



DATE: April 6, 2016  
AGENDA ITEM # 5

**TO:** Design Review Commission  
**FROM:** Sean K. Gallegos, Assistant Planner  
**SUBJECT:** 15-SC-53 – 66 Sylvian Way

**RECOMMENDATION:**

Approve design review application 15-SC-53 subject to the findings and conditions

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**PROJECT DESCRIPTION**

This is a design review application for a new two-story house. The project includes 2,500 square feet on the first story and 1,392 square feet on the second story. The following table summarizes the project's technical details:

**GENERAL PLAN DESIGNATION:** Single-Family, Residential  
**ZONING:** R1-10  
**PARCEL SIZE:** 11,467 square feet  
**MATERIALS:** Composition shingle roof, hardie horizontal board siding, wood clad aluminum windows, wood trim and wood carriage garage doors

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>COVERAGE:</b>	3,165 square feet	3,151 square feet	3,440 square feet
<b>FLOOR AREA:</b>			
First floor	3,119 square feet	2,500 square feet	
Second floor	646 square feet	1,392 square feet	
Total	3,765 square feet	3,892 square feet	3,897 square feet
<b>SETBACKS:</b>			
Front	39.5 feet	33 feet	25 feet
Rear	52 feet	41.5 feet	25 feet
Right side (1 <sup>st</sup> /2 <sup>nd</sup> )	12.25 feet	10.75 feet/25 feet	10 feet/17.5 feet
Left side (1 <sup>st</sup> /2 <sup>nd</sup> )	9 feet	11.5 feet/17.5 feet	10 feet/17.5 feet
<b>HEIGHT:</b>	15 feet	26.25 feet	27 feet

## **BACKGROUND**

### **Neighborhood Context**

The subject property is located in a Diverse Character Neighborhood, as defined in the City's Residential Design Guidelines. The houses in the Sylvian Way neighborhood have a variety of one- and two-story houses with different architectural styles, scales, and massing. However, neighborhood does have some similar characteristics such as similar front yard setbacks, low eave lines and the use of rustic materials. The landscaping along Sylvian Way is mixed, but there is a consistent street pattern with Camphor trees on both sides of the Sylvian Way.

## **DISCUSSION**

### **Design Review**

According to the Design Guidelines, in Diverse Character Neighborhoods, good neighbor design has its own design integrity while incorporating some design elements and materials found in the neighborhood.

The house uses a Craftsman style inspired design with multiple front facing gable roof forms, a defined projecting front porch, shingle siding and corbels. The project proposes high quality materials, such as a hardie horizontal siding, wood clad aluminum windows, wood trim and wood carriage garage doors. Overall, the project design has architectural integrity and the design and materials are compatible with the surrounding neighborhood.

The City's Residential Design Guidelines suggest various ways to minimize bulk, which includes using more than one material on an elevation, incorporating architectural elements to soften the elevation, and keeping second floor exterior wall heights low. The uniform eaves and the front porch emphasize the horizontal profile of the first story. The project reduces the perception of bulk by proposing nine-foot, four-inch tall wall plate heights on the first and eight-foot tall wall plate heights on the second story. The second story conforms to the daylight plane requirement and is centered over the first story, which helps to reduce the perception of bulk and mass. Overall, the two-story design is well proportioned and articulated to reduce the effect of bulk and mass when viewed from the street.

### **Privacy**

On the left (west) side of the second story elevation, there are four windows: two windows in the master bedroom, one window in bathroom No. 3, and one window in the stairwell. The three bedroom windows have a four-foot, six-inch or five-foot sill heights. The stairwell window has a six-foot, three-inch sill height. Due to their placement and sill heights, the proposed windows do not create unreasonable privacy impacts.

On the right (east) side of the second story elevation, there are four smaller windows: one window in bedroom No. 2, one window in bathroom No. 2, one window in the master bedroom closet, and

one window in the master bathroom. All four windows have a four-foot, six-inch sill height. Due to their placement and sill heights, the proposed windows do not create unreasonable privacy impacts.

On the rear (north) second story elevation, there are two larger windows: one window is located in the master bathroom and one egress window is located in the master bedroom. Both windows have a three-foot sill height and the second story has a rear yard setback of 55 feet. The landscape plan includes the addition of *prunus caroliniana*, *tristania conferta* and *ginkgo biloba* evergreen screening trees along the side and rear property lines to diminish privacy impacts. Due to the rear yard setback and proposed evergreen screening (Condition 2), the rear windows do not create an unreasonable privacy impacts.

## **Landscaping**

The application includes an arborist report (Attachment D) that provides an inventory of the thirteen trees on the property. Five Japanese maple tree (Nos. 3-6 and 8), one sycamore tree (No. 7), one black pine tree (No. 10), one olive tree (No. 11) and one privet tree (No. 12) are proposed for removal due to being diseased, having a poor form or being located within the proposed structure footprint.

A comprehensive landscaping plan for the property has been provided that incorporates thirteen new trees, front yard landscaping and screening trees. The landscaping plan includes maintaining the existing camphor tree (No. 1), deodar cedar tree (No. 2) and japanese maple tree (No. 9). To help soften the impact and view from the street, four crepe myrtle street trees are proposed in the front yard. Tree No. 1, No. 2, No. 9 and three neighboring redwood trees (along the rear property line) will be protected during construction. The project meets the City's landscaping regulations and street tree guidelines with the new landscaping and hardscape. Since the new landscaping area exceeds 500 square feet, it is required to comply with the City's Water Efficient Landscape Regulations.

