

# POON-TRAN RESIDENCE

## NEW SINGLE FAMILY RESIDENCE

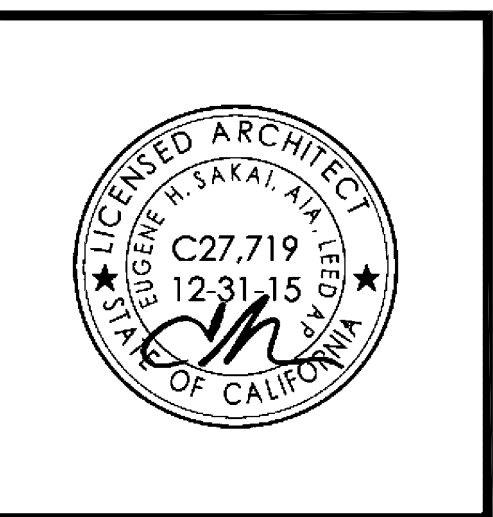


### 1331 HOLLY AVENUE, LOS ALTOS, CA



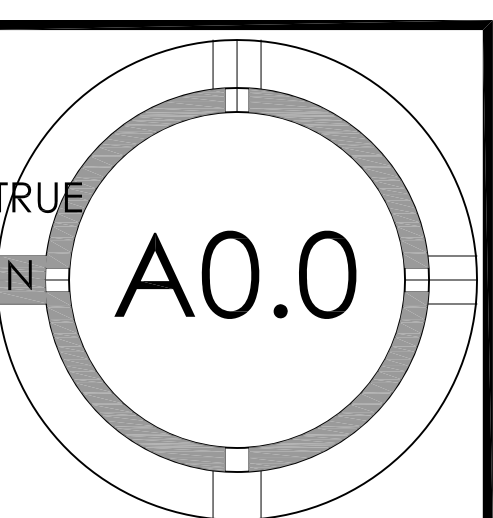
19 N. 2ND ST., Ste. 205  
San Jose, CA 95113  
P : (408) 998 - 0983  
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POON - TRAN RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
1331 HOLLY AVENUE, LOS ALTOS, CA  
CELIA POON AND PETER TRAN



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
15-030	10.19.2015	DESIGN DEVELOPMENT REVIEW	DJ
	01.13.2016	DESIGN DEVELOPMENT RESUB.	DJ

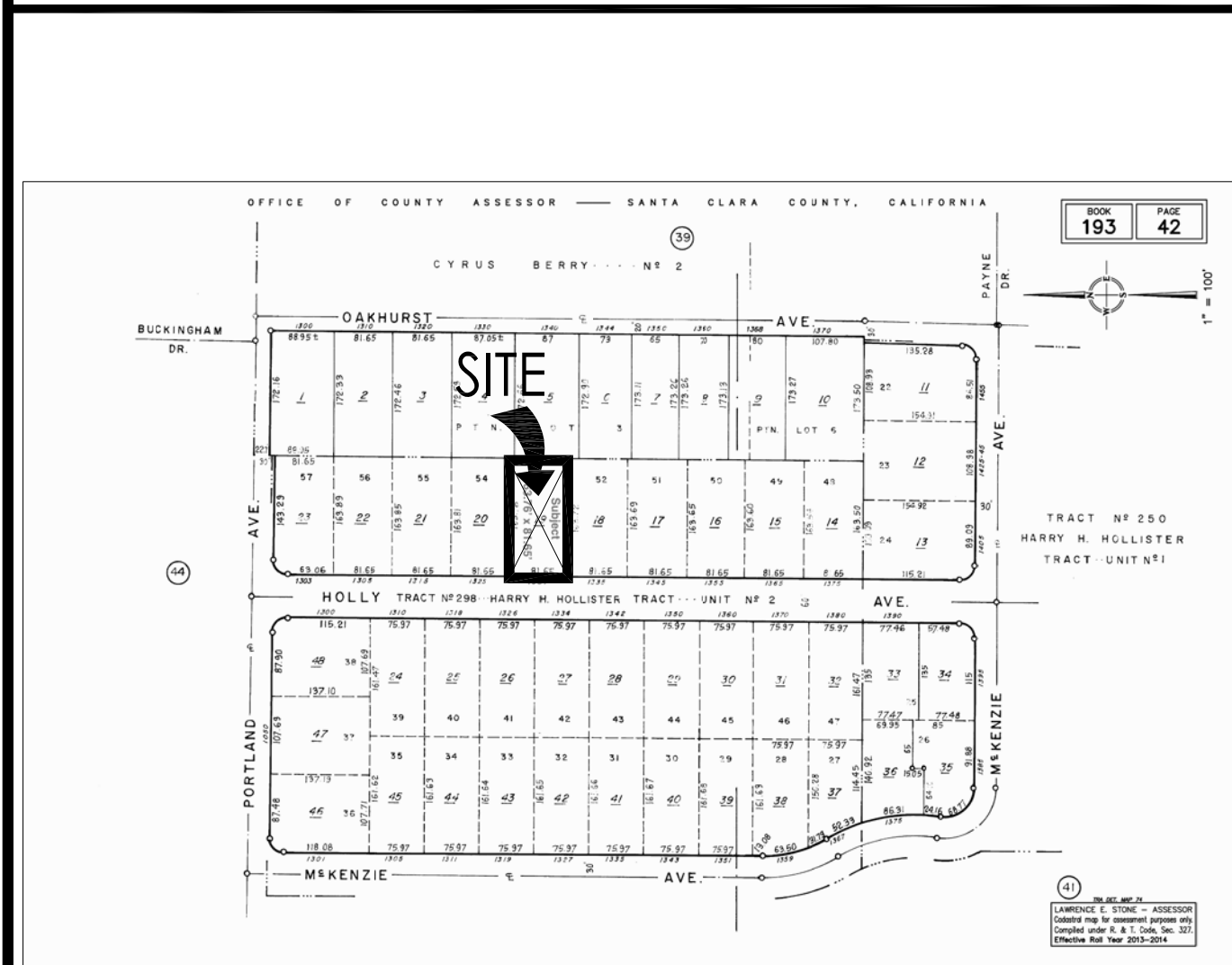
COVER SHEET



#### LOCATION MAP



#### ASSESSOR'S PARCEL MAP



#### SCOPE OF WORK

DEMOLISH EXISTING ONE STORY RESIDENCE AND BUILD A NEW TWO STORY SINGLE FAMILY RESIDENCE WITH 6 BEDROOMS, 4.5 BATH, NO BASEMENT, 3,653.4 LIVING S.F. AND A GARAGE OF 432.3 S.F. TOTALING 4,085.7 S.F.

#### PROJECT SUMMARY

ASSESSOR'S PARCEL NO.:	193-42-019
ZONING:	R-1-10
JURISDICTION:	CITY OF LOS ALTOS
TYPE OF CONSTRUCTION:	TYPE V-B, SPRINKLERED (NFPA 13D)
BUILDING OCC. GROUPS:	R-3/U (SINGLE FAMILY RESIDENTIAL)

#### ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE:	1,555.1	3,633.3	4,009.20
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	SQUARE FEET 12%	SQUARE FEET 27.20%	SQUARE FEET 30.00%
FLOOR AREA:	1,516.1	4,085.7	4,086.40
MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	SQUARE FEET 11%	SQUARE FEET 30.57%	SQUARE FEET 30.58%
SETBACKS:			
FRONT	30'-9"	26'-0" / 27'-10"	25'-0"
REAR	99'-1"	64'-6" / 90'-8"	25'-0"
RIGHT SIDE (1ST/2ND)	20'-4"	10'-4" / 17'-9"	10'-0" / 17'-4"
LEFT SIDE (1ST/2ND)	11'-1"	10'-2" / 23'-4"	10'-0" / 17'-4"
HEIGHT:	14'-0"	24'-11"	27'-0"

#### SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA:	1,151.4	2,502.0	3,653.4
INCLUDES HABITABLE BASEMENT AREAS	SQUARE FEET	SQUARE FEET	SQUARE FEET
NON-HABITABLE AREA:	364.7	67.6	432.3
DOES NOT INCLUDE COVERED PORCHES	SQUARE FEET	SQUARE FEET	SQUARE FEET

#### LOT CALCULATIONS

NET LOT AREA:	13,364.0
FRONT YARD HARDSCAPE AREA:	760.4
HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	39,046
TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	5,361.30
EXISTING SOFTSCAPE (UNDISTURBED) AREA:	10,757.5
NEW SOFTSCAPE AREA:	-2,454.8
SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	13,364.00

#### DEFERRED SUBMITTALS

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
- ROOF TRUSSES--TRUSS DESIGN PACKAGE AND ENGINEER OF RECORD REVIEW LETTER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL
- STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

#### REQUIRED SUBMITTALS TO ARCHITECT

THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:

- WINDOW/DOOR PACKAGE
- CABINET SHOP DRAWINGS AND FINISH SAMPLES
- MECHANICAL DUCTING PLAN

NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.

#### SHEET INDEX

GENERAL  
A0.0 COVER SHEET  
A0.2 FLOOR AREA CALCULATIONS SHEET  
A0.3 EXTERIOR PERSPECTIVES  
A0.4 DAYLIGHT PLANE PROTRUSIONS  
A0.5 STREETScape  
A0.6 NEIGHBORHOOD CONTEXT

CIVIL  
C.0 TOPOGRAPHIC SURVEY  
C.1 GRADING & DRAINAGE PLAN  
C.2 DETAILS

ARCHITECTURAL  
A1.0 SITE PLAN  
A2.0 DEMO SITE PLAN  
A2.1a 1ST FLOOR PLAN  
A2.1b 2ND FLOOR PLAN  
A2.2a LOWER ROOF PLAN  
A2.2b UPPER ROOF PLAN  
A3.0 EXTERIOR ELEVATIONS  
A3.1 EXTERIOR ELEVATIONS  
A3.5 EXISTING ELEVATIONS  
A5.0 SECTIONS  
A8.0 DETAILS

LANDSCAPE  
L1 GREENSCAPE LANDSCAPE PLAN  
L2 HARDSCAPE/LIGHTING LANDSCAPE PLAN  
L3 IRRIGATION/DRAINAGE LANDSCAPE PLAN

#### PROJECT TEAM

**OWNER**  
Celia Poon and Peter Tran  
1331 Holly Avenue  
Los Altos, Ca  
ph: 415 215 0188  
email: pete\_tran@hotmail.com

**ARCHITECT**  
Studio S Squared Architecture, Inc.  
19 North Second Street, Ste. 205  
San Jose, CA 95113  
attn: Eugene H. Sakai, AIA, LEED AP  
ph: 408 998 0983  
fx: 408 404 0144  
email: ESakai@StudioS2arch.com

**CIVIL ENGINEER**  
WEC & Associates  
2625 Middlefield Road, #658  
Palo Alto, CA 94306  
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email: ed@weceng.com

**LANDSCAPE ARCHITECT**  
Green Bliss Design  
San Jose, CA 95112  
attn: Chikezie Nkwuo  
ph: 408 661 2343  
email: greenblissdesign@gmail.com

#### APPLICABLE CODES

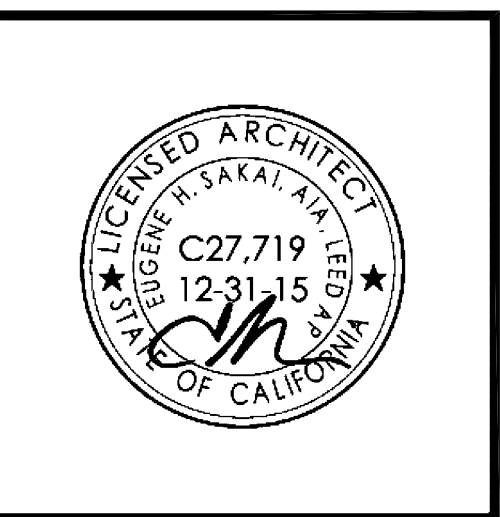
APPLICABLE CODES (with City of Los Altos Amendments)  
2013 CALIFORNIA ADMINISTRATIVE CODE, CAC  
2013 CALIFORNIA BUILDING CODE, CBC  
2013 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC  
2013 CALIFORNIA ELECTRICAL CODE, CEC  
2013 CALIFORNIA MECHANICAL CODE, CMC  
2013 CALIFORNIA PLUMBING CODE, CPC  
2013 CALIFORNIA ENERGY CODE, CENC  
2013 CALIFORNIA FIRE CODE, CFC  
2013 CALIFORNIA GREEN BUILDING STANDARDS  
2013 CALIFORNIA REFERENCED STANDARDS





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**FLOOR AREA CALCS**

New First Floor Living Area		
Section	Area (sf)	Dimension (WxL)
L1	23.2	12'-11" x 1'-10"
L2	257.5	12'-6" x 20'-8"
L3	170.9	10'-11" x 15'-9"
L4	32.8	10'-11" x 3'-0"
L5	193.1	16'-11" x 11'-5"
L6	63.5	9'-7" x 6'-8"
L7	888.3	44'-2" x 20'-2"
L8	822.5	17'-0" x 48'-4"
<b>FL Total</b>	<b>2,451.8</b>	

New Living Second Floor Area		
Section	Area (sf)	Dimension (WxL)
L9	73.0	6'-4" x 11'-6"
L10	190.0	12'-11" x 14'-9"
L11	323.2	15'-0" x 21'-8"
L12	44.0	5'-7" x 7'-11"
L13	410.0	14'-9" x 27'-11"
L14	87.3	11'-1" x 7'-11"
L15	74.1	9'-5" x 7'-11"
<b>SL Total</b>	<b>1,201.6</b>	

New Garage Area		
Section	Area (sf)	Dimension (WxL)
G1	432.3	20'-11" x 20'-8"
<b>G Total</b>	<b>432.3</b>	

New Porch Area		
Section	Area (sf)	Dimension (WxL)
P1	103.7	10'-11" x 9'-7"
P2	586.9	29'-4" x 20'-0"
<b>P Total</b>	<b>690.6</b>	

Area Of 2nd Floor Overhang, Counted Towards Lot Coverage		
Section	Area (sf)	Dimension (WxL)
O1	49.3	7'-5" x 6'-8"
<b>O Total</b>	<b>49.3</b>	

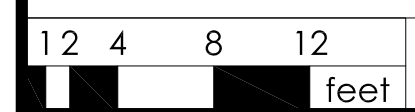
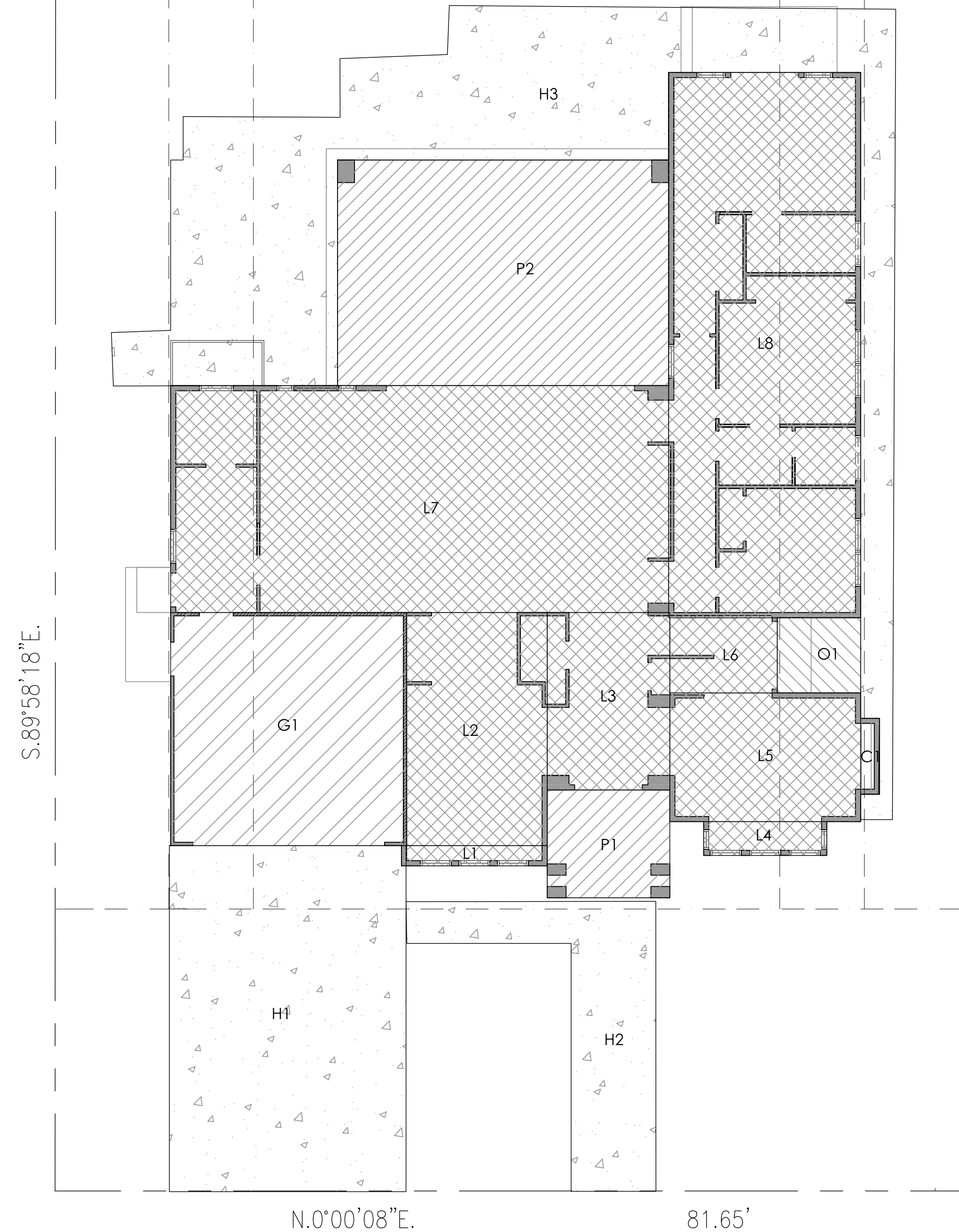
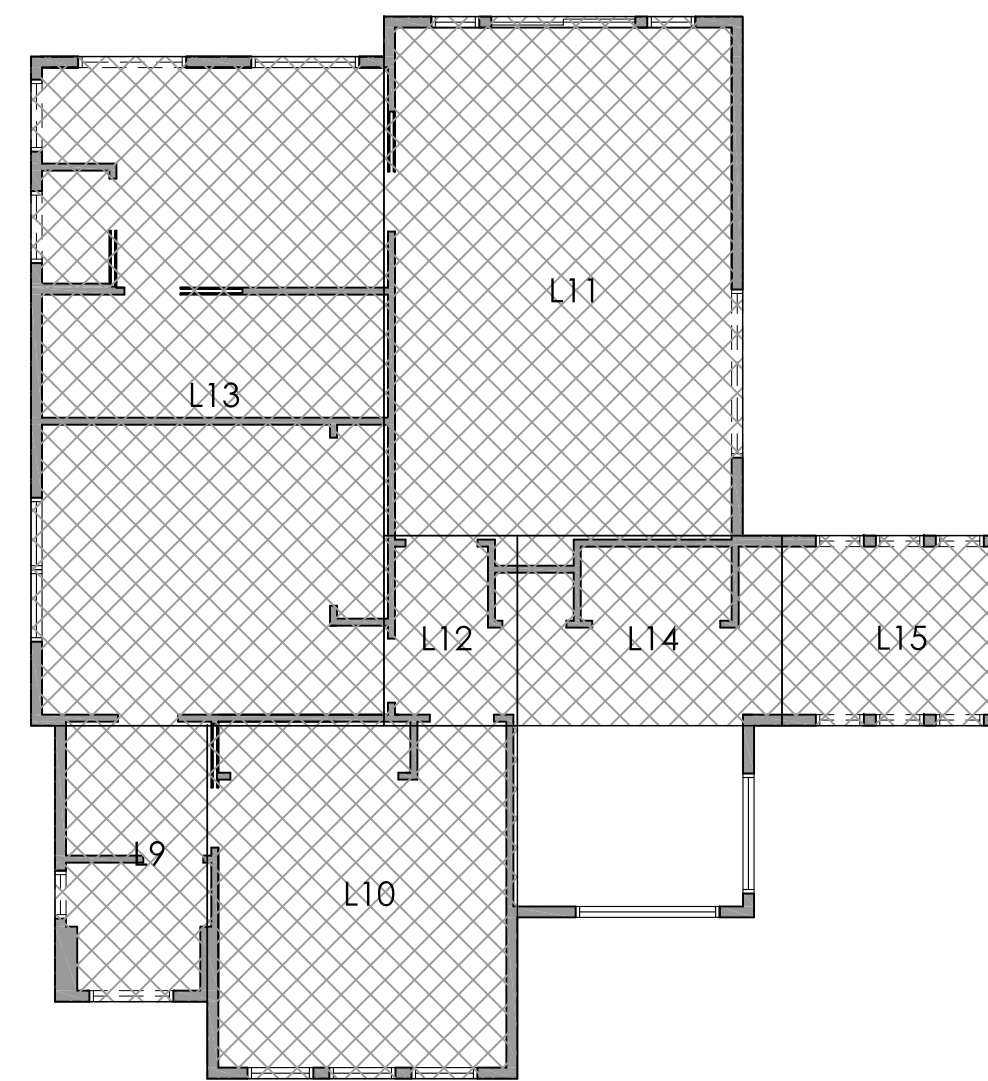
Area Of Chimney Footprint, Counted Towards Lot Coverage		
Section	Area (sf)	Dimension (WxL)
C1	11.3	1'-8" x 6'-9"
<b>C Total</b>	<b>11.3</b>	

<b>LA Lot Area:</b>	<b>13,364.0</b>
<b>Floor Area Ratio Max.</b>	<b>4,086.4</b>
<b>Lot Coverage Max.</b>	<b>4,009.2</b>
<b>G Total Proposed Garage Area</b>	<b>432.3</b>
<b>L=FL+SL Total Proposed Living Area</b>	<b>3,653.4</b>
<b>FAR=L+G Total New Residence</b>	<b>4,085.7 (OK)</b>
<b>PLC=FL+G+P+O+C Proposed Lot Coverage Ratio</b>	<b>3,635.3</b>
<b>PLC/LA Lot Coverage Percentage</b>	<b>27.2% &lt;30% (OK)</b>

New Hardscape Area		
Section	Area (sf)	
H1	643.9	
H2	247.3	
H3	1,027.7	
<b>H Total</b>	<b>1,918.9</b>	
<b>TH=H+P Total Hardscape Area</b>	<b>2,609.5</b>	

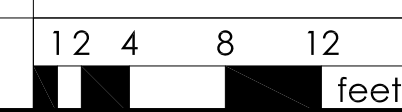
<b>TH New Hardscape Area</b>	<b>2,609.5</b>
<b>S Front Yard Setback Area</b>	<b>1,998.9</b>
<b>SH Front Yard Hardscape Area</b>	<b>760.4</b>
<b>R=SH/TH Front Yard Hardscape Area Ratio</b>	<b>38.0% &lt;50% (OK)</b>
<b>SS Softscape Area</b>	<b>8,302.7</b>
<b>TT=TH+FL Total Hardscape Area</b>	<b>5,061.3</b>

