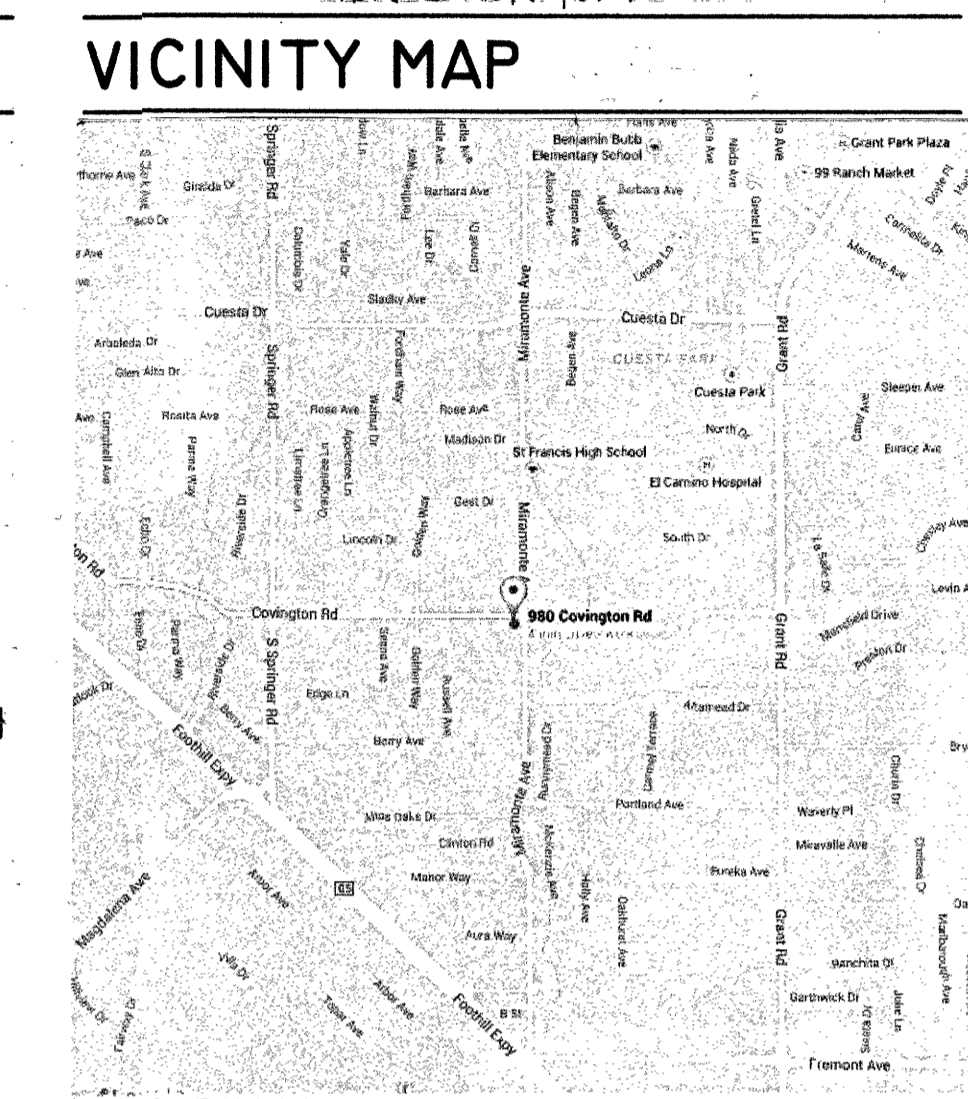


PROPERTY DESCRIPTION
 OWNER JOHN WALKER
 ADDRESS 980 COVINGTON RD.
 LOS ALTOS, CA 94024
 PARCEL 189-11-068
 ACREAGE 0.48
 ZONING R1-10
 PROJECT RELOCATE STRUCTURE,
 DESCRIPTION MAIN FLOOR ADDITION,
 NEW LOWER FLOOR.



SHEET INDEX
 ARCHITECTURAL SHEETS:
 A-1 SITE PLAN
 A-1A FLOOR AREA CALCULATIONS DIAGRAM
 A-1B NEIGHBORHOOD COMPATIBILITY SHEET
 A-2 EXISTING MAIN FLOOR PLAN
 A-3 EXISTING UPPER FLOOR PLAN
 A-4 PROPOSED MAIN FLOOR PLAN
 A-5 PROPOSED UPPER FLOOR PLAN
 A-6 FRONT ELEVATION, EXISTING & PROPOSED
 A-7 REAR ELEVATION, EXISTING & PROPOSED
 A-8 RIGHT ELEVATION, EXISTING & PROPOSED
 A-9 LEFT ELEVATION, EXISTING & PROPOSED
 A-9A ARCHITECTURAL DETAILS
 A-10 EXISTING ROOF PLAN
 A-11 PROPOSED ROOF PLAN
 A-12 SECTIONS "A & B"
 A-13 WATER TOWER/GARAGE FLOOR PLAN & EXTERIOR ELEVATIONS.
 C-1 GRADING/DRAINAGE/UTILITY PLAN.

GENERAL NOTES
 A VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
 B DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
 C DISCREPANCIES MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
 D CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY.

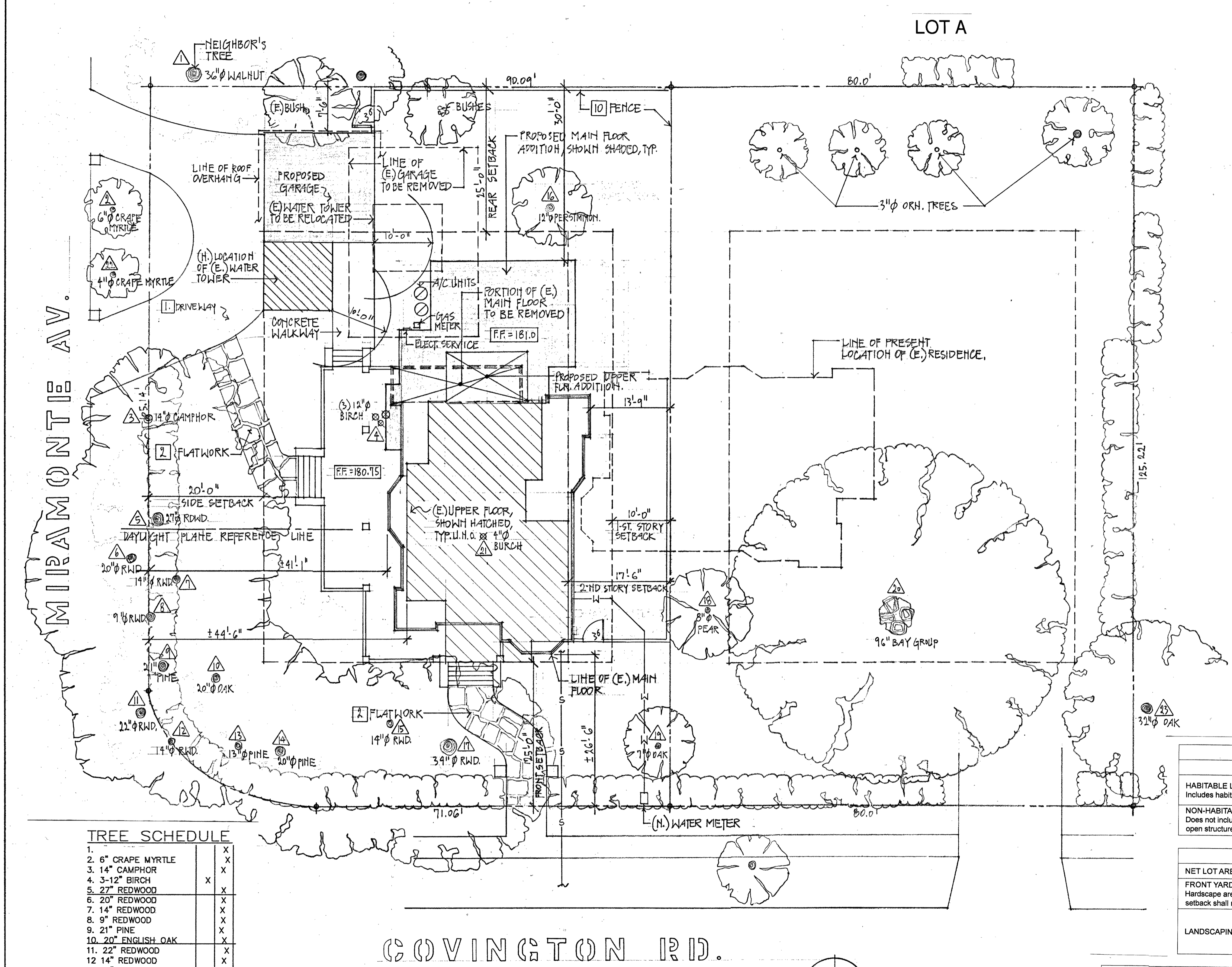
SITE PLAN NOTES
 1 DRIVEWAY ASPHALT
 2 FLATWORK FLAGSTONE OVER GRADE
 3 GRADING TO BE PROVIDED W/ BUILDING SUBMITTAL
 4 DRAINAGE
 5 STORM DRAINAGE (N) SEWER LATERAL FROM STREET
 6 SEWER LATERAL (N) UNDERGROUND SERVICE
 7 GAS & ELEC SERVICE (N) UNDERGROUND SERVICE
 8 SETBACKS AS PER PLAN
 9 TREES PROTECT TREES DURING CONSTRUCTION
 10 FENCES (H) 6' REDWOOD FENCE W/ 2' LATTICE.
 11 LANDSCAPE PROTECT (E) TREES, PROVIDE (N) GROUND COVER.

CONSULTANT DIRECTORY
 SURVEYOR N/A
 SOILS ENGINEER N/A
 CIVIL ENGINEER N/A
 STRUCTURAL ENGINEER N/A
 ENERGY CONSULTANT N/A
 LANDSCAPE ARCHITECT N/A

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: Includes habitable basement areas	2506.50 sq. ft.	+ 636.85 sq. ft.	3143.35 sq. ft.
NON-HABITABLE AREA: Does not include covered porches or open structures	734.25 sq. ft.	- 229.25 sq. ft.	505.00 sq. ft.

LOT CALCULATIONS	
NET LOT AREA:	11298.00 square feet (net)
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%	230.25 square feet (14.04%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing & proposed): 1122.00 sq. ft. Existing softscape (undisturbed area): 8892.15 sq. ft. New softscape area: N/A sq. ft. Building footprint w/ porch: 3283.85 sq. ft. Total: 11298.00 sq. ft.

	EXISTING	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE: (land area covered by all structures that are over 6 feet in height)	2995.25 sq. ft. (26.51%)	3283.85 sq. ft. (29.07%)	3389.40 sq. ft. (30.0%)
FLOOR AREA			
1st FLOOR:	1458.50 sq. ft.	1977.35 sq. ft.	
2nd FLOOR:	1047.00 sq. ft.	1166.00 sq. ft.	
Garage:	590.25 sq. ft.	361.00 sq. ft.	3879.80 sq. ft. (34.34%)
Water Tower:	144.00 sq. ft.	144.00 sq. ft.	
Total:	3240.75 sq. ft. (28.68%)	3648.35 sq. ft. (32.29%)	
SETBACKS:			
Front		26.50 feet	25.0 feet
Rear		30.00 feet	25.0 feet
Right Side (1st / 2nd)		13.75 / 17.50 feet	10.0 feet / 17.5 feet
Left Side (1st / 2nd)		41.10 / 44.50 feet	20.0 feet / feet
HEIGHT:	28.70 feet	28.70 feet	27.0 feet



TREE SCHEDULE

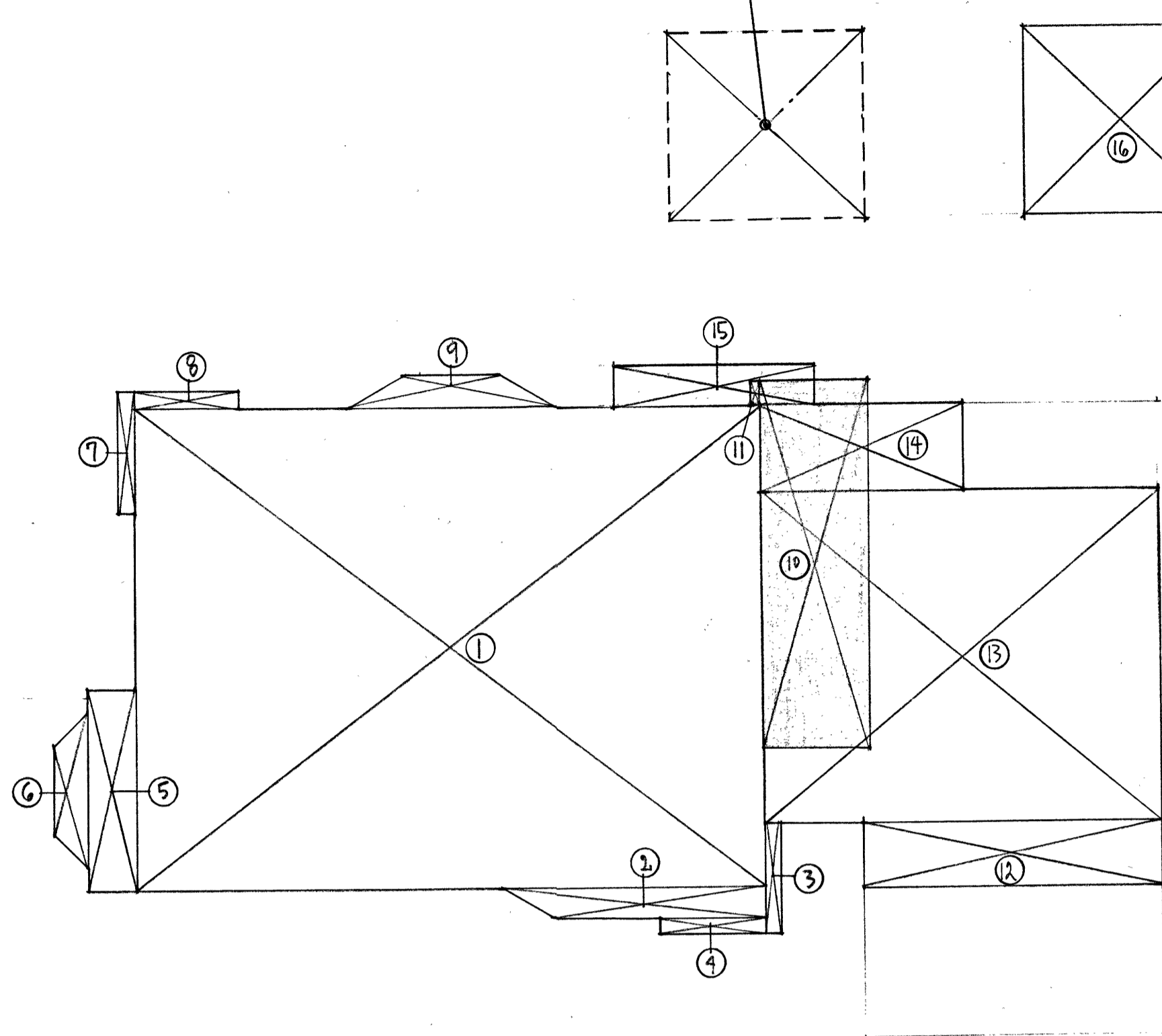
NO.	TREE SPECIES	TO BE REMOVED	TO REMAIN
1.	6" CRAPE MYRTLE		X
2.	14" CAMPHOR		X
3.	3-12" BIRCH	X	
4.	27" REDWOOD		X
5.	20" REDWOOD		X
6.	14" REDWOOD		X
7.	9" REDWOOD		X
8.	21" PINE		X
9.	22" REDWOOD		X
10.	14" REDWOOD		X
11.	13" PINE		X
12.	20" PINE		X
13.	14" REDWOOD		X
14.	12" PERSIMMON		X
15.	34" REDWOOD		X
16.	8" PEAR		X
17.	7" OAK		X
18.	96" BAY GROUP		X
19.	4" BIRCH	X	
20.	4" CRAPE MYRTLE		X
21.	32" OAK ON NEIGHBOR TO THE WEST		X

ARBORIST'S #1 - 36" WALNUT ON NEIGHBOR TO THE WEST
 TO BE REMOVED
 TO REMAIN

SITE PLAN
 1" = 10'-0"

MAIN FLOOR

ATTIC AREA OF WATER TOWER
(NOT COUNTED TOWARD F.A.R.)



EXISTING MAIN FLOOR

- ① 30.25 x 39.0 = 1179.75 S.F.
 - ② (6.5 + 13.0) / 2 x 2.0 = 29.5 S.F.
 - ③ 7.0 x 1.0 = 7.0 S.F.
 - ④ 6.5 x 1.0 = 6.5 S.F.
 - ⑤ 3.0 x 2.75 = 8.25 S.F.
 - ⑥ (5.75 + 9.75) / 2 x 2.0 = 15.5 S.F.
 - ⑦ 7.5 x 1.0 = 7.5 S.F.
 - ⑧ 6.5 x 1.0 = 6.5 S.F.
 - ⑨ (6.0 + 12.75) / 2 x 2.0 = 18.75 S.F.
 - ⑩ 6.5 x 23.0 = 149.5 S.F. (TO BE REMOVED)
 - ⑪ 1.5 x 0.5 = 0.75 S.F. (TO BE REMOVED)
- TOTAL (E) MAIN FLOOR = 1459.5 S.F.
(E) MAIN FLOOR TO BE REMOVED = 150.25 S.F.