## **ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

## **PUBLIC CONTACT**

A public meeting notice was posted on the property and mailed to 12 nearby property owners on Sylvian Way and Coronado Avenue.

Cc: Chung-Kao Hsieh and Hsiu-Ching Hsieh, Applicant and Owner  
Chris Spaulding, Architect

### Attachments:

- A. Application
- B. Neighborhood Compatibility Worksheet
- C. Area, Vicinity and Public Notification Maps

D. Arborist Report, Kielty Arborist Services

## FINDINGS

15-SC-53 – 66 Sylvian Way

With regard to the new two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed structure complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

## CONDITIONS

15-SC-53 – 66 Sylvian Way

### **GENERAL**

**1. Approved Plans**

The approval is based on the plans and materials received on March 2, 2016, except as may be modified by these conditions.

**2. Privacy Screening Trees**

Incorporate fast growing, evergreen screening trees into the landscaping plan along the left (west) side, right (east) side and rear (north) yards to fill-in unscreened areas of the property line.

**3. Protected Trees**

Tree Nos. 1, 2 and 9, the evergreen screening trees and the proposed street trees shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

**4. Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder.

**5. New Fireplaces**

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

**6. Landscaping**

The landscape plan is subject to the City's Water Efficient Landscape Regulations pursuant to Chapter 12.36 of the Municipal Code.

**7. Fire Sprinklers**

Fire sprinklers shall be required pursuant to Section 12.10 of the Municipal Code.

**8. Underground Utilities**

Any new utility service drops shall be located underground from the nearest convenient existing pole pursuant to Chapter 12.68 of the Municipal Code.

**9. Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project.

### **PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT**

**10. Tree Protection**

Tree protection fencing shall be installed around the dripline, or as required by the project arborist, of trees Nos. 1, 2 and 9, as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not

be removed until all building construction has been completed unless approved by the Planning Division.

#### **PRIOR TO BUILDING PERMIT SUBMITTAL**

**11. Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans.

**12. Tree Protection Note**

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

**13. Water Efficient Landscape Plan**

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations.

**14. Green Building Standards**

Provide verification that the house will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

**15. Underground Utility Location**

Show the location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

**16. Air Conditioner Sound Rating**

Show the location of any air conditioning units on the site plan and the manufacturer's specifications showing the sound rating for each unit.

**17. Storm Water Management**

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

#### **PRIOR TO FINAL INSPECTION**

**18. Landscaping Installation**

All landscaping, street trees, and privacy screening trees shall be maintained and/or installed as shown on the approved plans and as required by the Planning Division.

**19. Green Building Verification**

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).

**20. Water Efficient Landscaping Verification**

Provide a landscape Certificate of Completion verifying that the landscaping and irrigation were installed per the approved landscape documentation package.



# ATTACHMENT A



## CITY OF LOS ALTOS GENERAL APPLICATION

Type of Review Requested: *(Check all boxes that apply)*

Permit # \_\_\_\_\_

<input type="checkbox"/> One-Story Design Review	<input type="checkbox"/> Sign Review	<input type="checkbox"/> Multiple-Family Review
<input checked="" type="checkbox"/> Two-Story Design Review	<input type="checkbox"/> Sidewalk Display Permit	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Variance(s)	<input type="checkbox"/> Use Permit	<input type="checkbox"/> R1-S Overlay
<input type="checkbox"/> Lot Line Adjustment	<input type="checkbox"/> Tenant Improvement	<input type="checkbox"/> General Plan/Code Amendment
<input type="checkbox"/> Tentative Map/Division of Land	<input type="checkbox"/> Preliminary Project Review	<input type="checkbox"/> Appeal
<input type="checkbox"/> Subdivision Map Review	<input type="checkbox"/> Commercial Design Review	<input type="checkbox"/> Other:

Project Address/Location: 66 Sylvian Way

Project Proposal/Use: New two-story single-family residence

Current Use of Property: Two-story single-family residence

Assessor Parcel Number(s) 167-29-040 Site Area: 11,467 SF

New Sq. Ft.: 3892 SF Remodeled Sq. Ft.: - 0 - Existing Sq. Ft. to Remain: - 0 -

Total Existing Sq. Ft.: 3765 SF Total Proposed Sq. Ft. (including basement): 5893 SF

Applicant's Name: Chung-Kao Hsieh (Peter) and Hsiu-Ching Hsieh Lin (Joy)

Home Telephone #: (650) 666-9772 Business Telephone #: (650) 666-9810

Mailing Address: 38 N. Avalon Drive

City/State/Zip Code: Los Altos, CA 94022

Property Owner's Name: Chung-Kao Hsieh (Peter) and Hsiu-Ching Hsieh Lin (Joy)

Home Telephone #: (650) 666-9772 Business Telephone #: (650) 666-9810

Mailing Address: 38 N. Avalon Drive

City/State/Zip Code: Los Altos, CA 94022

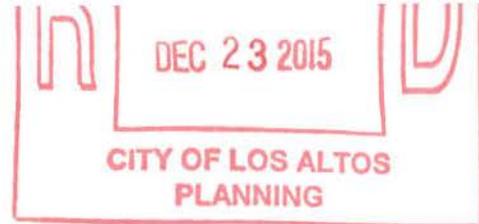
Architect/Designer's Name: Chris Spaulding, Architects & Assoc. Telephone #: (510) 527-5997

\*\*\* If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. \*\*\*

(continued on back)