- L# NEW LIVING FLOOR AREA
- G# NEW GARAGE AREA
- P# NEW PORCH AREA
- O# AREA OF SECOND FLOOR OVER HANG, COUNTED TOWARDS LOT COVERAGE
- C# AREA OF CHIMNEY FOOTPRINT, COUNTED TOWARDS LOT COVERAGE
- H# NEW HARDSCAPE AREA



SECOND FLOOR AREA CALCS

1/8" 2



FIRST FLOOR AREA CALCS

1/8" 1

FLOOR AREA LEGEND





PERSPECTIVE EXTERIOR REAR - 4



PERSPECTIVE EXTERIOR FRONT RIGHT - 1



PERSPECTIVE EXTERIOR REAR LEFT - 5



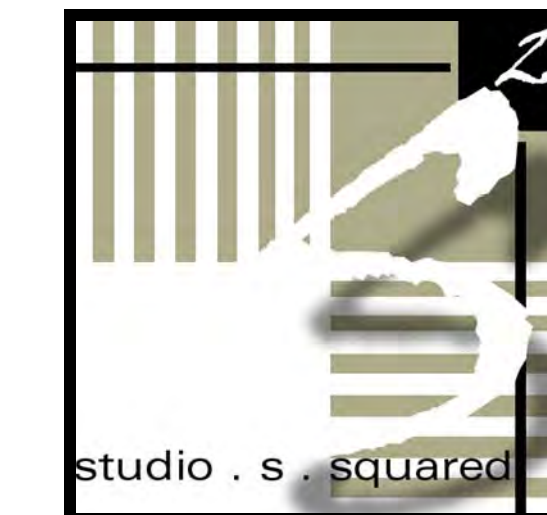
PERSPECTIVE EXTERIOR FRONT LEFT - 2



PERSPECTIVE EXTERIOR REAR HIGH - 6



PERSPECTIVE EXTERIOR FRONT - 3



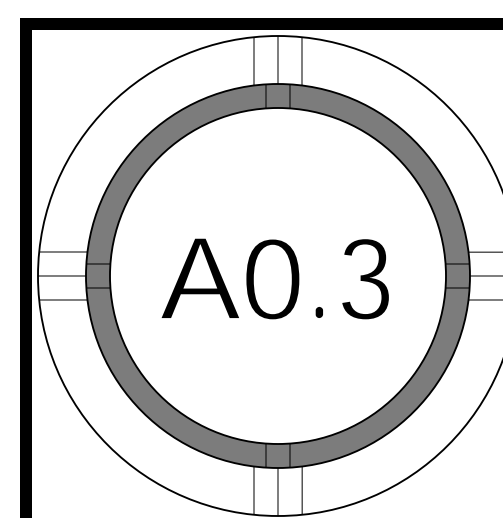
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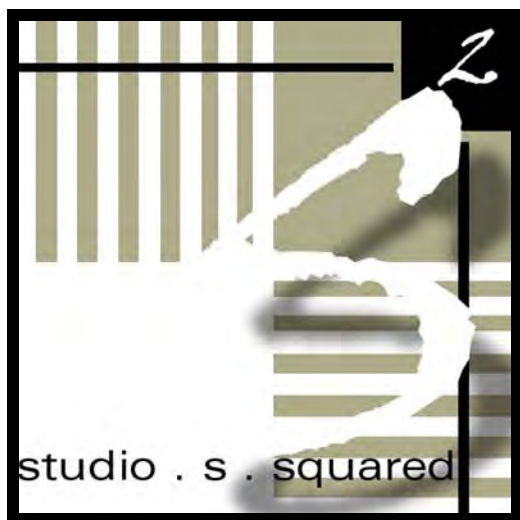


PROJECT NO.	REVISION	DATE	DESCRIPTION
15-030			
	DESIGNED BY	DJ	DJ
	DESIGN DEVELOPMENT REVIEW		
	DESIGN DEVELOPMENT REVIEW		

EXTERIOR PERSPECTIVES







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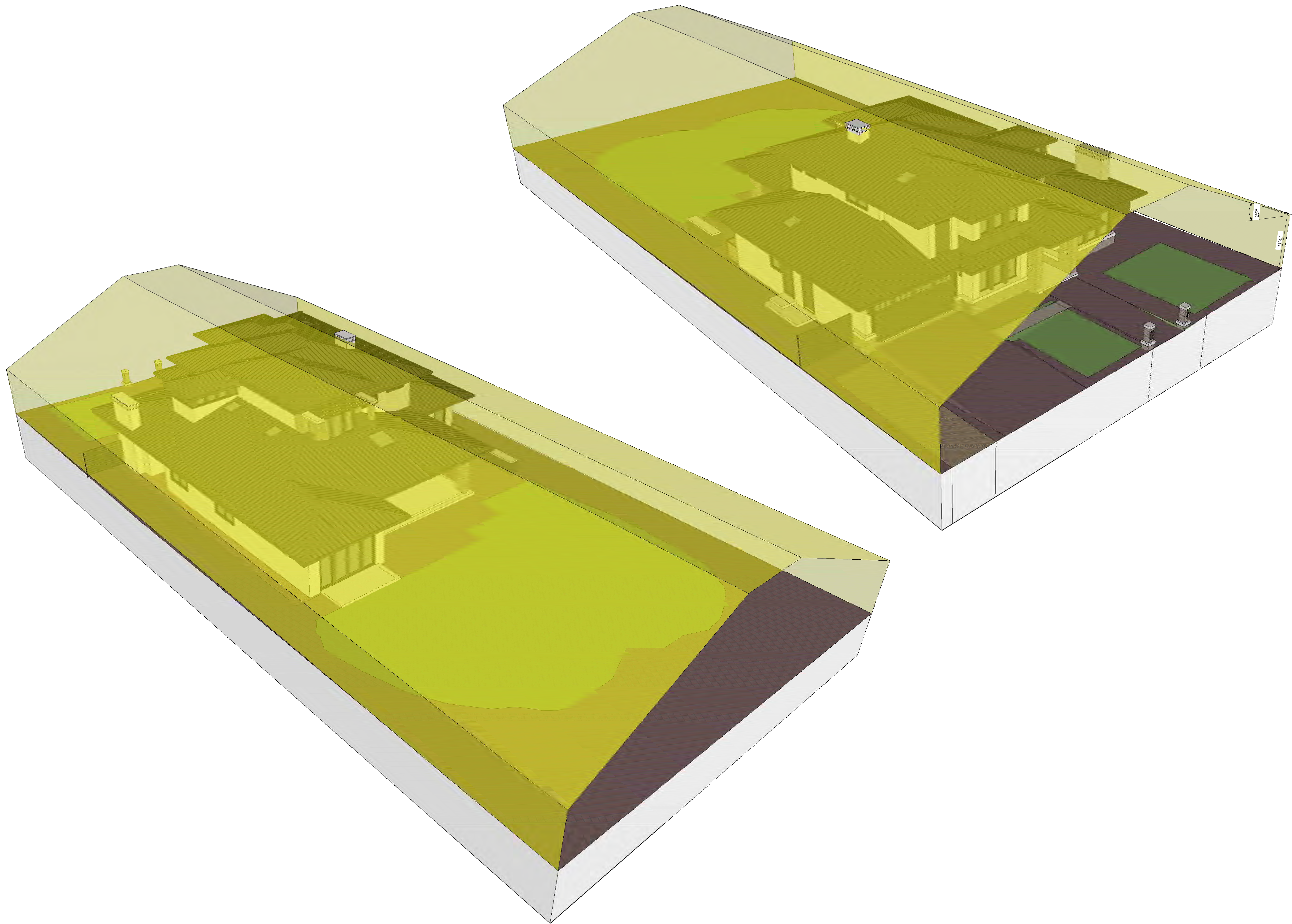
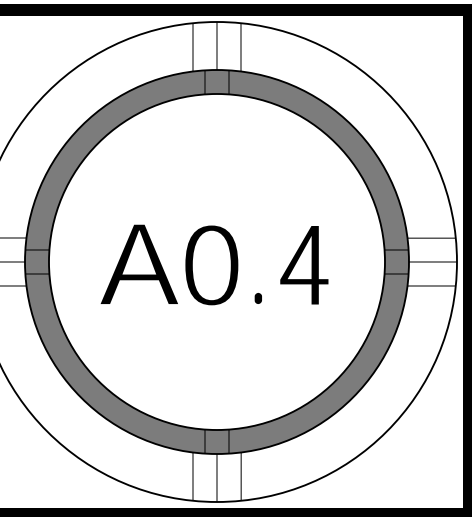
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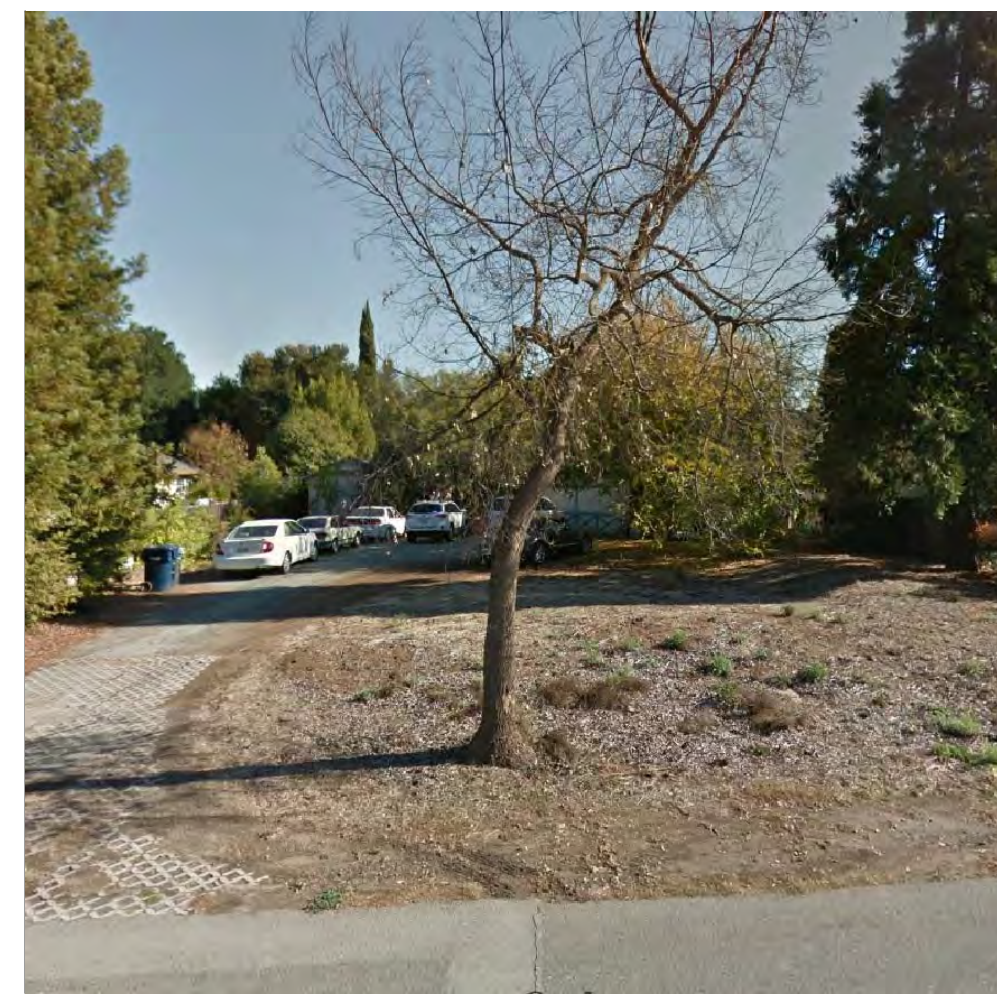
**DAYLIGHT  
 PLANE  
 PROTRUSIONS**







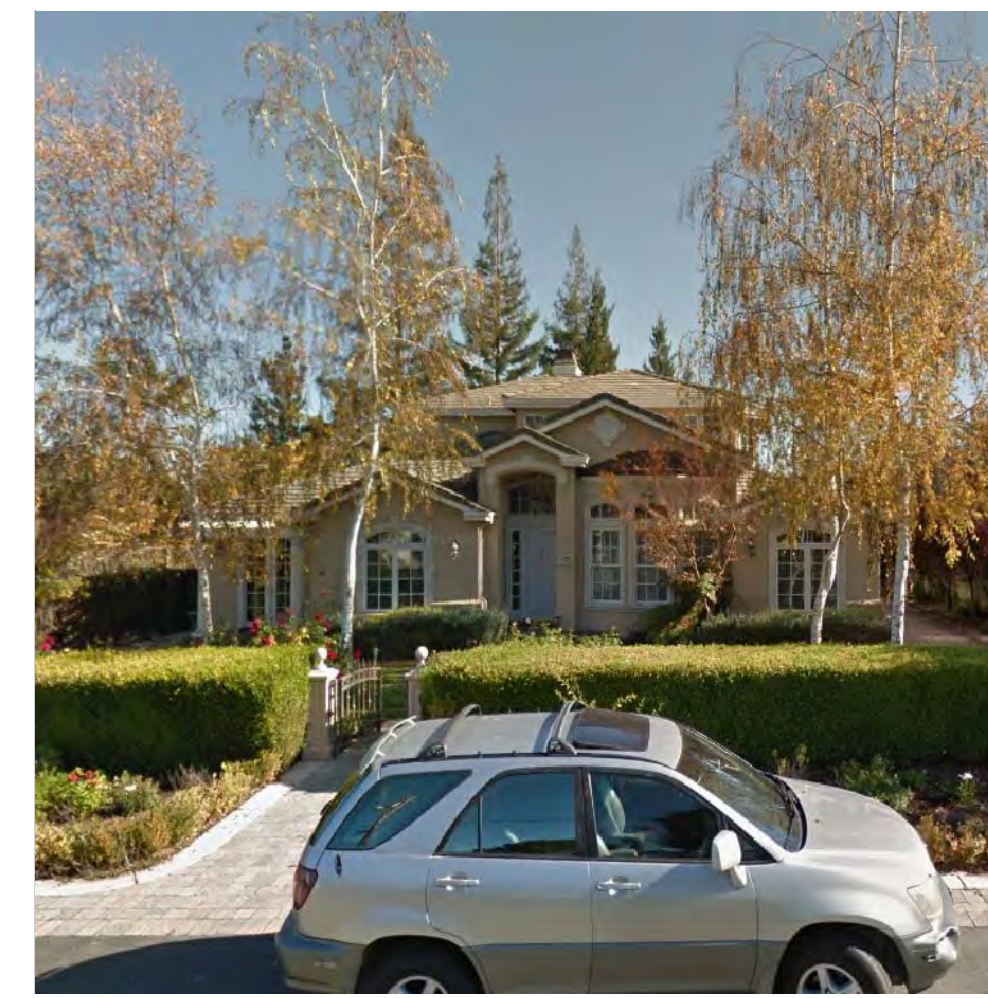
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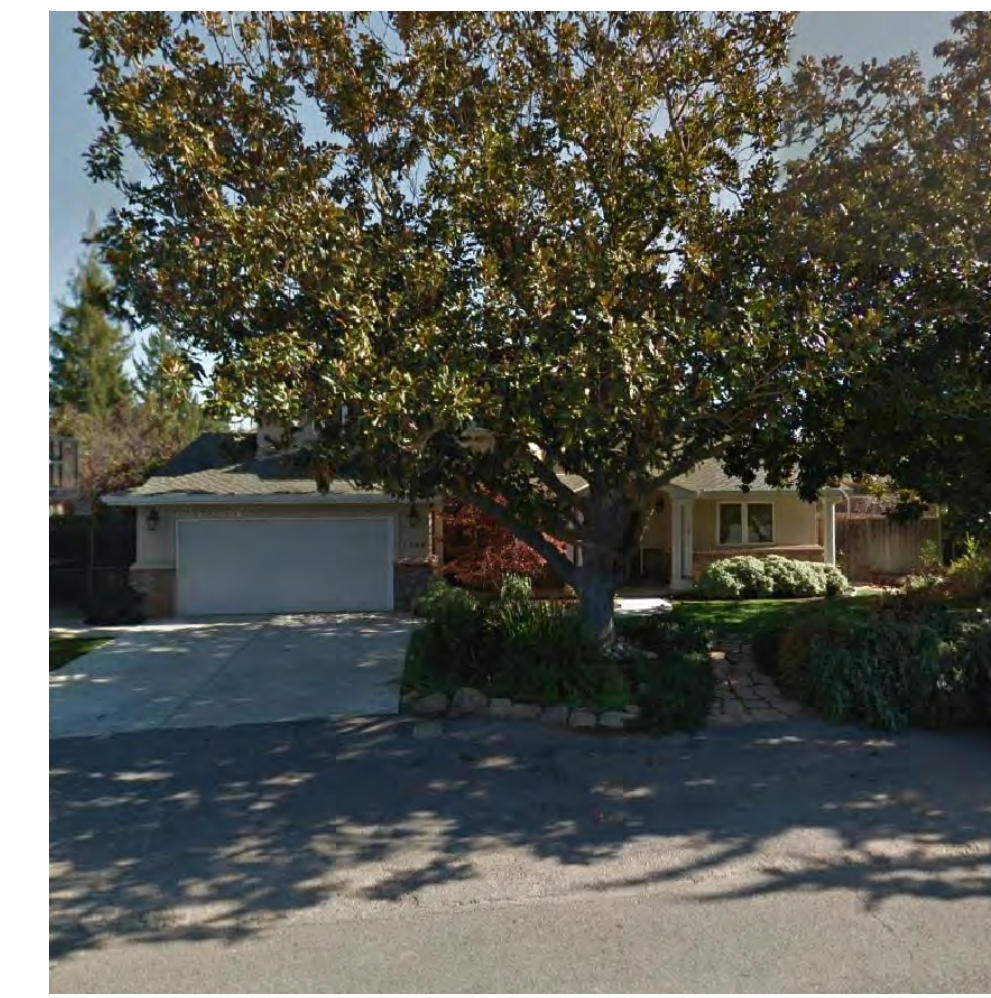
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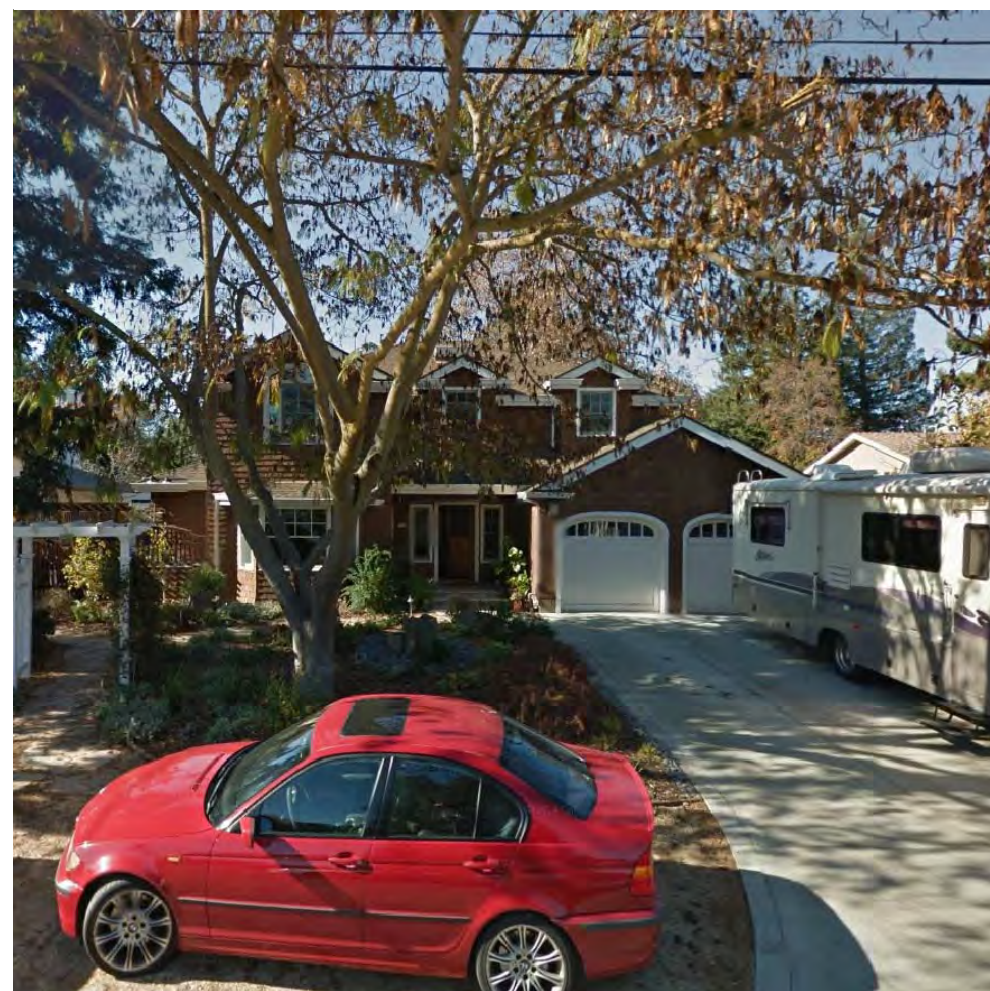
1331 Holly Ave.  
Subject Property



1335 Holly Ave.



1345 Holly Ave.



1318 Holly Ave.



1326 Holly Ave.



1334 Holly Ave.



1342 Holly Ave.



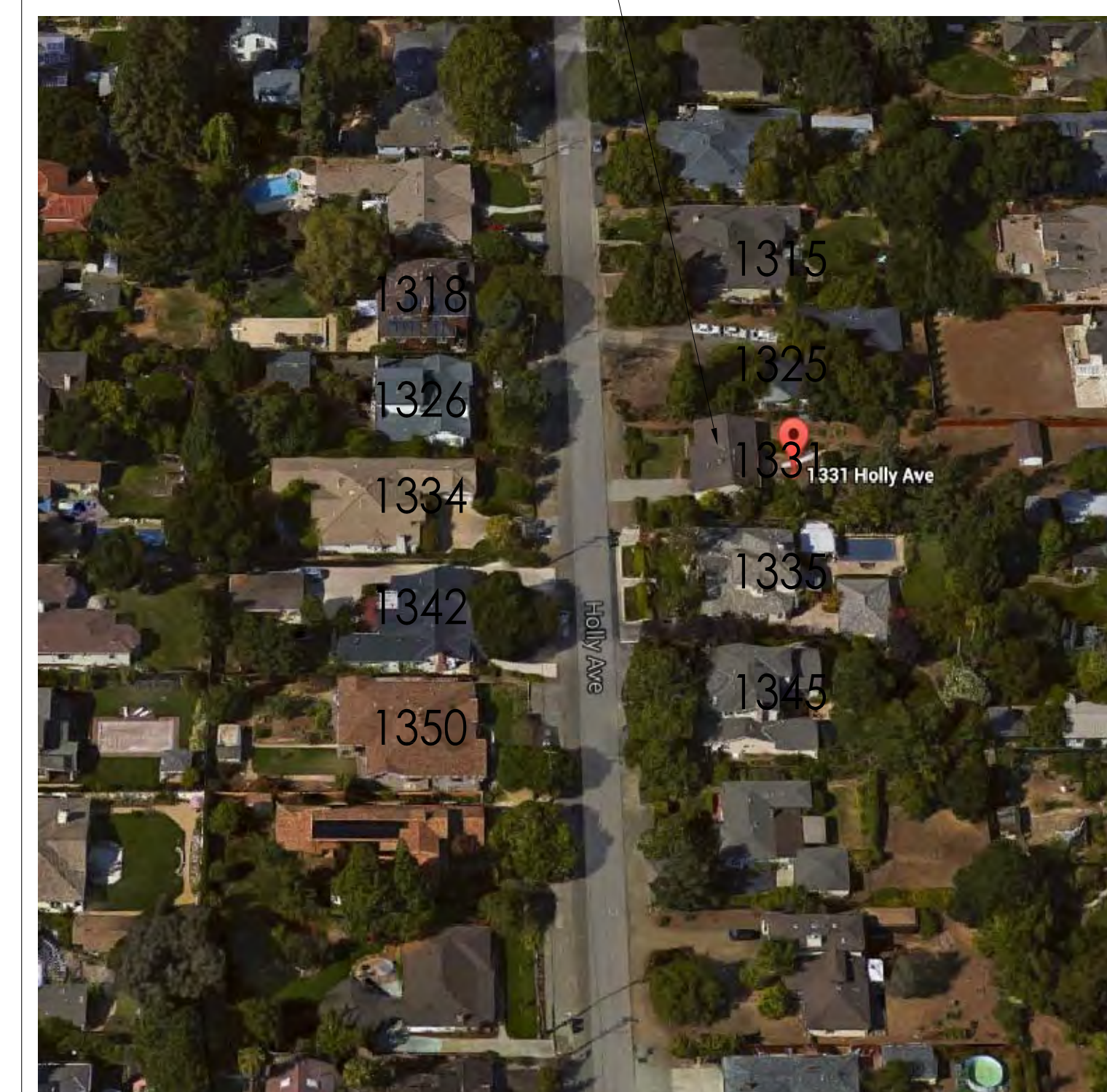
1350 Holly Ave.

