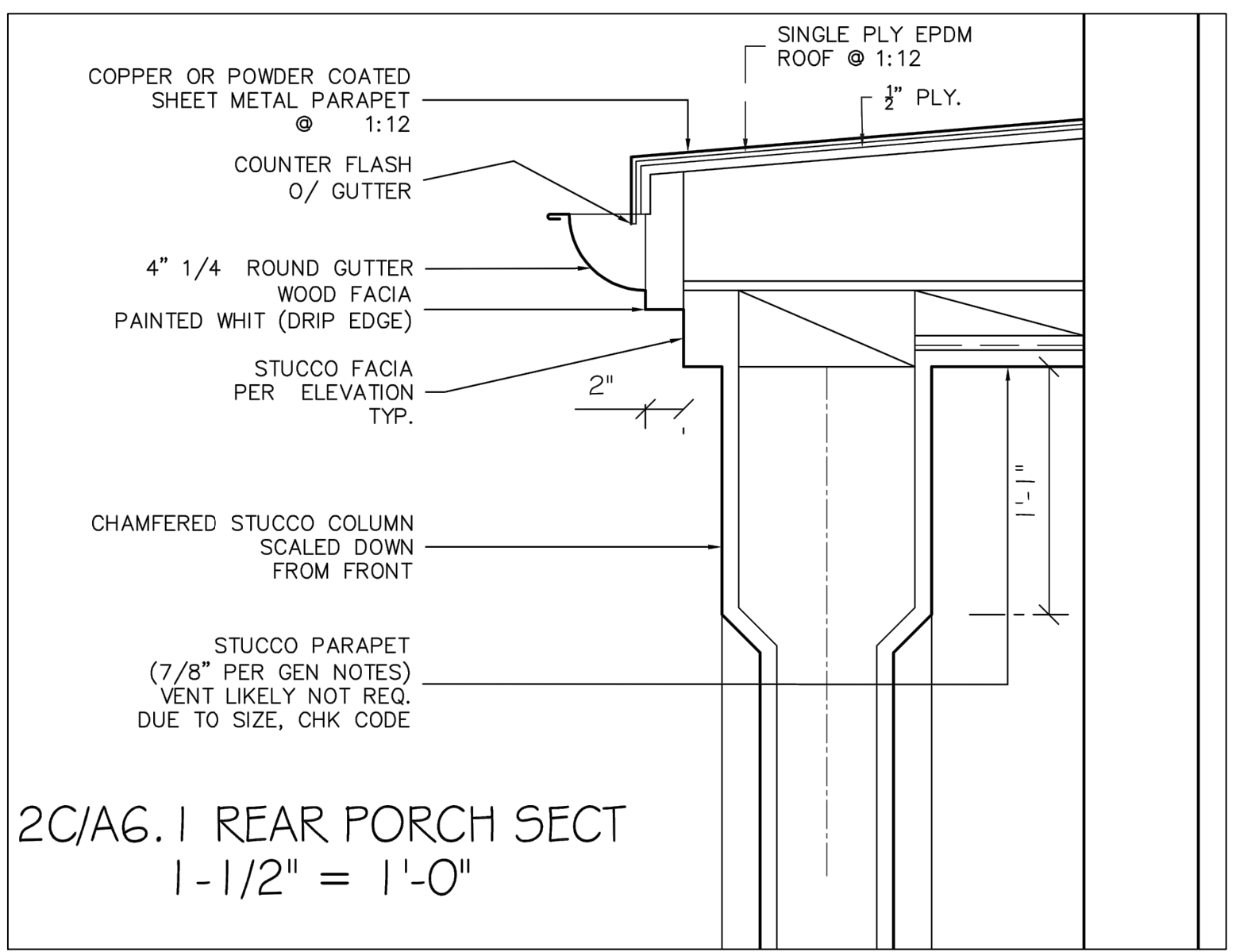
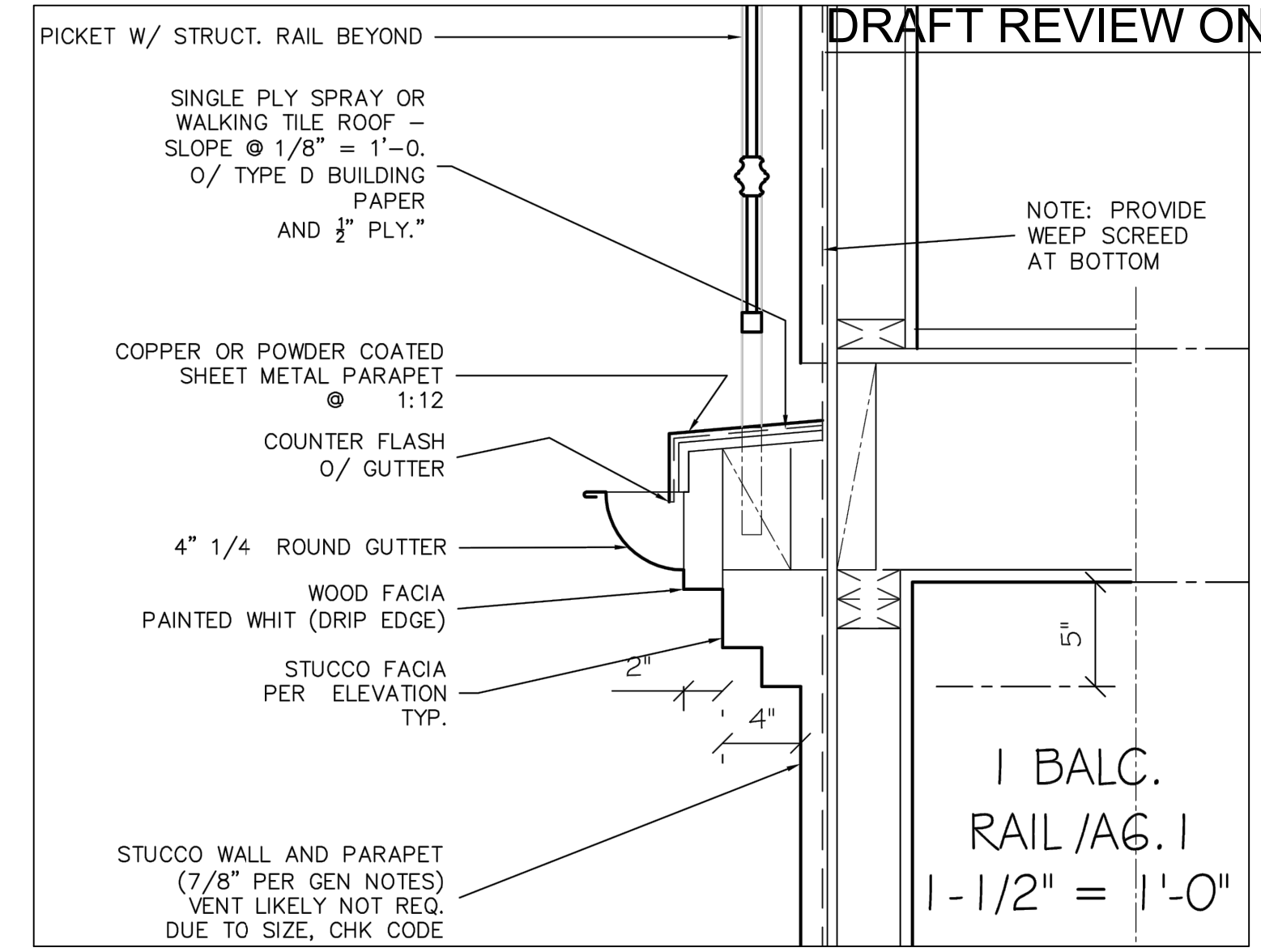
IMPROVEMENTS TO
 THE RESIDENCE OF
 THE MALETIN FAMILY
 1081 MIRAMONTE AVENUE
 LOS ALTOS, CA 94024