MAIN FLOOR ADDITION

- ⑫ 4.0 x 18.5 = 74.0 S.F.
 - ⑬ 20.75 x 23.75 = 492.8 S.F.
 - ⑭ 5.5 x 12.5 = 68.75 S.F.
 - ⑮ 13.0 x 2.5 = 32.5 S.F.
- TOTAL MAIN FLOOR ADDITION: 668.1 S.F.

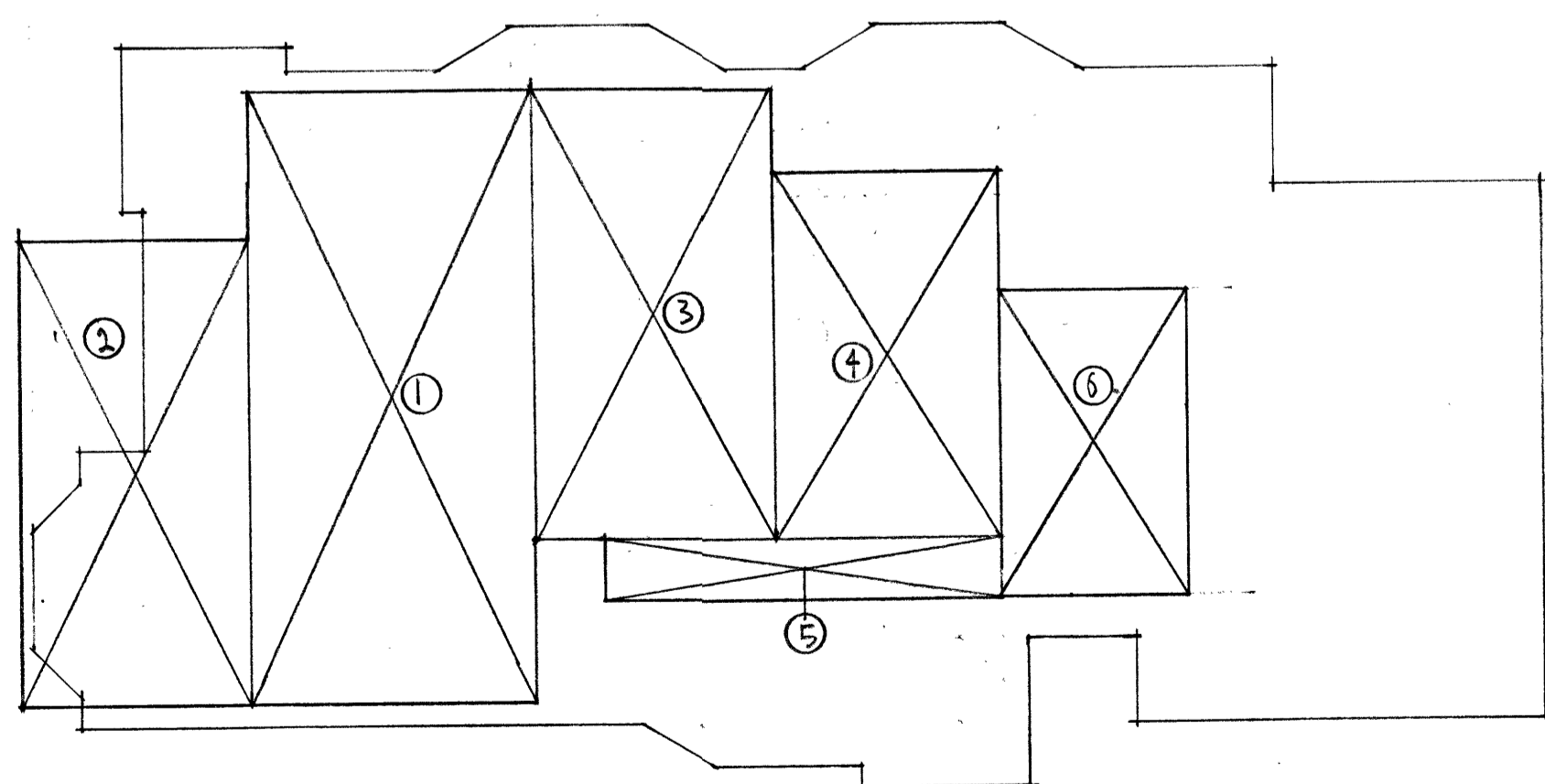
(E) WATER TOWER

- ⑯ 12.0 x 12.0 = 144.0 S.F.

(N) GARAGE

- ⑰ 19.0 x 19.0 = 361.0 S.F.

UPPER FLOOR



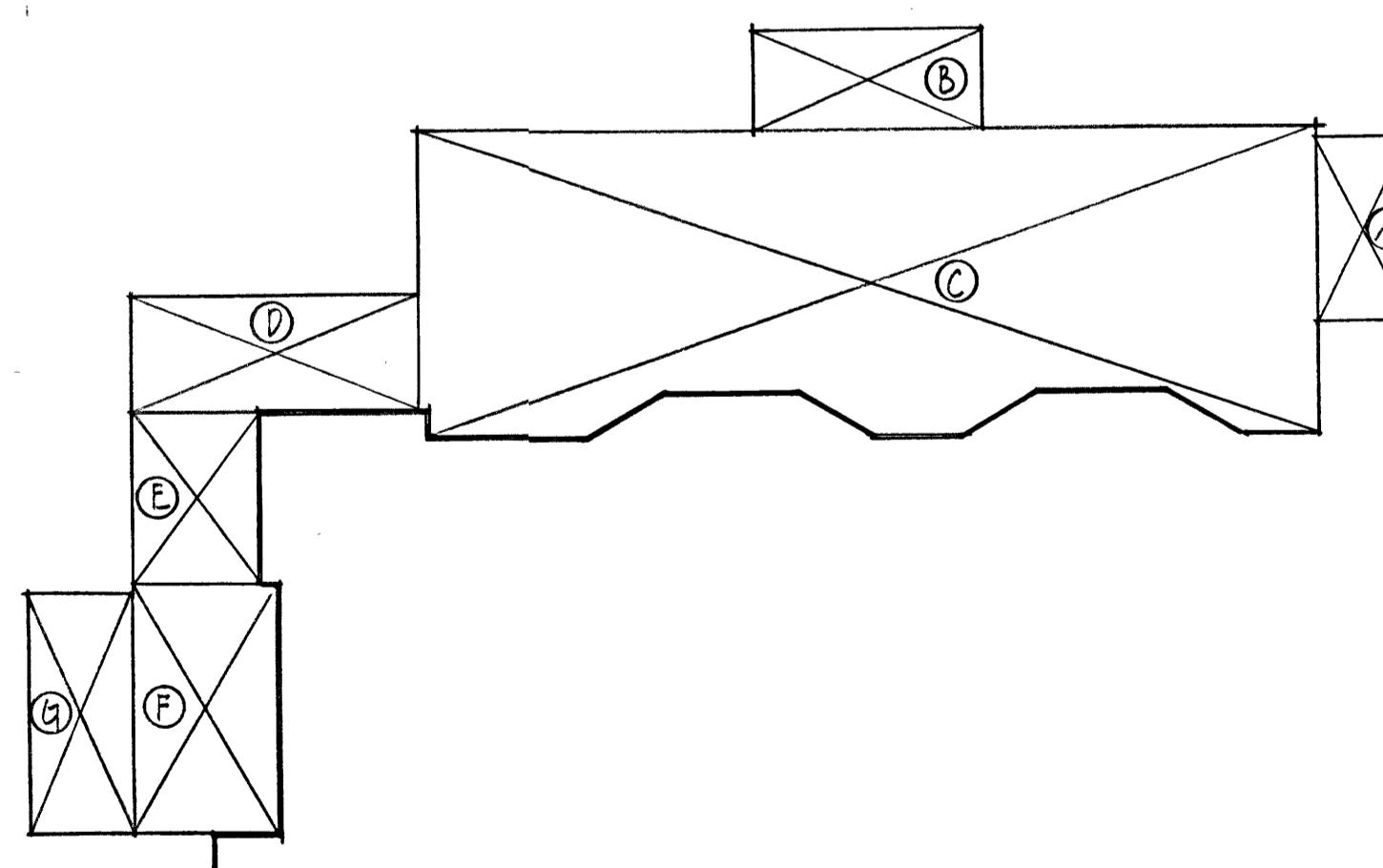
EXISTING UPPER FLOOR

- ① 13.0 x 20.25 = 263.25 S.F.
 - ② 21.5 x 10.5 = 225.75 S.F.
 - ③ 11.0 x 20.75 = 228.25 S.F.
 - ④ 16.75 x 10.25 = 171.7 S.F.
 - ⑤ 3.0 x 18.0 = 54.0 S.F.
- TOTAL (E) UPPER FLOOR = 1047.0 S.F.

UPPER FLOOR ADDITION

- ⑥ 8.5 x 14.0 = 119.0 S.F.

PORCH



- A 4.0 x 8.25 = 33.0 S.F.
- B 10.0 x 4.0 = 40.0 S.F.
- C 39.5 x 13.75 - 18.75 x 2 = 505.6 S.F.
- D 12.25 x 5.25 = 64.3 S.F.
- E 5.25 x 7.5 = 39.4 S.F.
- F 6.25 x 11.5 = 71.9 S.F.
- G 10.5 x 4.5 = 47.25 S.F.

TOTAL PORCH: 801.5 S.F.

FLOOR AREA CALCULATIONS DIAGRAM

1/8" = 1'-0"

SHEET **A-1A** OF SHEETS SIZE: 24 X 36

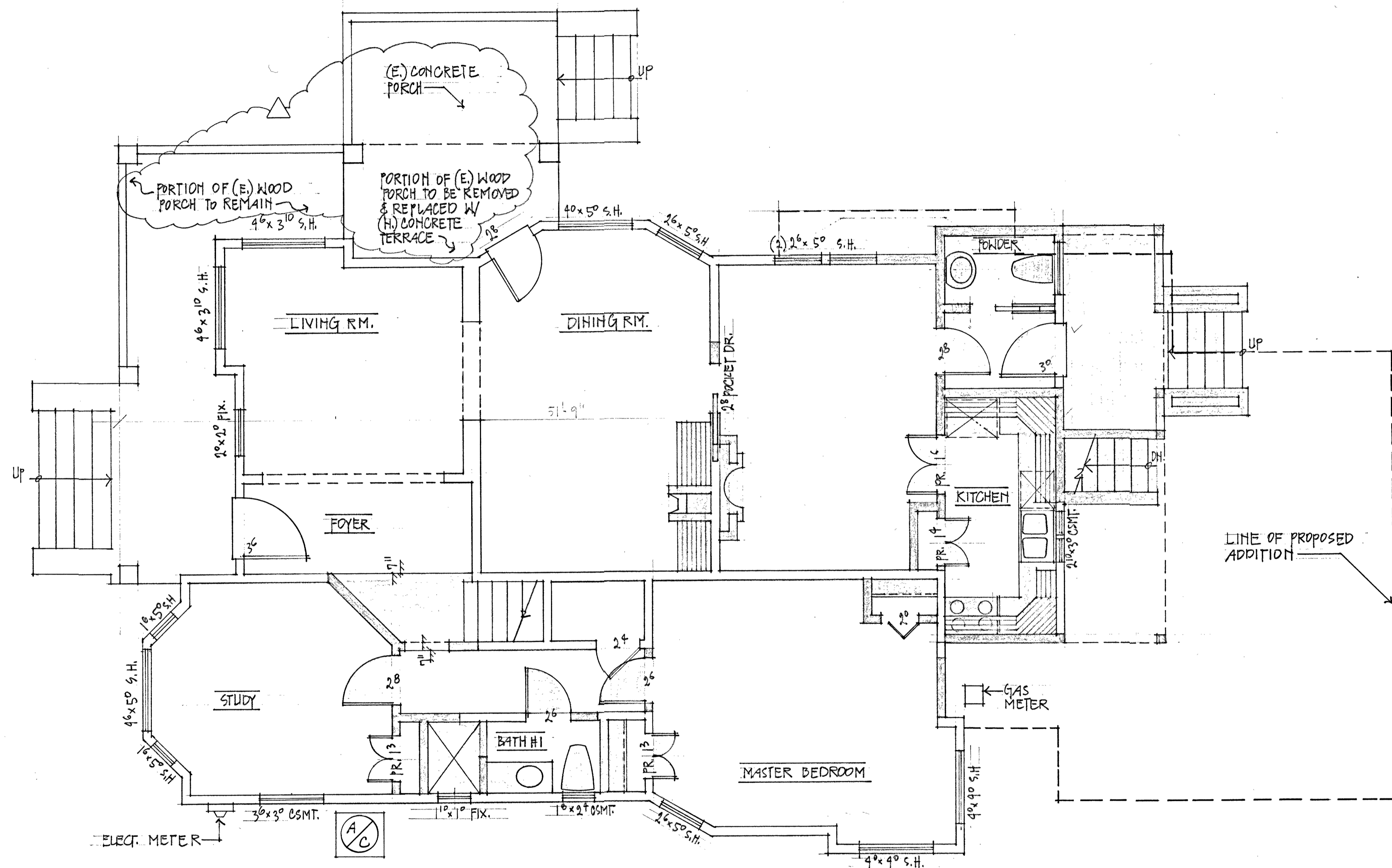
DATA PHASE JOB NO. 21216 DRAWN BY: CHECKED BY:

CLIENT
WALKER RESIDENCE
980 COVINGTON RD., LOS ALTOS, CA 94024
PHONE NO. (650) 965-0315

TWO STORY DESIGN REVIEW 3/17/2016

CHAPMAN DESIGN ASSOCIATES
620 S. EL MONTE AVENUE, (650) 941-6890
LOS ALTOS, CA 94022

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MAIN FLOOR DEMOLITION PLAN
1/4" = 1'-0"

GENERAL NOTES

- I PLUMBING** CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL** REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK** REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING** CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL** ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS** IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS** SAWAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS & OWNER SPECIFICATIONS.
- 2 WINDOWS & SKYLIGHTS**
- 3 CABINETRY**
- 4 FLOOR COVERINGS**
- 5 LIGHT FIXTURES**
- 6 APPLIANCES**
- 7 LANDSCAPE** PROTECT DURING CONSTRUCTION.
- 8 FLATWORK** H/A
- 9 VENEER** BRICK VENEER TO BE REMOVED
- 10 ELECTRICAL METER** (E) SERVICE TO BE RELOCATED
- 11 GAS METER**

LEGEND

- [Solid line] EXISTING WALLS TO REMAIN
- [Dashed line] EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- [Diamond symbol] EXISTING TO BE RELOCATED

REVISIONS

- - CITY PLAN CHECK

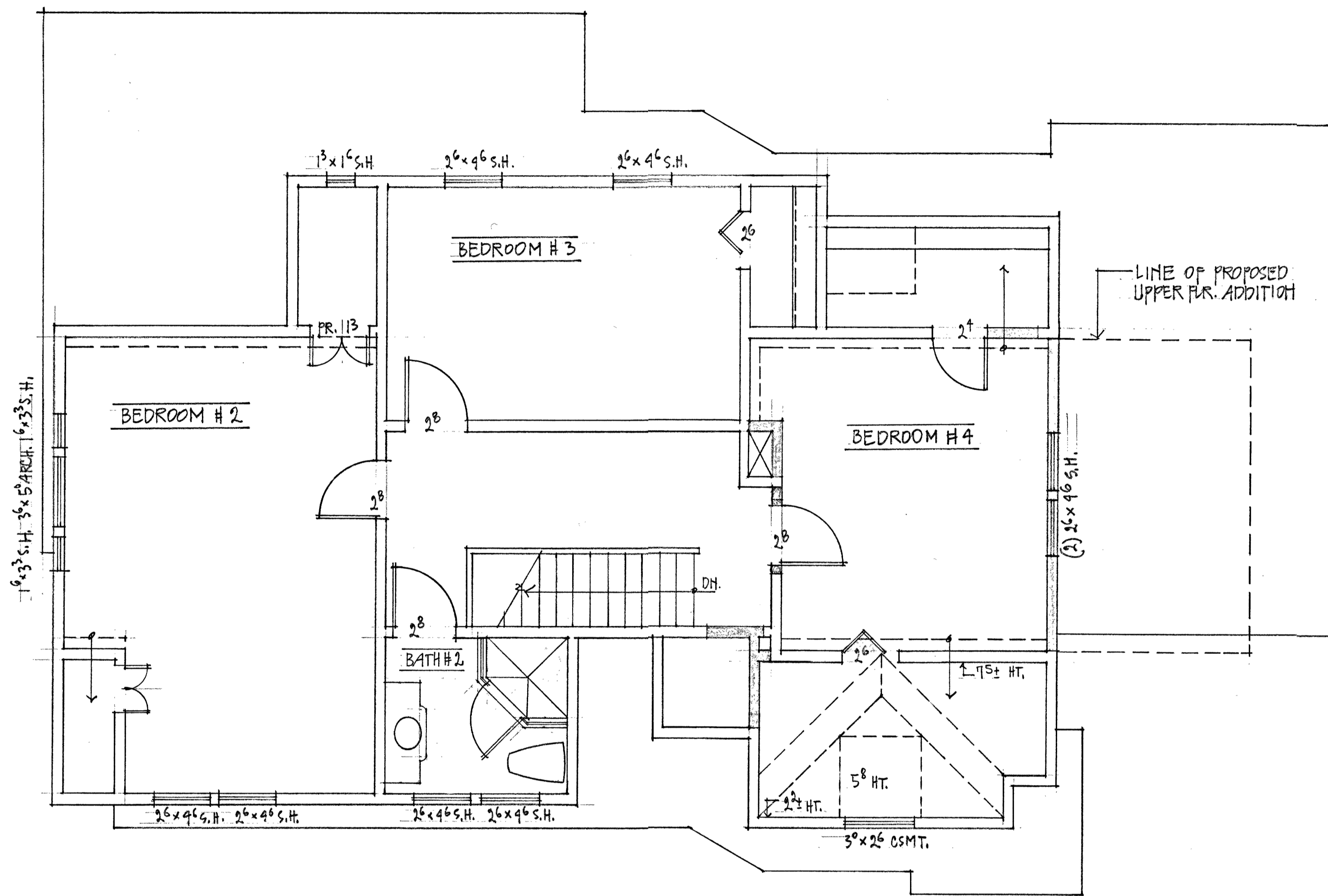
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JOB NO. 21216
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CHECKED BY:

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WALKER RESIDENCE
980 COVINGTON RD., LOS ALTOS, CA 94024
PHONE NO. (650) 965-0315

TWO STORY
DESIGN REVIEW 3/17/2016

CHAPMAN DESIGN ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6880

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UPPER FLOOR DEMOLITION PLAN

1/4" = 1'-0"

GENERAL NOTES

- I PLUMBING CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS SALVAGE /RELOCATE/PROTECT/ DISCARD AS PER PLANS & OWNER SPECIFICATIONS.
- 2 WINDOWS & SKYLIGHTS
- 3 CABINETS
- 4 FLOOR COVERINGS
- 5 LIGHT FIXTURES
- 6 APPLIANCES
- 7 LANDSCAPE N/A
- 8 FLATWORK N/A
- 9 VENEER N/A
- 10 ELECTRICAL METER N/A
- 11 GAS METER N/A

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

REVISIONS

- - CITY PLAN CHECK

CLIENT

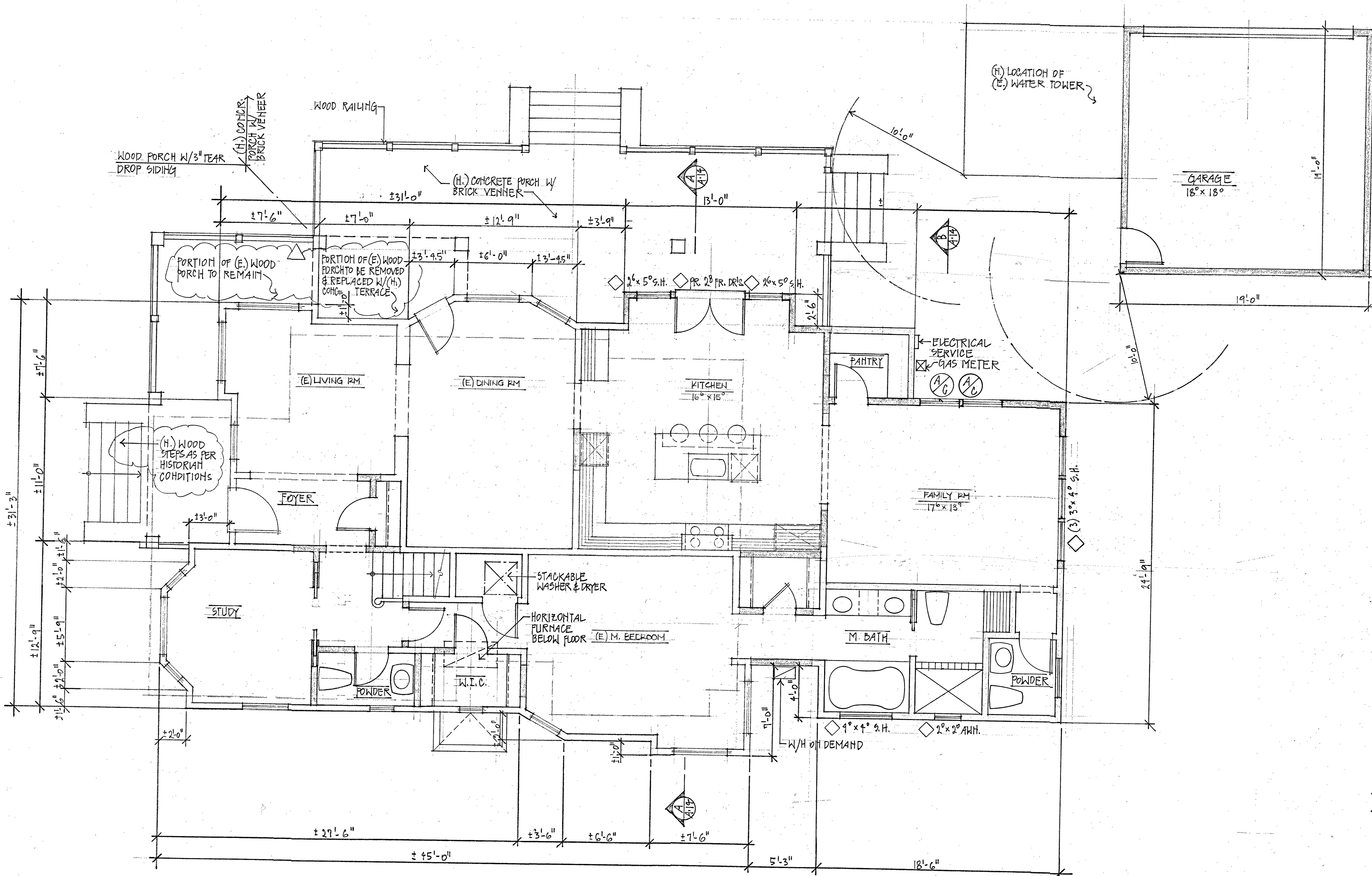
WALKER RESIDENCE
980 COVINGTON RD., LOS ALTOS, CA 94024
PHONE NO. (650) 965-0315

TWO STORY DESIGN REVIEW 3/17/2016

CHAPMAN DESIGN ASSOCIATES
620 S. EL MONTE AVENUE
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SHEET
DATA
PHASE
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OF SHEETS 3
SIZE: 24 X 36



FIRST FLOOR / MAIN FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER CH. 10 CRC 2010
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.5&6. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID/HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2010. USEABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6"-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS.
- IV GUARDRAILS DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2010. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2010. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE DESIGN SHALL CONFORM TO CH. 10 CRC 2010. WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2010 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010
- VIII FIRE BLOCKS PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2010
- IX WATER CLOSETS PROVIDE WATER CLOSETS THAT DO NOT USE MORE THAN 1.6 GALLONS PER FLUSH PER STATE HEALTH & SAFETY CODE. PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2010 CPC)
- X SHOWERS ALL SHOWERS SHALL CONFORM TO SECTION R307 2010 CRC

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- ◇ WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- # DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- ▬ EXISTING WALLS TO REMAIN
- ▬ NEW WALLS
- (E) EXISTING
- (N) NEW
- ◇ RELOCATED

REVISIONS

- - - CITY PLAN CHECK

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WALKER RESIDENCE
 980 COVINGTON ROAD, LOS ALTOS, CA 94024
 PHONE NO. (650) 965-0315

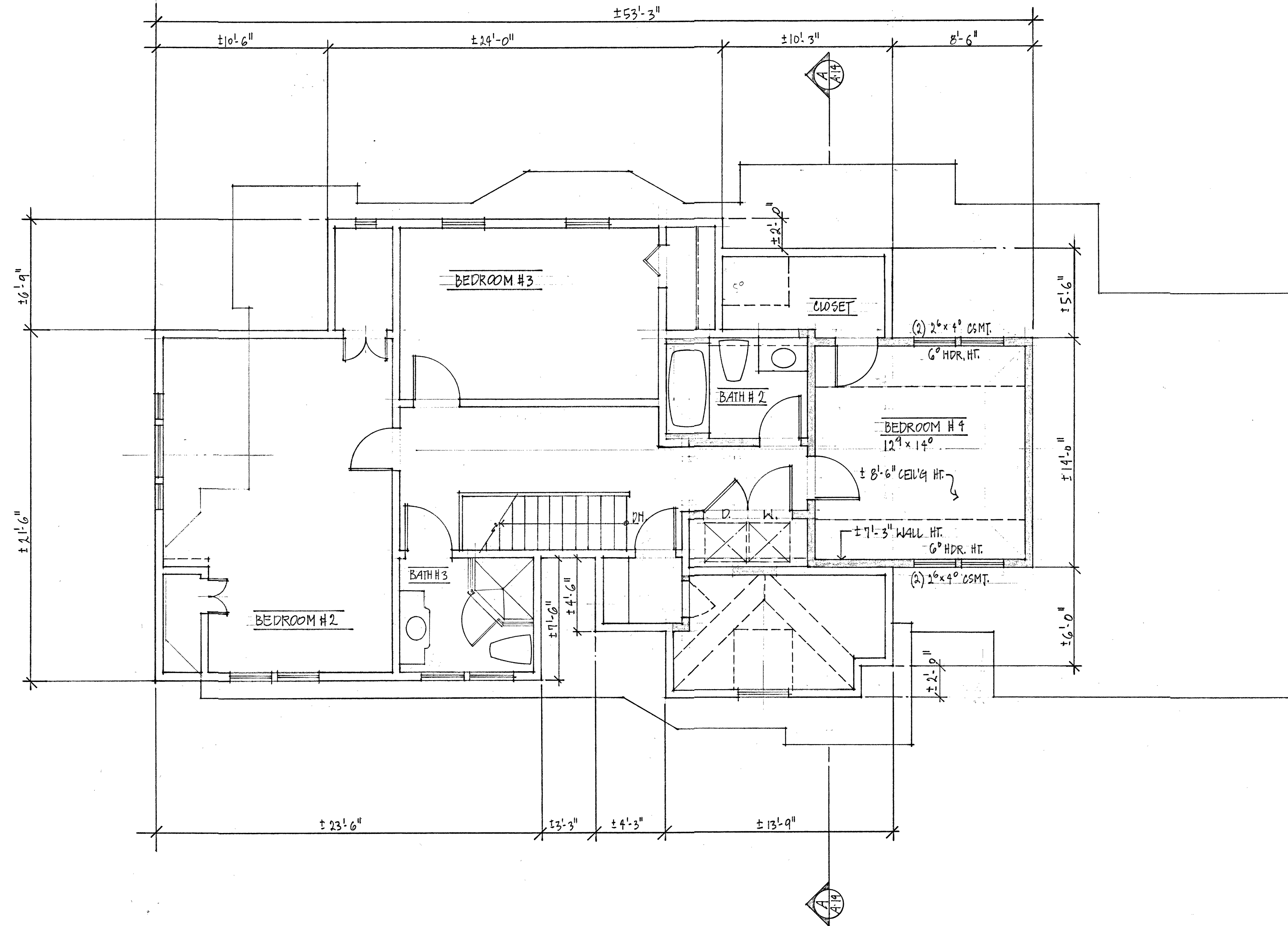
TWO STORY
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 820 S. EL MONTE AVENUE
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 SIZE: 24 X 36
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SECOND FLOOR / UPPER FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER CH. 10 CRC 2010
- MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
- MIN. NET CLEAR OPENABLE WIDTH = 20"
- MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 5/8" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.5&6. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
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- VII TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010
- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2010
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2010 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2010 CRC
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2010 CPC) SHALL CONFORM TO SEC. 402, 2010 CPC

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- RELOCATED

REVISIONS

			CITY PLAN CHECK
--	--	--	-----------------

CLIENT

WALKER RESIDENCE

980 COVINGTON RD., LOS ALTOS, CA 94024
PHONE NO. (650) 965-0315

TWO STORY
DESIGN REVIEW 3/17/2016

CHAPMAN
DESIGN
ASSOCIATES

620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-8890

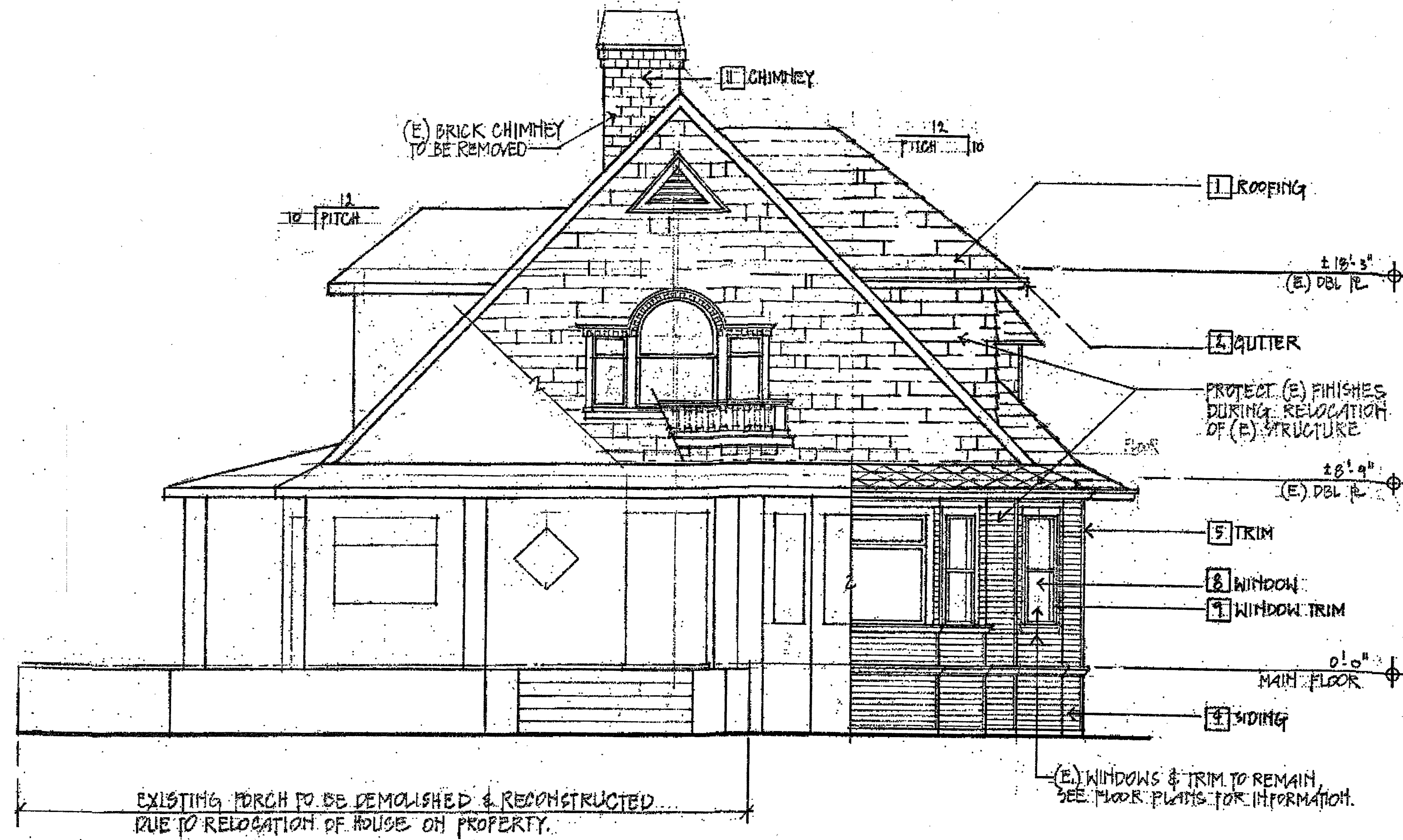
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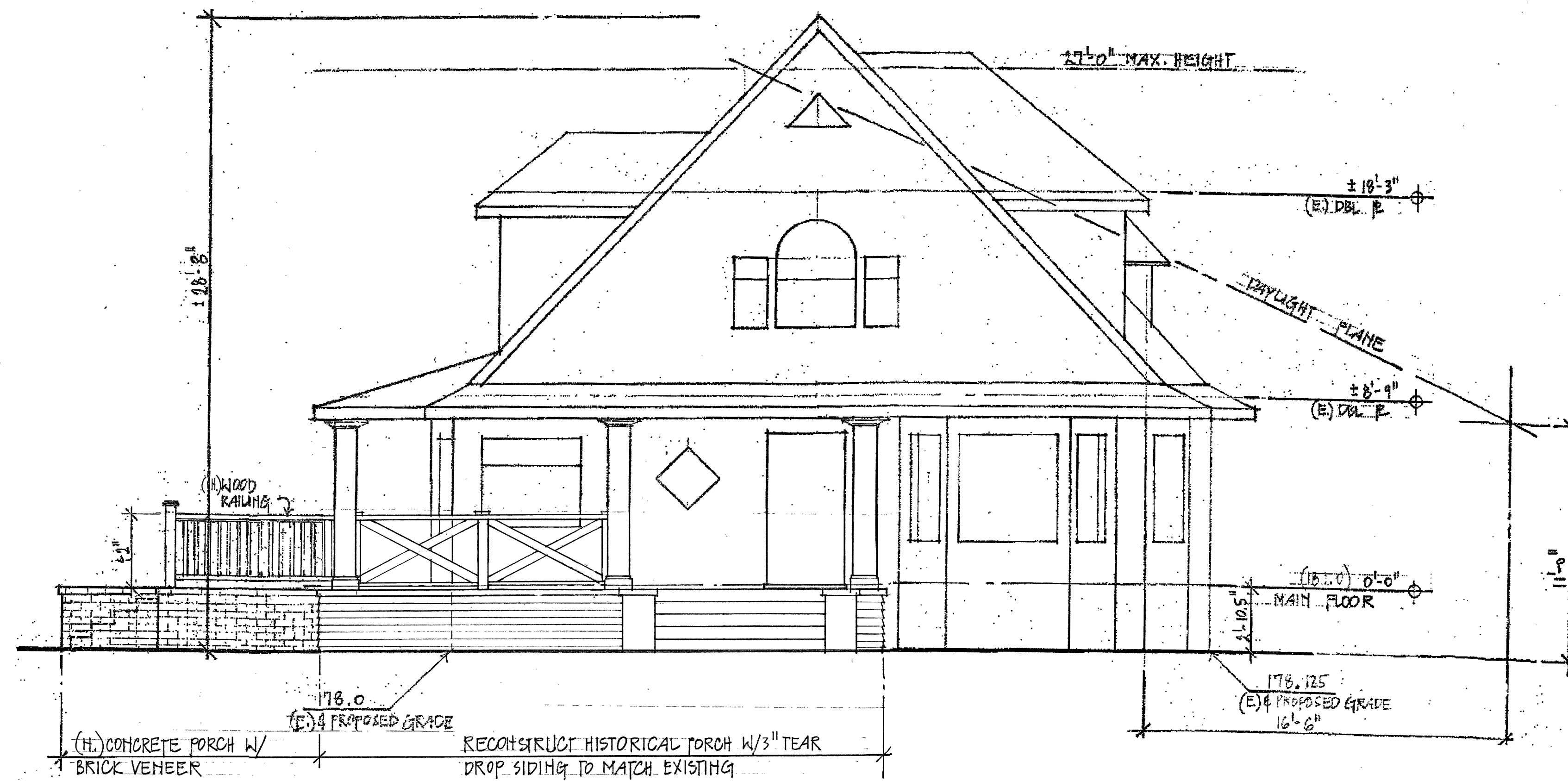
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DATE