STREETSCAPE IMAGES - 1



STREETSCAPE ELEVATION

3



NEIGHBORS

2



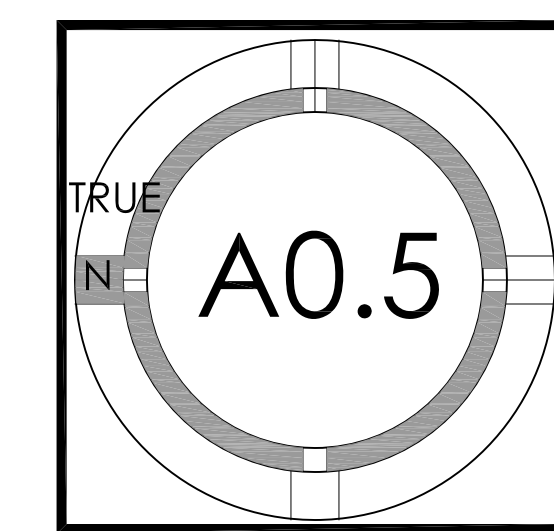
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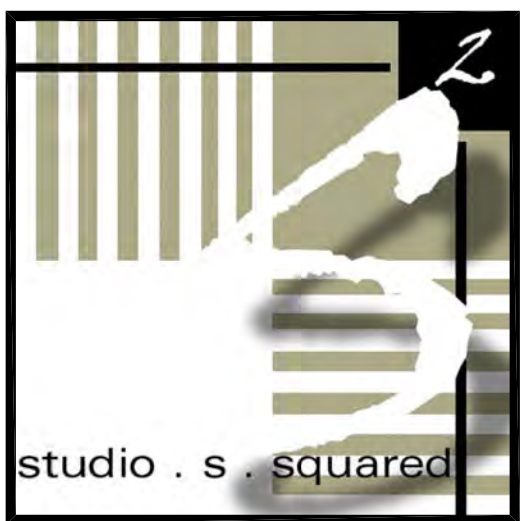


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STREETSCAPE

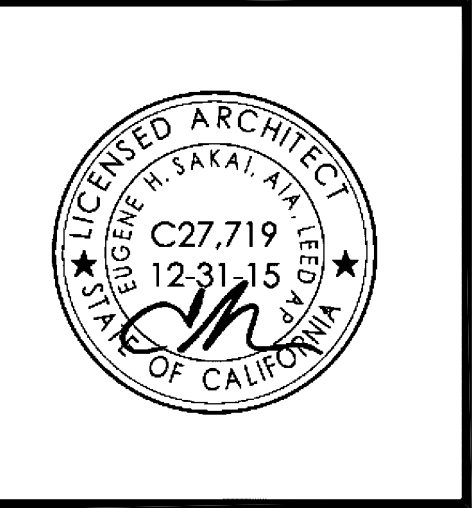






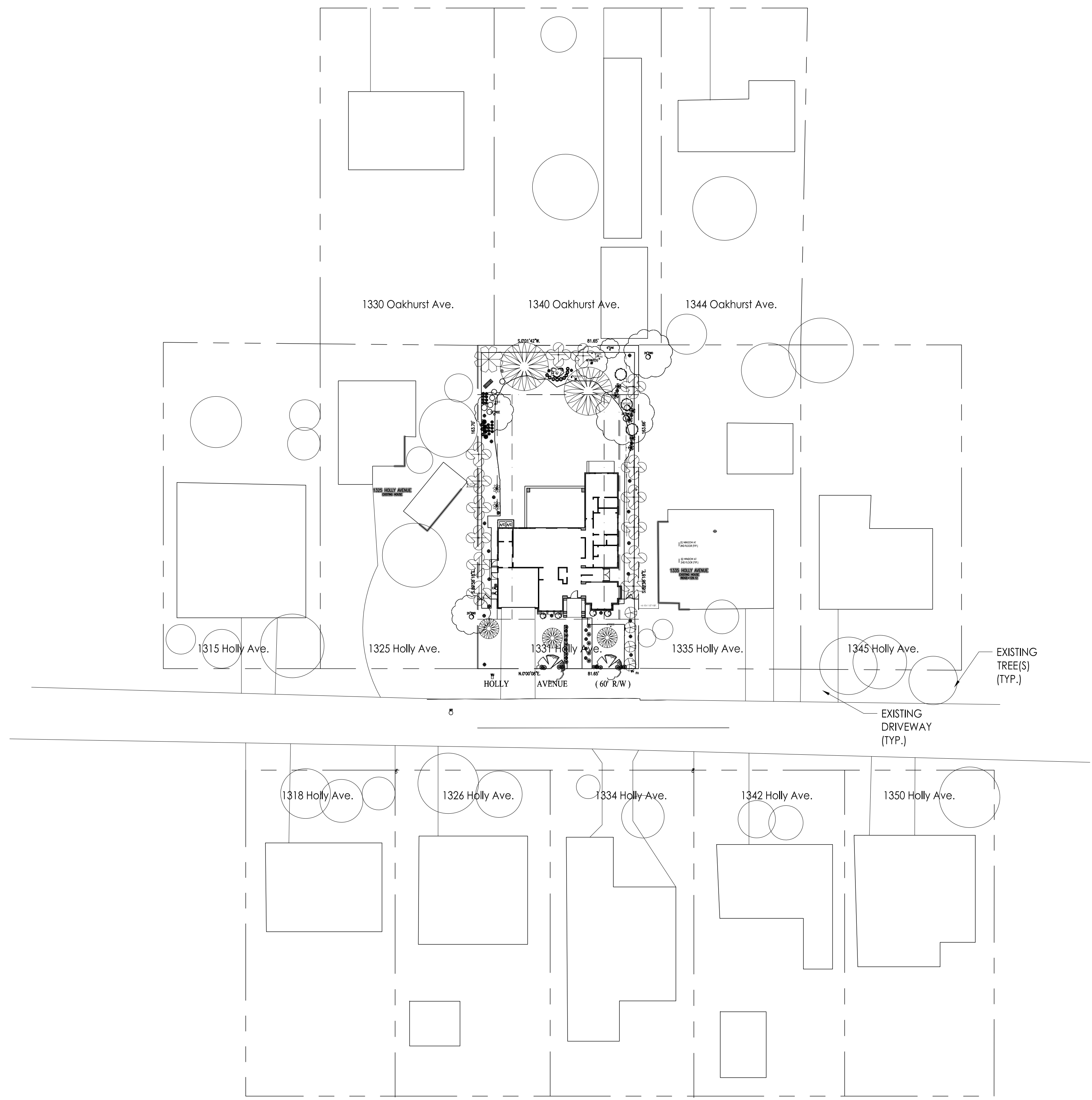
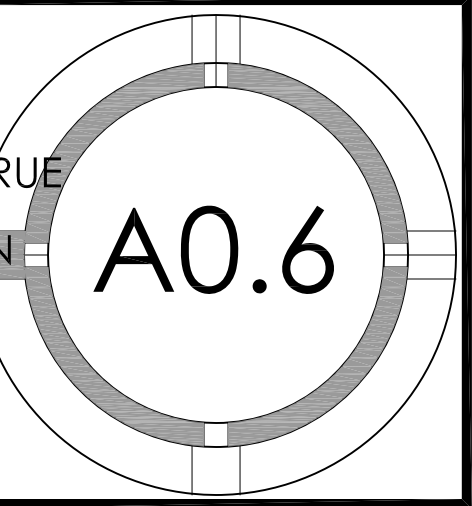
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NEIGHBORHOOD  
 CONTEXT



--- PROPERTY LINE

48 16 32 48  
 feet



**TRAN & POON  
RESIDENCE**

1331 HOLLY AVENUE  
LOS ALTOS, CA  
APN: 193-42-019

**W E C**  
& ASSOCIATES

**WEC** 2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: SEP 4, 2015  
SCALE: 1"=10'  
DRAWN: BG  
JOB: 10078

SHEET TITLE:

**TOPOGRAPHIC  
SURVEY**

SHEET NO.

**C.0**

**LEGEND:**

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOE OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

**BASIS OF BEARINGS:**

THE BEARING, N0°00'08"E, OF THE RIGHT OF WAY LINE OF HOLLY AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN CORNER RECORD DOCUMENT NUMBER 2096, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION:**

TBM ELEV=100.00 (ASSUMED)

**UTILITY NOTE:**

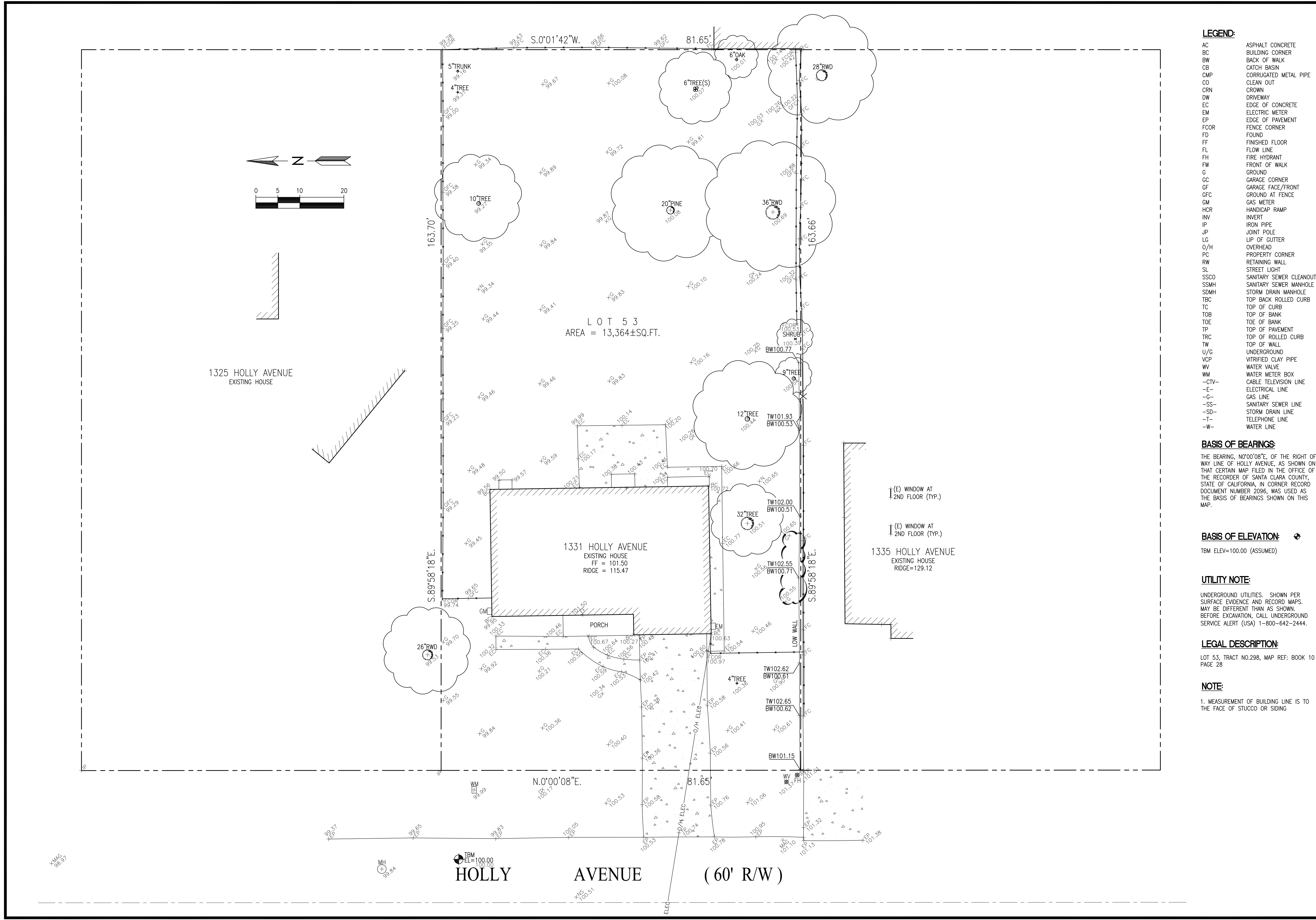
UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

**LEGAL DESCRIPTION:**

LOT 53, TRACT NO.298, MAP REF: BOOK 10 PAGE 28

**NOTE:**

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING



**HOLLY AVENUE (60' R/W)**



EARTHWORK QUANTITIES:	
CUT(OUTSIDE BLDG FOOTPRINT)	10 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	135 C.Y.
FILL	5 C.Y.
BALANCE	140 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

**CUT AND FILL EST. 3**

SS	SANITARY SEWER	SL	STREET LIGHT
E	ELECTRIC	IRR	IRRIGATION
TV	TV/CABLE TV	X	FENCE
FS	FIRE SERVICE	JT	JOINT TRENCH
W	DOMESTIC WATER SERVICE	O/H	OVERHEAD WIRES
T	TELEPHONE	× 16.07	(E) SPOT ELEVATION
G	NATURAL GAS	× 16.07	(N) SPOT ELEVATION
FM	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.		
	DOWNSPOUT		

**LEGEND 4**

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	PKG	PARKING
DS	DOWNSPOUT	POC	POINT OF CONNECTION
DWY	DRIVEWAY	RET	RETAINING WALL
(E)	EXISTING	RIM	RIM ELEVATION
EG	EXISTING GRADING	S	SLOPE
EM	ELECTRICAL METER	SD	STORM DRAIN LINE
EP	EDGE OF PAVEMENT	SOCO	STORM DRAIN CLEANOUT
FC	FACE OF CURB ELEV.	SDFM	STORM DRAIN FORCED MAIN
FD	FRENCH DRAIN	SS	SANITARY SEWER
FF	FINISH FLOOR ELEVATION	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GROUND ELEV.	TW	TOP OF WALL ELEVATION
FL	FLOW LINE ELEVATION	TYP	TYPICAL
FM	FORCE MAIN LINE	W	DOMESTIC WATER LINE
FP	FINISHED PAVEMENT	WM	WATER METER
FS	FINISH SURFACE ELEV		
FW	FIRE WATER LINE		

**ABBREVIATION 5**

**GRADING AND DRAINAGE NOTES:**

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% SLOPE AWAY FROM THE BUILDING PERIMETER AND ADJACENT PROPERTY LINES. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
3. THE HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
4. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

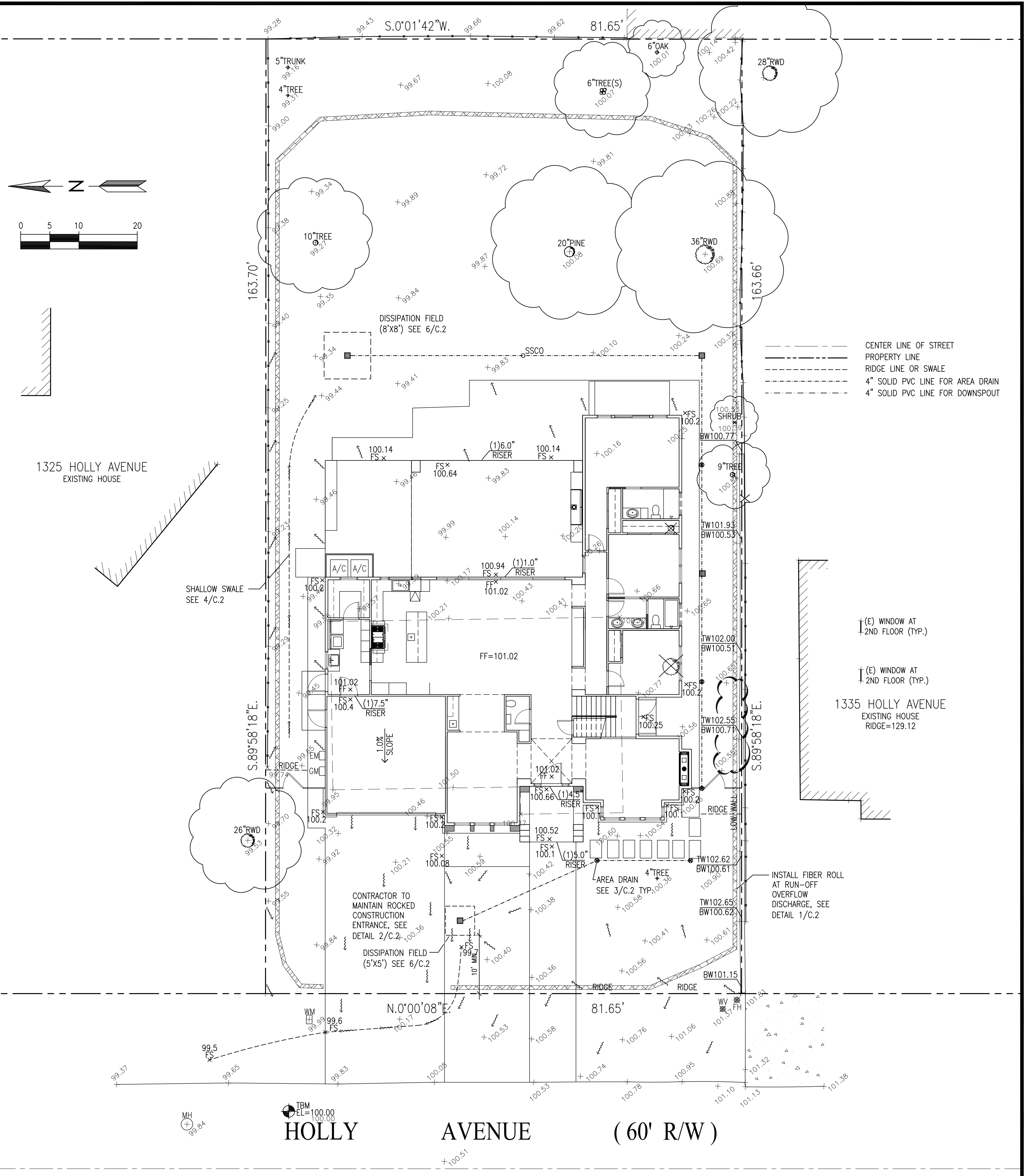
**EROSION CONTROL AND BEST MANAGEMENT PRACTICE:**

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

**UTILITY NOTES:**

1. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE 1. DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION. ELBOWS AND TEE SHOULD BE AVOIDED.
2. CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.
3. A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
4. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

**GENERAL NOTES 2**



**GRADING AND DRAINAGE PLAN SCALE: 1"=10'-0" 1**

**TRAN & POON RESIDENCE**

1331 HOLLY AVENUE  
LOS ALTOS, CA  
APN: 193-42-019



2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: OCT 11, 2015  
SCALE: AS SHOWN  
DRAWN: BG  
JOB: 10078

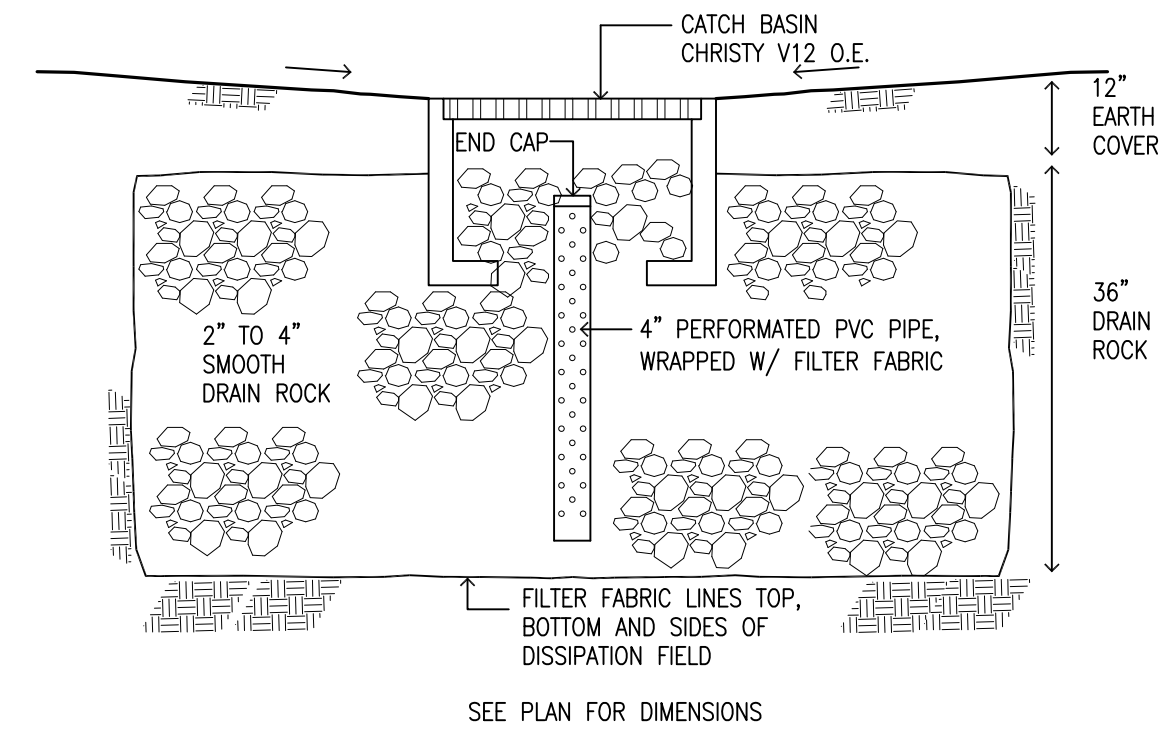
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**GRADING & DRAINAGE PLAN**