SCHEMATIC DESIGN
 PROPOSED
 ARCHITECTURAL DETAILS

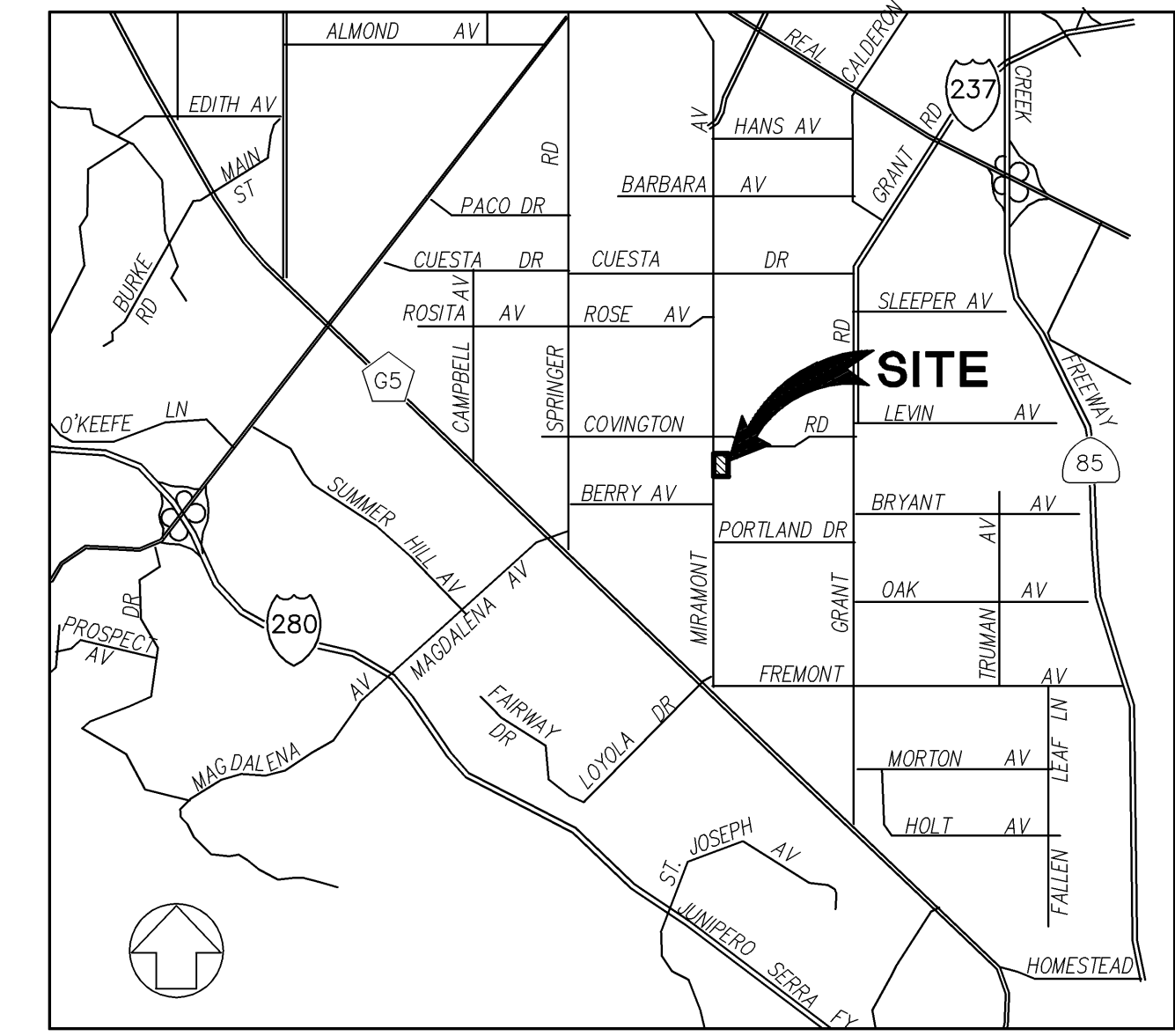
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A6.1

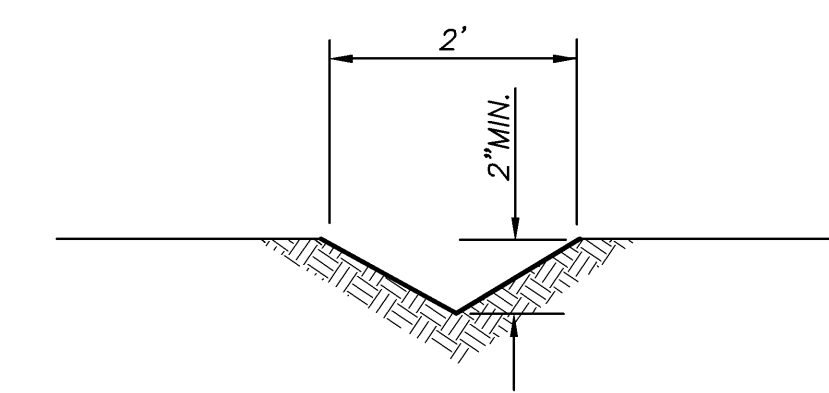
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GRADING AND DRAINAGE PLAN FOR 1080 MIRAMONTE AVENUE, LOS ALTOS, CALIFORNIA



VICINITY MAP
N.T.S.



VEGETATED SWALE DETAIL
N.T.S.

SITE ADDRESS: 1080 MIRAMONTE AVENUE
LOS ALTOS, CALIFORNIA

OWNER: ZARKO MALETIN
4816 SENEZA PARK AVENUE
FREMONT, CA 94538

ENGINEER: GIULIANI AND KULL, INC.
4880 STEVENS CREEK BLVD.
SAN JOSE, CA 95129
(408) 615-4000

A.P.N.: 193-46-003

SHEET INDEX

C-1	COVER SHEET
C-2	GRADING PLAN
C-3	EROSION CONTROL PLAN

EARTHWORK QUANTITIES

CUT	0 CY.
FILL	20± CY.
IMPORT	20± CY.