EGRESS REQUIREMENTS PER CH. 10 CRC 2010
GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 5/8" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.5&6.
DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2010.
DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2010.
DESIGN SHALL CONFORM TO CH. 10 CRC 2010, WITH NON-COMBUSTIBLE FACE & HEARTH.
PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010
PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2010
PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2010 CPC)
ALL SHOWERS SHALL CONFORM TO SECTION R307 2010 CRC
ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2010 CPC) SHALL CONFORM TO SEC. 402, 2010 CPC



FRONT ELEVATION (EXISTING)

1/4" = 1'-0"



FRONT ELEVATION (PROPOSED)

1/4" = 1'-0"

GENERAL NOTES

- 1 STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2010)
- 2 FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2010. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- 3 CHIMNEY BRACING AS PER CH. 10 CRC 2010
- 4 SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2010
- 5 TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

EXTERIOR MATERIAL NOTES

- 1 ROOFING MPQ SLATE
- 2 GUTTER DQEE
- 3 DOWN SPOUTS RECTANGULAR
- 4 SIDING 3" TEAR DROP SIDING & SHINGLE SIDING AT EXISTING. 6" TEAR DROP SIDING AT PROPOSED ADDITION.
- 5 TRIM 3X2 BURNER TRIM
- 6 STUCCO NA
- 7 VENEER BRICK VENEER
- 8 WINDOWS WOOD FRAME, SINGLE GLAZED
- 9 WINDOW TRIM 2X4 & HEAD & JAMS, 2X5 @ SILL
- 10 SKYLIGHTS 1/4"
- 11 CHIMNEY (E) BRICK CHIMNEY TO BE REMOVED

NOTE! PROTECT HISTORIC FEATURES OF BUILDING, REPAIR WHERE DETERIORATED

LEGEND

- ◆ WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- ◻ DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS

REVISIONS

CITY PLAN CHECK

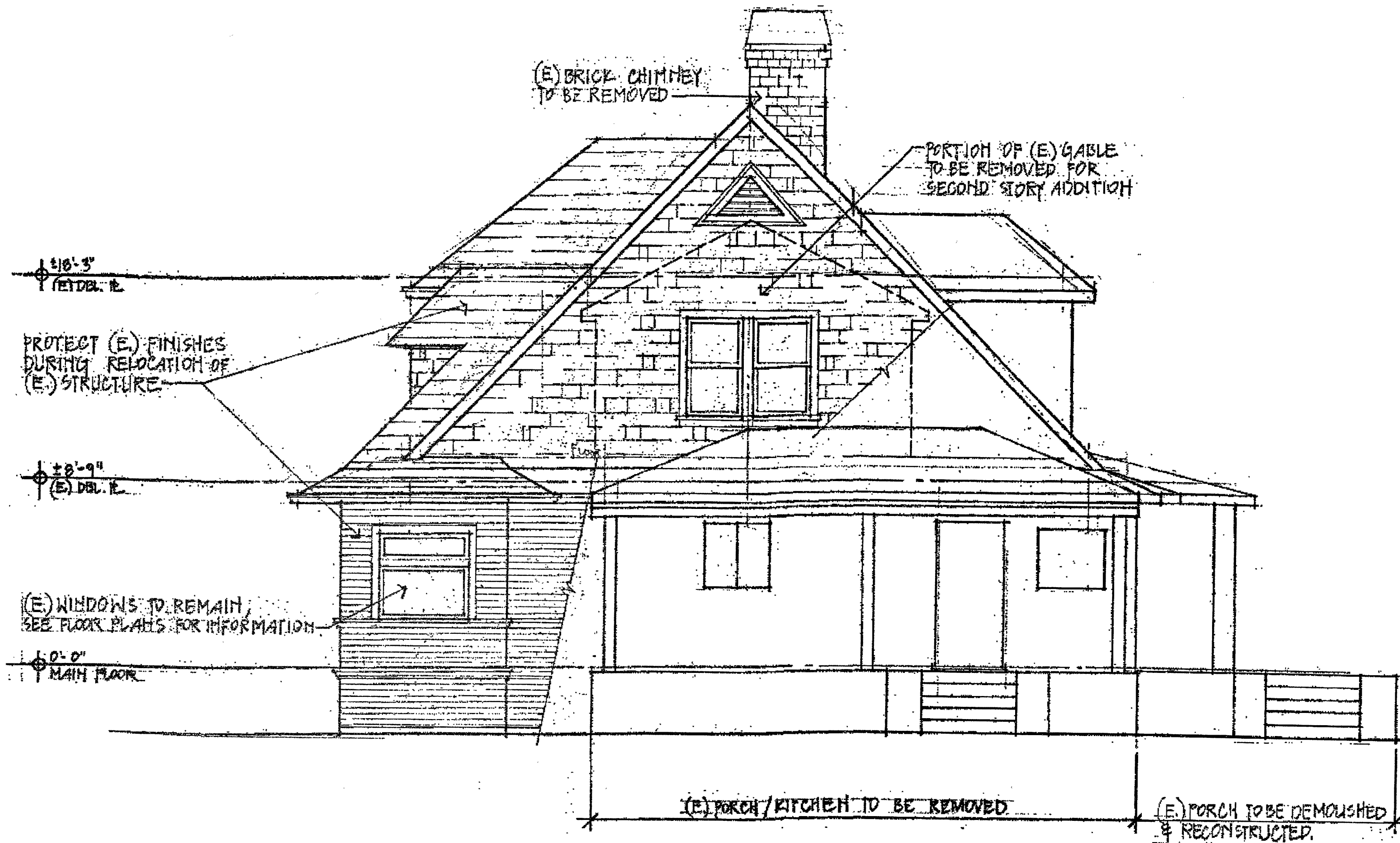
SHEET
 DATA
 PHASE
 JOB NO. 21216
 DRAWN BY:
 CHECKED BY:

CLIENT
 WALKER RESIDENCE
 980 COMINGTON ROAD, LOS ALTOS, CA 94024
 PHONE NO. (650) 965-0315

TWO STORY
 DESIGN REVIEW 3/17/2016

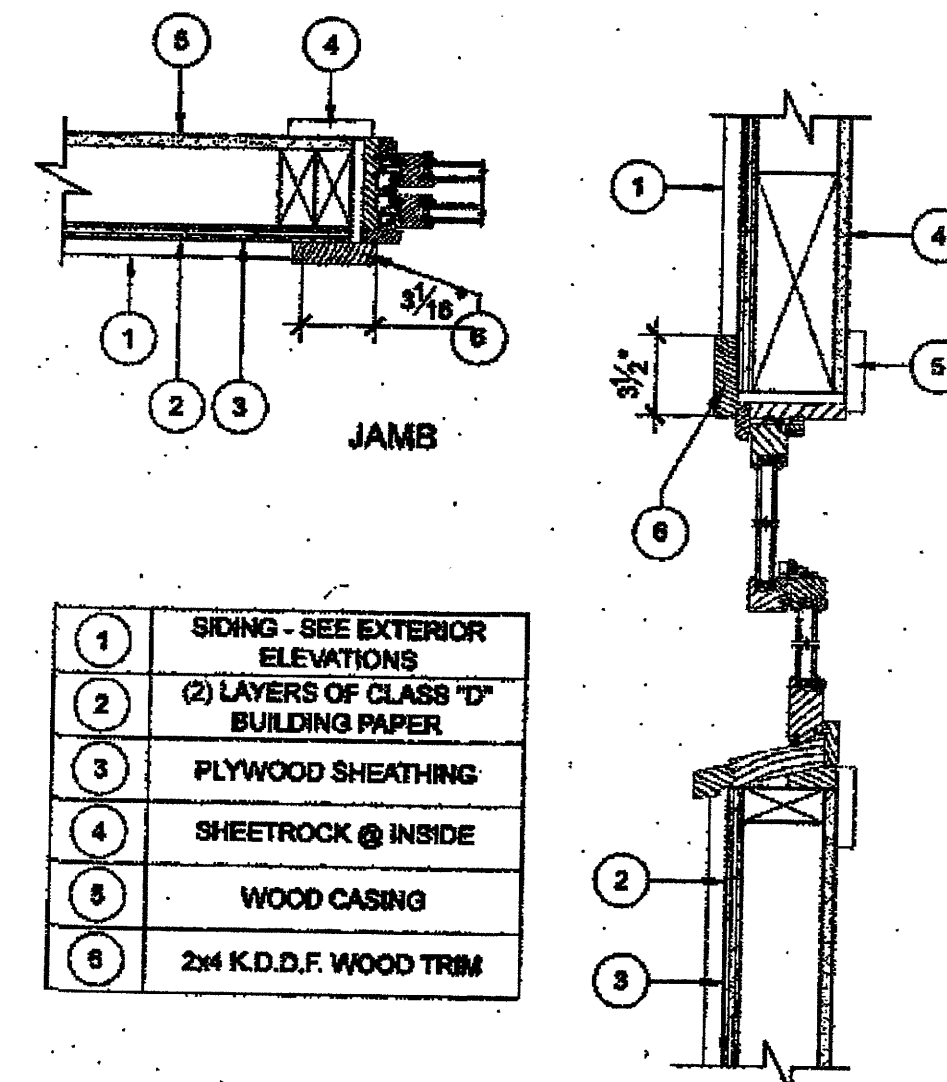
CHAPMAN
 DESIGN
 ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6890

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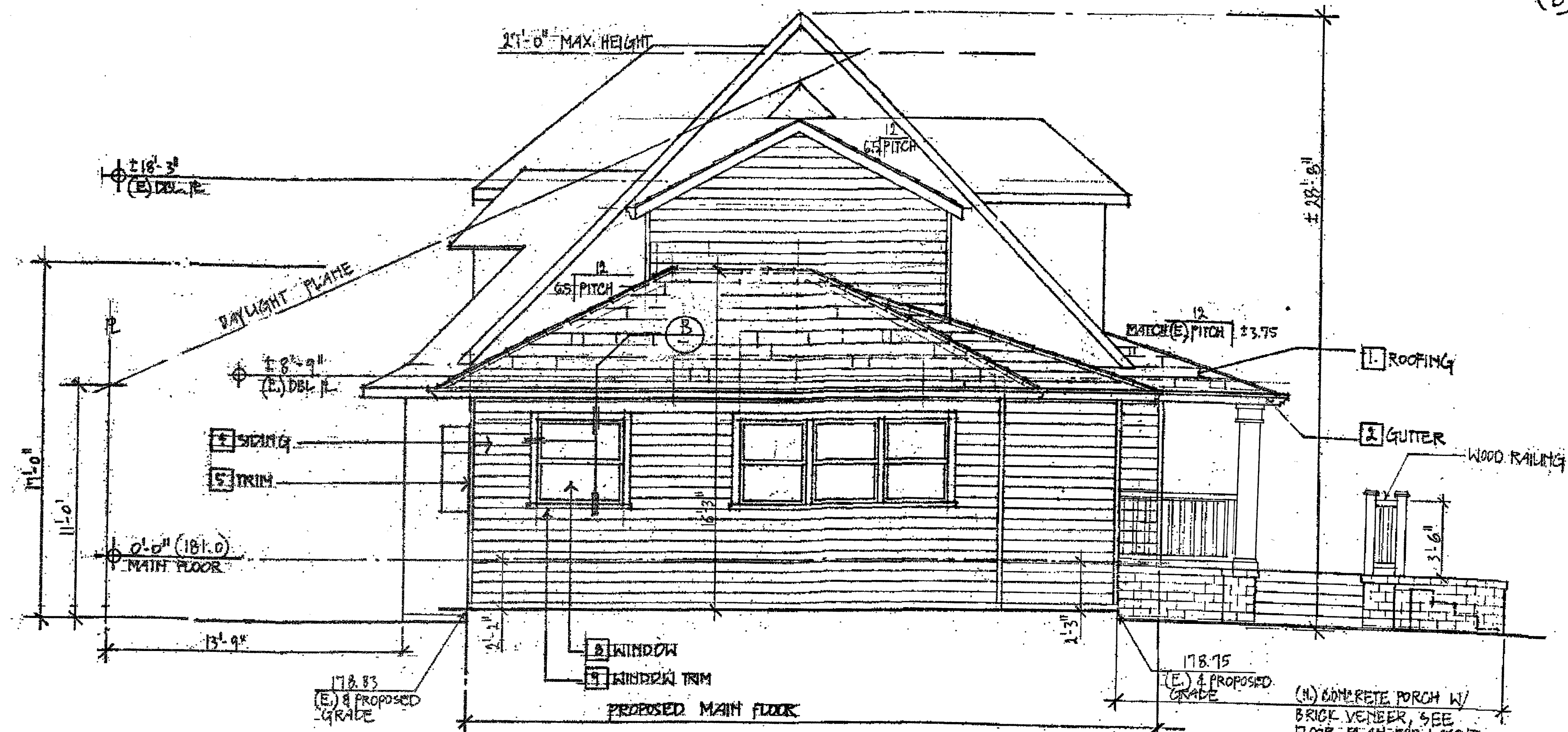
REAR ELEVATION (EXISTING)

1/4" = 1'-0"



NOTE: REFER TO WINDOW MANUFACTURER'S RECOMMENDATIONS & INSTALLATION GUIDELINES ON HOW TO PROPERLY INSTALL FLASH THEIR PRODUCTS

(B) WINDOW HEADER, SILL & JAMB DETAILS



REAR ELEVATION (PROPOSED)

1/4" = 1'-0"

GENERAL NOTES

- 1 STUCCO REQUIREMENTS: 1) 3-COAT & 5" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2010 AS PER SECTION R1003.18 CRC 2010. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY AS PER CH. 10 CRC 2010
- 2 FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2010. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY AS PER CH. 10 CRC 2010
- 3 CHIMNEY BRACING PROVIDE AS PER SEC. R1003.4.1 CRC 2010
- 4 SPARK ARRESTOR PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010
- 5 TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

EXTERIOR MATERIAL NOTES

- 1 ROOFING ~~MFG. SLATE~~
- 2 GUTTER ~~ZIP~~
- 3 DOWN SPOUTS RECTANGULAR
- 4 SIDING 3" TEAR DROP SIDING & SHINGLE SIDING AT EXISTING, 6" TEAR DROP SIDING AT PROPOSED ADDITION.
- 5 TRIM 2x2 CORNER TRIM
- 6 STUCCO N/A
- 7 VENEER BRICK VENEER
- 8 WINDOWS WOOD FRAME, STEEL GLAZED
- 9 WINDOW TRIM 2x4 @ HEAD & JAMB, 2x2 @ SILL
- 10 SKYLIGHTS N/A
- 11 CHIMNEY (E) BRICK CHIMNEY TO BE REMOVED

NOTE: PROTECT HISTORIC FEATURES OF BUILDING, REPAIR WHERE DETERIORATED.