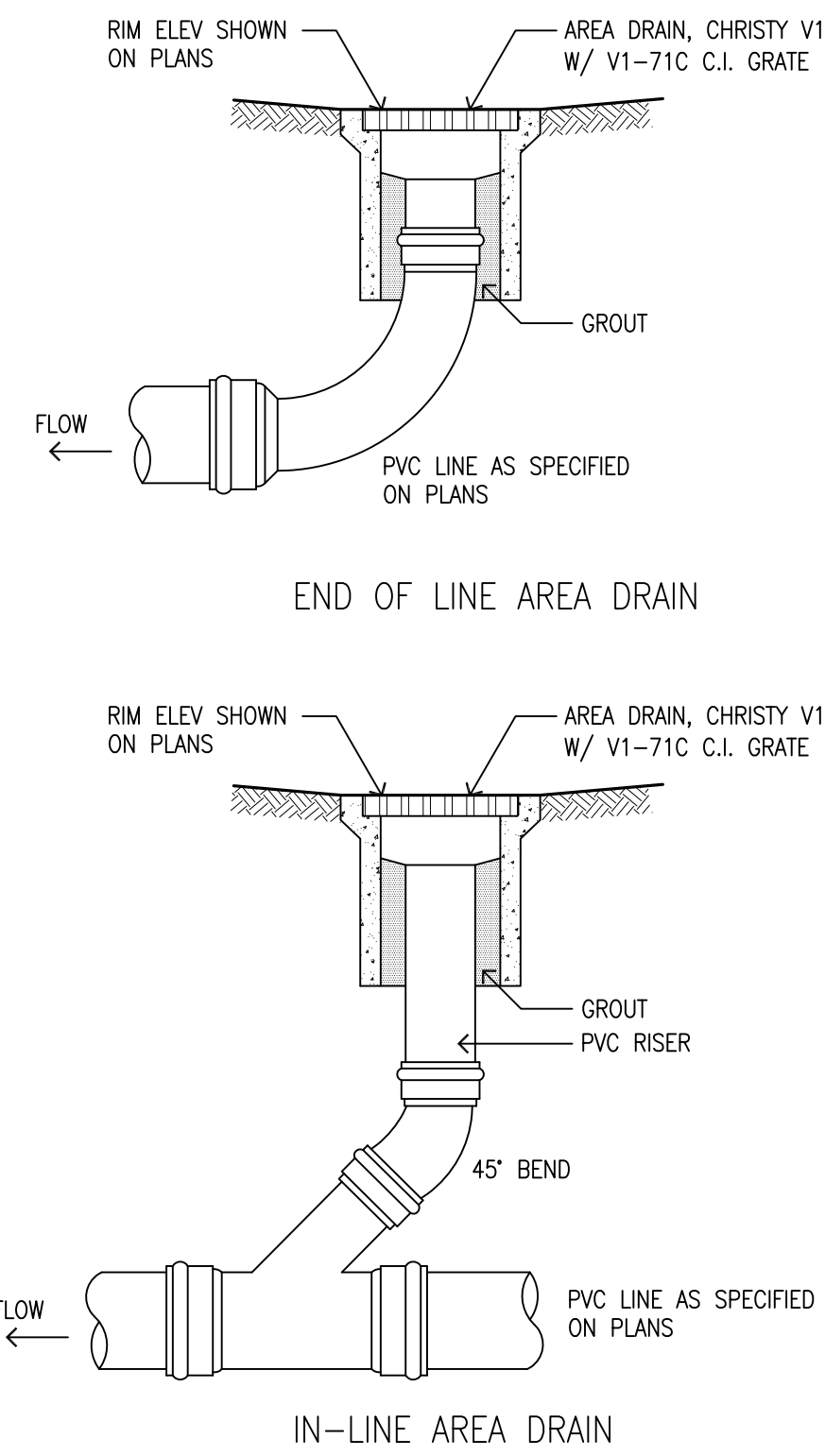
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**C.1**

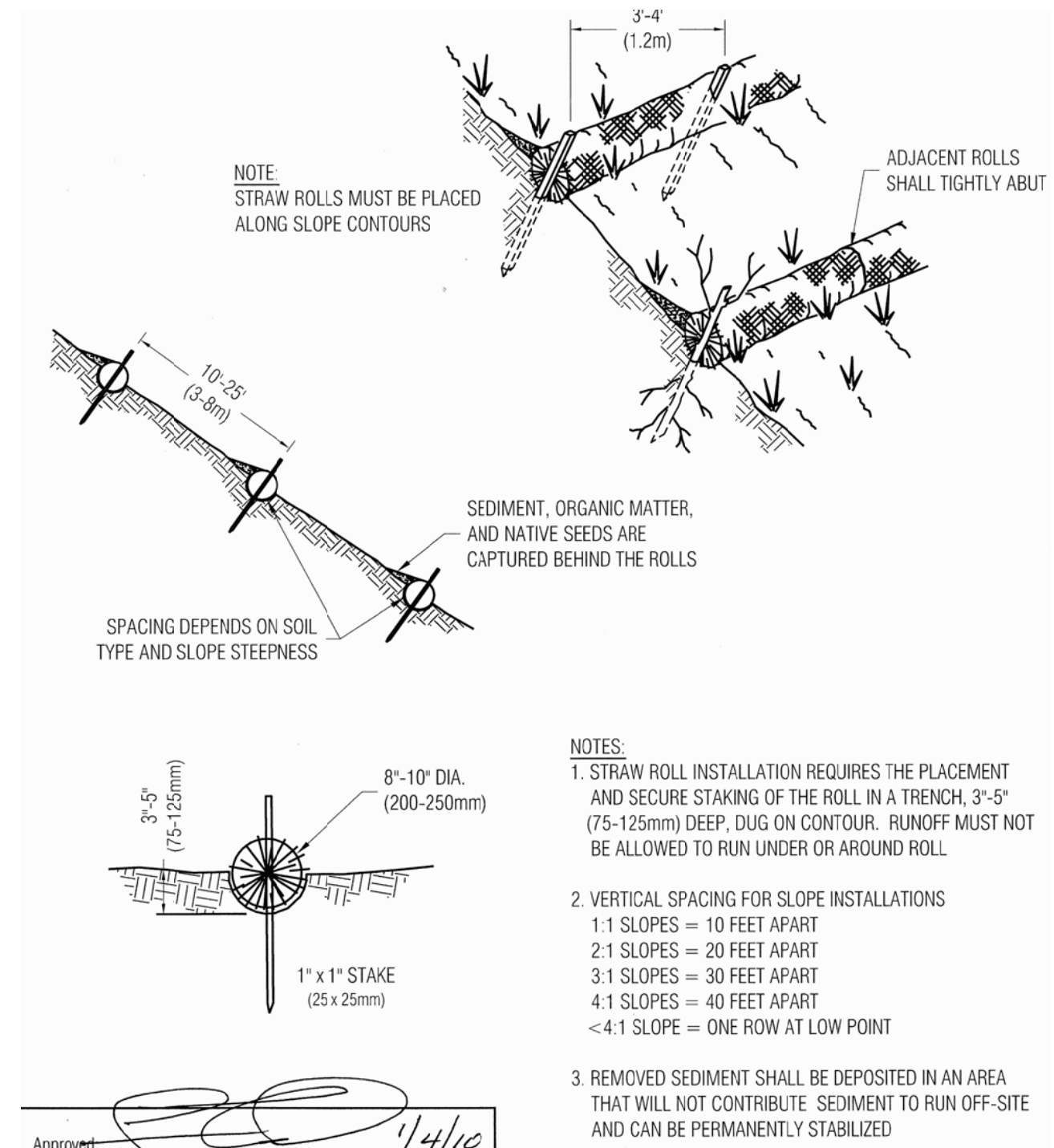




DISSIPATION FIELD SCALE: N.T.S. 6

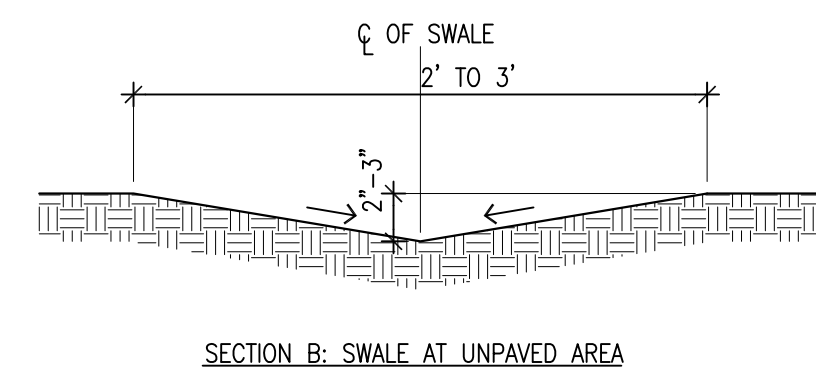


AREA DRAIN DETAILS SCALE: N.T.S. 3

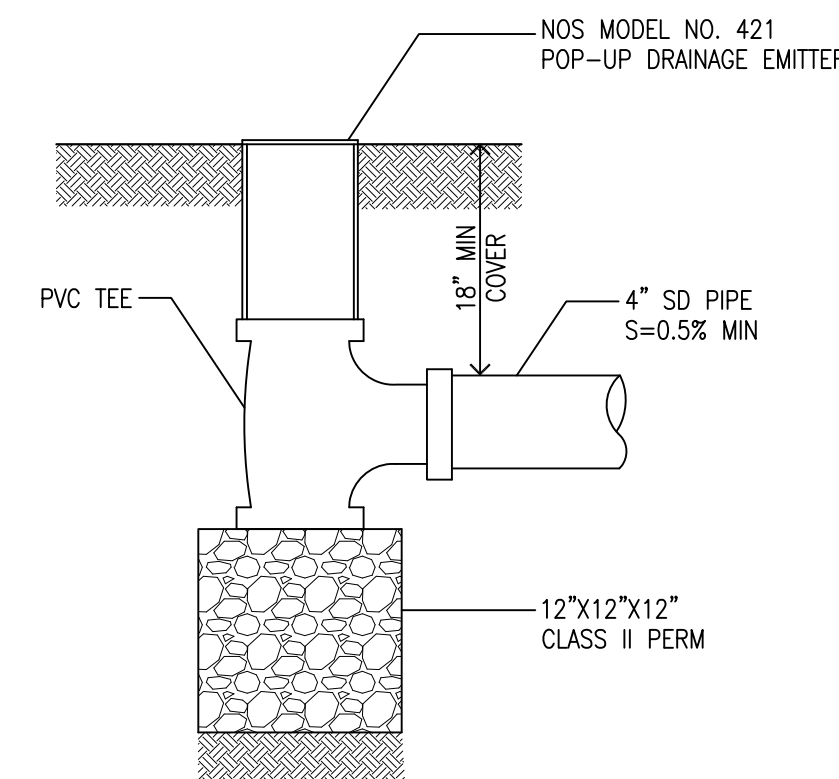


REVISION		ENGINEERING DIVISION	
Description	Date	STRAW ROLLS	EC-4

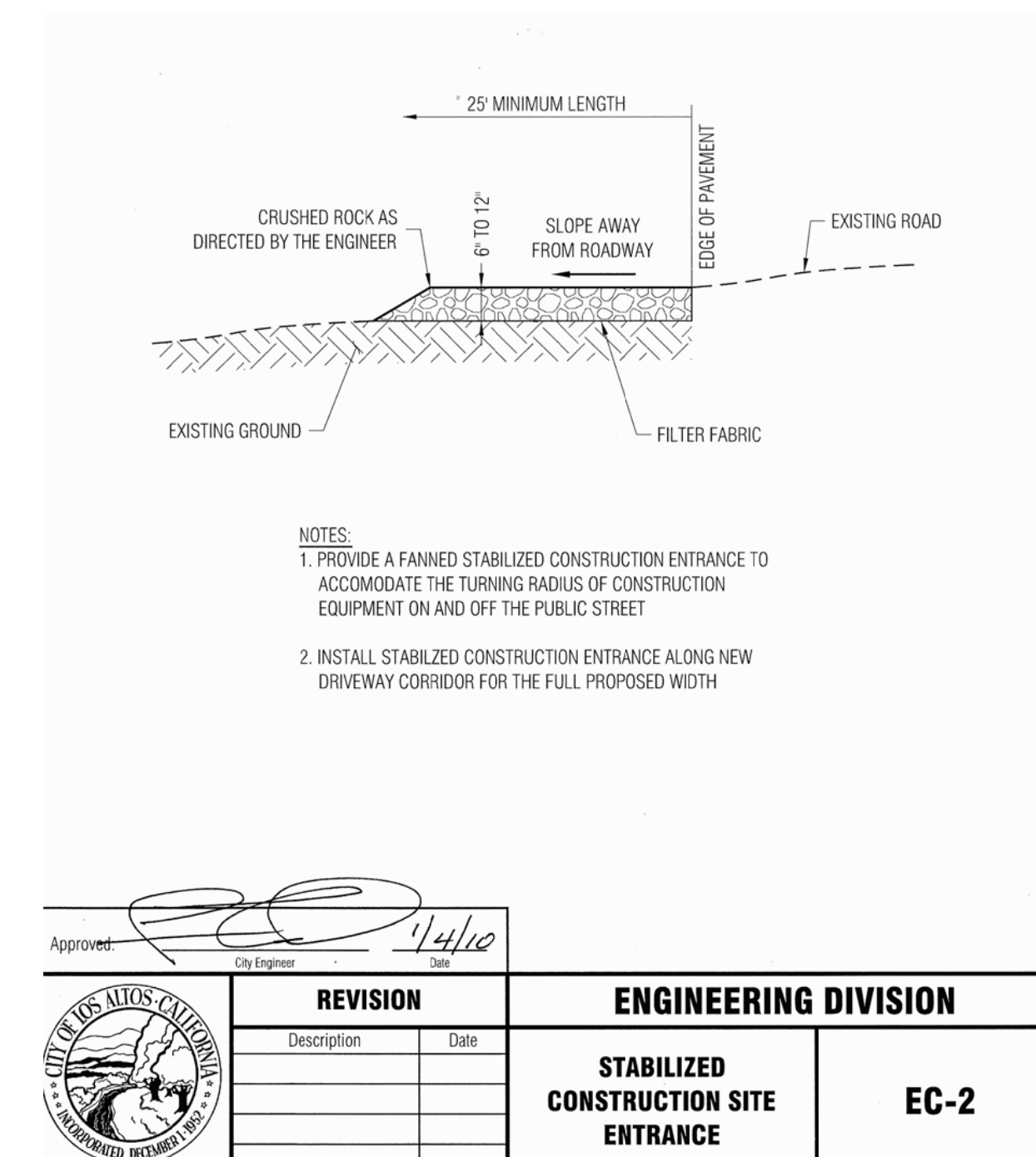
FIBER ROLL DETAIL 1



SHALLOW SWALE SCALE: N.T.S. 4



POP-UP EMITTER SCALE: N.T.S. 5



REVISION		ENGINEERING DIVISION	
Description	Date	STABILIZED CONSTRUCTION SITE ENTRANCE	EC-2

LIGHTWELL DRAIN SUMP PUMP SCALE: N.T.S. 2

TRAN & POON RESIDENCE

1331 HOLLY AVENUE  
LOS ALTOS, CA  
APN: 193-42-019

W E C & ASSOCIATES

2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

DATE: OCT 11, 2015  
SCALE: AS SHOWN  
DRAWN: BG  
JOB: 10078

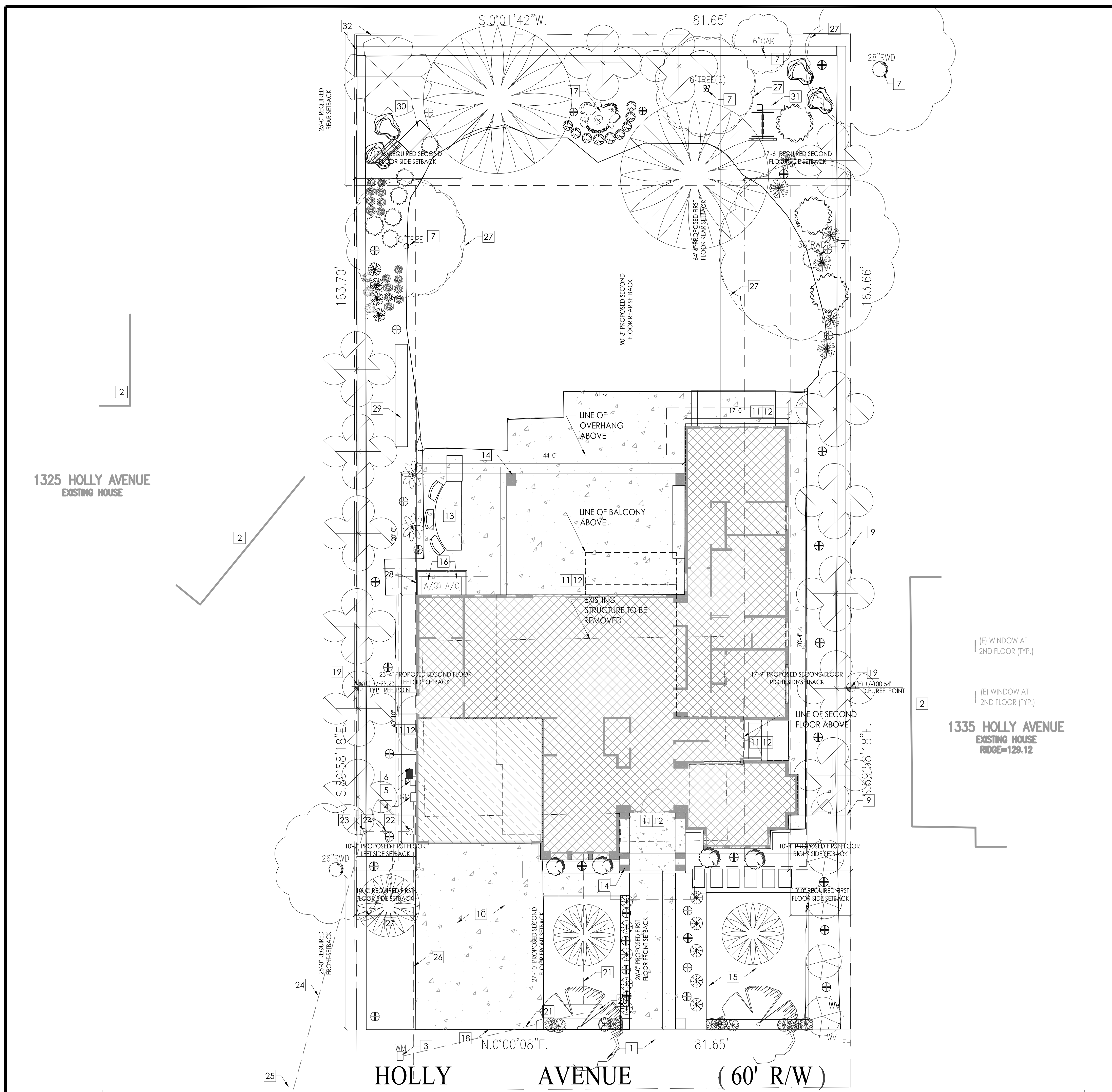
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DETAILS

SHEET NO.