ENGINEER ASSUMES NO RESPONSIBILITY FOR ESTIMATED EARTHWORK. ACTUAL EARTHWORK QUANTITIES MAY VARY DUE TO SITE CONDITIONS AND MATERIAL SPECIFICATIONS. CONTRACTOR SHALL MAKE INDEPENDENT ESTIMATE PRIOR TO BIDDING.

NOTE: A FEMA FLOOD ELEVATION CERTIFICATE OR L.O.M.A. WILL BE REQUIRED FOR THE NEW RESIDENCE PRIOR TO OCCUPANCY PERMIT BEING ISSUED.

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		PROPERTY LINE
		BUILDING FOOTPRINT
		P.C.C. PAVEMENT
		AC PAVEMENT
		STORM DRAIN CLEANOUT
		TREE
		EX. TREE TO BE REMOVED
		CONTOUR LINE
		CONC. ROLLED CURB
		CATCH BASIN
		AREA DRAIN
		DECK DRAIN
		DRAINAGE FLOW
		RETAINING WALL
		FENCE LINE
		STORM DRAIN LINE



Mark A. Helton

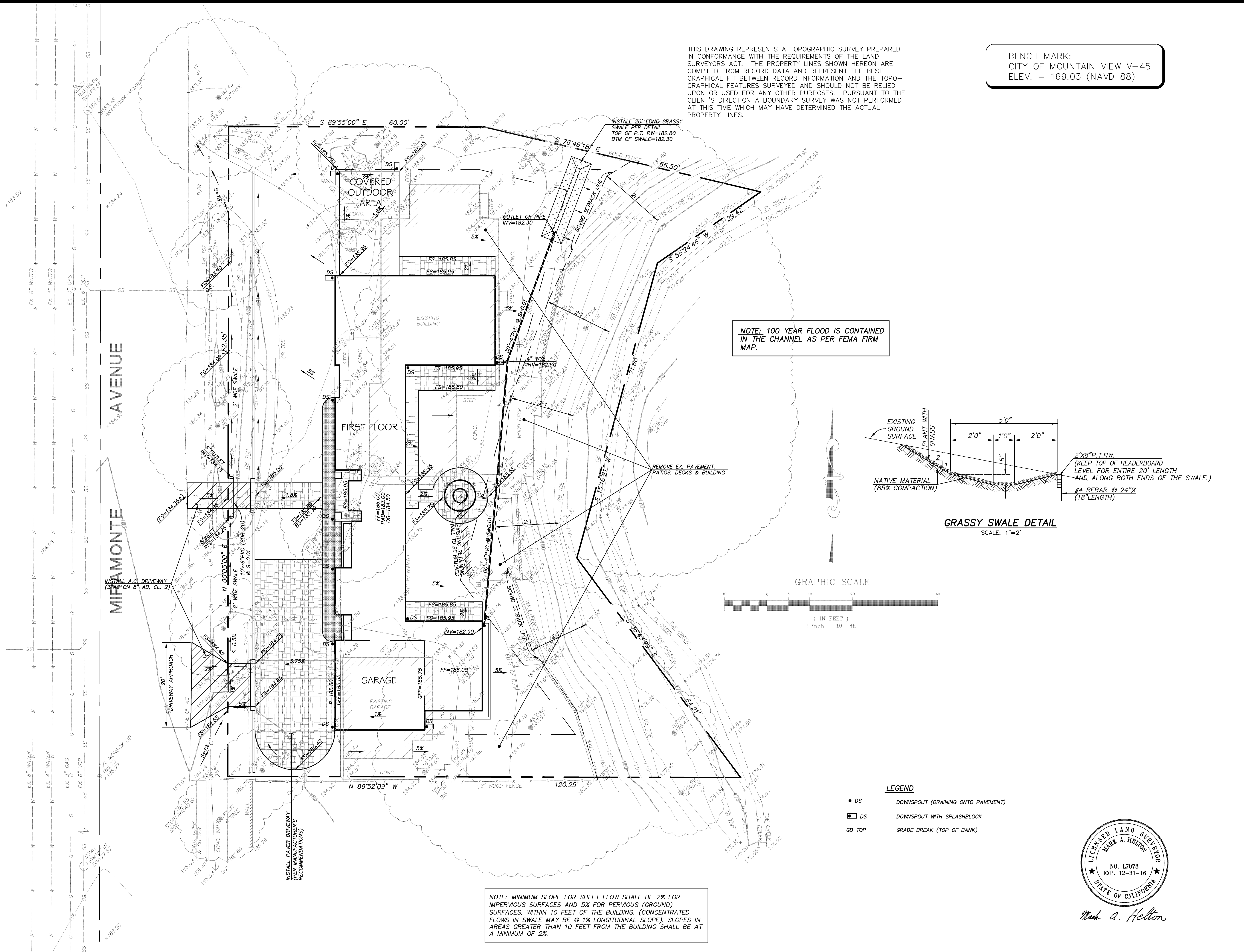
SCALE	REVISIONS	DATE	DRAWN BY	DESIGNED BY	CHECKED BY
1"=10'			E.T.	M.H.	M.H.

CK **Giuliani & Kull, Inc.**
Engineers • Planners • Surveyors
4880 Stevens Creek Blvd., Suite 205 San Jose, CA 95129
(408) 615-4000 Fax (408) 615-4004
Auburn • San Jose • Oakdale