LEGEND

- ◇ WINDOW, SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- ⊕ DOOR, SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS

REVISIONS

CITY PLAN CHECK

SHEET 7 OF SHEETS SIZE: 24 X 36

DATE 2-5-15

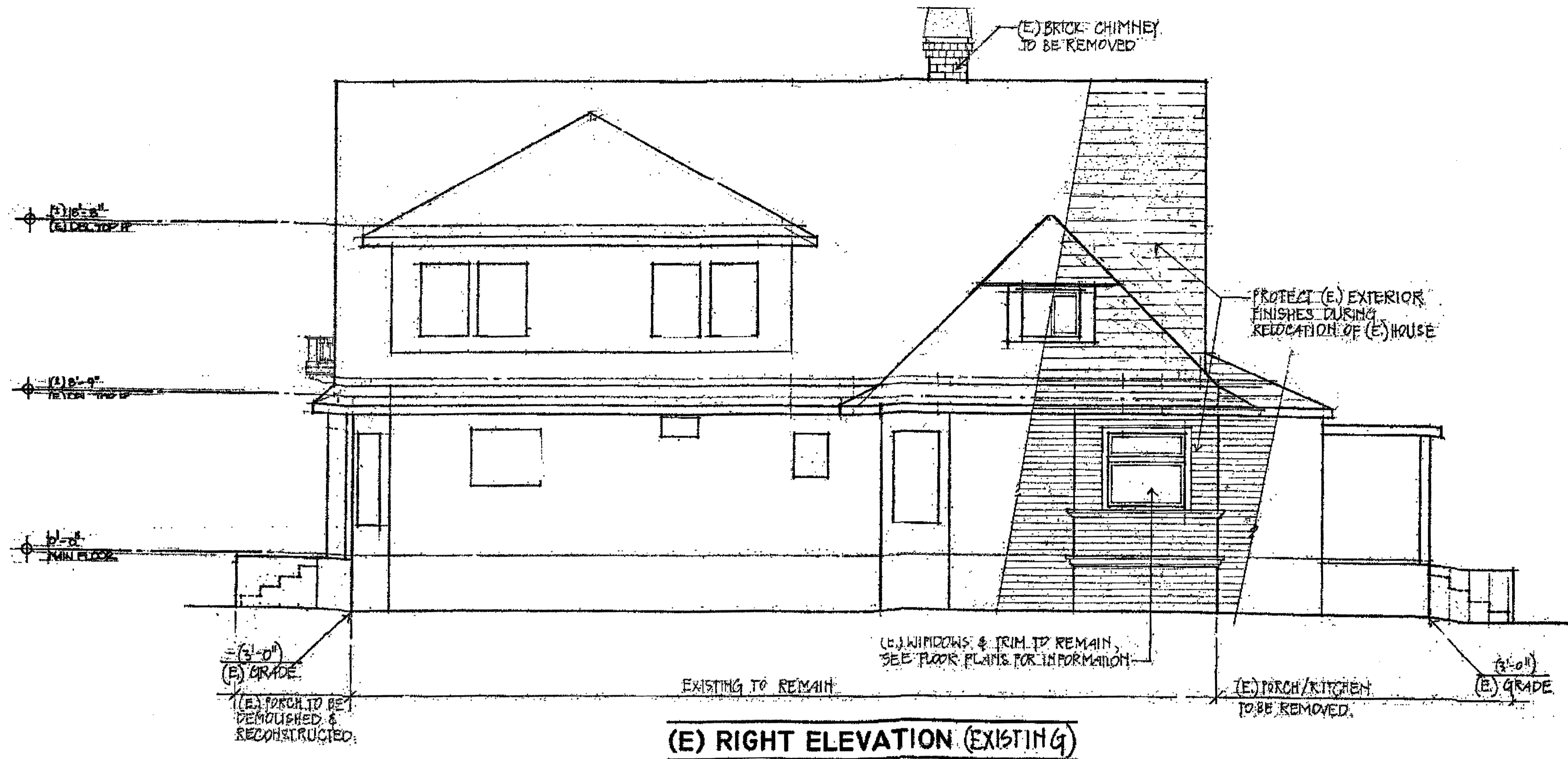
PHASE DATA JOB NO.

CLIENT: WALKER RESIDENCE
980 CONVENT ROAD, LOS ALTOS, CA 94024
PHONE NO. (650) 965-0515

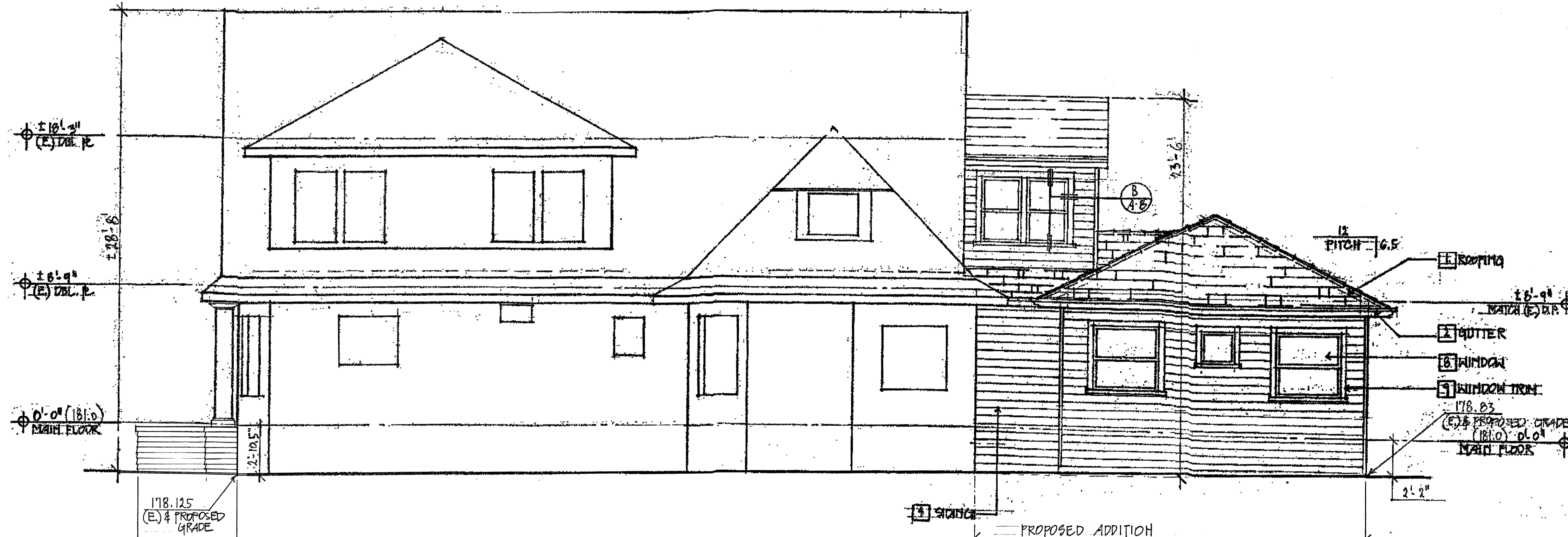
TWO STORY DESIGN REVIEW 3/17/2016

CHAPMAN DESIGN ASSOCIATES
820 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6880

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(E) RIGHT ELEVATION (EXISTING)



RIGHT ELEVATION (PROPOSED)

1/4" = 1'-0"

GENERAL NOTES

- 1 STUCCO REQUIREMENTS: 1) 3-COAT & 7" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 28 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2010)
- 2 FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2010, 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- 3 CHIMNEY BRACING AS PER CH. 10 CRC 2010
- 4 SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2010
- 5 TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

EXTERIOR MATERIAL NOTES

- 1 ROOFING: 1/2" ASPHALT/FLUTE
- 2 GUTTER: 2" KYLE
- 3 DOWN SPOUTS: REPAIR/REGULAR
- 4 SIDING: 3" TEAR DROP SIDING & SHINGLE SIDING AT EXISTING. 6" TEAR DROP SIDING AT PROPOSED ADDITION.
- 5 TRIM: 1 1/2" SQUARE TRIM
- 6 STUCCO: 1/2"
- 7 VENEER: BRICK VENEER
- 8 WINDOWS: ADD FRAME, SILL, GLAZED.
- 9 WINDOW TRIM: 2 1/2" @ HEAD & JAMB, 2 1/2" @ SILL
- 10 SKYLIGHTS: N/A
- 11 CHIMNEY: (E) BRICK CHIMNEY TO BE REMOVED.

NOTE: PROTECT HISTORIC FEATURES OF BLDG, REPAIR WHERE DETERIORATED

LEGEND

- ◇ WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- ◊ DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS

REVISIONS

CITY PLAN CHECK

SHEET **A** OF SHEETS 24 X 36

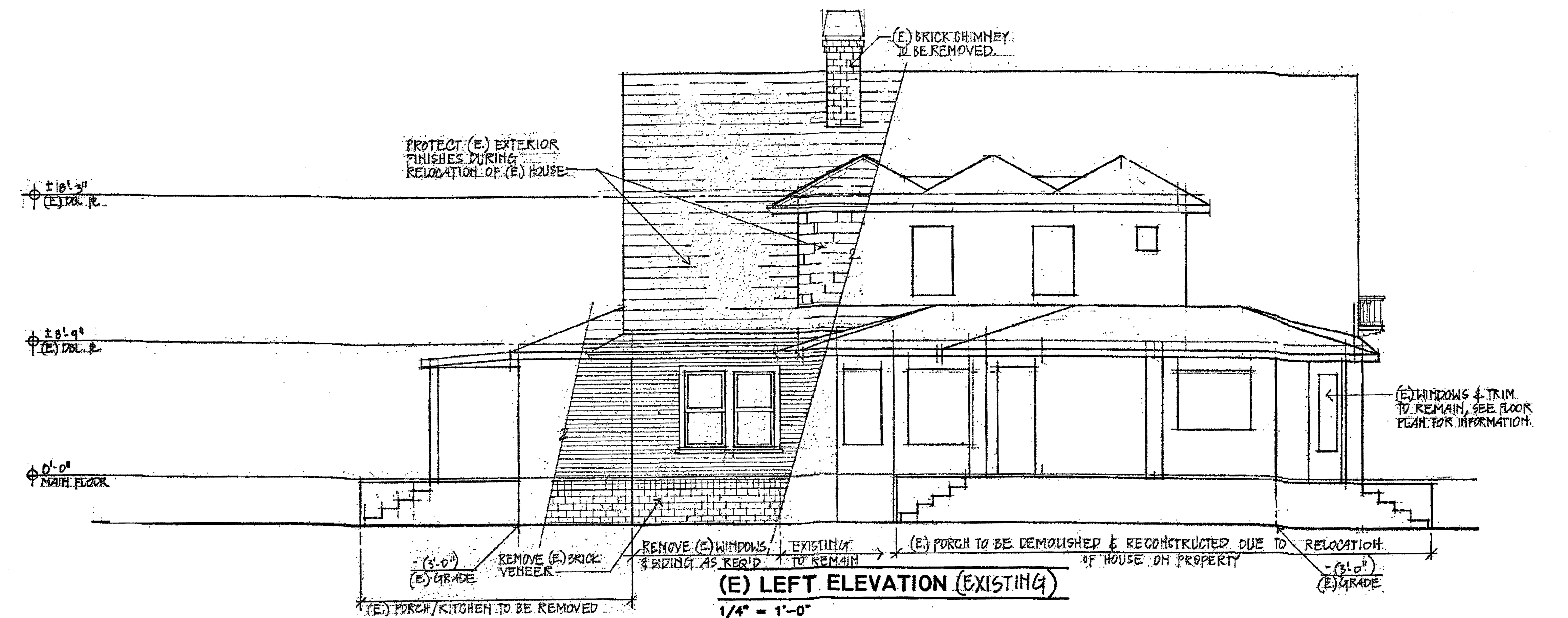
DATA PHASE JOB NO. 21216 DRAWN BY: CHECKED BY:

CLIENT **WALKER RESIDENCE**
880 COMINGTON ROAD, LOS ALTOS, CA 94024
PHONE NO. (850) 985-0315

TWO STORY DESIGN REVIEW 3/17/2016

CHAPMAN DESIGN ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (850) 941-688X

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(E) LEFT ELEVATION (EXISTING)



LEFT ELEVATION (PROPOSED)

GENERAL NOTES

- 1 STUCCO REQUIREMENTS: 1) 3-COAT & 7" MIN. THICK 2) HAS 2 LAYERS OF GRADE 0 BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2010)
- 2 FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2010. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- 3 CHIMNEY BRACING AS PER CH. 10 CRC 2010
- 4 SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2010
- 5 TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

EXTERIOR MATERIAL NOTES

- 1 ROOFING MEQ. SLATE, MATCH EXISTING
- 2 GUTTER GUTTER, MATCH EXISTING
- 3 DOWN SPOUTS RECTANGULAR, MATCH EXISTING
- 4 SIDING 3" TEAR DROP SIDING & SHINGLE SIDING AT EXISTING. 6" TEAR DROP SIDING AT PROPOSED ADDITION.
- 5 TRIM 2x2 D.E. CORNER TRIM
- 6 STUCCO N/A
- 7 VENEER BRICK VENEER TO BE REMOVED
- 8 WINDOWS WOOD SHUTTLING & AWNING, DUAL QUARZED
- 9 WINDOW TRIM 1X4 D.E. & HEAD & JAMB, 1X3 D.E. SILL
- 10 SKYLIGHTS N/A
- 11 CHIMNEY (E) BRICK CHIMNEY TO BE REMOVED

NOTE: PROTECT HISTORIC FEATURES OF BLD'G, REPAIR WHERE DETERIORATED.

LEGEND

- ◆ WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- Ⓧ DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS

REVISIONS

CITY PLAN CHECK

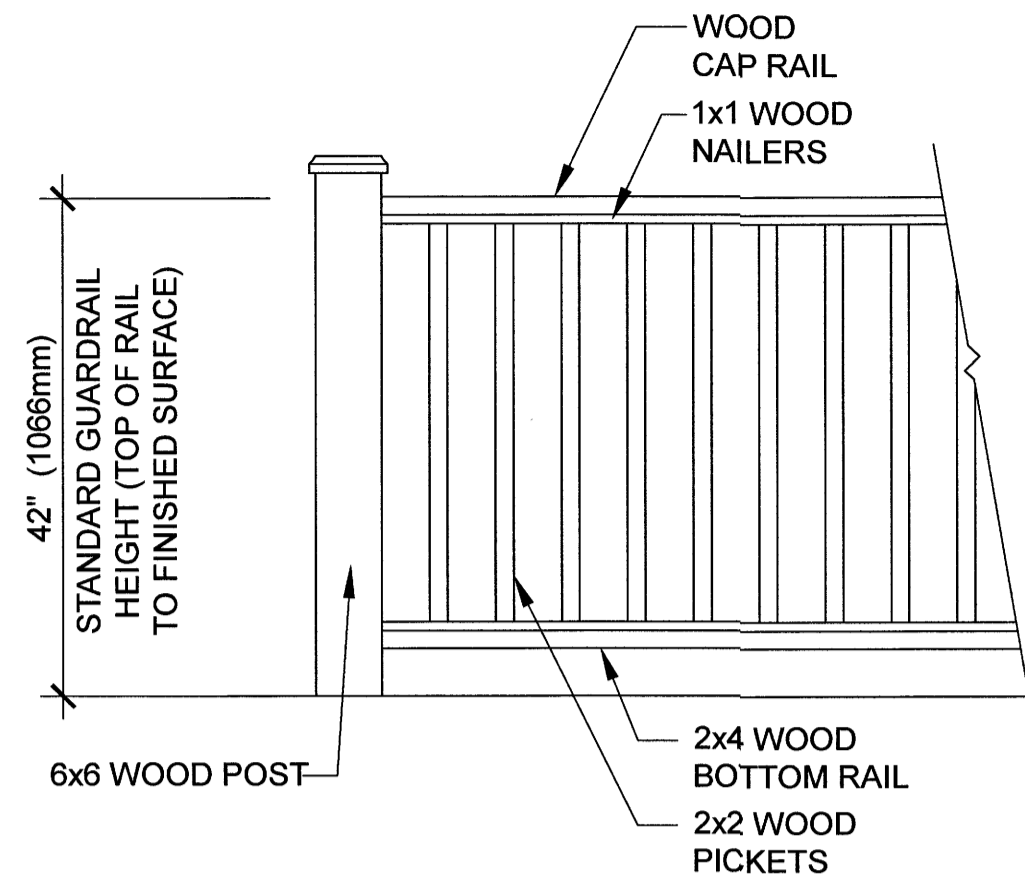
SHEET DATA
 PHASE DATA JOB NO. 21216
 CLIENT: WALKER RESIDENCE
 980 COWINGTON ROAD, LOS ALTOS, CA 94024
 PHONE NO. (650) 985-0315