15-SC-53





## NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1<sup>st</sup> application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 66 Sylvian Way, Los Altos

Scope of Project: Addition or Remodel \_\_\_\_\_, New Home X  
Age of existing home if this project is to be an addition or remodel? \_\_\_\_\_  
Is the existing house listed on the City's Historic Inventory? No

Address: 66 Sylvian Way  
Date: December 16, 2015

### What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet consider first your street and the two contiguous homes on either side of your property and the five to six homes across the street (nine to ten homes). At the minimum, these are the houses that you should photograph. For some, the homes behind you may also be a consideration and if there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

### Streetscape

#### 1. Typical neighborhood lot size\*:

Lot area: 12,000 square feet  
Lot dimensions: Length 145 feet  
Width 80 feet

If your lot is significantly different than those in your neighborhood, then note its: area \_\_\_\_\_, length \_\_\_\_\_, and width \_\_\_\_\_.

#### 2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? \_\_\_\_\_  
What % of the front facing walls of the neighborhood homes are at the front setback 0 %  
Existing front setback for house on left 31 ft./on right 41 ft.  
Do the front setbacks of adjacent houses line up? No

#### 3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood\* only on your street (count for each type)  
Garage facing front projecting from front of house face 6  
Garage facing front recessed from front of house face 3  
Garage in back yard 1  
Garage facing the side 0  
Number of 1-car garages 0; 2-car garages 10; 3-car garages 0

Address: 66 Sylvian Way

Date: December 16, 2015

**4. Single or Two-Story Homes:**

What % of the homes in your neighborhood\* are:

One-story 50%

Two-story 50%

**5. Roof heights and shapes:**

Is the overall height of house ridgelines generally the same in your neighborhood\*? No

Are there mostly hip X, gable style X, or other style \_\_\_ roofs\*?

Do the roof forms appear simple \_\_\_\_\_ or complex X?

Do the houses share generally the same eave height No?

**6. Exterior Materials:** (*Pg. 22 Design Guidelines*)

What siding materials are frequently used in your neighborhood\*?

X wood shingle X stucco \_\_\_ board & batten \_\_\_ clapboard  
\_\_\_ tile \_\_\_ stone X brick X combination of one or more materials  
(if so, describe) Stucco & Stone, Stucco & Brick

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile) are consistently (about 80%) used? \_\_\_\_\_

If no consistency then explain: Asphalt shingle and Wood shake

**7. Architectural Style:** (*Appendix C, Design Guidelines*)

Does your neighborhood\* have a consistent identifiable architectural style?

YES  NO

Type? X Ranch X Shingle \_\_\_ Tudor \_\_\_ Mediterranean/Spanish  
X Contemporary \_\_\_ Colonial \_\_\_ Bungalow \_\_\_ Other

Address: 66 Sylvian Way

Date: December 16, 2015

8. **Lot Slope:** *(Pg. 25 Design Guidelines)*

Does your property have a noticeable slope? No

What is the direction of your slope? (relative to the street)

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Is your slope higher \_\_\_\_\_ lower \_\_\_\_\_ same X in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street?

9. **Landscaping:**

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

Mature trees, bushes, hedges, landscape to street edge

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How visible are your house and other houses from the street?

Most houses are very visible from the street

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Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

Mature tree at front-left of property (to remain). Public right-of-way is landscape and dirt.

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10. **Width of Street:**

What is the width of the roadway paving on your street in feet? 40'

Is there a parking area on the street or in the shoulder area? Street and shouder

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? \_\_\_\_\_

Partially paved and landscaped

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Address: 66 Sylvian Way

Date: December 16, 2015

11. What characteristics make this neighborhood\* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

This is a transitional neighborhood with a mix of different styles and heights.

No consistency in architecture

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**General Study**

- A. Have major visible streetscape changes occurred in your neighborhood?  
 YES  NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?  
 YES  NO
- C. Do the lots in your neighborhood appear to be the same size?  
 YES  NO
- D. Do the lot widths appear to be consistent in the neighborhood?  
 YES  NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?  
 YES  NO
- F. Do you have active CCR's in your neighborhood? (p.36 Building Guide)  
 YES  NO
- G. Do the houses appear to be of similar size as viewed from the street?  
 YES  NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?  
 YES  NO