1080 MIRAMONTE AVENUE
LOS ALTOS, CALIFORNIA

COVER SHEET

SHEET C-1
OF 3
DATE 3/14/16
JOB NO. 15227



SCALE 1" = 10'	
REVISIONS	
NO.	DATE
1	
2	
3	

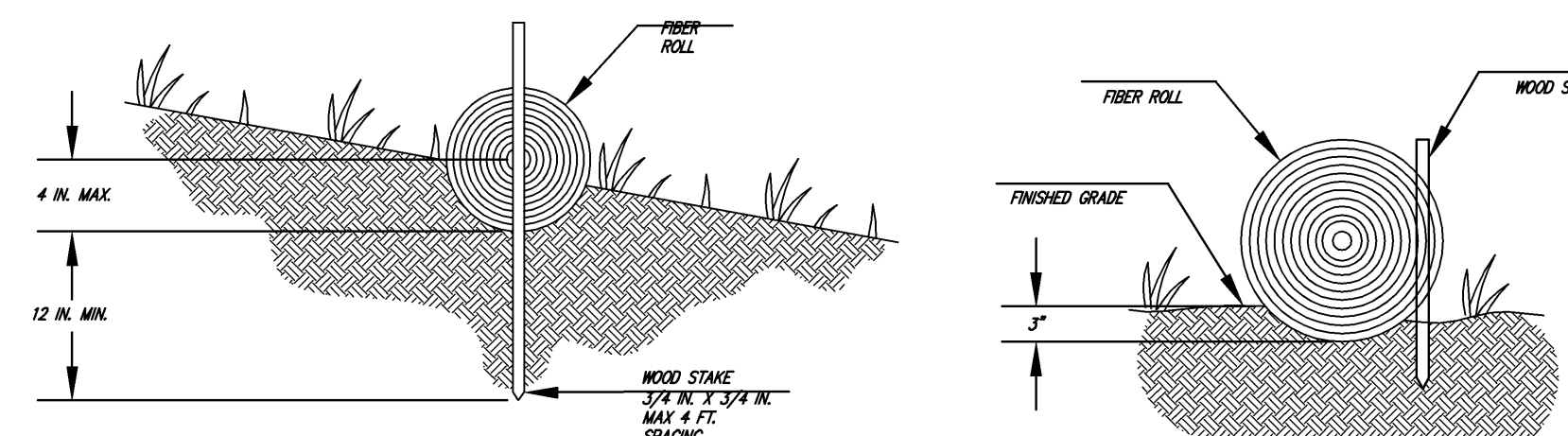
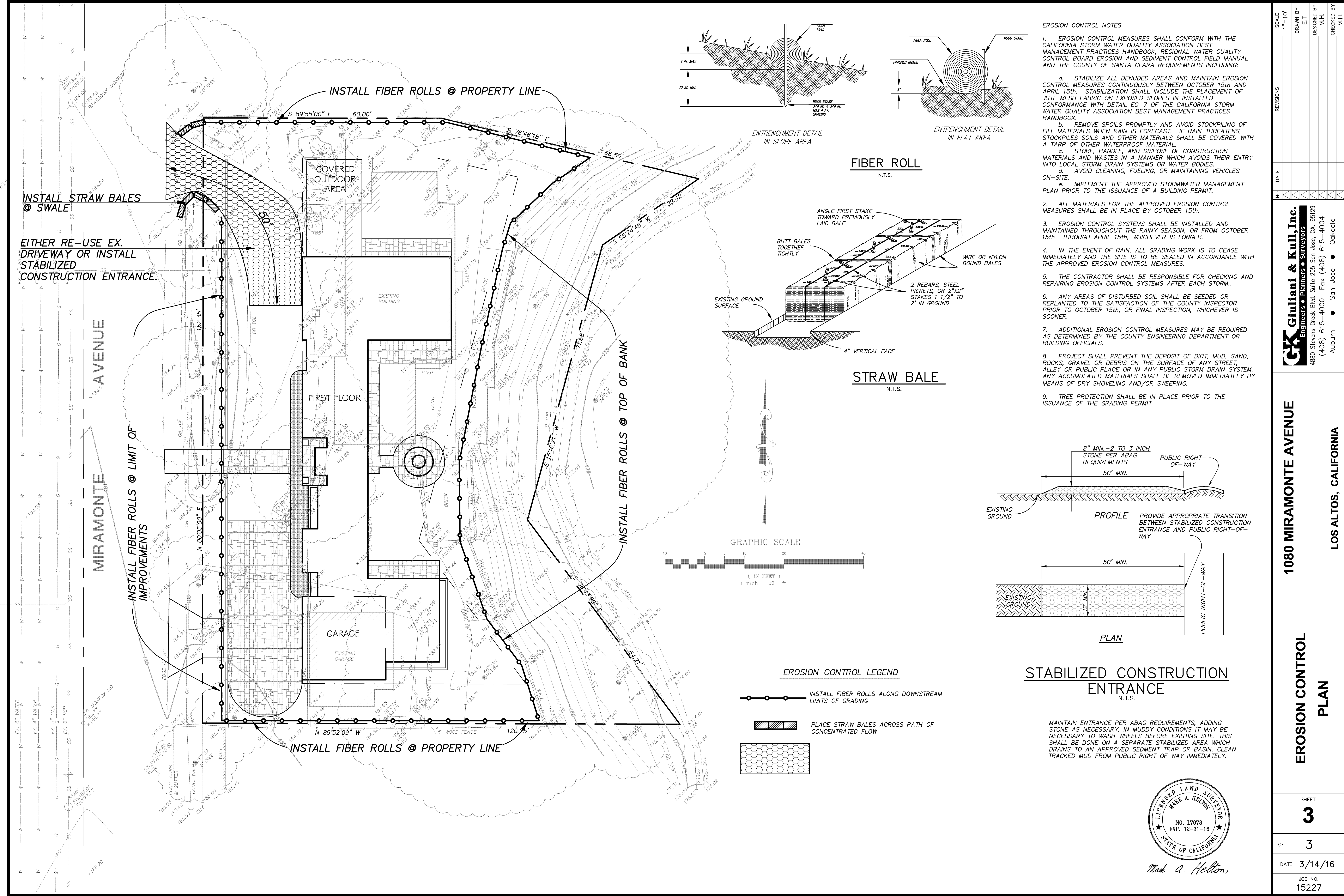
GK **Giuliani & Kull, Inc.**
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4880 Stevens Creek Blvd., Suite 205 San Jose, CA 95129
(408) 615-4000 Fax (408) 615-4004
Auburn • San Jose • Oakdale