TWO STORY DESIGN REVIEW 3/17/2016

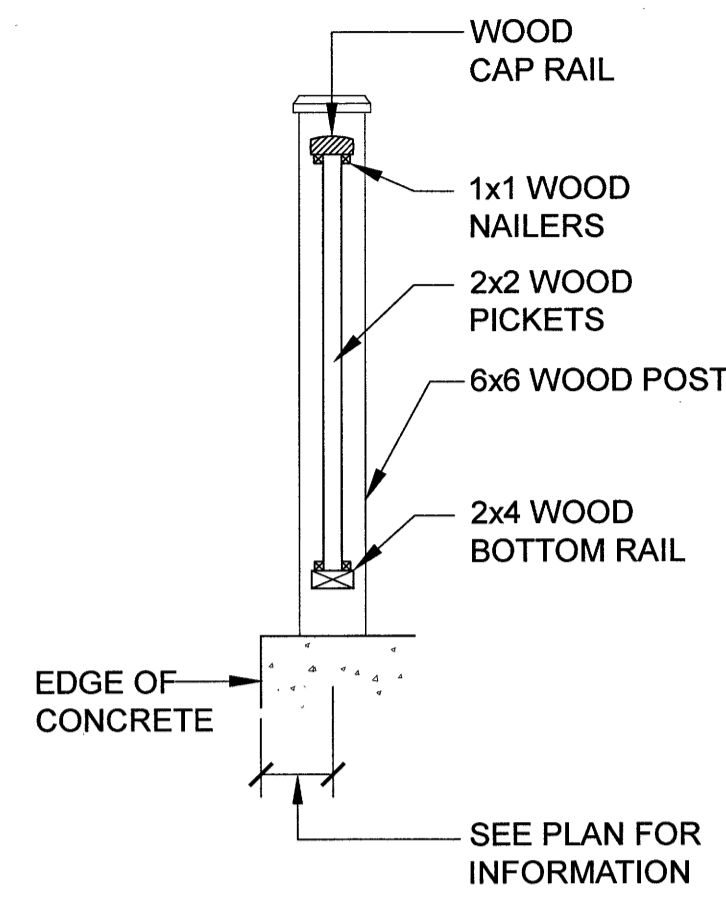
CHAPMAN DESIGN ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6890

NOTE

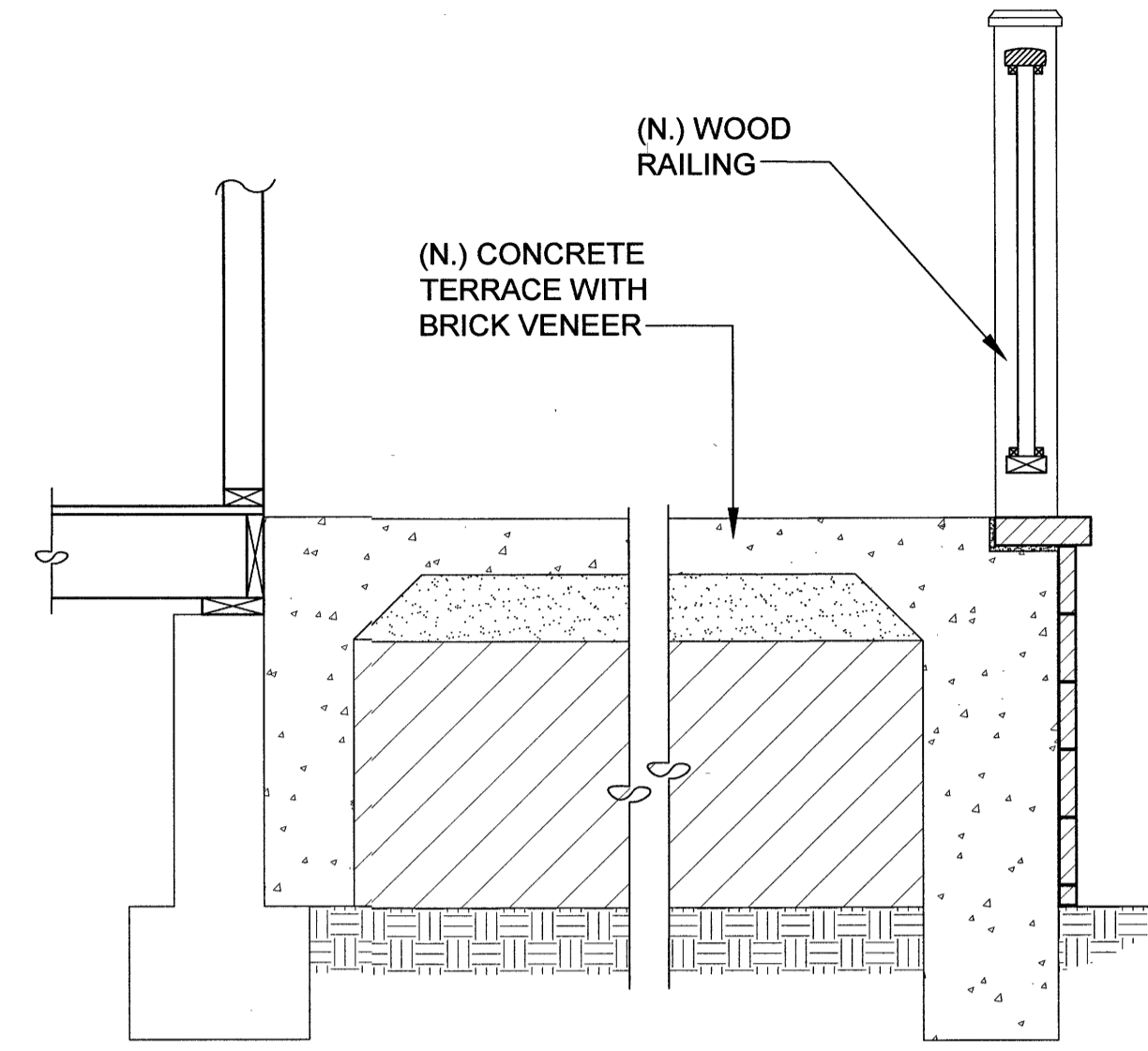
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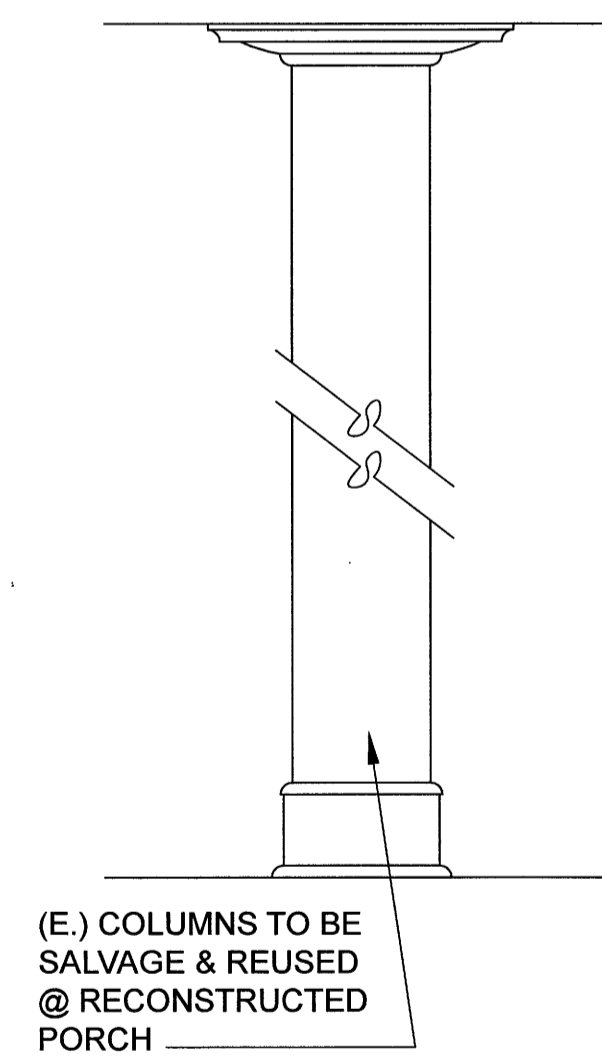
RAILING DETAIL



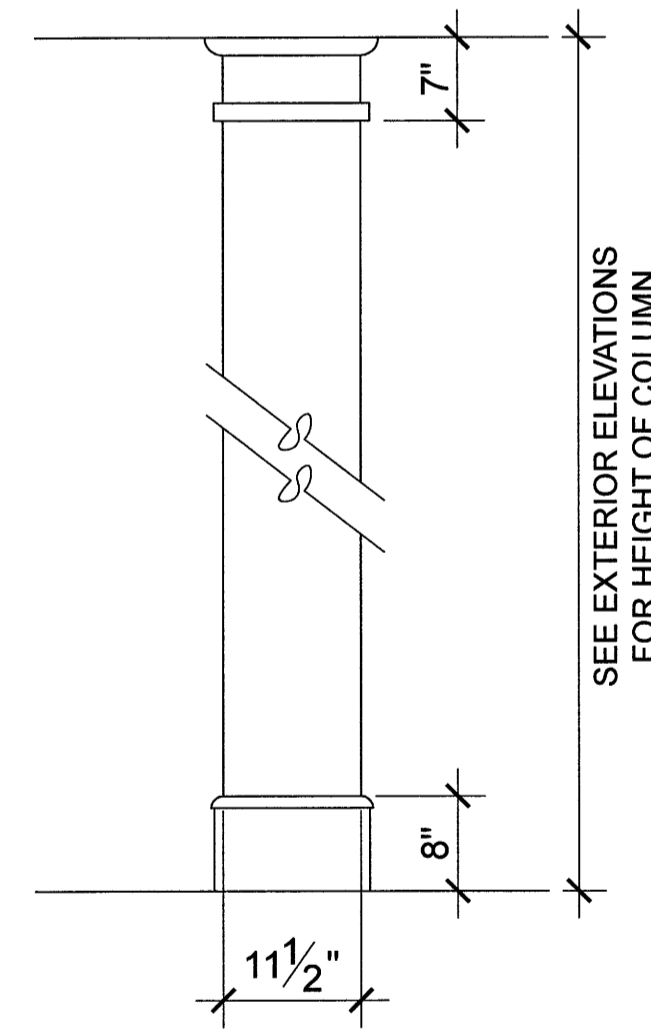
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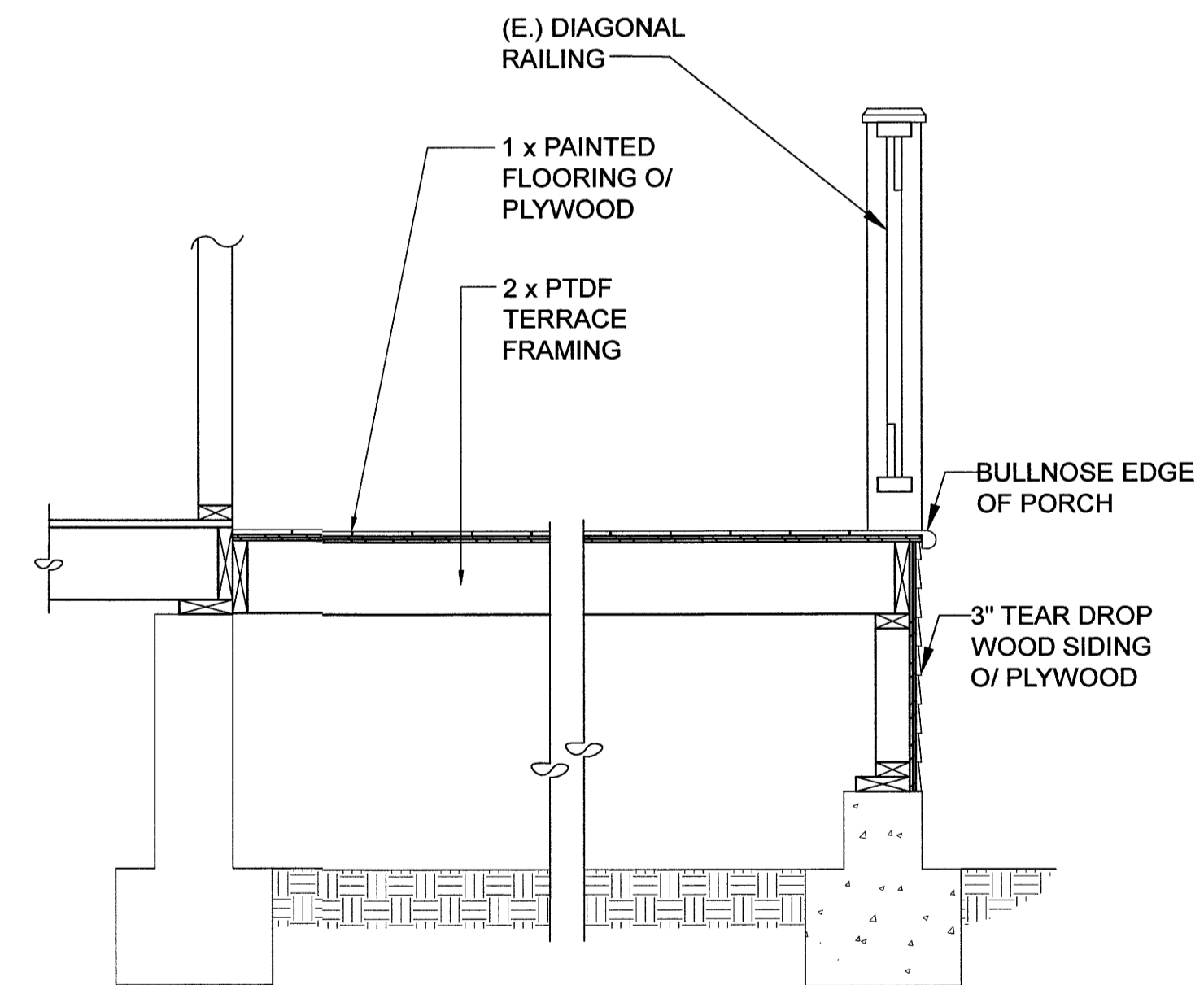
(N.) CONCRETE PORCH DETAIL



(E.) PORCH COLUMN



(N.) PORCH COLUMN



RECONSTRUCTED "HISTORICAL" PORCH DETAIL

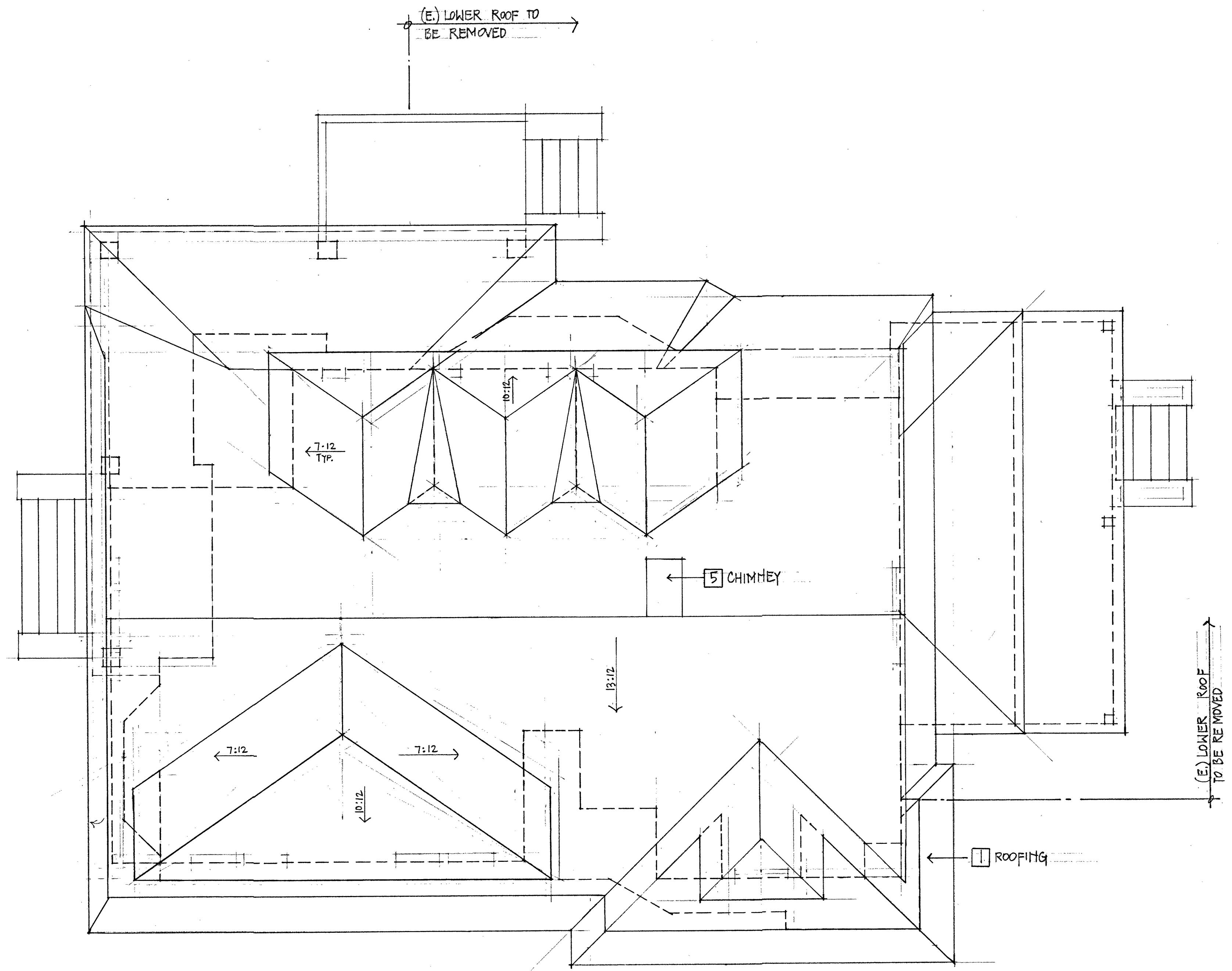
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CLIENT (JOB NO. 21216)
 WALKER RESIDENCE
 980 COVINGTON RD., LOS ALTOS, CA 94024
 PHONE NO. (650) 965-0315

CHAPMAN
 DESIGN
 ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6890

SHEET

A-9A



ROOF PLAN (EXISTING)
 1/4" = 1'-0"