Address: 66 Sylvian Way  
 Date: December 16, 2015

### Summary Table

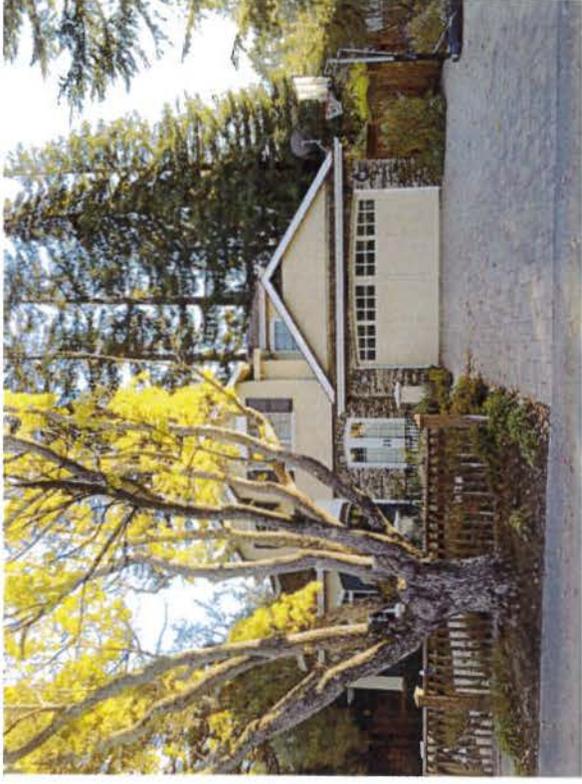
Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
40 Sylvian Way	35'	50'	Left	One	18'	Shingle, Siding, Asphalt sh. roof	Complex
54 Sylvian Way	31'	46'	Right	Two	27'	Stucco, Stone, Asphalt sh. roof	Complex
80 Sylvian Way	41'	48'	Left-Rear	One	18'	Stucco, Stone, Asphalt sh. roof	Simple
94 Sylvian Way	41'	48'	Left	One	18'	Stucco, Brick, Wood shake roof	Simple
99 Sylvian Way	43'	40'	Right	Two	27'	Siding, Asphalt sh. roof	Complex
77 Sylvian Way	38'	45'	Left	Two	24'	Stucco, Asphalt sh. roof	Complex
61 Sylvian Way	48'	50'	Left	One	18'	Stucco, Brick, Wood shake roof	Simple
49 Sylvian Way	29'	35'	Left	One	18'	Siding, Asphalt sh. roof	Complex
35 Sylvian Way	41'	45'	Left	Two	25'	Stucco, Asphalt sh. roof	Complex
61 Coronado Way	42'	40'	Left	Two	25'	Stucco, Brick, Asphalt sh. roof	Complex

**66 Sylvian Way**  
Neighborhood Pictures - Same side of street



40 Sylvian Way



54 Sylvian Way



80 Sylvian Way

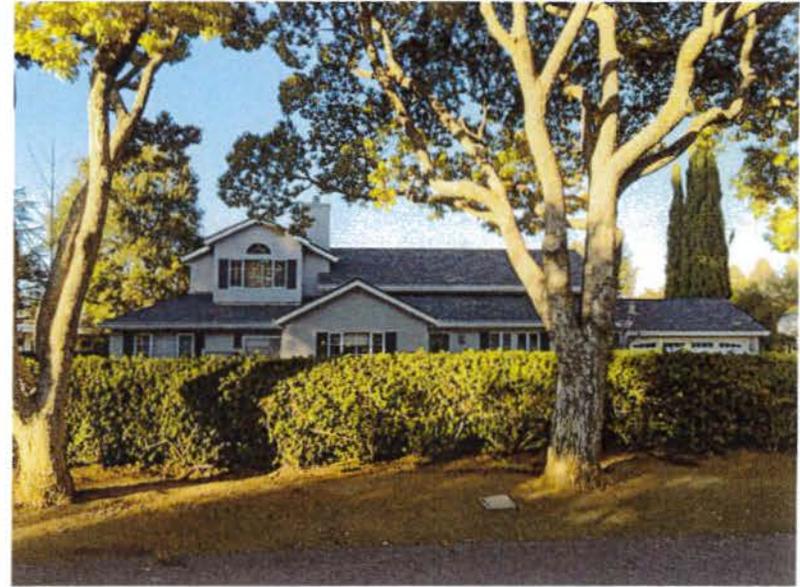


94 Sylvian Way

**66 Sylvian Way**  
Neighborhood Pictures - Opposite side of street



99 Sylvian Way



77 Sylvian Way



61 Sylvian Way



49 Sylvian Way

**66 Sylvian Way**

Neighborhood Pictures - Opposite side of street (cont.)