C.2





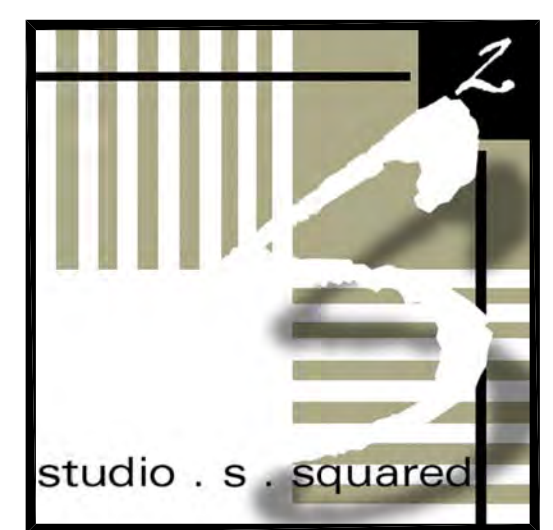
- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
  - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
  - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
  - (N) GAS METER LOCATION
  - (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE (400AMPS) TO (E) ELECTRICAL SERVICE
  - UFER GROUND CONNECTION PER CEC 250-52
  - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
  - NOT USED
  - (N) 6' TALL WITH 2' LATTICE REDWOOD FENCE AND GATE--SEE LANDSCAPE PLANS FOR MORE INFO--VERIFY FINAL DESIGN AND FINISH WITH OWNER
  - (N) DRIVEWAY, PAVERS OVER 8" BASE ROCK AND 2" SAND -- VERIFY PAVER DESIGN WITH OWNER
  - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
  - (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
  - (N) OUTDOOR BBQ ISLAND--SEE LANDSCAPE PLANS FOR MORE INFO
  - (N) PORCH OR TRELIS COLUMNS
  - (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION
  - (N) A/C UNIT CONDENSER PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. A/C UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE
  - (N) POND LESS WATERFALL--SEE LANDSCAPE PLANS FOR MORE INFO
  - (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL
  - DAYLIGHT PLANE REFERENCE POINT
  - (N) IRRIGATION BACK FLOW PREVENTER
  - (N) WATER SERVICE LINE
  - (N) 4" SEWER LATERAL--CONTRACTOR TO VERIFY LOCATION IN FIELD
  - (N) SANITARY SEWER CLEANOUT
  - (N) SANITARY SEWER LINE
  - TO (E) SANITARY SEWER MANHOLE
  - (N) GAS SERVICE LINE
  - TREE PROTECTION FENCING--4' TALL, METAL CHAIN LINK MATERIAL SUPPORTED BY 2" DIAMETER POLES, POUNDED INTO THE GROUND TO A DEPTH OF NO LESS THAN 18"--NO EQUIPMENT OR MATERIALS SHALL BE STORED OR CLEANED INSIDE THE PROTECTION ZONES--SEE ARBORIST REPORT FOR MORE INFO
  - LATTICE FENCING--SEE LANDSCAPE PLANS FOR MORE INFO
  - (N) 2'-0" X 15'-0" PLANTER--SEE LANDSCAPE PLANS FOR MORE INFO
  - (N) BENCH--SEE LANDSCAPE PLANS FOR MORE INFO
  - (N) 6'-0" X 6'-0" KIDS' FORT--SEE LANDSCAPE PLANS FOR MORE INFO
  - (E) 6' TALL REDWOOD FENCE TO REMAIN

SITE PLAN KEYNOTES

----- PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO  
 - - - - - REQUIRED YARD SETBACK/EASEMENT

- NEW GARAGE AREA
- NEW LIVING AREA
- NEW HARDSCAPE[SEE LANDSCAPE PLANS FOR MORE INFO]

- NOTES:
- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
  - (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.
  - OBTAIN AN ENCROACH PERMIT ISSUED FROM THE ENGINEERING DIVISION PRIOR TO DOING ANY WORK WITHIN PUBLIC STREET RIGHT-OF-WAY
  - WALKWAYS WITHIN THE REQUIRED SETBACKS SHALL NOT BE GREATER THAN SIX INCHES ABOVE NATURAL GRADE



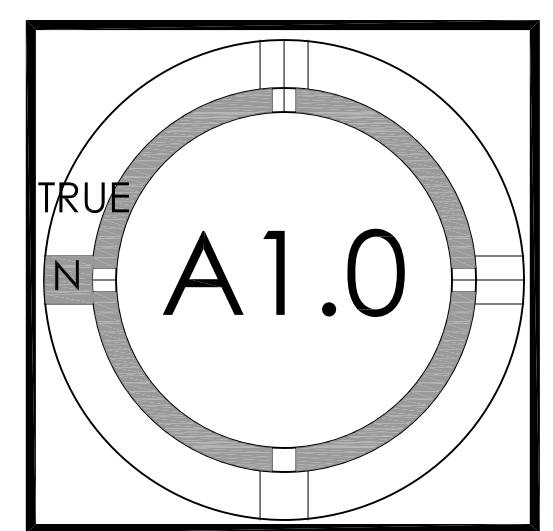
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**POON - TRAN RESIDENCE**  
 NEW SINGLE FAMILY RESIDENCE  
 1331 HOLLY AVENUE, LOS ALTOS, CA  
 CELIA POON AND PETER TRAN



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
15-030	10.19.2015	DESIGN DVLP/PAINT. REVIEW	DJ
	01.13.2016	DESIGN DVLP/PAINT. RESUB.	DJ

SITE PLAN

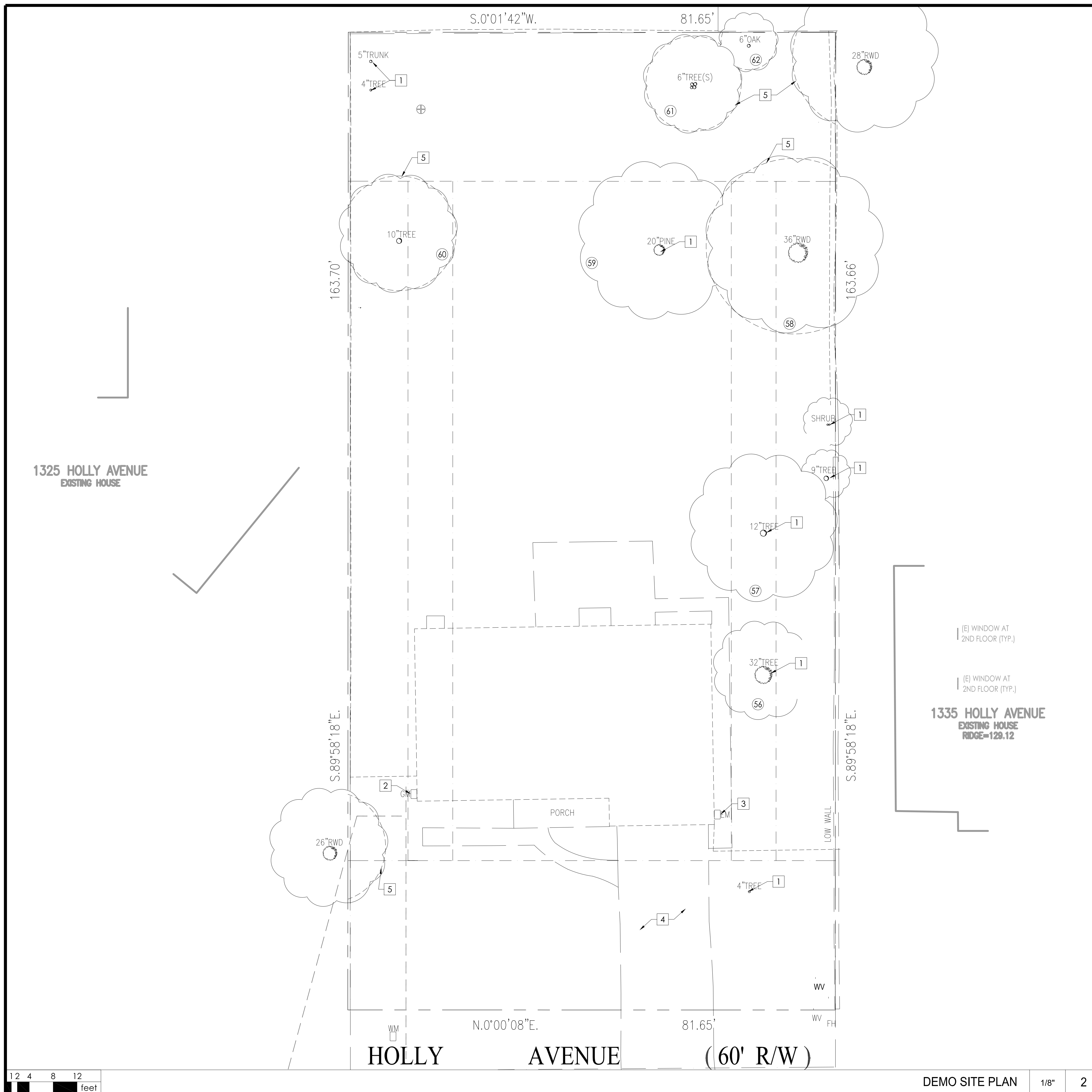


12 4 8 12 feet

SITE PLAN 1/8" 1

SITE PLAN LEGEND -





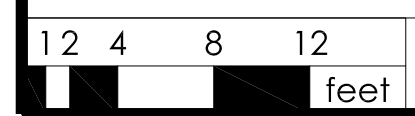
- # = NUMBER TO KEY NOTE BELOW
- (E) TREE TO BE REMOVED
  - (E) GAS METER TO BE RELOCATED--SEE A1.0 FOR NEW LOCATION
  - (E) ELECTRICAL PANEL TO BE RELOCATED--CONTRACTOR TO COORDINATE WITH PG&E--SEE A1.0 FOR NEW LOCATION
  - (E) DRIVEWAY TO BE REMOVED
  - TREE PROTECTION FENCING--4 TALL, METAL CHAIN LINK MATERIAL SUPPORTED BY 2" DIAMETER POLES, POUNDED INTO THE GROUND TO A DEPTH OF NO LESS THAN 18"--NO EQUIPMENT OR MATERIALS SHALL BE STORED OR CLEANED INSIDE THE PROTECTION ZONES--SEE ARBORIST REPORT FOR MORE INFO

Tree #	Species	DBH	Condition	Height/Spread	Comments
56	Black Walnut (Juglans nigra)	30"	35	25'/18'	excessively decay, poor condition
57	Black Walnut (Juglans nigra)	12"	30	20'/14'	large open cavity @ main trunk, poor cond
58	Coast Redwood (Sequoia sempervirens)	36"	75	80'/30'	Good vigor, some DW
59	Monterrey Pine (Pinus radiata)	24"	45	33'/22'	Poor cond, pine beetle disease
60	Persimmon (Diospyrus)	10'/6"	80	18'/16'	Good vigor, multi trunk, some DW
61	Loquat (Eriobotrya japonica)	4/5/4/6"	80	14'/16'	Good vigor, abundance of inner DW, multi trunk
62	Coast Live Oak (Quercus agrifolia)	6"	70	15'/12"	Dense canopy, some DW

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DEMOLITION KEYNOTES -

----- EXISTING WALL OR ELEMENT TO BE DEMOLISHED--PROVIDE TEMPORARY SHORING FOR ROOF AND/OR CEILING



DEMOLITION SITE PLAN 1/8" 2

DEMOLITION PLAN LEGEND -



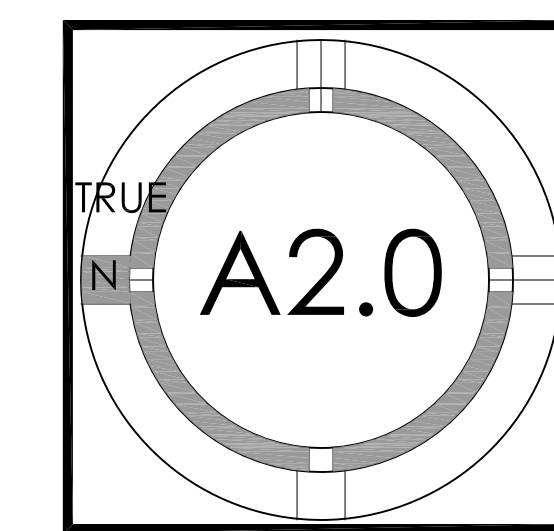
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POON - TRAN RESIDENCE  
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CELIA POON AND PETER TRAN

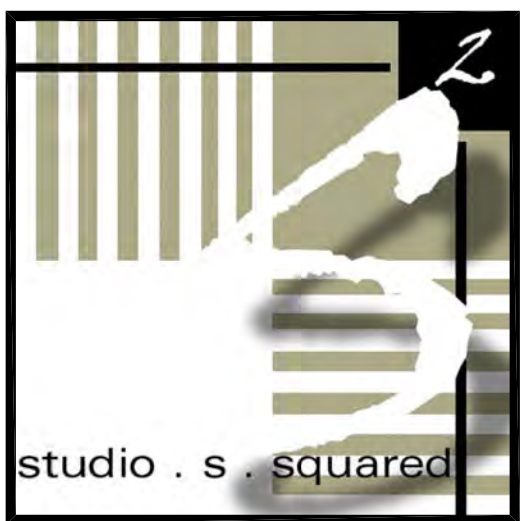


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	01.13.2016	DESIGN DVLPMT. RESUB.	DJ

DEMOLITION SITE PLAN

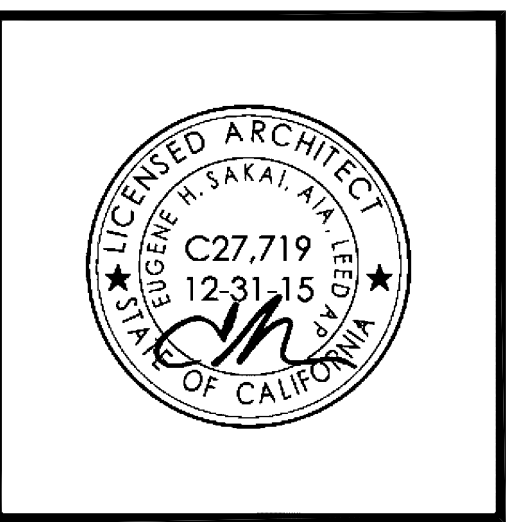






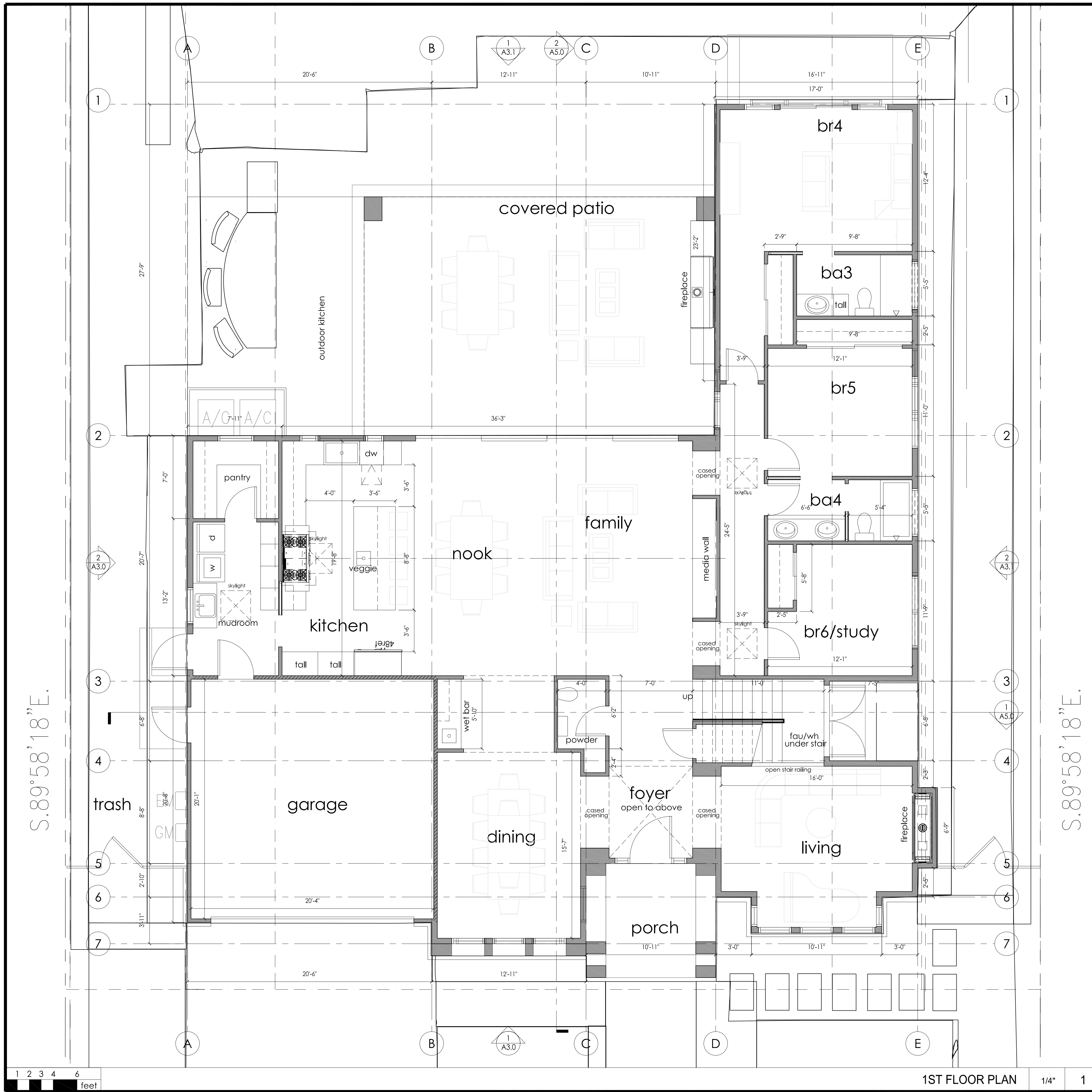
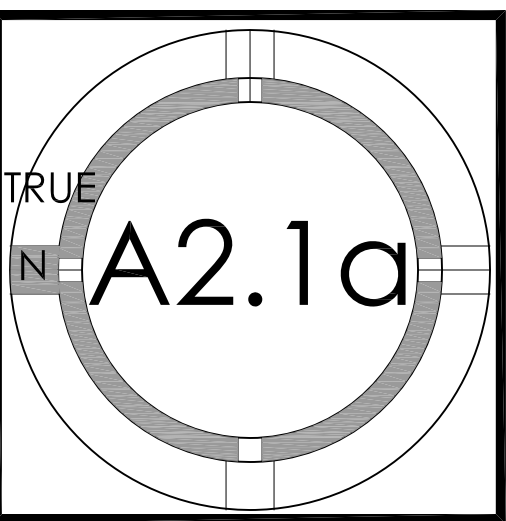
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REVISION	01.13.2016	DESIGN DVL/PANT. RESUB.	DJ

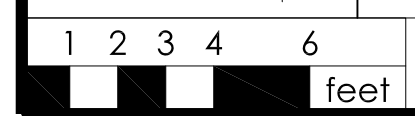
**1ST FLOOR PLAN**



**FLOOR PLAN KEYNOTES**

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER STUDS OR SHEATHING OF EXTERIOR WALLS PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

(N) WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING



1ST FLOOR PLAN 1/4" 1

FLOOR PLAN LEGEND -





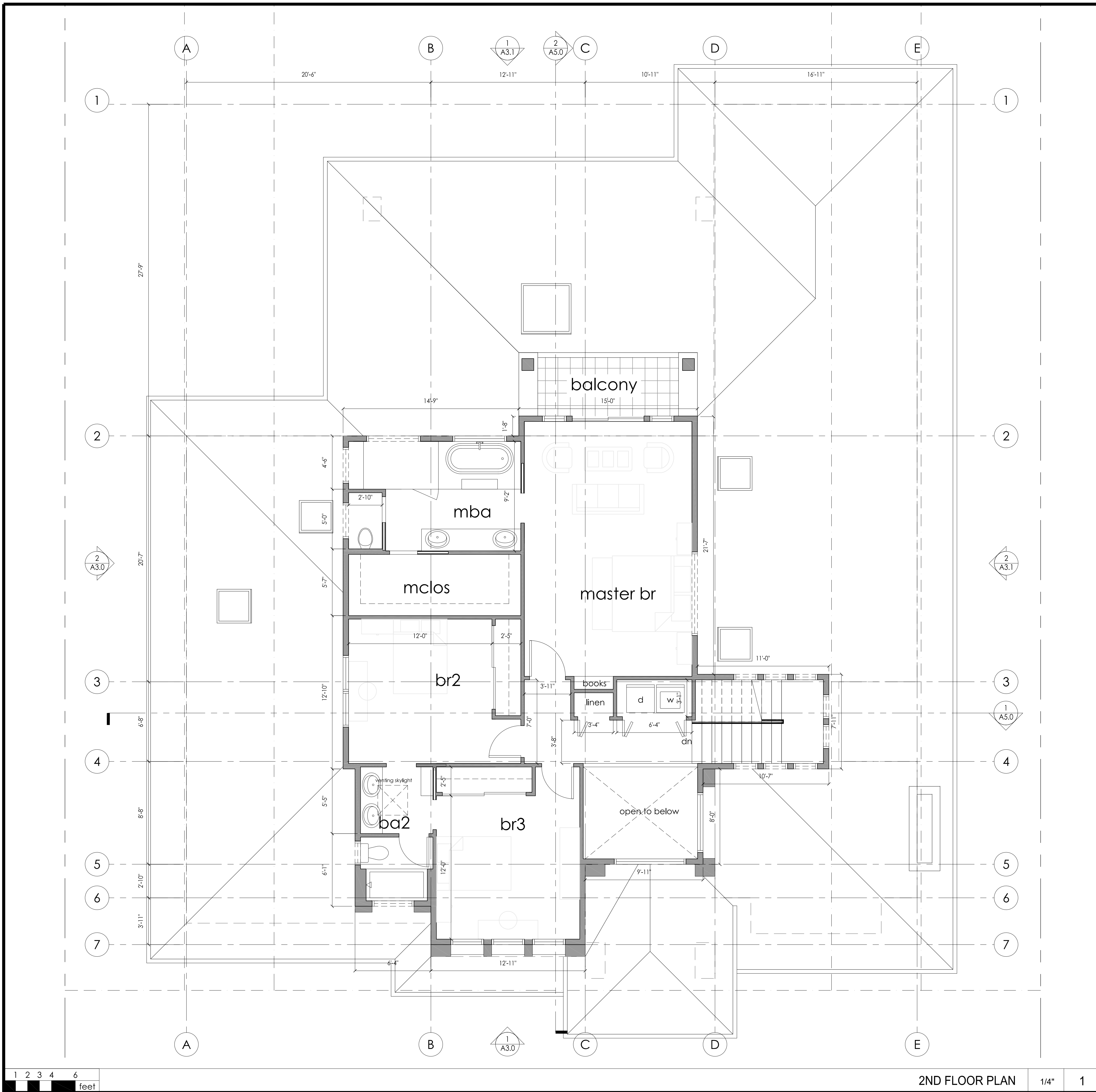
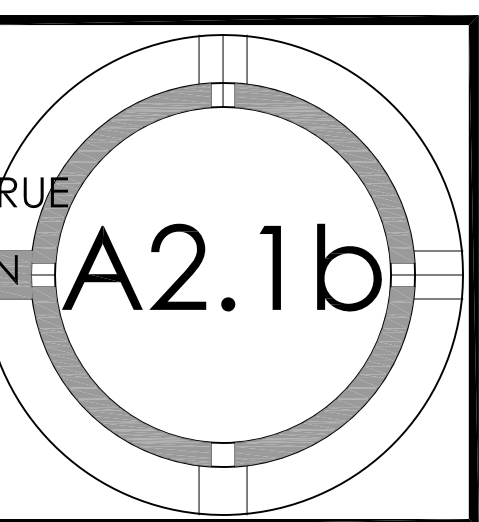
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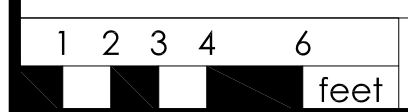
PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
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REVISION	01.13.2016	DESIGN DVL/PANT. RESUB.	DJ

**2ND FLOOR PLAN**



**FLOOR PLAN KEYNOTES**

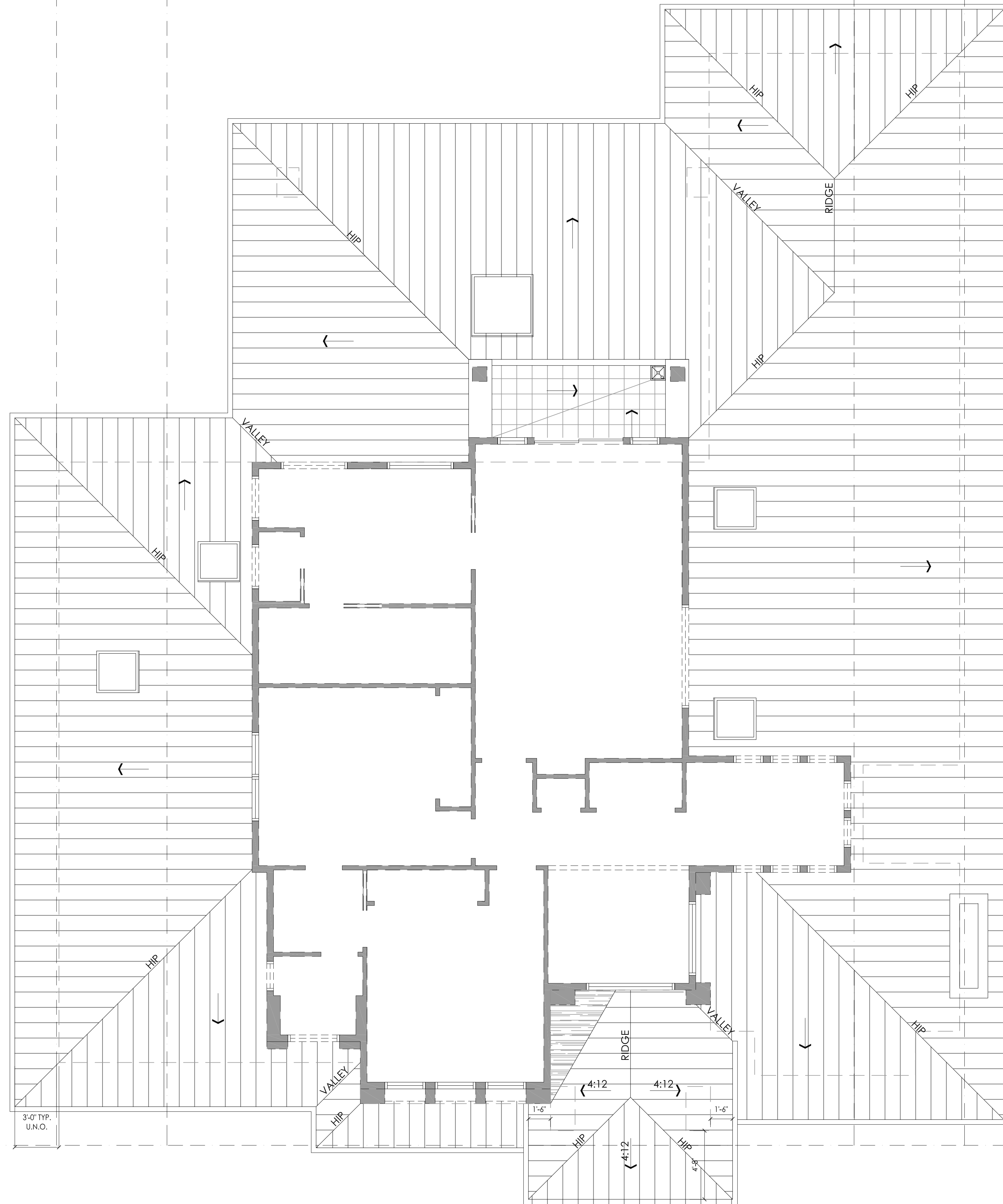
- (N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER STUDS OR SHEATHING OF EXTERIOR WALLS PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD
- (N) WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING



2ND FLOOR PLAN 1/4" 1

FLOOR PLAN LEGEND -

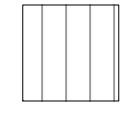

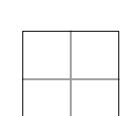






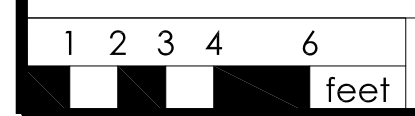


1. (N) ROOFING--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2
4. ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE AND ARE NOT VISIBLE FROM THE STREET
5. APPROXIMATE ROOF SLOPE 3:12 LOWER ROOF, 4:12 UPPER ROOF, U.N.O.
6. PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
7. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN
8. ALL (N) PLATE HEIGHTS TO MATCH EXISTING U.N.O. SEE RCP AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. CONNECT ALL (N) DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION IN BACKYARD DESIGNATED BY OWNER, MIN. 5' AWAY FROM HOUSE.