GENERAL NOTES - ROOF

- I ROOF JACKS WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II VALLEY FLASHING 24 GA. G.I. "L" FLASHING @ ALL VALLEYS
- III CRICKET FLASHING 24 GA. G.I. OVER 1/8" D.F. CDX PLYWOOD (OR BETTER) - 1/4" MIN. SLOPE
- IV ATTIC VENTILATION PROVIDE ATTIC VENTILATION AS OUTLINED IN SEC. R806.2, 2010 CRC

ROOF PLAN NOTES

- 1 ROOFING - MFG. SLATE
- 2 GUTTERS - OGEE
- 3 DOWN SPOUTS - RECTANGULAR
- 4 SKYLIGHTS - 11/4"
- 5 CHIMNEY - (E) BRICK CHIMNEY TO BE REMOVED

REVISIONS

CITY PLAN CHECK

NOTE

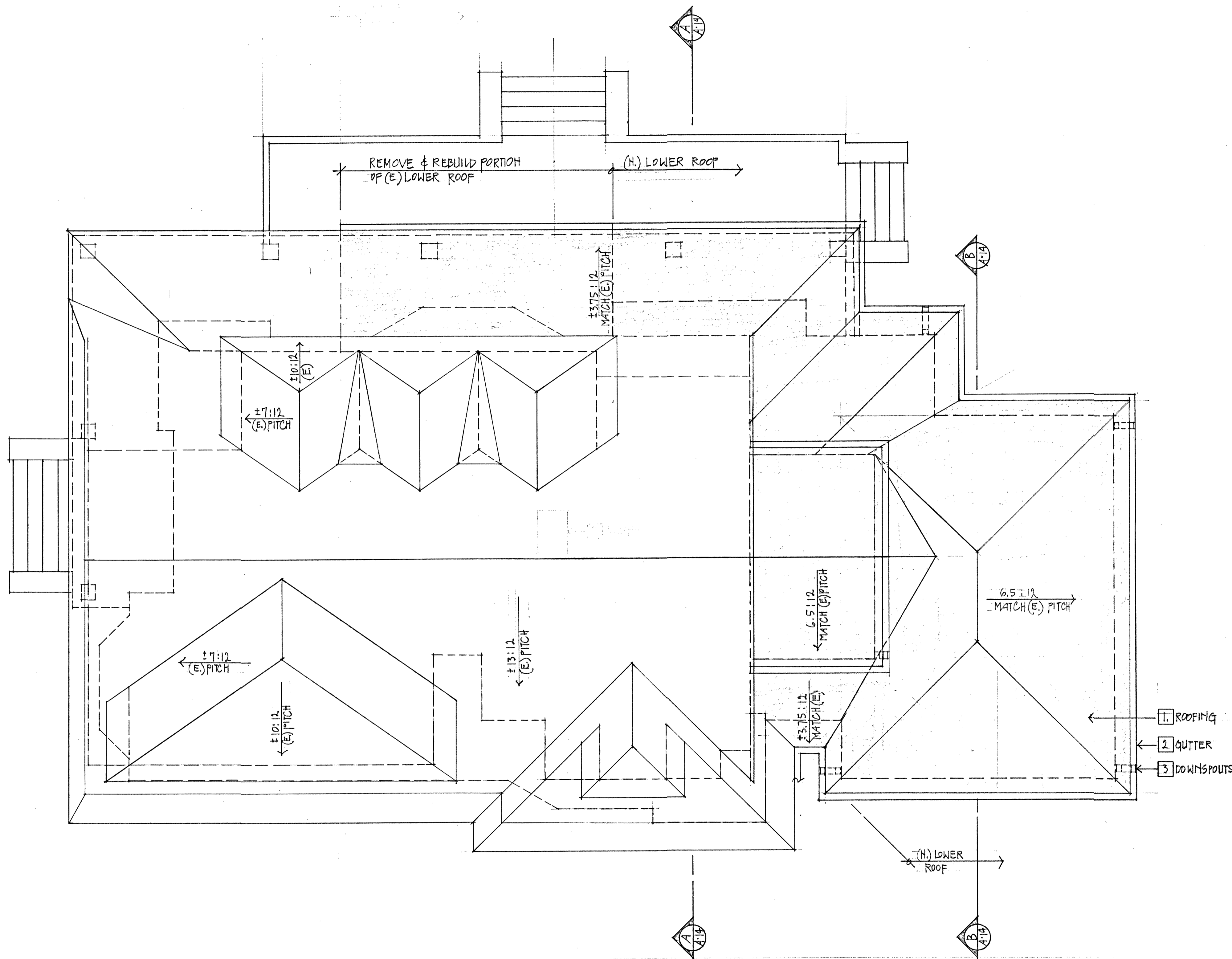
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 LOS ALTOS, CA 94022 (650) 941-6890

TWO STORY
 DESIGN REVIEW 3/17/2016

CLIENT
 WALKER RESIDENCE
 980 COVINGTON ROAD, LOS ALTOS, CA 94024
 PHONE NO. (650) 965-0315

DATA SHEET
 PHASE 0 0 0 0
 JOB NO. 21216
 DRAWN BY: A.J.
 CHECKED BY: A.J.
 SHEET OF SIZE: 24



ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES - ROOF

- I ROOF JACKS WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II VALLEY FLASHING 24 GA. G.I. "L" FLASHING @ ALL VALLEYS
- III CRICKET FLASHING 24 GA. G.I. OVER 1/8" D.F. CDX PLYWOOD (OR BETTER) - 1/4" MIN. SLOPE
- IV ATTIC VENTILATION PROVIDE ATTIC VENTILATION AS OUTLINED IN SEC. R806.2, 2010 CRC

ROOF PLAN NOTES

- 1 ROOFING - MFG. SLATE, MATCH (E.)
- 2 GUTTERS - DAGE, MATCH (E.)
- 3 DOWN SPOUTS - RECTANGULAR, MATCH (E.)
- 4 SKYLIGHTS - N/A
- 5 CHIMNEY - N/A

CLIENT

WALKER RESIDENCE
980 COVINGTON ROAD, LOS ALTOS, CA 94024
PHONE NO. (650) 965-0315

TWO STORY DESIGN REVIEW 3/17/2016

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REVISIONS

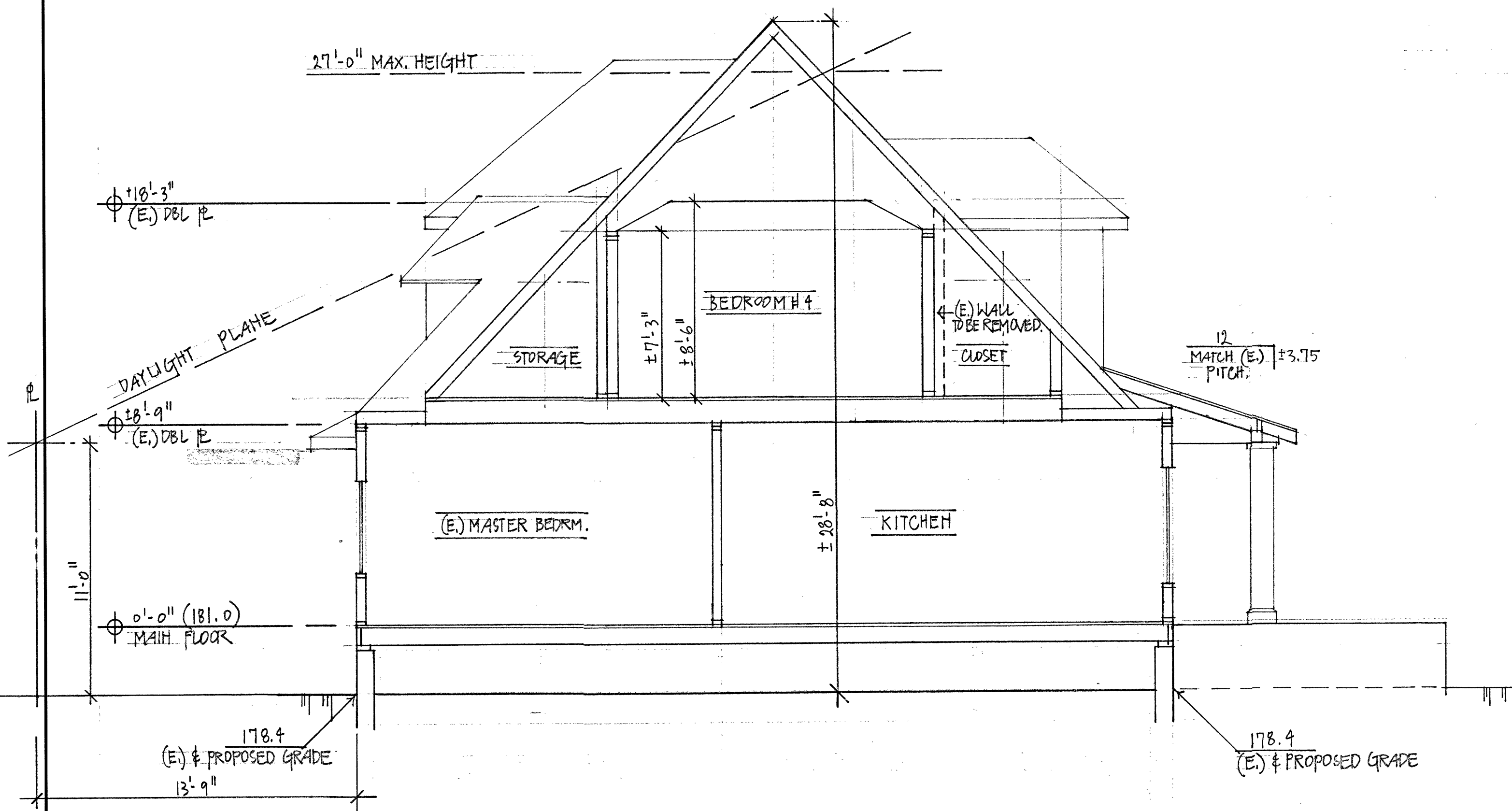
- - CITY PLAN CHECK

DATA SHEET

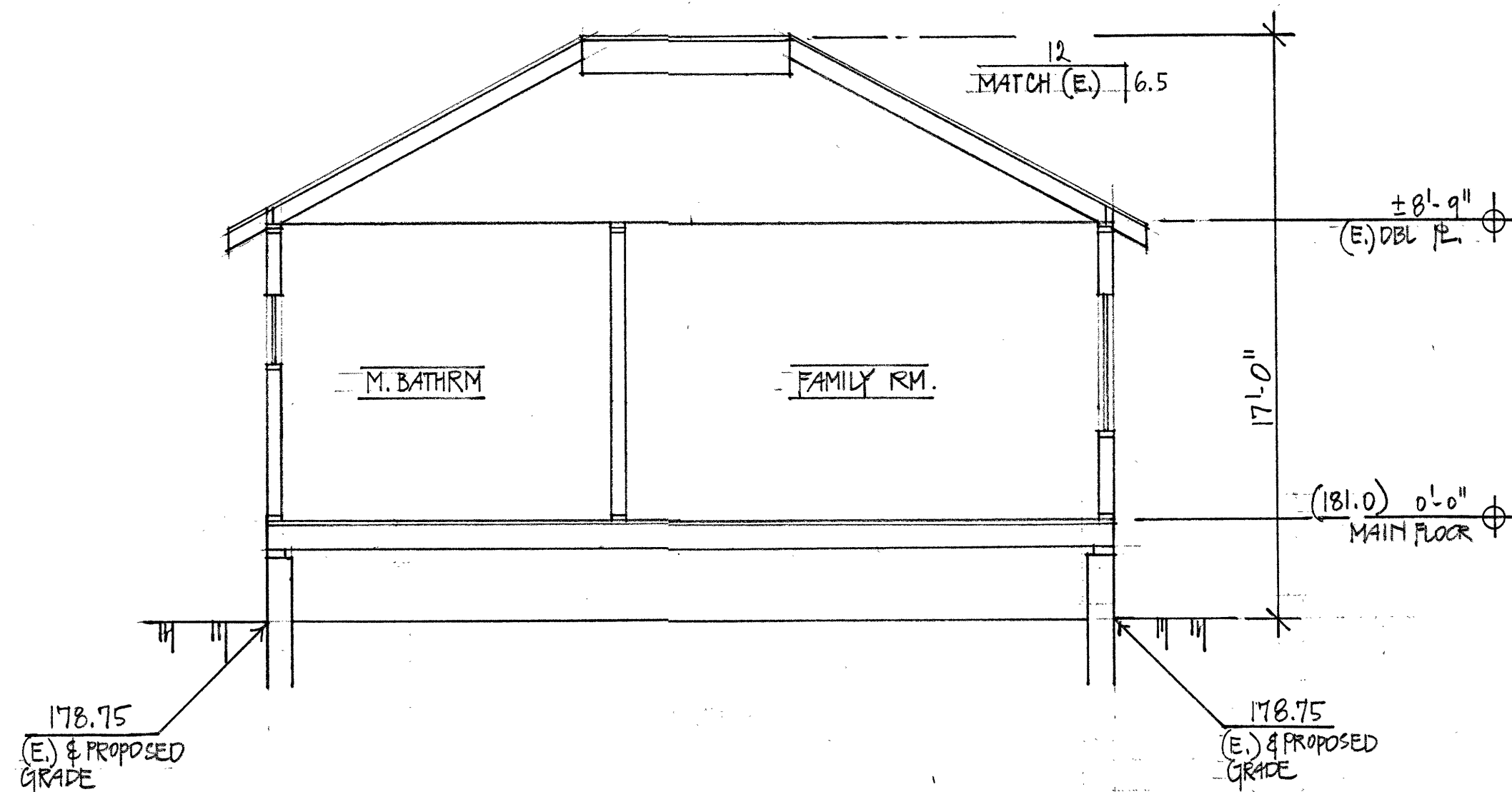
PHASE
JOB NO. 2126
DRAWN BY:
CHECKED BY:

OF SHEETS 24 X 36
SIZE: 24 X 36

CHAPMAN DESIGN ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890



SECTION "A-A"
1/4" = 1'-0"



SECTION "B-B"
1/4" = 1'-0"

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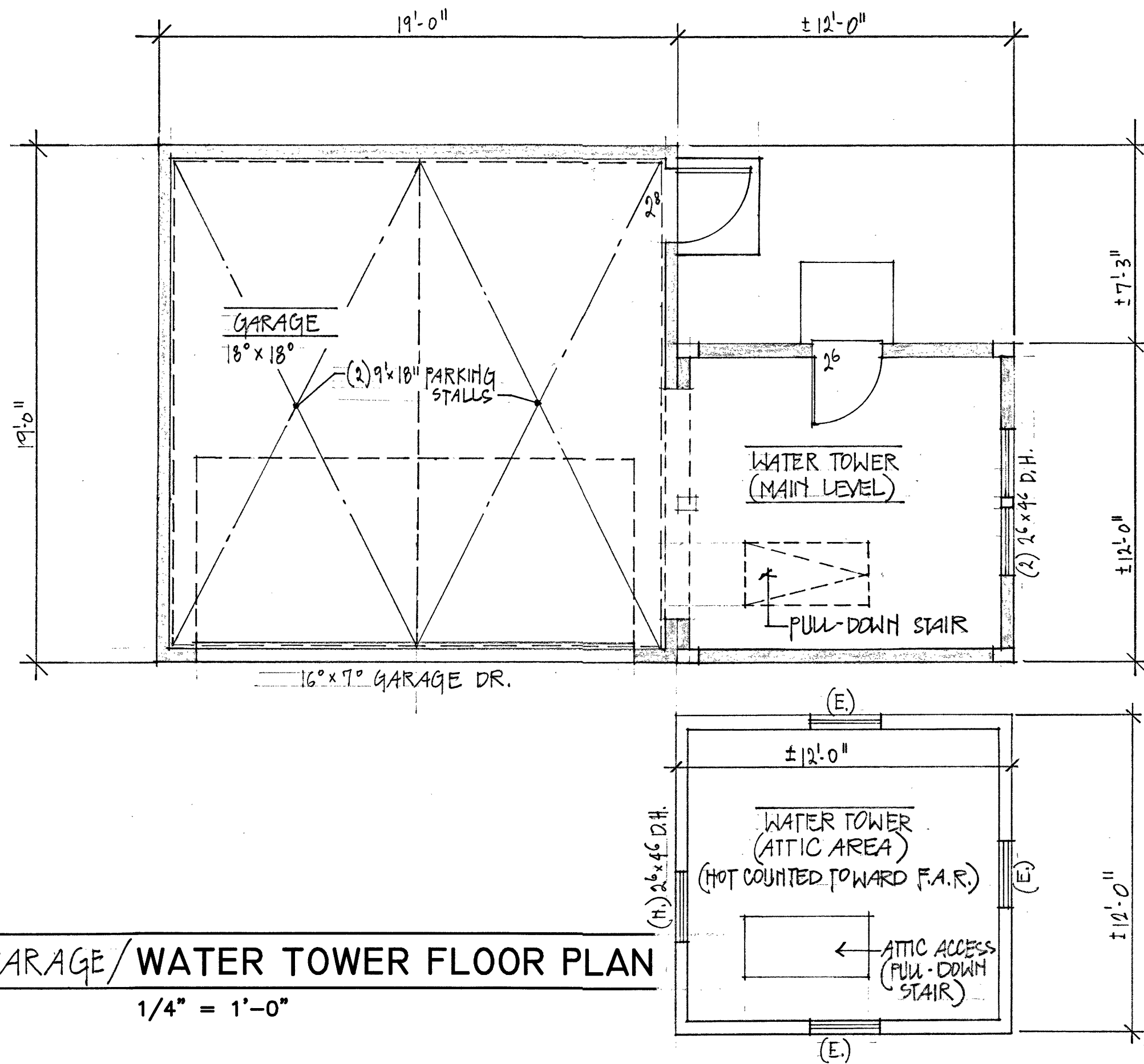
**CHAPMAN
DESIGN
ASSOCIATES**
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