35 Sylvian Way

**66 Sylvian Way**

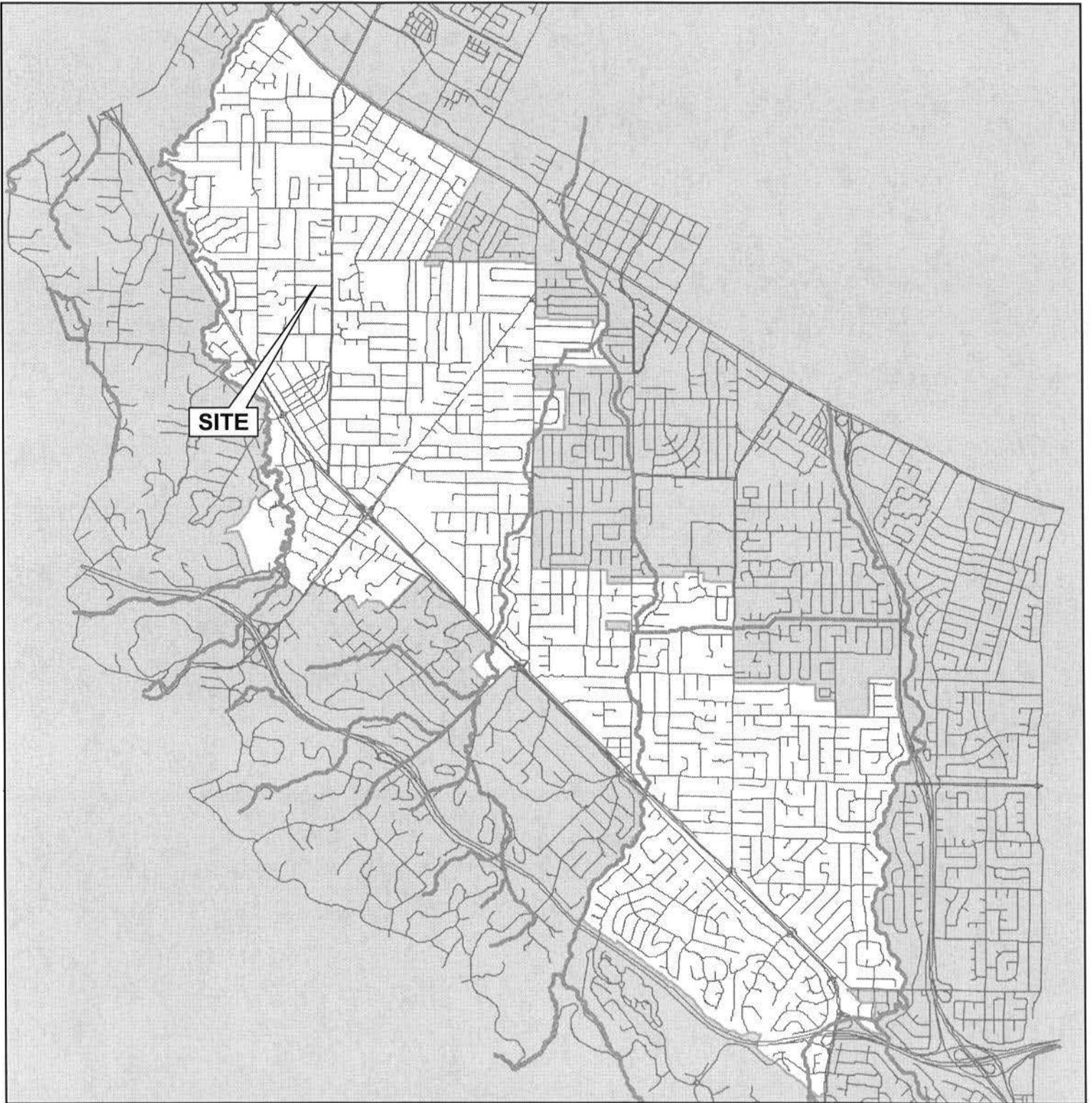
Neighborhood Pictures - Directly behind property