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

-  STANDING SEAM METAL ROOF, MIN CLASS "C"--MANUF: AEP SPAN; STYLE: SELECT SEAM; COVERAGE: 16'; GAUGE: 22; COLOR: COOL OLD TOWN GRAY--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND UES EVALUATION REPORT #0309
-  SINGLE PLY ROOFING, MIN CLASS "C"--MANUF: GAF OR EQUAL; STYLE: EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ TAPERED PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL 3/8" ROOFING GRAVEL o/ 6-OZ MIN. POLYMAT o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. WARRANTY INSTRUCTIONS.
-  TILE o/ THIN SET o/ MER-KRETE BFP 3-PART WATERPROOF AND CRACK ISOLATION MEMBRANE o/ MORTAR BED SLOPED MIN. 3/8:12--INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-2619--www.merkrete.com--VERIFY TILE SELECTION WITH OWNER, SEAL GROUT BETWEEN TILES
-  DENOTES FLAT ROOF DRAIN CONNECTED TO HARDPIPED 2" RAIN WATER LEADER AND 2" ROOF OVERFLOW. OVERFLOW TO BE CONNECTED TO ESCUTCHEON--SEE DETAILS [XXX/XXXX]--ENSURE ROOFING OVERLAPS ROOF DRAIN PER BOTH DRAIN AND ROOF MANUF. DIRECTIONS
-  DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - FIELD VERIFY COLOR W/ OWNER. INSTALL PER MFR. INSTRUCTIONS
-  DENOTES DIRECTION OF SLOPE--ROOF SLOPE APPROX.. REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
-  --- LINE OF BLDG. BELOW



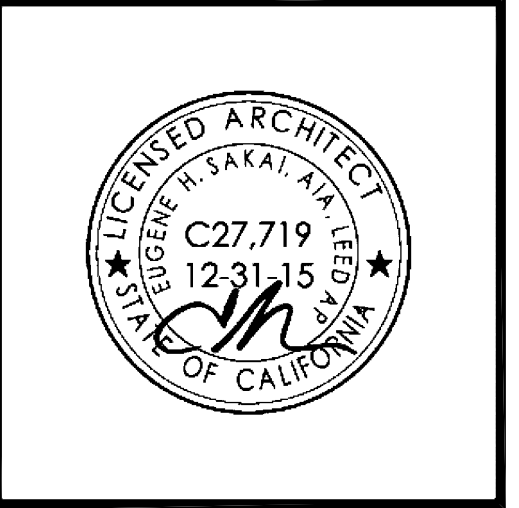
LOWER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



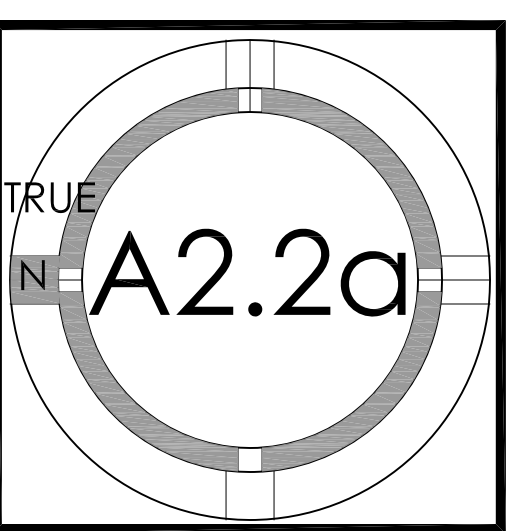
19 N. 2ND ST., Ste. 205  
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POON - TRAN RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
1331 HOLLY AVENUE, LOS ALTOS, CA  
CELIA POON AND PETER TRAN

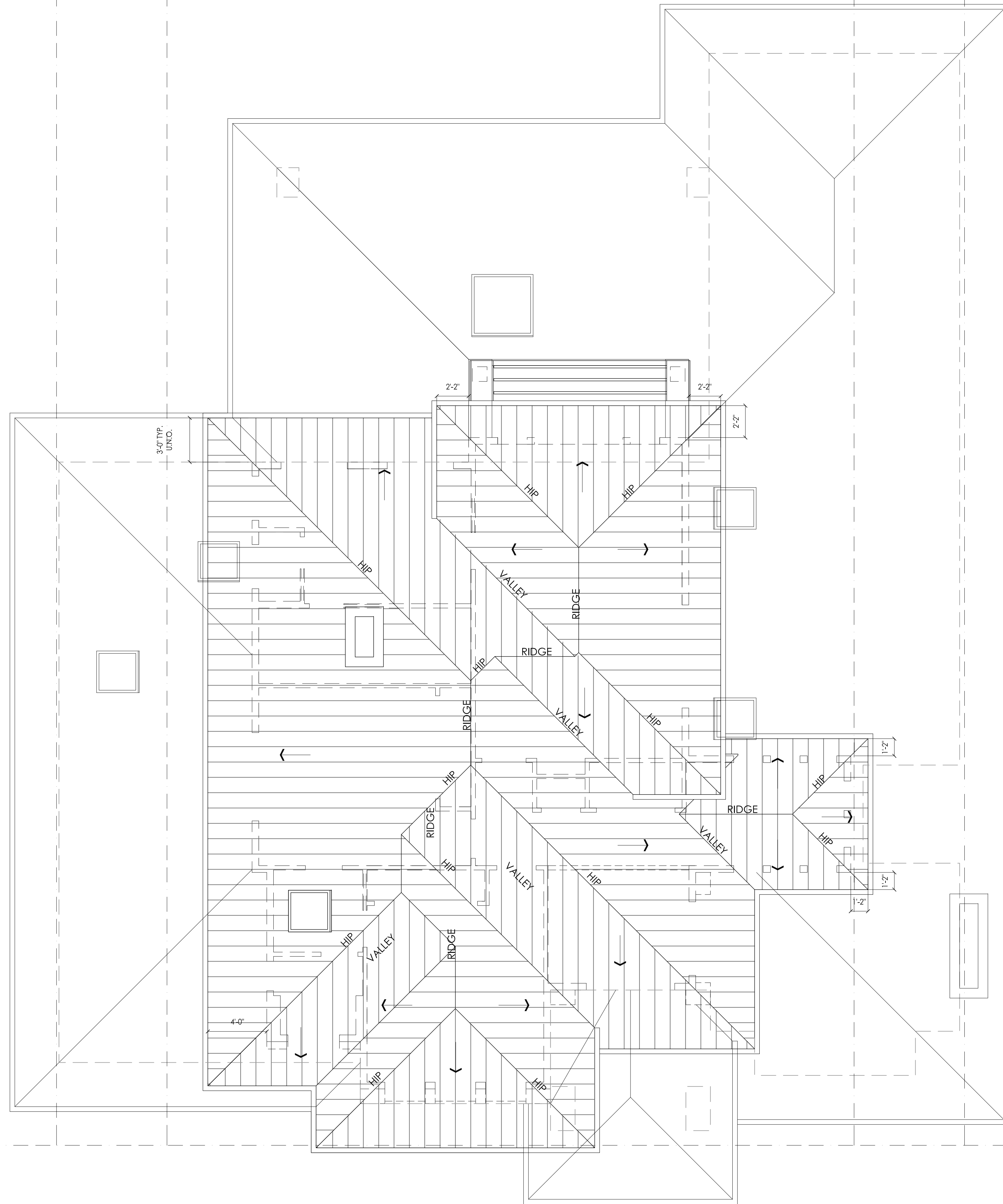


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15-030	10.19.2015	DESIGN DVL/PANT. REVIEW	DJ
REVISION	01.13.2016	DESIGN DVL/PANT. RESUB.	DJ

LOWER ROOF PLAN



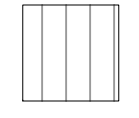

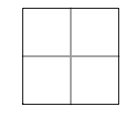






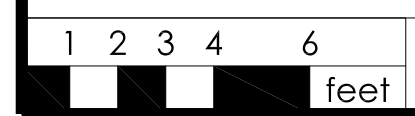


1. (N) ROOFING--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2
4. ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE AND ARE NOT VISIBLE FROM THE STREET
5. APPROXIMATE ROOF SLOPE 3:12 LOWER ROOF, 4:12 UPPER ROOF, U.N.O.
6. PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
7. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN
8. ALL (N) PLATE HEIGHTS TO MATCH EXISTING U.N.O. SEE RCP AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. CONNECT ALL (N) DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION IN BACKYARD DESIGNATED BY OWNER, MIN. 5' AWAY FROM HOUSE.

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

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-  SINGLE PLY ROOFING, MIN CLASS "C"--MANUF: GAF OR EQUAL; STYLE: EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ TAPERED PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL 3/8" ROOFING GRAVEL o/ 6-OZ MIN. POLYMAT o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. WARRANTY INSTRUCTIONS.
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-  DENOTES DIRECTION OF SLOPE--ROOF SLOPE APPROX.. REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
-  --- LINE OF BLDG. BELOW



UPPER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



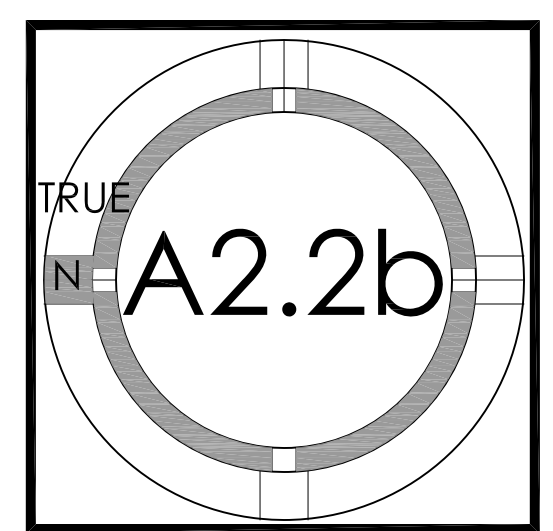
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**POON - TRAN RESIDENCE**  
NEW SINGLE FAMILY RESIDENCE  
1331 HOLLY AVENUE, LOS ALTOS, CA  
CELIA POON AND PETER TRAN



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
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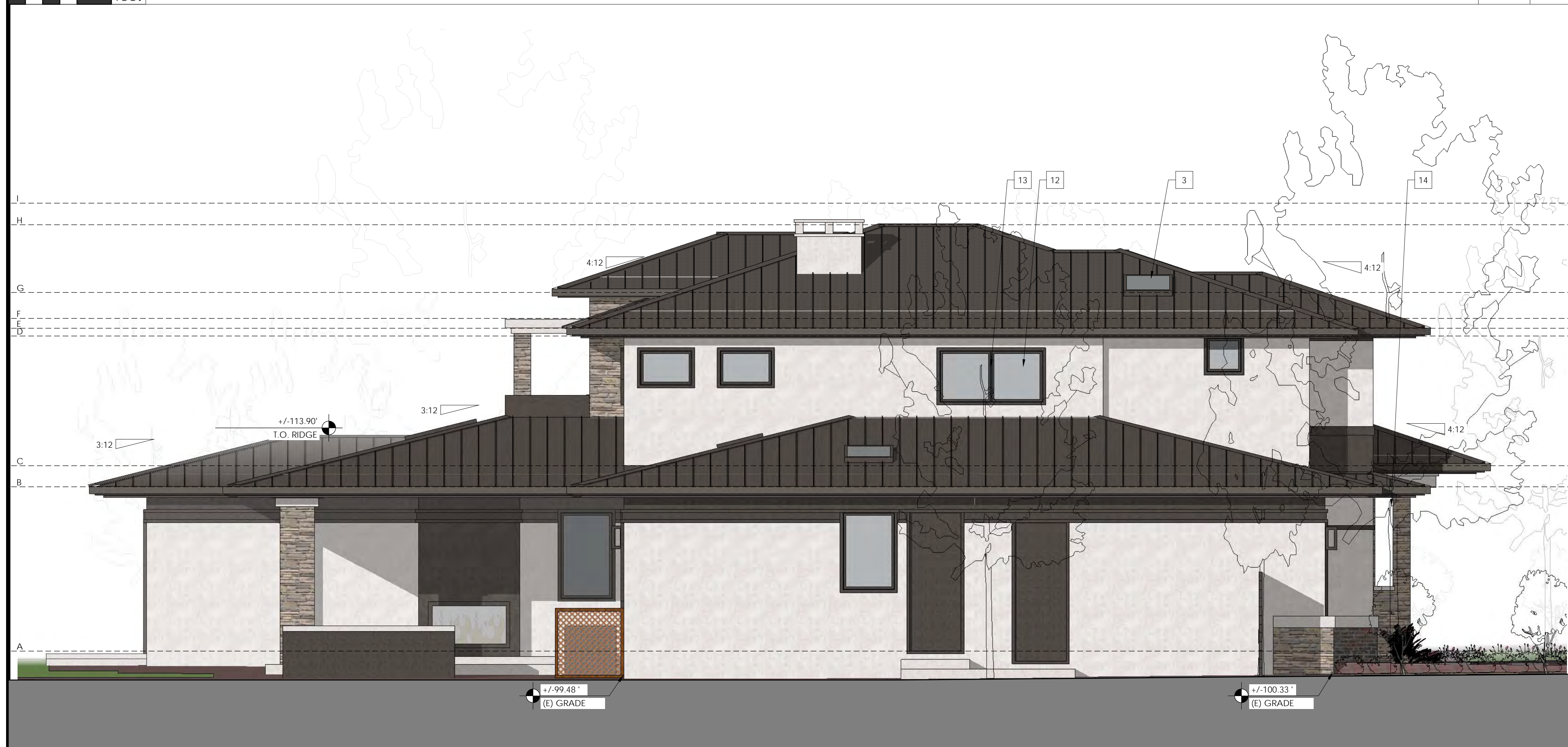
UPPER  
ROOF PLAN







WEST ELEVATION (FRONT) 1/4" 1



NORTH ELEVATION (LEFT) 1/4" 2

- # = NUMBER OF KEYNOTE BELOW
- 1 DAYLIGHT PLANE AS DEFINED BY CITY OF LOS ALTOS. GRADE FOR THE PURPOSE OF ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT
  - 2 STANDING SEAM METAL ROOFING--SEE ROOF PLAN FOR MORE INFO
  - 3 SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
  - 4 WOOD FRAMED CHIMNEY WITH #75 TEA PARTY CHIMNEY STUCCO CAP  
www.chimneyking.com--SEE ROOF PLAN FOR LOCATION
  - 5 PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" CEMENT PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE
  - 6 ADHERED LIGHTWEIGHT STONE VENEER (<15 LBS/SF)--MANUF.: ELDORADO STONE. STYLE: CLIFFSTONE. COLOR: MONTECITO. INSTALLATION STYLE: DRYSTACK. WAINSCOT SILL: SNAPPED EDGE. SILL COLOR: SAND--www.eldoradostone.com--INSTALL PER MANUF. INSTRUCTIONS, ICC-ES EVALUATION REPORT ESR-1215, AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780
  - 7 2x6 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
  - 8 PAINTED CEMENT FIBER TRIM--3x1 BELLYBAND
  - 9 PAINTED CEMENT FIBER TRIM--6x1 BELLYBAND
  - 10 FRONT DOOR, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: CALDWELLS SAN FRANCISCO'S DOOR COMPANY. STYLE: 3-LITE IG CLEAR GLASS 3-PANEL CRAFTSMEN. COLOR: CHESTNUT BRONZE PAINTED MAHOGANY www.caldwells.com
  - 11 GARAGE DOOR, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: CLOPAY DOOR. STYLE: CANYON RIDGE COLLECTION, SERIES 1, DESIGN 13, REC 13. COLOR: PRIMED (PAINTED NIGHT SHADE TO MATCH STUCCO ACCENT)--www.clopaydoor.com
  - 12 WINDOWS, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: JELD-WEN WINDOWS & DOORS. STYLE: SITELINE EX WOOD CASEMENT WINDOW. COLOR: CHESTNUT BRONZE www.jeld-wen.com--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 2" PAINTED FIBER CEMENT TRIM TYPICAL, U.N.O.
  - 13 ALUMINUM BRAKE SHAPE--FINISH TO MATCH WINDOW FRAME--VERIFY SIZE IN FIELD
  - 14 OPENING THROUGH WALL--WRAP ALL SIDES WITH FLEXIBLE SELF-ADHERED FLASHING AND LAP VERTICAL WALL SURFACES 8" MIN.
  - 15 STONE VENEER WRAPPED SQUARE COLUMN, 2'-0"x1'-6" RECTANGULAR, 9'-1" OVERALL HEIGHT
  - 16 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY. STYLE: ATLANTIS 1640BZ-LED. COLOR: BRONZE--www.hinkleylighting.com
  - 17 PIN MOUNTED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 4". STYLE: LUXELLO MODERN. FINISH: BRUSHED--www.surrounding.com--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
  - 18 STONE 4" HIGH ENTRANCE COLUMN
  - 19 STONE LOW WALL
  - 20 OUTDOOR KITCHEN--SEE LANDSCAPE DRAWINGS FOR MORE INFO

NOTES:  
 1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES  
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 3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES  
 4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES  
 5. EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY--SEE A0.3a FOR 3D MODEL VIEWS

KEYNOTES	-	-

ELEVATION GRID LINE KEY

A	1ST FLOOR FINISH FLOOR = +/- 101.02'
B	1ST FLOOR CEILING HEIGHT (U.N.O.) = +/- 110.52'
C	2ND FLOOR FINISH FLOOR (U.N.O.) = +/- 111.77'
D	FOYER CEILING HEIGHT = +/- 119.30'
E	BA2/BR2/MCLOS/MBA CEILING HEIGHT = +/- 119.77'
F	2ND FLOOR CEILING HEIGHT (U.N.O.) = +/- 120.27'
G	MASTER BR CEILING HEIGHT = +/- 121.77'
H	PROPOSED BUILDING HEIGHT = +/- 125.72'
I	MAX BUILDING HEIGHT ALLOWED = 27'-0" +/- 127.82'

ELEVATION GRID LINE KEY	-	-



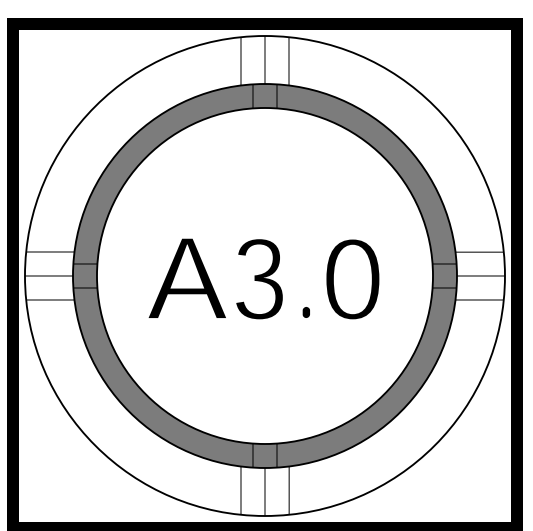
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**POON - TRAN RESIDENCE**  
 NEW SINGLE FAMILY RESIDENCE  
 1331 HOLLY AVENUE, LOS ALTOS, CA  
 CEILIA POON AND PETER TRAN



REVISION	DATE	DESCRIPTION	DRAWN BY
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	01/13/2016	DESIGN DEVELOPMENT RESUB.	DJ

EXTERIOR ELEVATIONS







EAST ELEVATION (REAR) 1/4" 1



SOUTH ELEVATION (LEFT) 1/4" 2

# = NUMBER OF KEYNOTE BELOW

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NOTES:

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3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
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KEYNOTES - -

ELEVATION GRID LINE KEY

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ELEVATION GRID LINE KEY - -



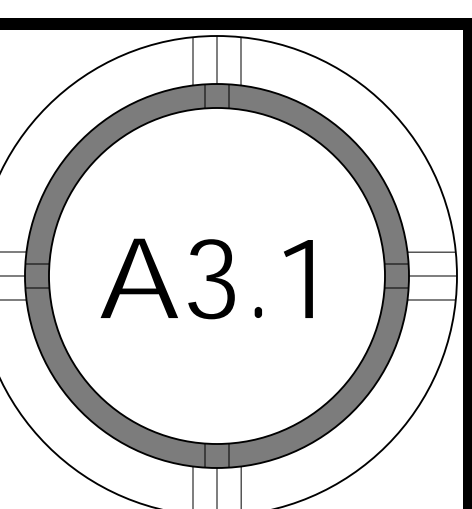
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POON - TRAN RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
1331 HOLLY AVENUE, LOS ALTOS, CA  
CEILIA POON AND PETER TRAN



REVISION	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY
	10/19/2015	DESIGN DEVELOPMENT REVIEW	DJ	DJ
	01/13/2016	DESIGN DEVELOPMENT REVIEW	DJ	DJ

EXTERIOR ELEVATIONS





+/- 14'-0" c.t.g.