TWO STORY
DESIGN REVIEW 3/17/2016

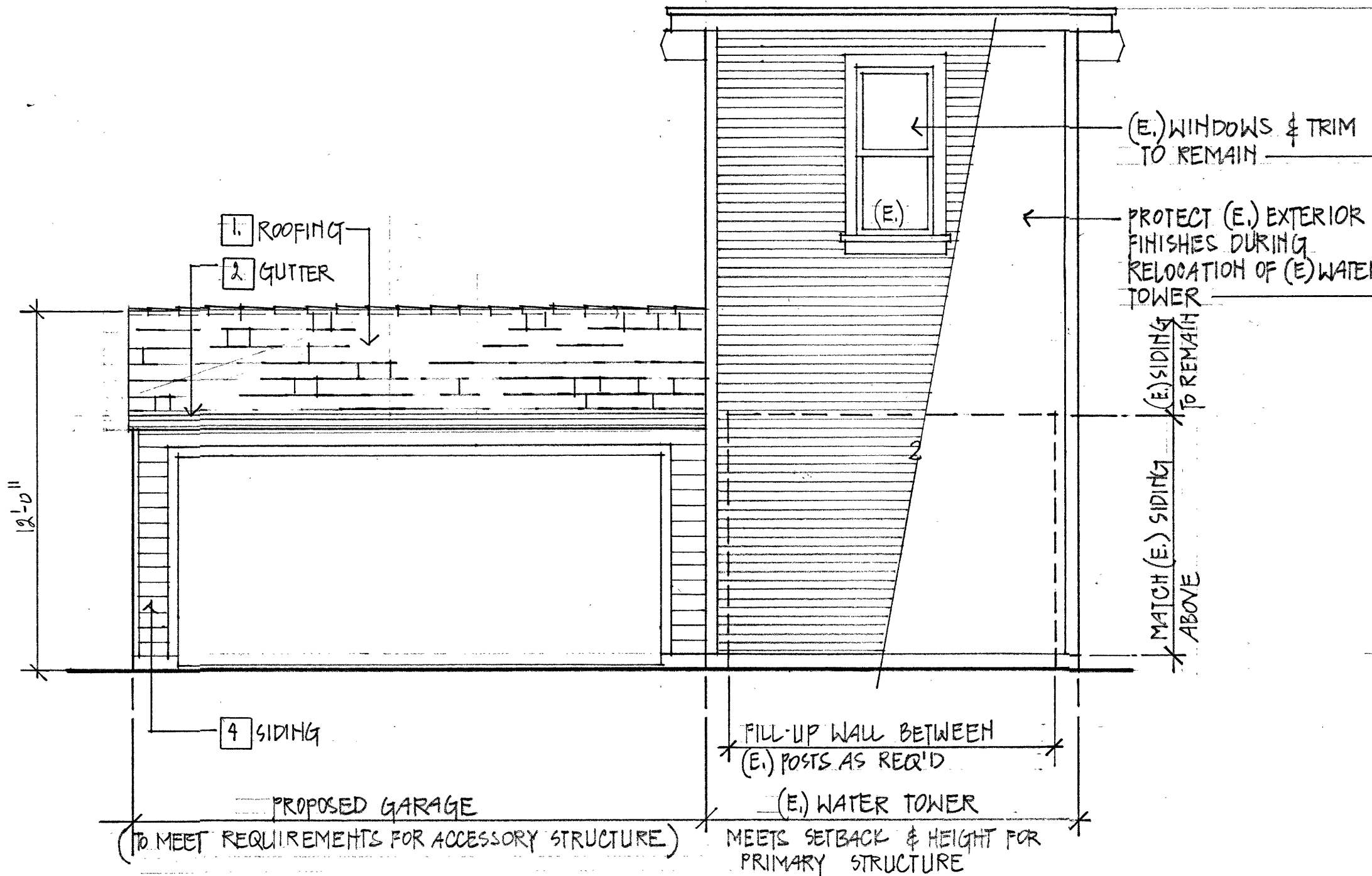
CLIENT
WALKER RESIDENCE
980 COVINGTON RD., LOS ALTOS, CA 94024
PHONE NO. (650) 965-0315

DATA
PHASE
JOB NO. 21216
DRAWN BY:
CHECKED BY:

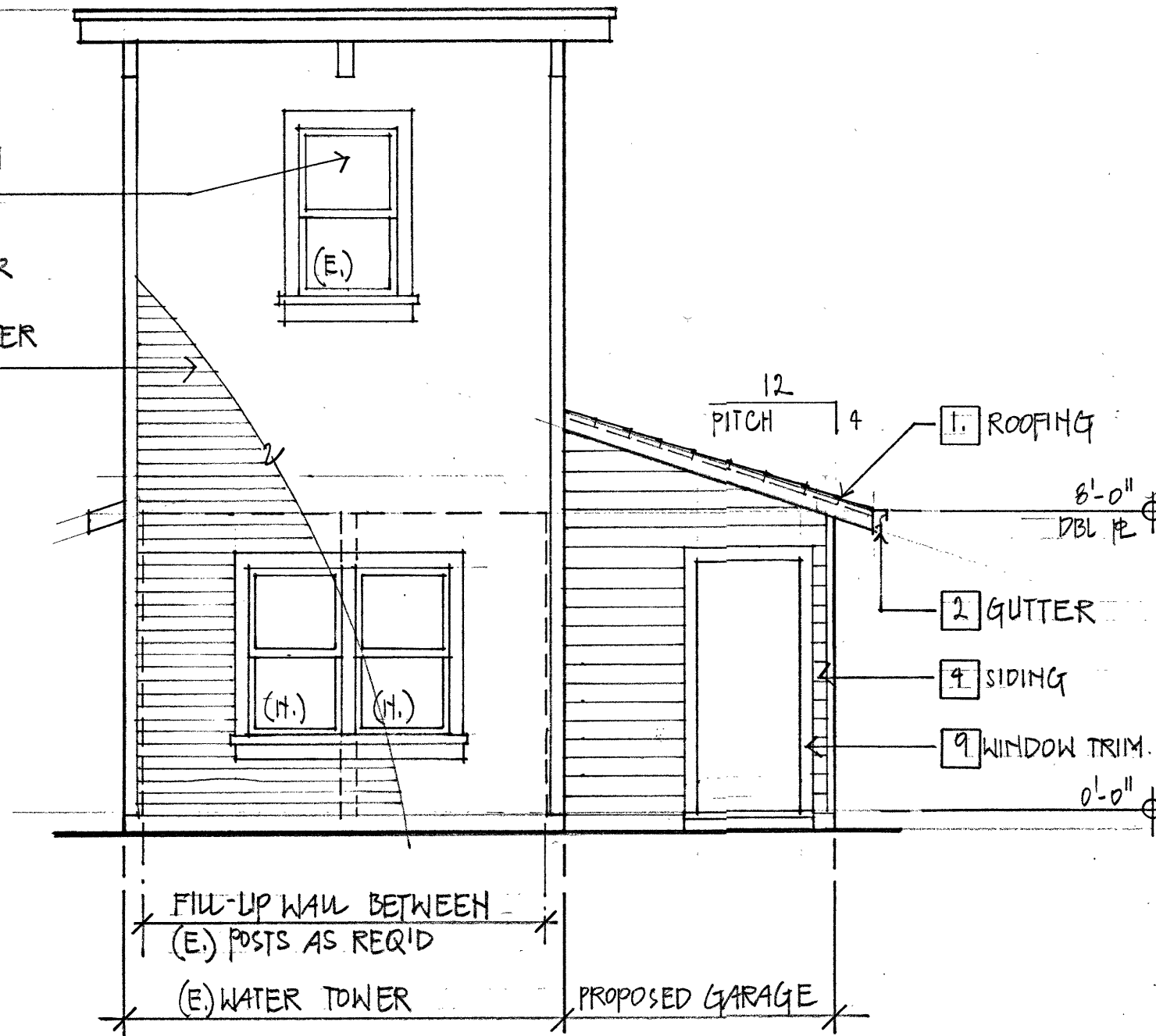
SHEET
A.12
OF SHEETS
SIZE: 24" X 36"



GARAGE/WATER TOWER FLOOR PLAN
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

GENERAL NOTES

- I STUCCO** REQUIREMENTS: 1) 3-COAT & 7/8" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2010)
- II FLUE CLEARANCE** AS PER SECTION R1003.18 CRC 2010. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- III CHIMNEY BRACING** AS PER CH. 10 CRC 2010
- IV SPARK ARRESTOR** PROVIDE AS PER SEC. R1003.4.1 CRC 2010
- V TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

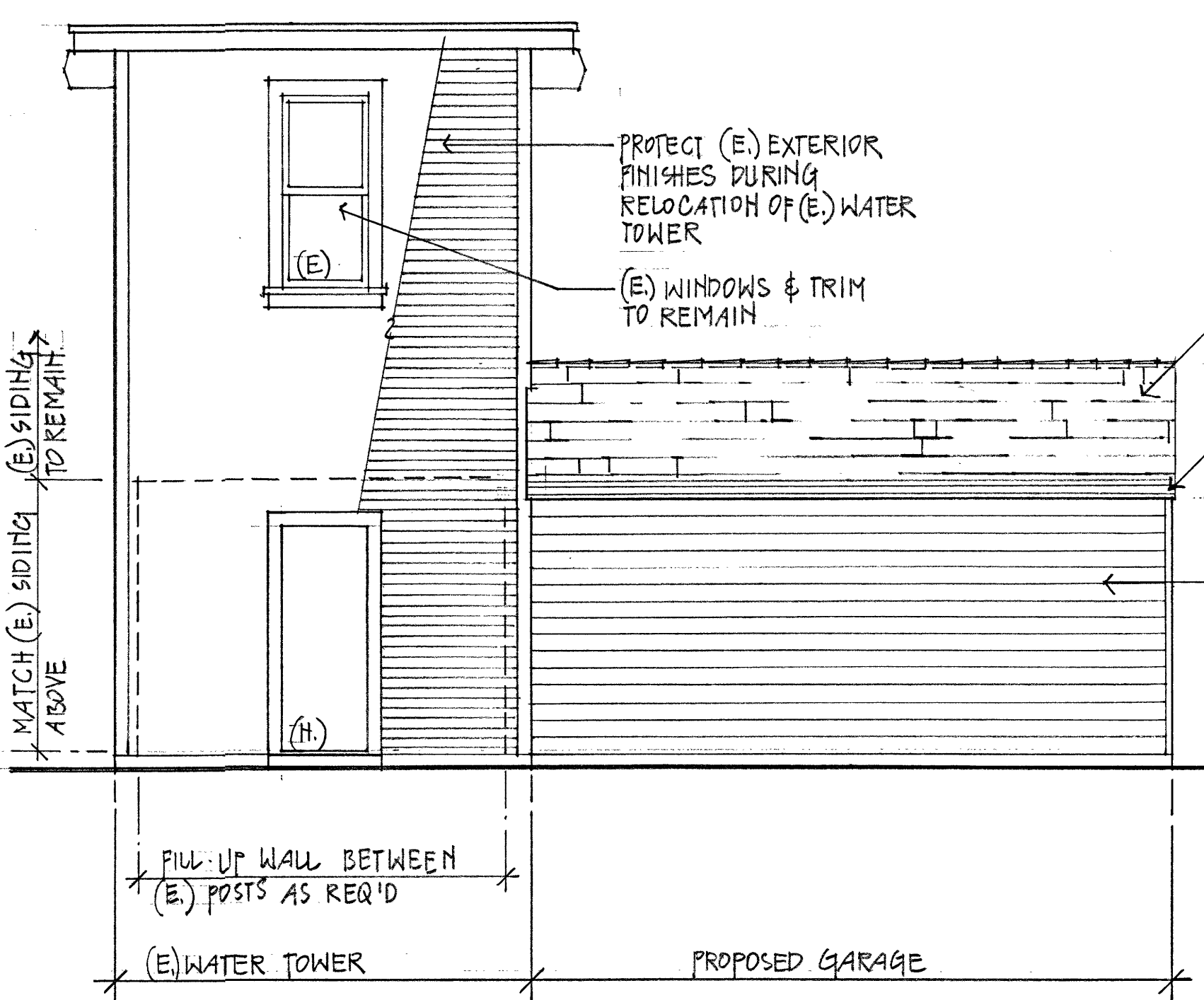
EXTERIOR MATERIAL NOTES

- 1 ROOFING** MFG. SLATE, MATCH (E)
- 2 GUTTER** DGEET, MATCH (E)
- 3 DOWN SPOUTS** RECTANGULAR, MATCH (E)
- 4 SIDING** 6" TEAR DROP WOOD SIDING AT PROPOSED GARAGE
3" TEAR DROP WOOD SIDING AT (E) WATER TOWER.
- 5 TRIM** 2x2 D.F. CORNER TRIM.

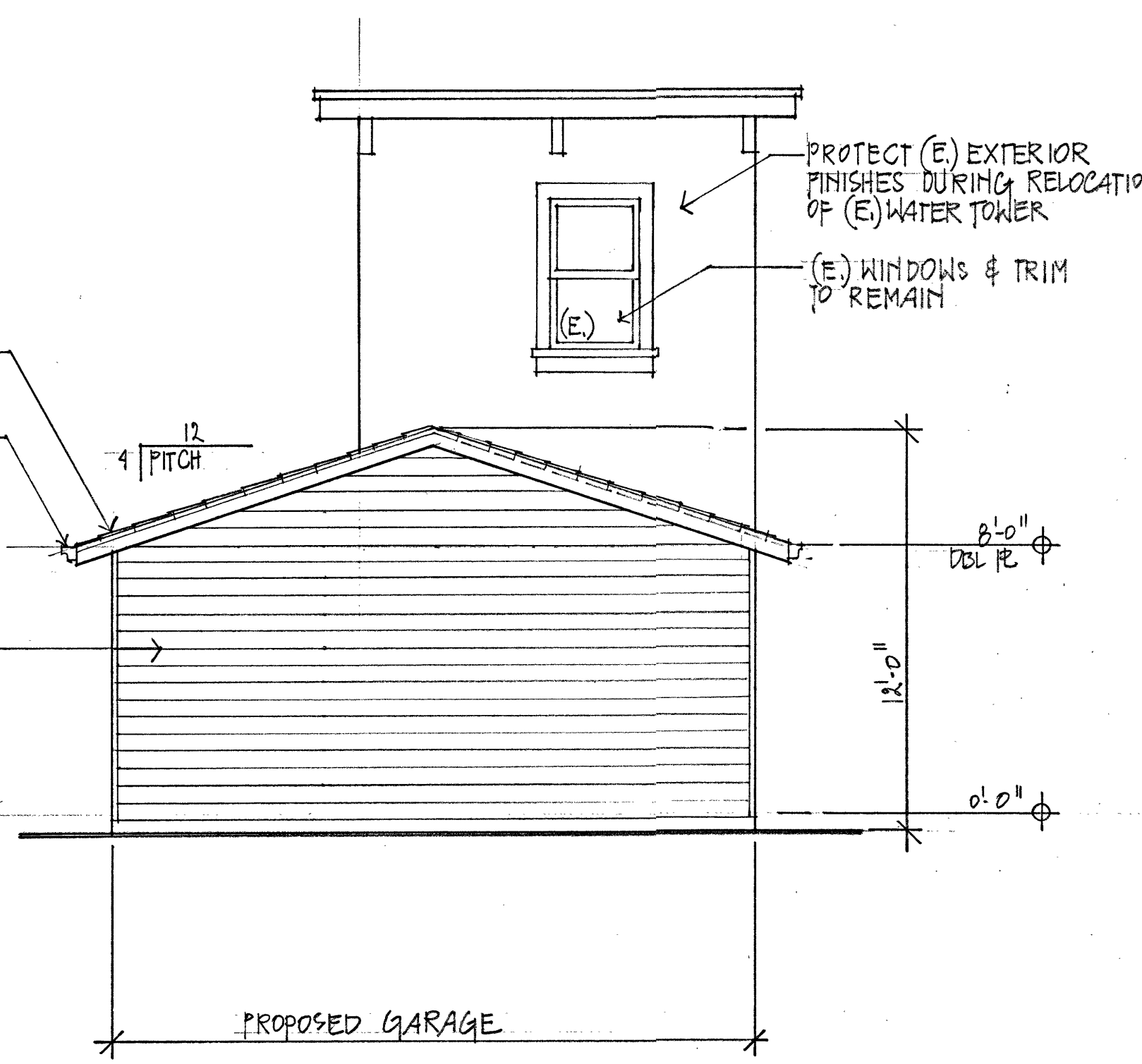
LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E)** EXISTING
- (N)** NEW
- RELOCATED

- 6 STUCCO** N/A
- 7 VENEER** N/A
- 8 WINDOWS** (E) TO REMAIN
- 9 WINDOW TRIM** 2x4 D.F. @ HEAD & JAMB
- 10 SKYLIGHTS** N/A
- 11 CHIMNEY** N/A



REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

REVISIONS

CITY PLAN CHECK

NOTE
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