61 Coronado Avenue



# AREA MAP



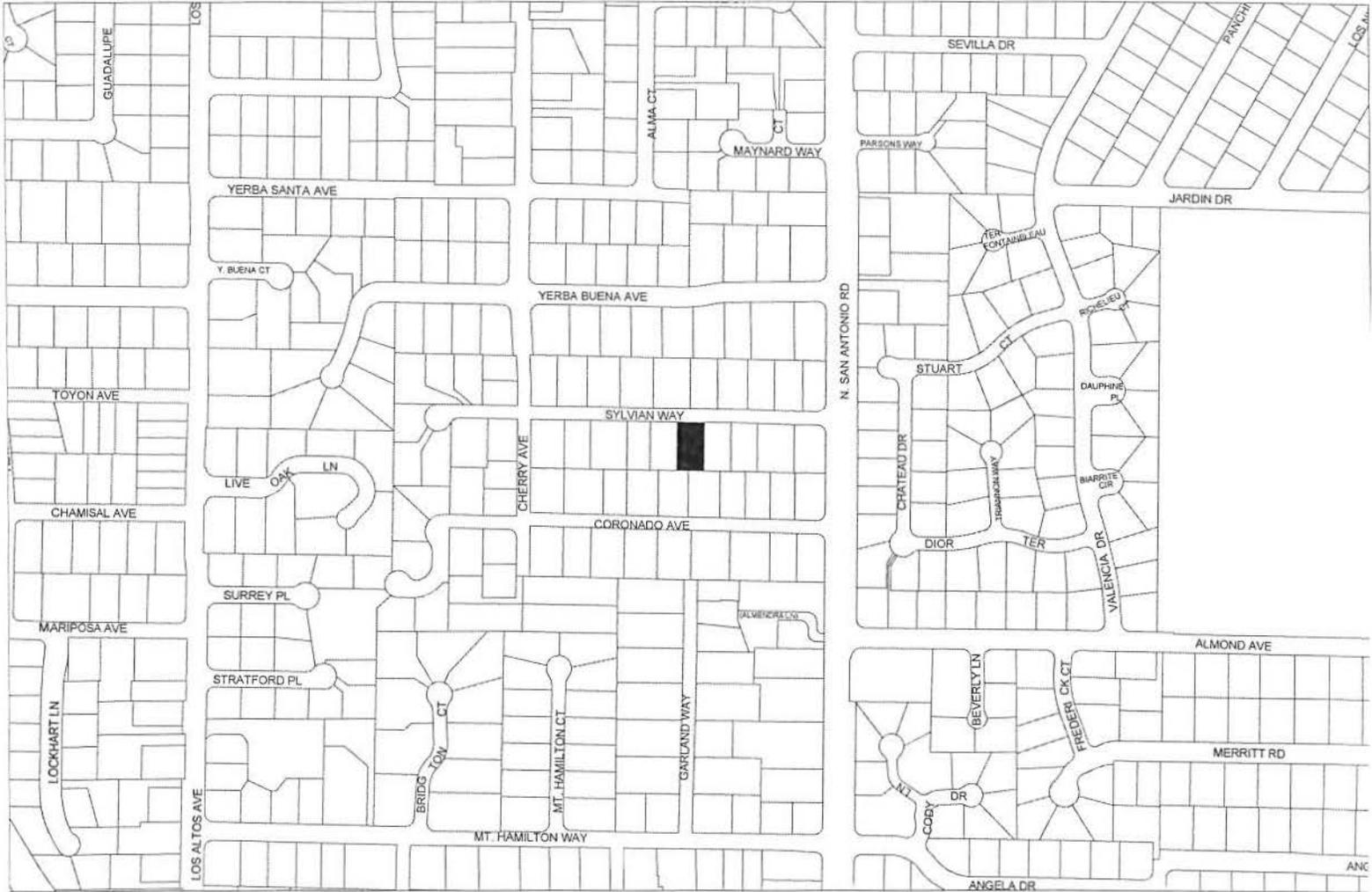
CITY OF LOS ALTOS

**APPLICATION:** 15-SC-53  
**APPLICANT:** C. Hsieh and H. Hsieh Lin  
**SITE ADDRESS:** 66 Sylvian Way

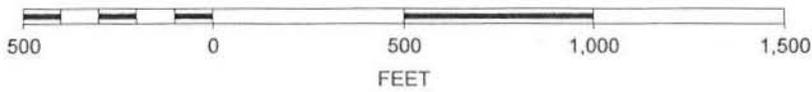


Not to Scale

# VICINITY MAP



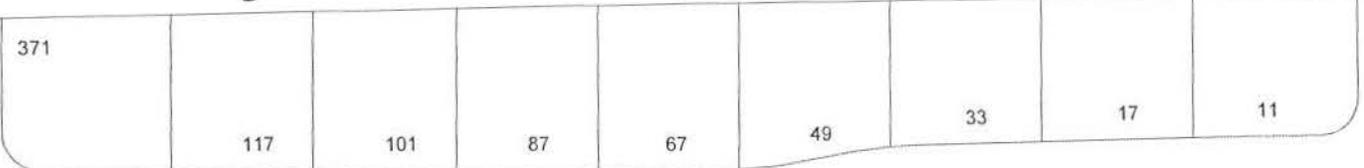
SCALE 1 : 6,000



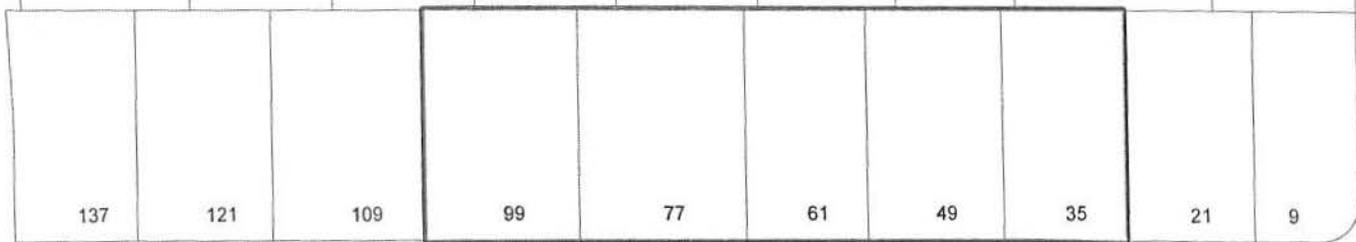
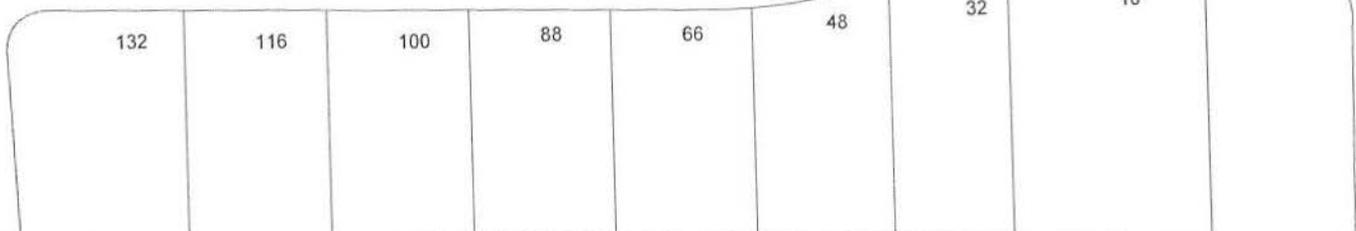
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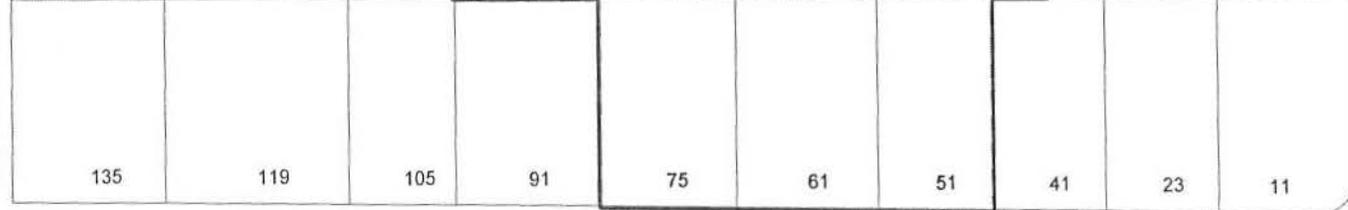
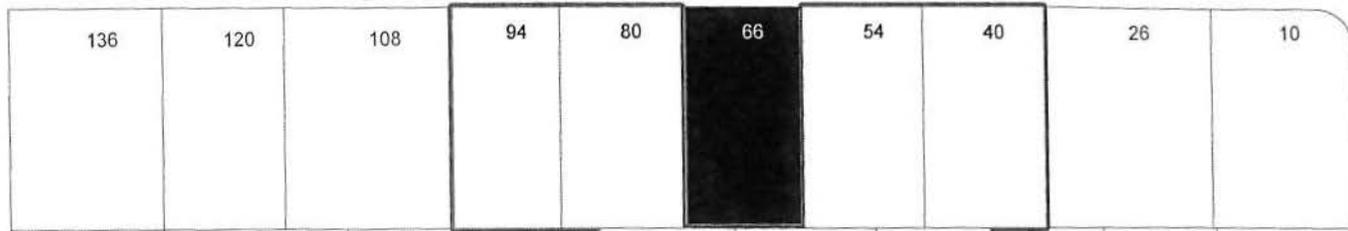
# 66 Sylvian Way Notification Map