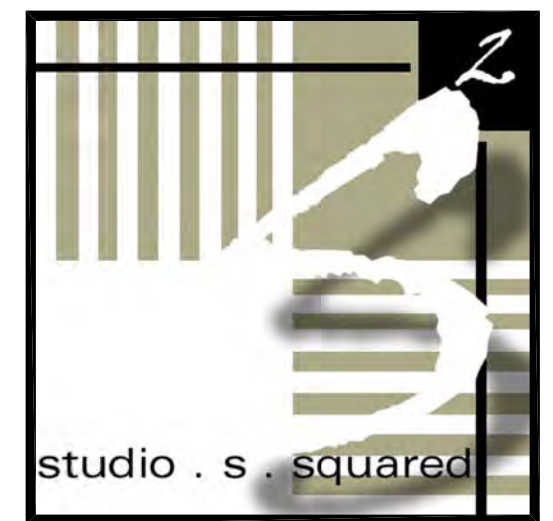


EXISTING FRONT ELEVATION - 1



EXISTING SIDE ELEVATIONS - 2

KEYNOTES -



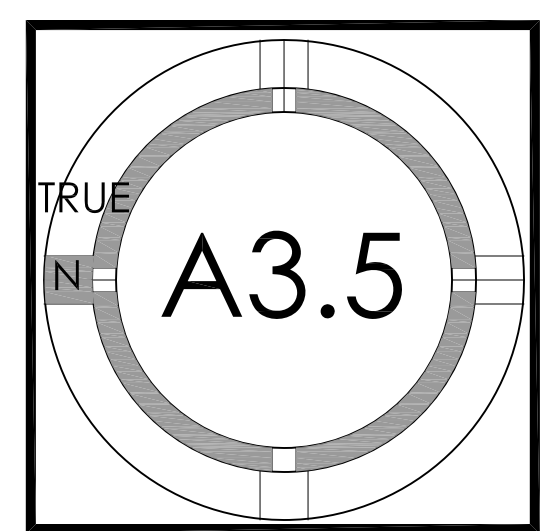
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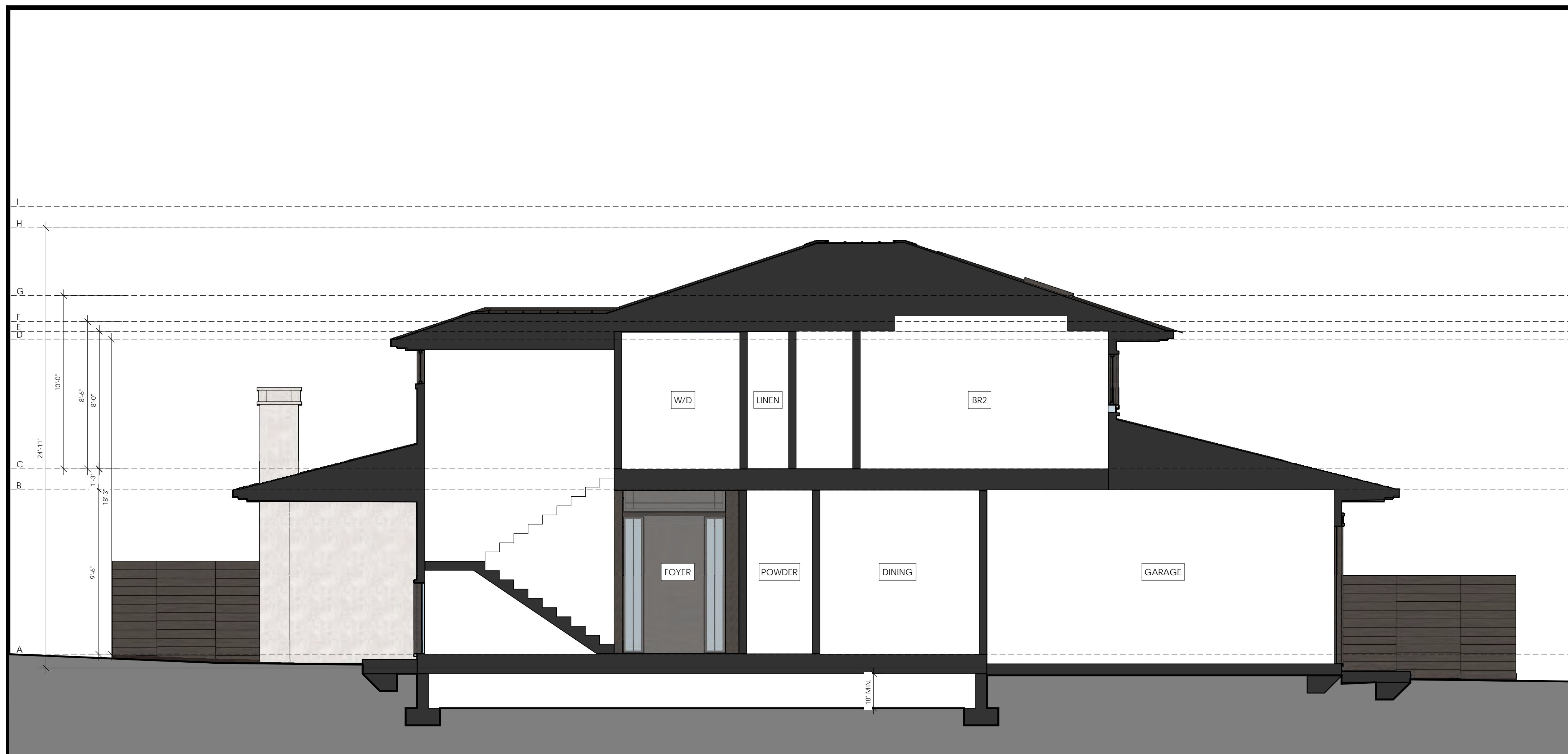


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15-030	10.19.2015	DESIGN DVL/PMT. REVIEW	DJ
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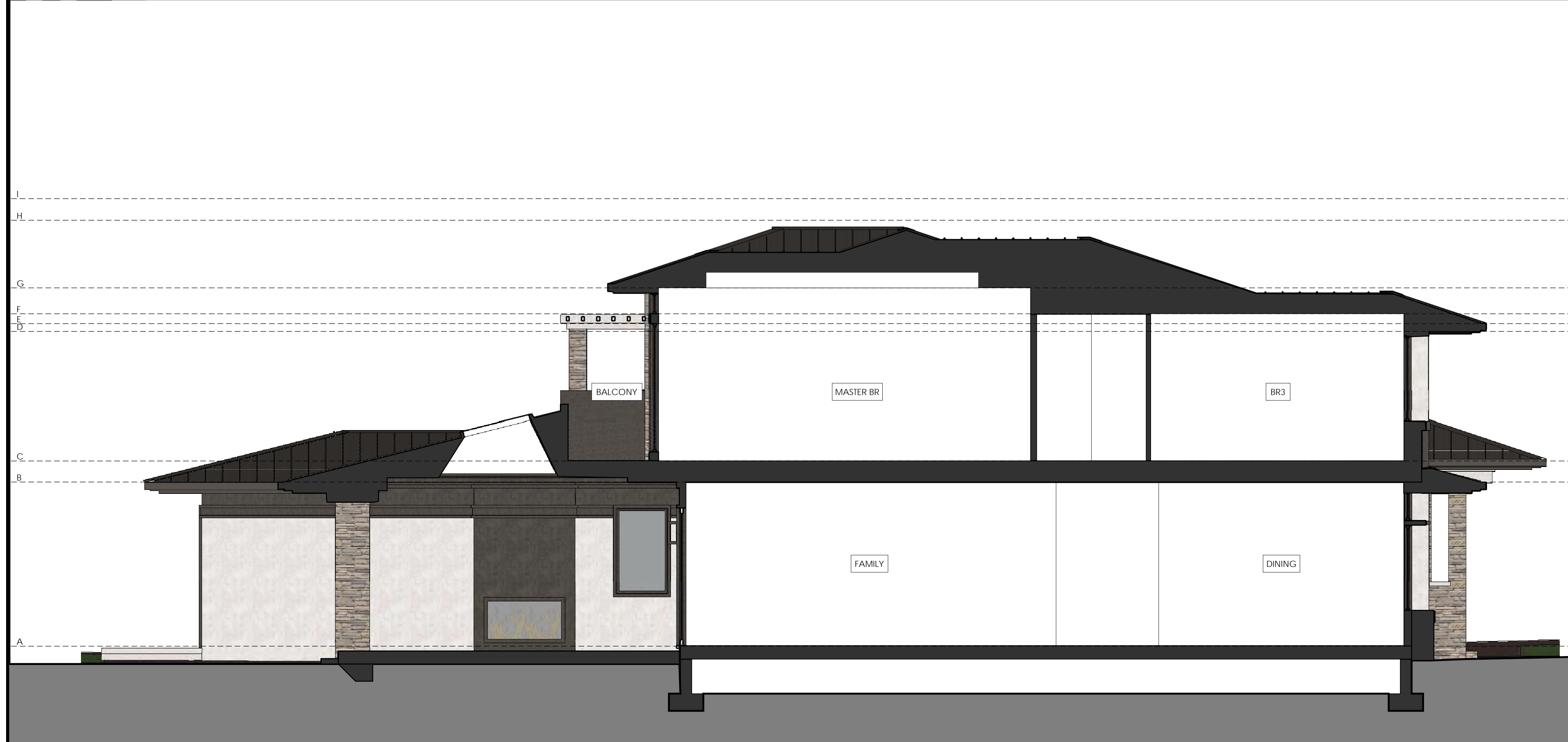
EXISTING ELEVATIONS







SECTION 1 1/4" 1



SECTION 2 1/4" 2

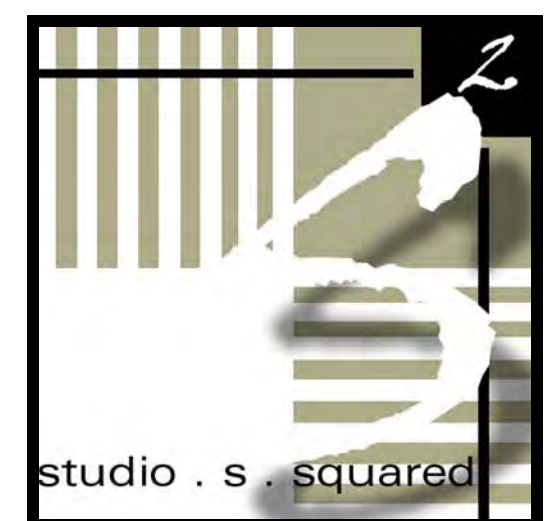
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- NOTES:
- SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
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  - SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
  - SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
  - SEE BID INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS INDICATED IN T24 REPORT

KEYNOTES	-	-

SEE EXTERIOR ELEVATIONS FOR ELEVATION GRID LINE KEY

ELEVATION GRID LINE KEY	-	-



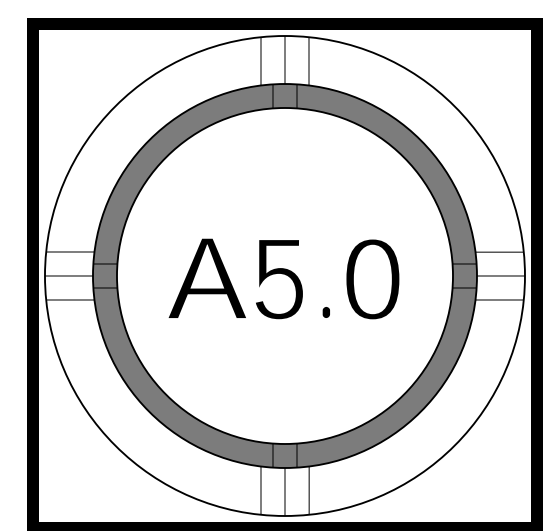
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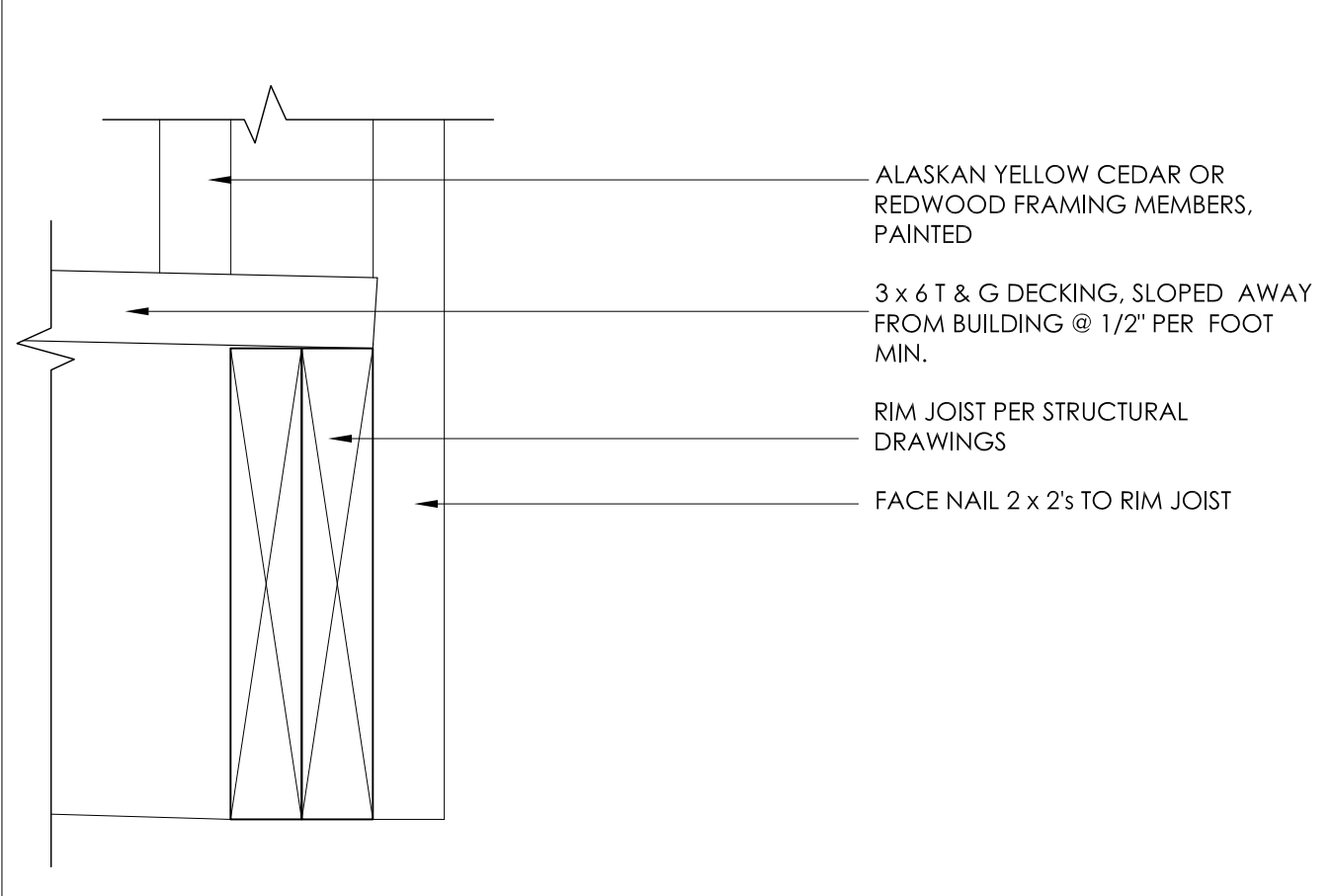
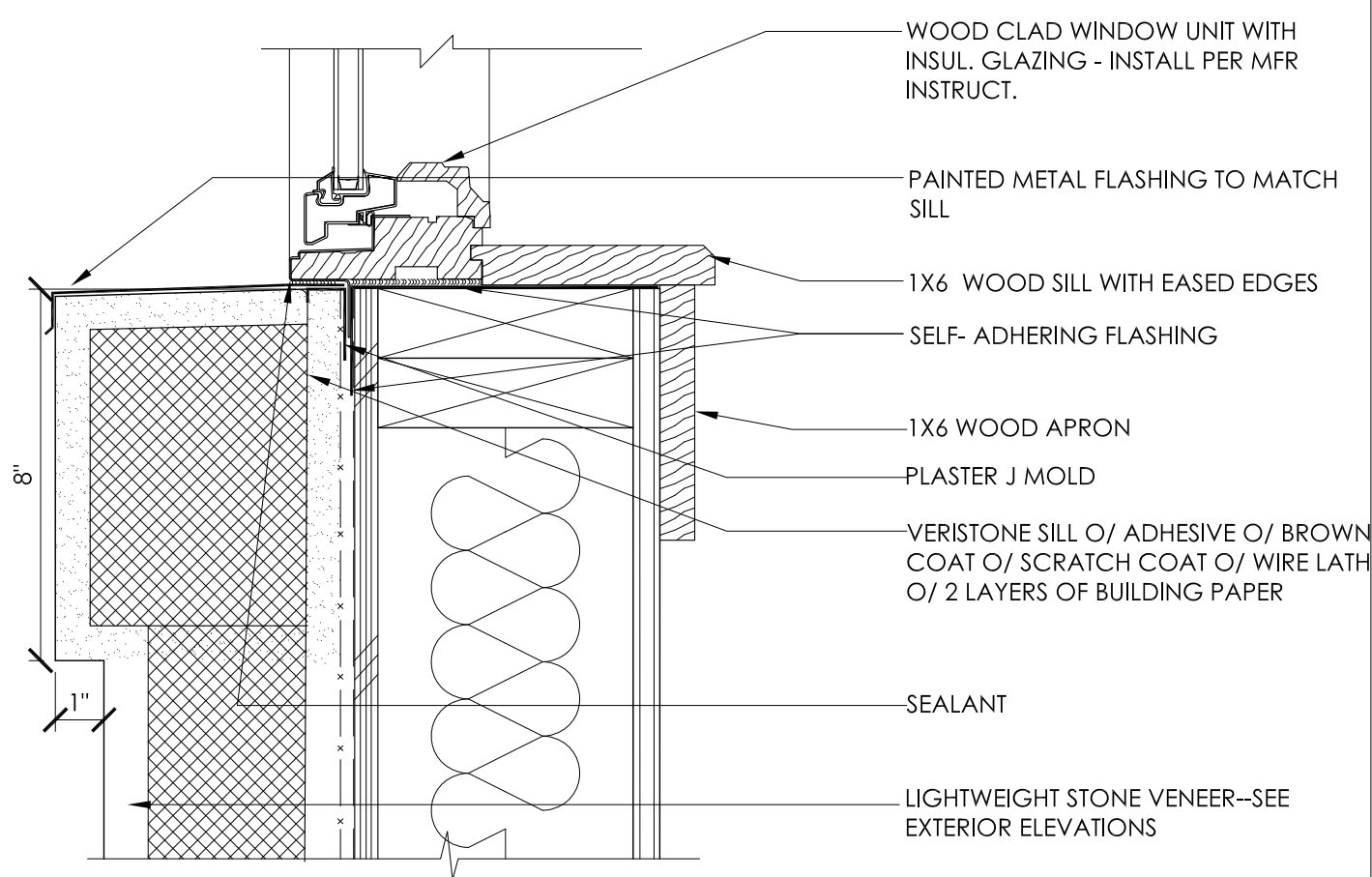


PROJECT NO.	DATE	DESCRIPTION	BY
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	01/13/2016	DESIGN DEVELOPMENT RESUB.	DJ

SECTIONS







13

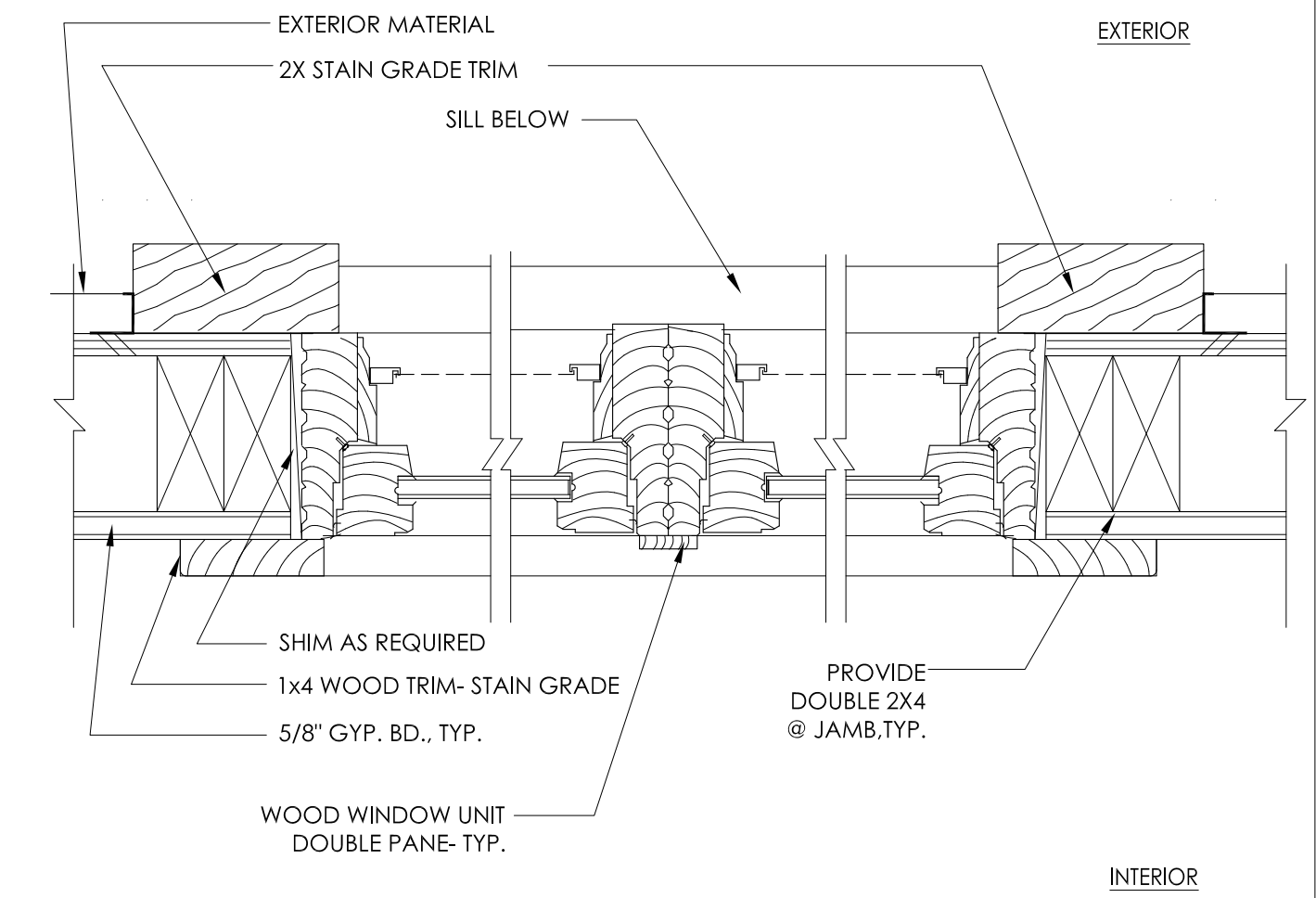
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WINDOW HEAD