1080 MIRAMONTE AVENUE

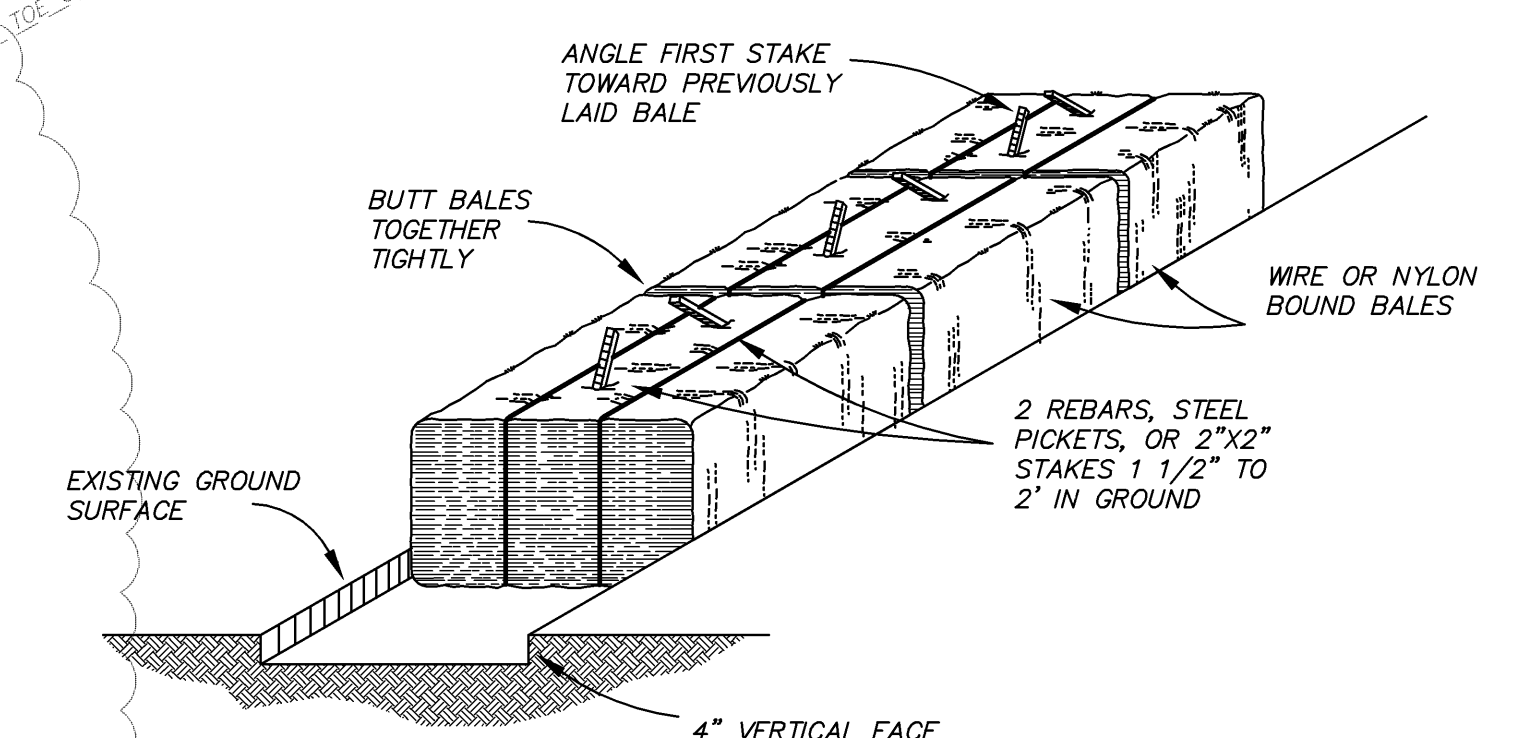
LOS ALTOS, CALIFORNIA

GRADING AND DRAINAGE PLAN

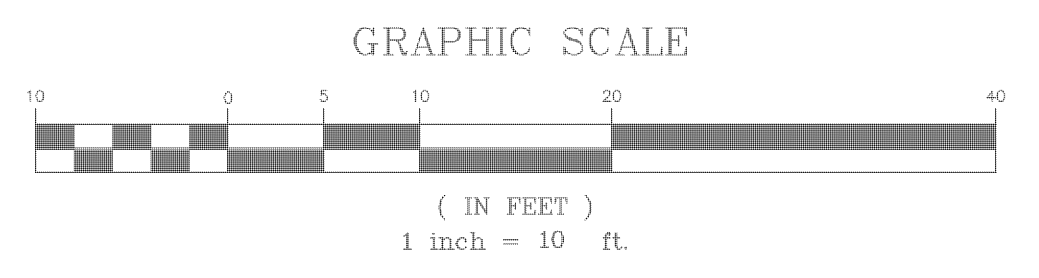
SHEET C-2	
OF 3	
DATE 3/14/16	
JOB NO. 15227	



FIBER ROLL
N.T.S.



STRAW BALE
N.T.S.