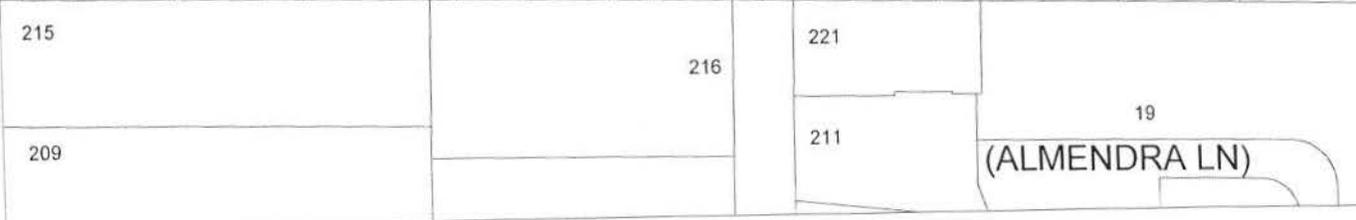
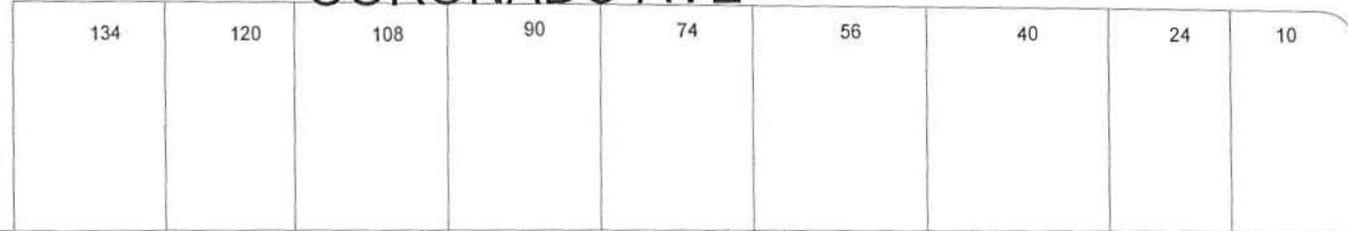
YERBA BUENA AVE



SYLVIAN WAY



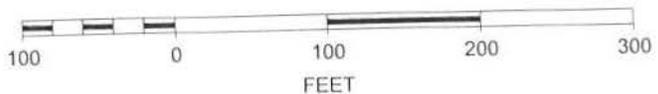
CORONADO AVE



N. SAN ANTONIO RD

UTAH AVE

SCALE 1 : 1,500





# ATTACHMENT D

## Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

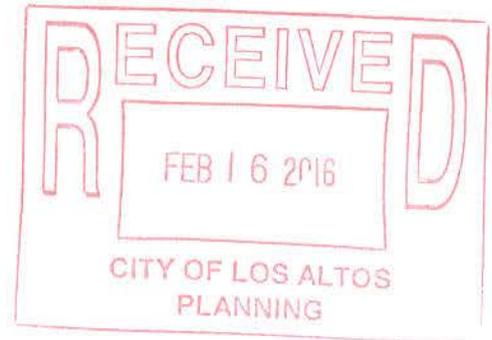
650- 515-9783

February 9, 2016

Hsieh-Lin Residence

Site: 66 Sylvian Way, Los Altos, CA

To whom it may concern,



As requested on Monday, February 1st, 2016, I visited the above site for the purpose of inspecting and commenting on the trees. A new home is planned for this site and your concern as to the future health and safety of the trees has prompted this visit.

### **Method:**

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH). The trees were given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

66 Sylvian Way 2/9/16

(2)

**Survey:**

<b>Tree#</b>	<b>Species</b>	<b>DBH</b>	<b>CON</b>	<b>HT/SP</b>	<b>Comments</b>
1P	Camphor ( <i>Cinnamomum camphora</i> )	27.1	45	40/25	Poor-fair vigor, fair form, codominant at 4 feet with a fair crotch, abundance of die back in canopy, damaging sidewalk, suppressed by #2, surrounded by pavement, planted in a 4x4 area.
2P	Deodar cedar ( <i>Cedrus deodara</i> )	27.0	70	75/40	Good vigor, good form, good location.
3X	Japanese maple ( <i>Acer palmatum</i> )	5.5	50	8/10	Fair vigor, fair form, codominant at 2 feet, minor decay in canopy.
4X	Japanese maple ( <i>Acer palmatum</i> )	7.4	55	10/8	Good vigor, fair form, codominant at 4 feet, 5 feet from home.
5X	Japanese maple ( <i>Acer palmatum</i> )	14.6	50	15/15	Good vigor, poor form, multi leader at 1 foot with poor crotch formation, 10 feet from home, abundance of dead wood.
6X	Japanese maple ( <i>Acer palmatum</i> )	11.1	45	20/15	Good vigor, poor form, multi leader at 4 feet with poor crotch formation, decay at base.
7PX	Tulip tree ( <i>Liriodendron tulipifera</i> )	15.4	45	40/20	Good vigor, poor form, codominant at 8 feet, decay directly below codominant leaders, 6 inches away from the existing roof.
8PX	Japanese maple ( <i>Acer palmatum</i> )	11.5-7.0	45	20/15	Fair vigor, poor form, codominant at base, multi leader at 1 foot, decay in canopy, 3 feet from pond to be removed, dead leaders.
9	Japanese maple ( <i>Acer palmatum</i> )	11.4	55	20/15	Good vigor, fair form, codominant at 3 feet with a fair crotch.
10X	Black pine ( <i>Pinus thunbergii</i> )	5.2	45	10/5	Good vigor, poor form, topped, bonsai.
11X	Olive ( <i>Olea europaea</i> )	8.8	45	20/10	Fair vigor, poor form, suppressed by neighbors trees, topped at 10 feet.

66 Sylvian Way 2/9/16

(3)

**Survey:**

Tree#	Species	DBH	CON	HT/SP	Comments
12X	Privet <i>(Ligustrum japonicum)</i>	10.9	40	20/15	Poor vigor, poor form, codominant at 1 foot, poor crotch with seam down to base, die back in canopy, damaging fence and driveway.
13X	Lemon <i>(Citrus spp.)</i>	3.0	50	10/10	Poor vigor, fair form, easily moved.

*P-indicates protected tree*

*X-indicates proposed removal*



**Summary:**

The trees on site are all imported trees to this area of Los Altos. There are 4 protected trees on site as they are over 15 inches in diameter. The site has a Japanese style landscape with a koi fish pond and Japanese maple trees. A new home is planned for this site and some of the trees will need to be removed to facilitate the demolition and construction of the new home. Tree #1 is a protected Camphor street tree. At this time this tree is to be retained. The camphor tree is in poor condition as it received a condition rating of 45. The tree is planted in a 4x4 area and the root zone of this tree is completely covered in pavement. Camphor trees as a species have large surface roots that easily damage and lift pavement. This tree is obviously damaging the pavement. Because it is a street tree it is managed by the city of Los Altos. The large camphor tree has a

**Showing pavement covering root zone**

moderate amount of die back within the canopy. This tree would benefit from a larger planting area and normal irrigation. The existing pathway is proposed to be removed and replaced farther away from this tree. When removing the pathway hand tools must be used in order to not damage any of the existing roots grown in this area. The area should be filled in with native soil immediately after removing the walkway so any roots in this area will not dry out and die. If the area needs to be exposed for an extended time period, roots should be covered in burlap and kept moist. The proposed walkway should be one that is pervious with the least amount of excavation as possible. Hand tools should be used in the construction of the walkway as well. This work is outside of the dripline of the tree but still should be done with great caution. If any roots larger than 2 inches in diameter are found the site arborist must be called out on site in order to inspect, document, and offer mitigation measures.

Deodar cedar tree #2 is also one of the protected trees on site to remain. This tree is in good condition. The cedar is on the perimeter of the property in an ideal location for preservation. The tree protection fencing for this tree should be out to the dripline. An infiltration device (type 2) is proposed just outside of the dripline of this tree. Impacts to this tree are expected to be minor to nonexistent as the proposed work is far enough away from the tree.

Tulip tree #7 is a protected tree on site that is proposed for removal. This tree has some serious form and health flaws. The tree is codominant at 8 feet with a good amount of decay right below the codominant junction. The decay in this area weakens the leader attachments for this tree and raises the risk of a large leader failure. Also this tree is only 6 inches away from the roof line of the existing home. The demolition of the home and the removal of the wooden deck and concrete are all in close proximity to this tree. This tree should be removed as it is not expected to survive the impact of demolition and construction. Also the tree is not a good candidate for preservation because of the existing health issues of decay.



The only other protected tree on site is Japanese maple #8. This tree is proposed for removal. This tree is codominant at its base and has a large amount of decay and dieback in its canopy. Decay has caused whole leaders to die. This tree is also very close to the proposed demolition of the garage and pond. These structures to be removed are on both sides of the tree. The pond is only 3 feet from the tree. Removal of this tree is a necessity to make property improvements and the tree is not suitable for preservation.

**Showing leader decay in canopy**

Japanese maple #9 is not a protected tree on site but is planned to be retained. This tree has more rootable area than Japanese maple #8 as it is farther away from the pond and garage to be removed. When demolishing the garage and pond near this tree, hand tools should be used in order to not damage any roots growing near these areas. The garage likely acted as a root barrier but roots may still run along the foundation of the garage. The demolition of the garage should work away from the tree so the soil near this tree does not become compacted. The following tree protection plan will help reduce impacts to the retained trees on site from the proposed construction.

**Tree Protection Plan:**

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice.

During the demolition process all tree protection must be in place. All vehicles must remain on paved surfaces if possible. Parking will not be allowed off the paved surfaces. The removal of foundation materials, when inside the driplines of protected trees, should be carried out with care. Hand excavation may be required in areas of heavy rooting. Exposed or damaged roots should be repaired and covered with native soil.

This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kiely  
Certified Arborist WE#0476A

  
David P. Beckham  
Certified Arborist WE#10724A