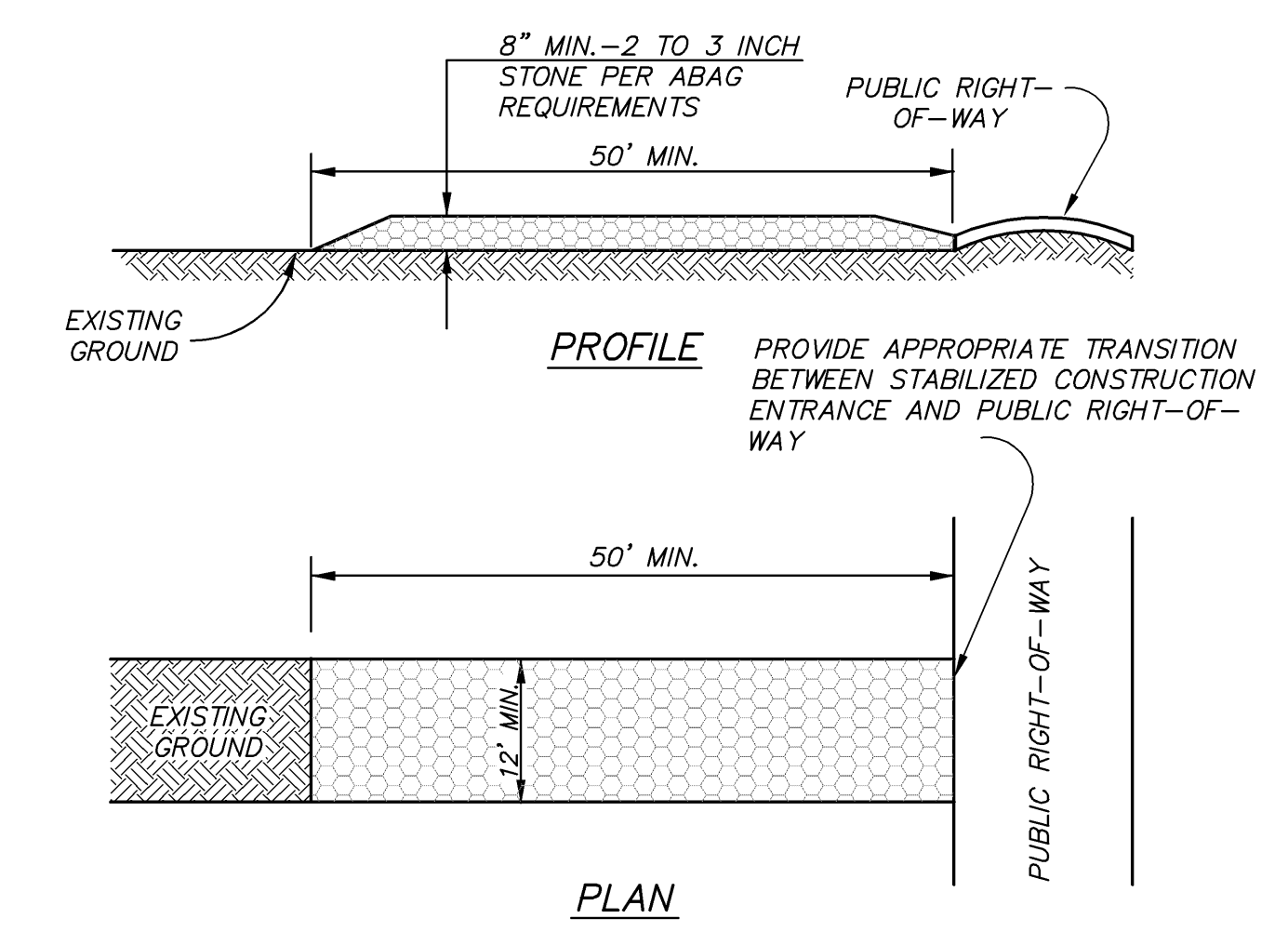


EROSION CONTROL LEGEND

- INSTALL FIBER ROLLS ALONG DOWNSTREAM LIMITS OF GRADING
- PLACE STRAW BALES ACROSS PATH OF CONCENTRATED FLOW

EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHALL CONFORM WITH THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK, REGIONAL WATER QUALITY CONTROL BOARD EROSION AND SEDIMENT CONTROL FIELD MANUAL AND THE COUNTY OF SANTA CLARA REQUIREMENTS INCLUDING:
 - a. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 15th AND APRIL 15th. STABILIZATION SHALL INCLUDE THE PLACEMENT OF JUTE MESH FABRIC ON EXPOSED SLOPES IN INSTALLED CONFORMANCE WITH DETAIL EC-7 OF THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK.
 - b. REMOVE SPOILS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIALS WHEN RAIN IS FORECAST. IF RAIN THREATENS, STOCKPILES SOILS AND OTHER MATERIALS SHALL BE COVERED WITH A TARP OF OTHER WATERPROOF MATERIAL.
 - c. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES IN A MANNER WHICH AVOIDS THEIR ENTRY INTO LOCAL STORM DRAIN SYSTEMS OR WATER BODIES.
 - d. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE.
 - e. IMPLEMENT THE APPROVED STORMWATER MANAGEMENT PLAN PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
2. ALL MATERIALS FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15th.
3. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15th THROUGH APRIL 15th, WHICHEVER IS LONGER.
4. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL MEASURES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM..
6. ANY AREAS OF DISTURBED SOIL SHALL BE SEED OR REPLANTED TO THE SATISFACTION OF THE COUNTY INSPECTOR PRIOR TO OCTOBER 15th, OR FINAL INSPECTION, WHICHEVER IS SOONER.
7. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY THE COUNTY ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
8. PROJECT SHALL PREVENT THE DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEM. ANY ACCUMULATED MATERIALS SHALL BE REMOVED IMMEDIATELY BY MEANS OF DRY SHOVELING AND/OR SWEEPING.
9. TREE PROTECTION SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF THE GRADING PERMIT.



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

MAINTAIN ENTRANCE PER ABAG REQUIREMENTS, ADDING STONE AS NECESSARY. IN MUDDY CONDITIONS IT MAY BE NECESSARY TO WASH WHEELS BEFORE EXISTING SITE. THIS SHALL BE DONE ON A SEPARATE STABILIZED AREA WHICH DRAINS TO AN APPROVED SEDIMENT TRAP OR BASIN, CLEAN TRACKED MUD FROM PUBLIC RIGHT OF WAY IMMEDIATELY.



Mark A. Helton

SCALE	1"=10'
DRAWN BY	E.L.
DESIGNED BY	M.H.
CHECKED BY	M.H.
REVISIONS	
NO.	DATE
GK Giuliani & Kull, Inc. Engineers • Planners • Surveyors 4880 Stevens Creek Blvd., Suite 205 San Jose, CA 95129 (408) 615-4000 Fax (408) 615-4004 Auburn • San Jose • Oakdale	
1080 MIRAMONTE AVENUE LOS ALTOS, CALIFORNIA	
EROSION CONTROL PLAN	
SHEET	3
OF	3
DATE	3/14/16
JOB NO.	15227



NOT FOR CONSTRUCTION

REVISIONS

4.5.2016 Design Review DH

PROJECT NAME

Zarko Maletin
1081 Miramonte Avenue
Los Altos, CA 94024

SHEET TITLE

LANDSCAPE PLAN

SHEET

L 1.1

SCALE

1/8" = 1'-0"

HARD-SCAPE CALCULATION AND LANDSCAPE ELEMENTS

STONE HARDSCAPE
FRONT PATHWAYS 600 SQ. FT.
BACK PATIOS 625 SQ. FT.

DRIVEWAY, PAVED 350 SQ. FT.

GRAVELPAVE SURFACE, PERMEABLE
DRIVEWAY 390 SQ. FT.
BACK PATIO 175 SQ. FT.
FRONT PARKING 1300 SQ. FT.



GRAVELPAVE EXAMPLE

EASY TURF, SELECT BLEND GF APT XM 2C

YARN STRUCTURE
UV RESIST. POLYETHYLENE

HEIGHT: 1.75"
WEIGHT: 43 OZ/YD

DUAL SYSTEM PERMEABLE



DESCRIPTION	REVIEWS (0)
File Yarn Type UV-Resistant Polyethylene N/A	
Yarn Structure	
Yarn Denier 10800 Denier D1577	
File Height 1.750 inches D5823	
File Weight 43 OZ/YD D5848	
Primary Backing Weight >7 OZ/YD Dual Layer Woven Polypropylene D5848	
Secondary Backing Weight 17 OZ/YD2	
Total Weight 67 OZ/YD2 D5848	
Stitch Gauge 3/8 Inch Centers D5793	
Tuft Bind >9 LBS/Force D1335	
Water Permeability >250 Inch/Hr. Max/Flow Coating DIN 18-	
Total Infill 3 LBS/FT2 N/A	
Field Green/Olive	
Green Soft Spined Monofilament	
N/A	
Dual System Permeable	
Polyurethane D5848	

PLANTING MATERIAL

HEDGE *Prunus caroliniana* Carolina Cherry 15 Gal.
TREES *Cercis occidentalis* Western Redbud 24 -36" Box

SWALE PLANTING, NATIVE, SHADE LOVING MIX

Carex divulsa Berkeley Sedge
Carex pansa California Meadow Sedge
Deschampsia caespitosa Tufted Hair Grass

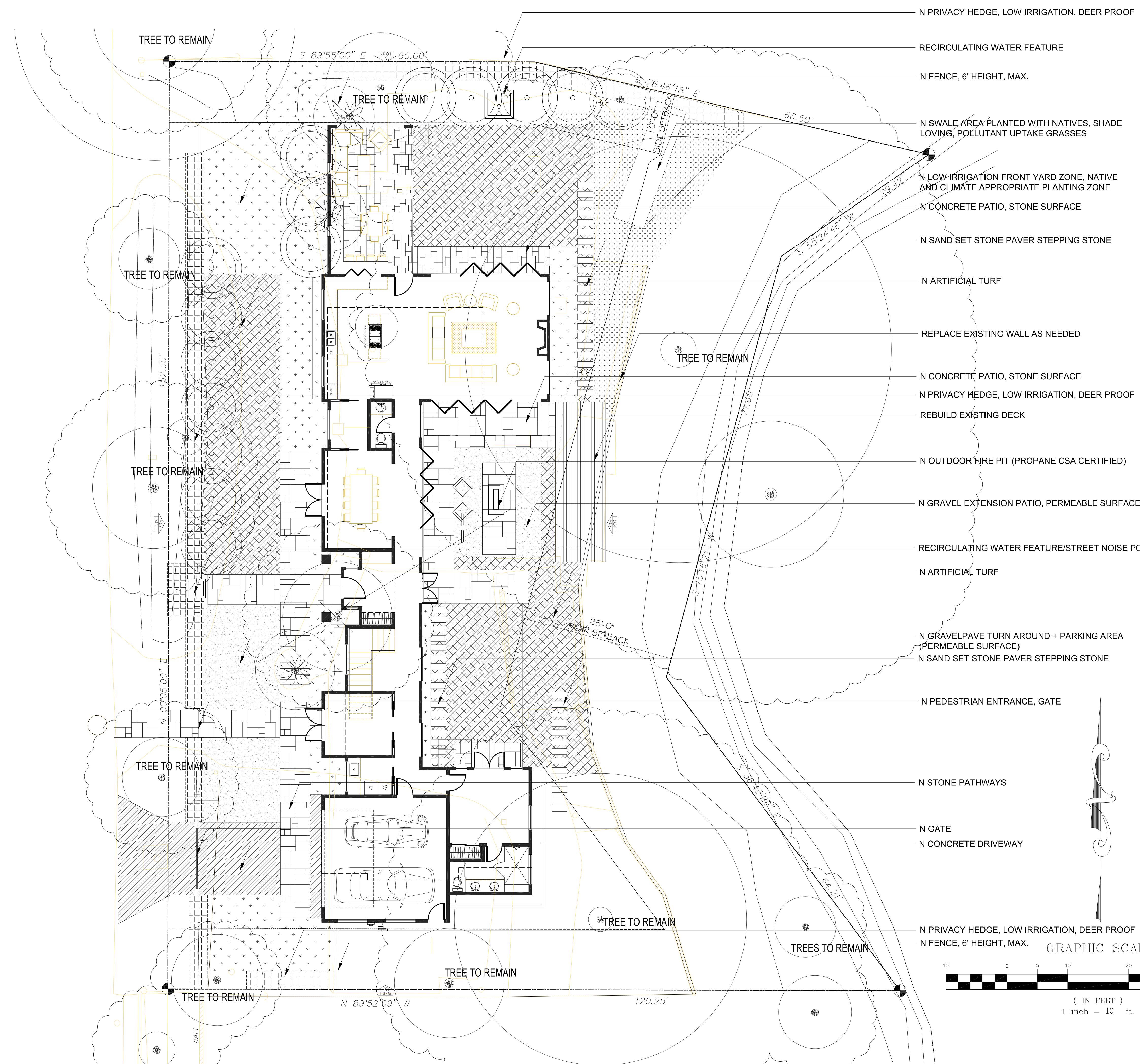
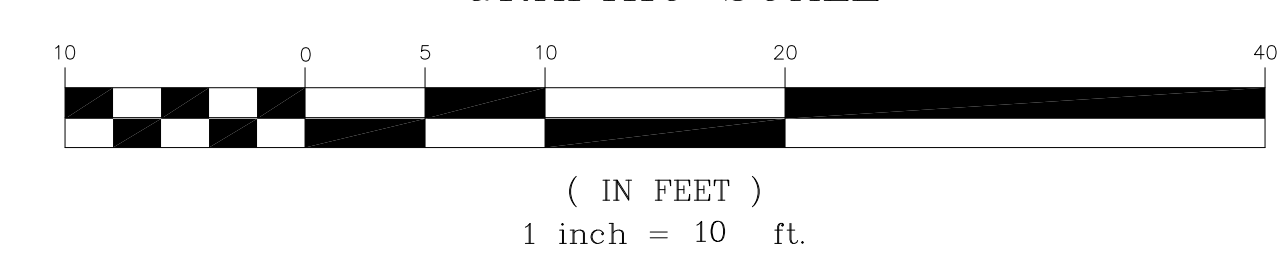
PLANTING MATERIAL

X TREES TO BE REMOVED

ALL OTHER TREES TO BE PROTECTED AND REMAIN ON SITE

NOTE: LANDSCAPE PLAN L 1.1 TO TAKE PRECEDENCE

GRAPHIC SCALE





NOT FOR CONSTRUCTION

REVISIONS

4.5.2016 Design Review DH

PROJECT NAME

Zarko Maletin
1081 Miramonte Avenue
Los Altos, CA 94024

SHEET TITLE

LANDSCAPE PLAN W/ CIVIL
REFERENCE

SHEET

L 1.2

SCALE

1/8" = 1'-0"

HARD-SCAPE CALCULATION AND LANDSCAPE ELEMENTS

STONE HARDSCAPE
FRONT PATHWAYS 600 SQ. FT.
BACK PATIOS 625 SQ. FT.

DRIVEWAY, PAVED 350 SQ. FT.

GRAVELPAVE SURFACE, PERMEABLE
DRIVEWAY 390 SQ. FT.
BACK PATIO 175 SQ. FT.
FRONT PARKING 1300 SQ. FT.



GRAVELPAVE EXAMPLE

EASY TURF, SELECT BLEND GF APT XM 2C

YARN STRUCTURE
UV RESIST. POLYETHYLENE

HEIGHT: 1.75"
WEIGHT: 43 OZ/YD

DUAL SYSTEM PERMEABLE



DESCRIPTION	REVIEWS (0)
File Yarn Type UV-Resistant Polyethylene N/A	
Yarn Structure	
Yarn Denier 10800 Denier D1577	
File Height 1.75 Inches D5823	
File Weight 43 OZ/YD D5848	
Primary Backing Weight >7 OZ/YD Dual Layer Woven Polypropylene D5848	
Secondary Backing Weight 17 OZ/YD2	
Total Weight 67 OZ/YD2 D5848	
Stitch Gauge 3/8 Inch Centers D5793	
Tuft Bind >9 LBS/Force D1335	
Water Permeability >250 Inch/Hr. MaxxFlow Coating DIN 18	
Total Infill 3 LBS/FT2 N/A	
Field Green/Olive	
Green Soft Spined Monofilament	
N/A	
Dual System Permeable	
Polyurethane D5848	

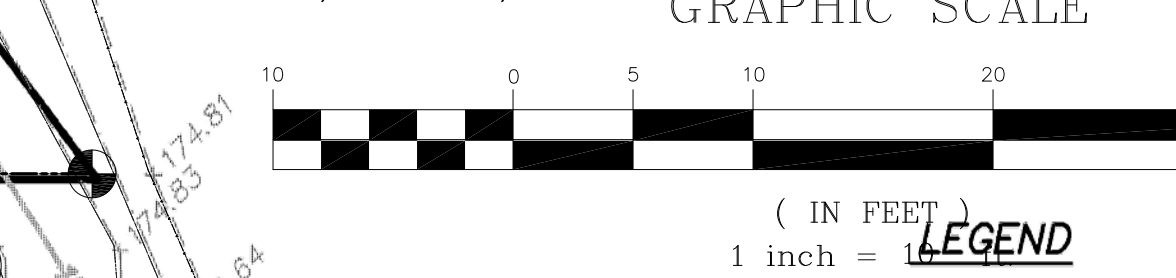
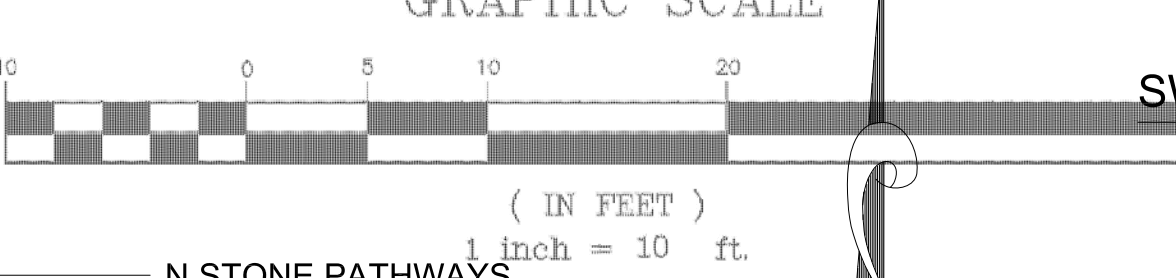
GRASSY SC

- PLANTING MATERIAL
- HEDGE *Prunus caroliniana* Carolina Cherry 15 Gal.
 - TREES *Cercis occidentalis* Western Redbud 24 -36" Box
 - SWALE PLANTING, NATIVE, SHADE LOVING MIX
 - Carex divulsa* Berkeley Sedge
 - Carex pansa* California Meadow Sedge
 - Deschampsia caespitosa* Tufted Hair Grass
- PLANTING MATERIAL

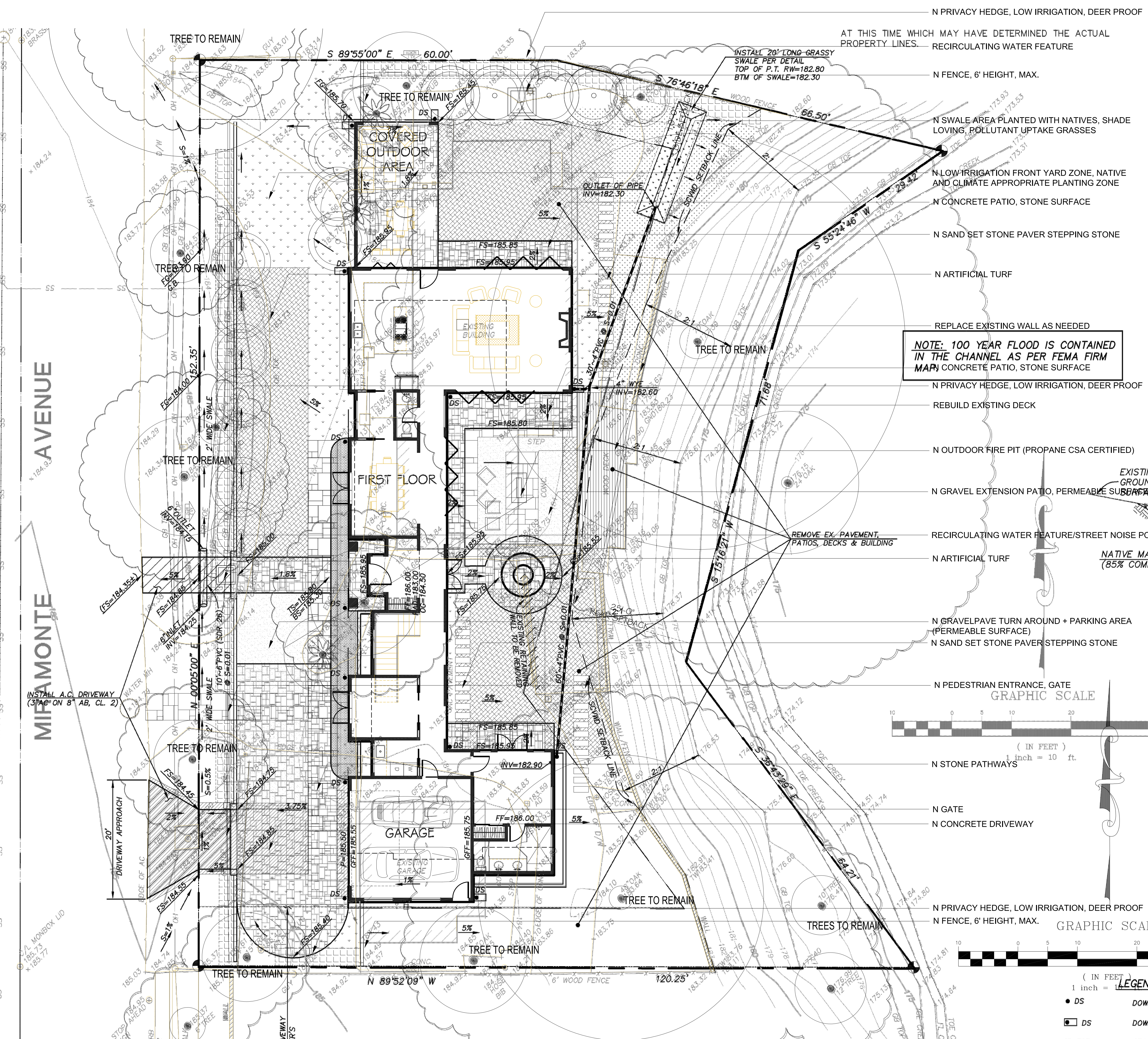
TREES TO BE REMOVED

ALL OTHER TREES TO BE
PROTECTED AND REMAIN ON
SITE

NOTE: LANDSCAPE PLAN L1.1
TO TAKE PRECEDENCE



- LEGEND
- DS DOWNSPOUT (DRAINING ONTO PAVE)
 - ◻ DS DOWNSPOUT WITH SPLASHBLOCK
 - GB TOP GRADE BREAK (TOP OF BANK)



MIFAMONTE AVENUE

DRIVEWAY APPROACH (3' AC ON 8' AB, CL. 2)

(IN FEET)
1 inch = 10 ft.

(IN FEET)
1 inch = 10 ft.

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1 inch = 10 ft.



WATER FEATURE, RECIRCULATING

SCREENING: SMALL NATIVE TREES + HEDGE PLANTS

WATER FEATURE, RECIRCULATING

ARTIFICIAL TURF ZONE

SWALE AREA, NATIVE GRASSES

PERMEABLE ZONE, OUTDOOR ROOM

REBUILD EXISTING DECK

ARTIFICIAL TURF ZONE

NOTE: ALL TREES WITH GREEN CANOPIES ARE EXISTING AND ARE TO BE PROTECTED AND REMAIN

ILLUSTRATIVE LANDSCAPE PLAN

MALETIN RESIDENCE
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