WINDOW SILL 3" 5

WINDOW SILL

BALCONY RAIL @ DECK 1

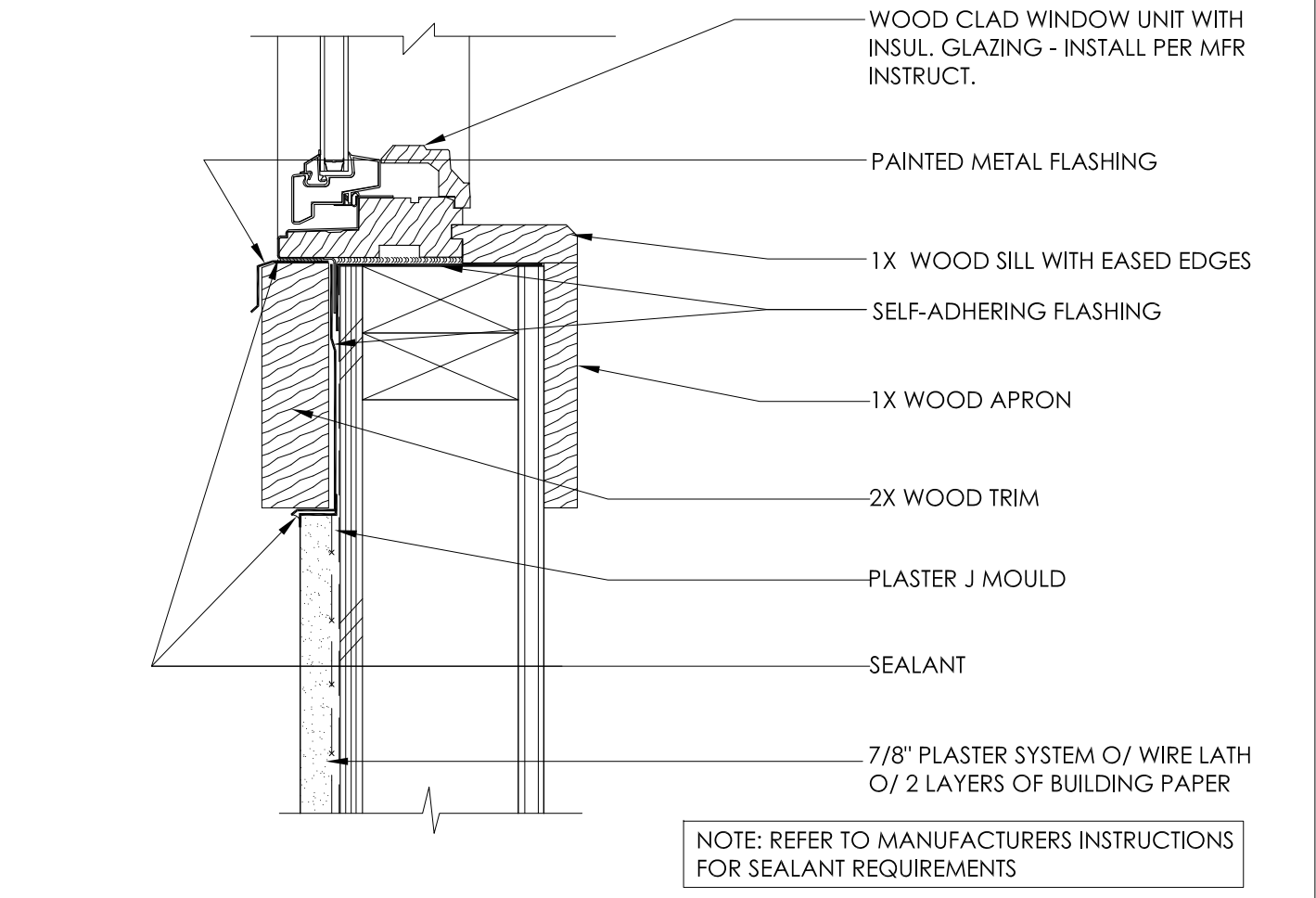


TYP WINDOW JAMB 3" 6

14

10

WINDOW HEAD

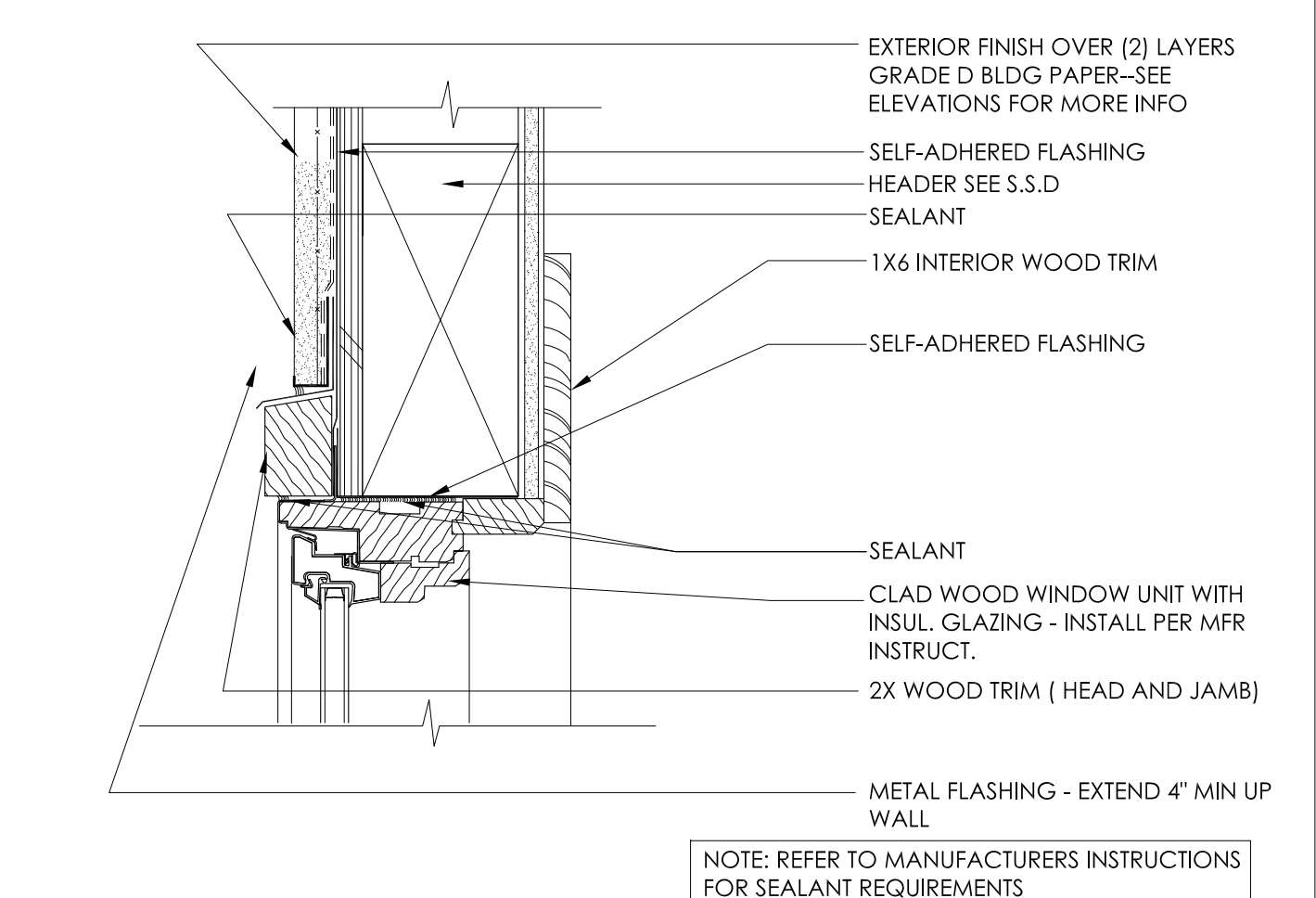


TYPICAL WINDOW SILL 3" 7

15

11

WINDOW HEAD

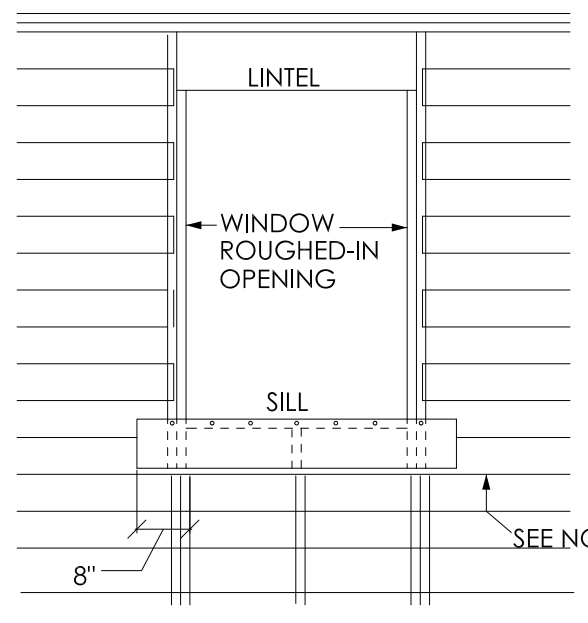


TYP. WINDOW HEAD (JAMB. SIM.) 3" 8

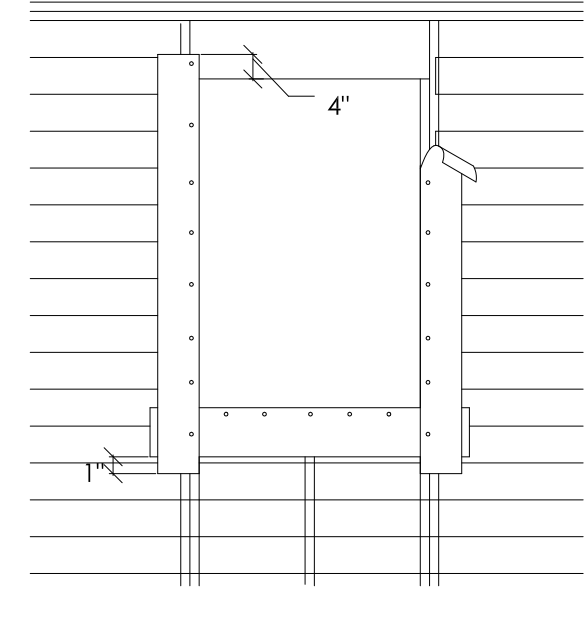
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12

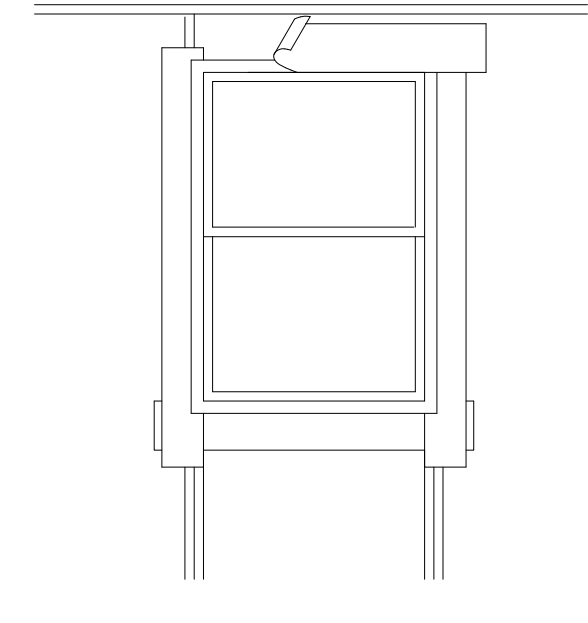
WINDOW HEAD



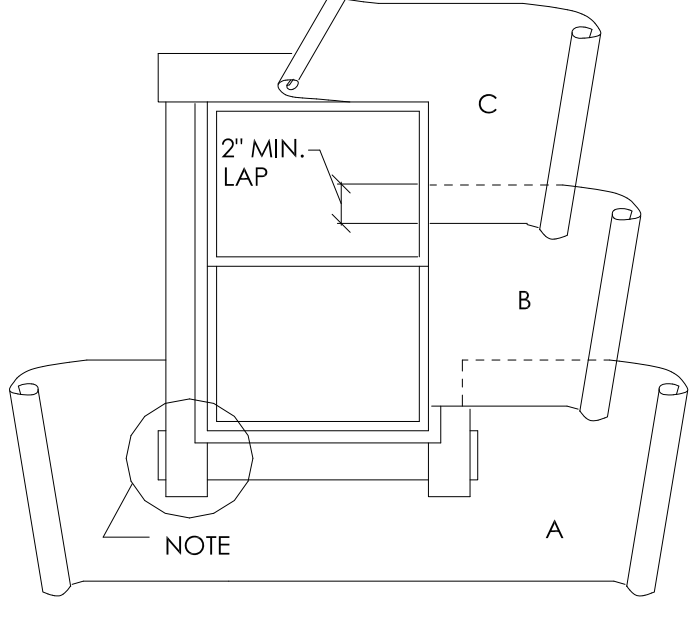
ATTACH A SILL STRIP OF ASPHALT-SATURATED ROOFING FELT PAPER AT LEAST 9" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 8" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FELT WITH GALVANIZED ROOFING NAILS OR RUST RESISTANT STAPLES



AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS ( SIDE OF OPENING) AT LEAST 9" WIDE WITH INSIDE EDGE OF FELT EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 4" ABOVE THE LOWER EDGE OF THE LINTEL ( TOP OF WINDOW OPENING)



APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW. THEN PLACE THE WINDOW INTO THE ROUGH OPENING, WITH FLANGES OVER THE INSTALLED FLASHING STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FELT AT LEAST



STARTING AT THE BOTTOM OF THE WALL (GGLE PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING. (SHOWN IN DIAGRAM AS SHORT DASH LINES) INSTALL SUCCEEDING COURSES OF WATER-RESISTANT PAPER (B,C ETC.) OVER JAMB AND HEAD FLANGES IN SHINGLE BOARD FASHION

NOTES: SECTION CRC R703.8 CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHERPROOF. SINCE CRC DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED. USE 15 LB. ASPHALT-SATURATED FELT WHENEVER POSSIBLE FOR FLASHING MATERIAL. CAULK BACK OF WINDOW FLANGES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT. LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT HOUSE WRAP OR FELT BENEATH LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER WIRE BACKING.

TYPICAL PAPER WINDOW FLASHING N.T.S. 4



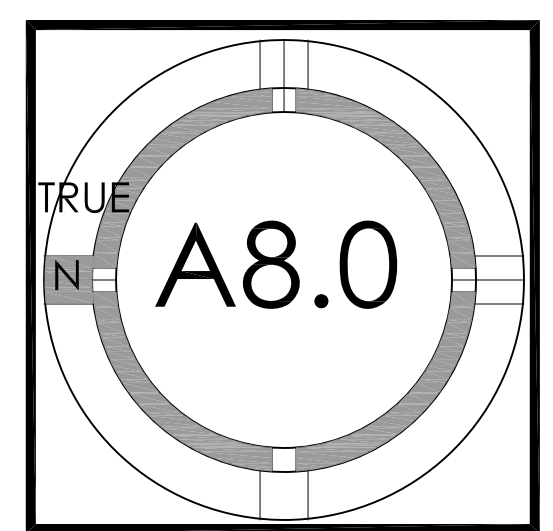
19 N. 2ND ST., Ste. 205  
San Jose, CA 95113  
P : (408) 998 - 0983  
F : (408) 404 - 0144

POON - TRAN RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
1331 HOLLY AVENUE, LOS ALTOS, CA  
CELIA POON AND PETER TRAN



PROJECT NO.	15-030
REVISION	
DATE	10.19.2015
DESCRIPTION	DESIGN DVL/PANT. REVIEW
DATE	01.13.2016
DESCRIPTION	DESIGN DVL/PANT. RESUB.
DRAWN BY	DJ
CHECKED BY	DJ

DETAILS





Synthetic Turf  
-Approx 2,809 sq'  
of real turf Arizona



Landscape Design by: Chikezie Nkwuo  
**Green Bliss Design**

Landscape Plan: 01-05  
**Tran-Poon Residence**

Scale:  
1" = 6'

Revision #:  
Date: 1/6/2016

Holly Ave

Planter (2'x15')

Medium Bark Mulch

Redwood Gate

Calstone Turfstone Series

Calstone Mission Series Tan/Charcoal

I-shaped BBQ Island  
(Brown Beige Charcoal Roman Stone with Blue Slate Top)

Integrated Roof

Table with chairs

Calstone Mission Series Tan/Charcoal

Pavers

Drought Resistant Lawn (Dwarf Double Fescue)

Concrete

Bench

Pond Less Waterfall

Kids' Fort 6' x 6'

Ex. Tree

Ex. Tree

Ex. Tree

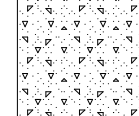
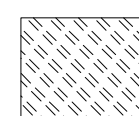
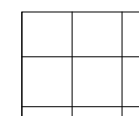
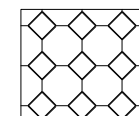


Ex. Tree

Pavers Stepping Stones Pathway (2' x 3') Broom Finish

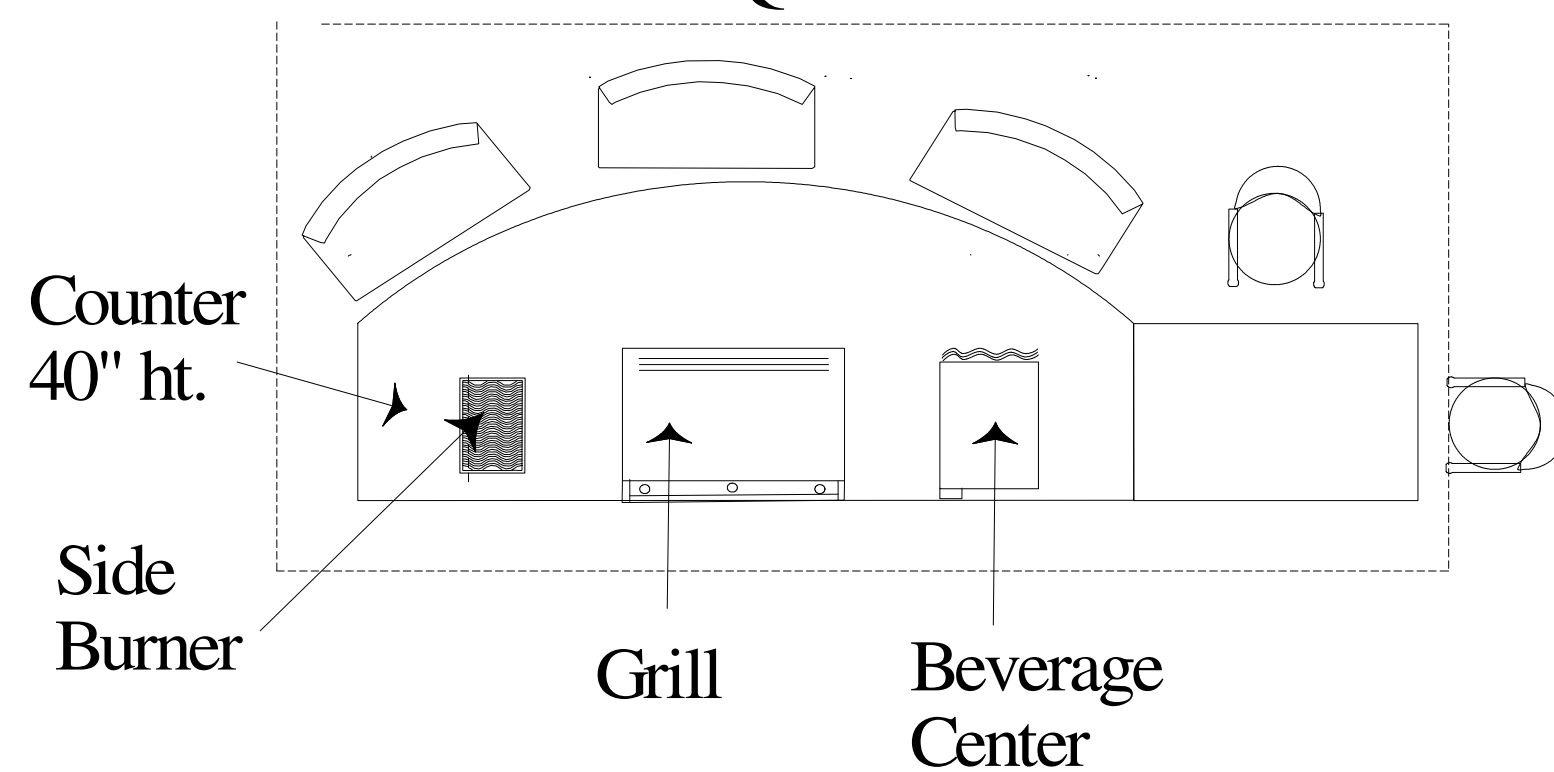
Redwood Gate

Redwood Fence

Hardscape and Ground Cover Materials

-  Broom Finish Concrete Pathways  
-Approx. 319 sq' of Coverage
-  Medium Bark Mulch 2" Coverage  
-Approx. 2,982 sq' or 18 cubic yards of coverage
-  Calstone Mission Series Pavers (Sand Set)  
-Approx. 1,397 sq' in Backyard  
-Approx. 892 sq' in Front Yard
-  Calstone Turfstone Series  
-Approx. 235 sq' of Coverage
-  (30) Low Voltage Path Lights  
Path and Area Lights  
Volt LED Max Spread Path & Area Light
-  Sonoma Fieldstone Boulders

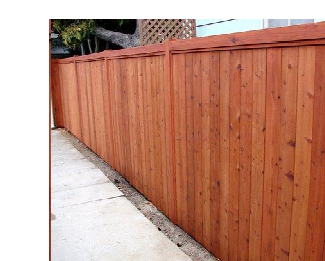
BBQ Island Detail



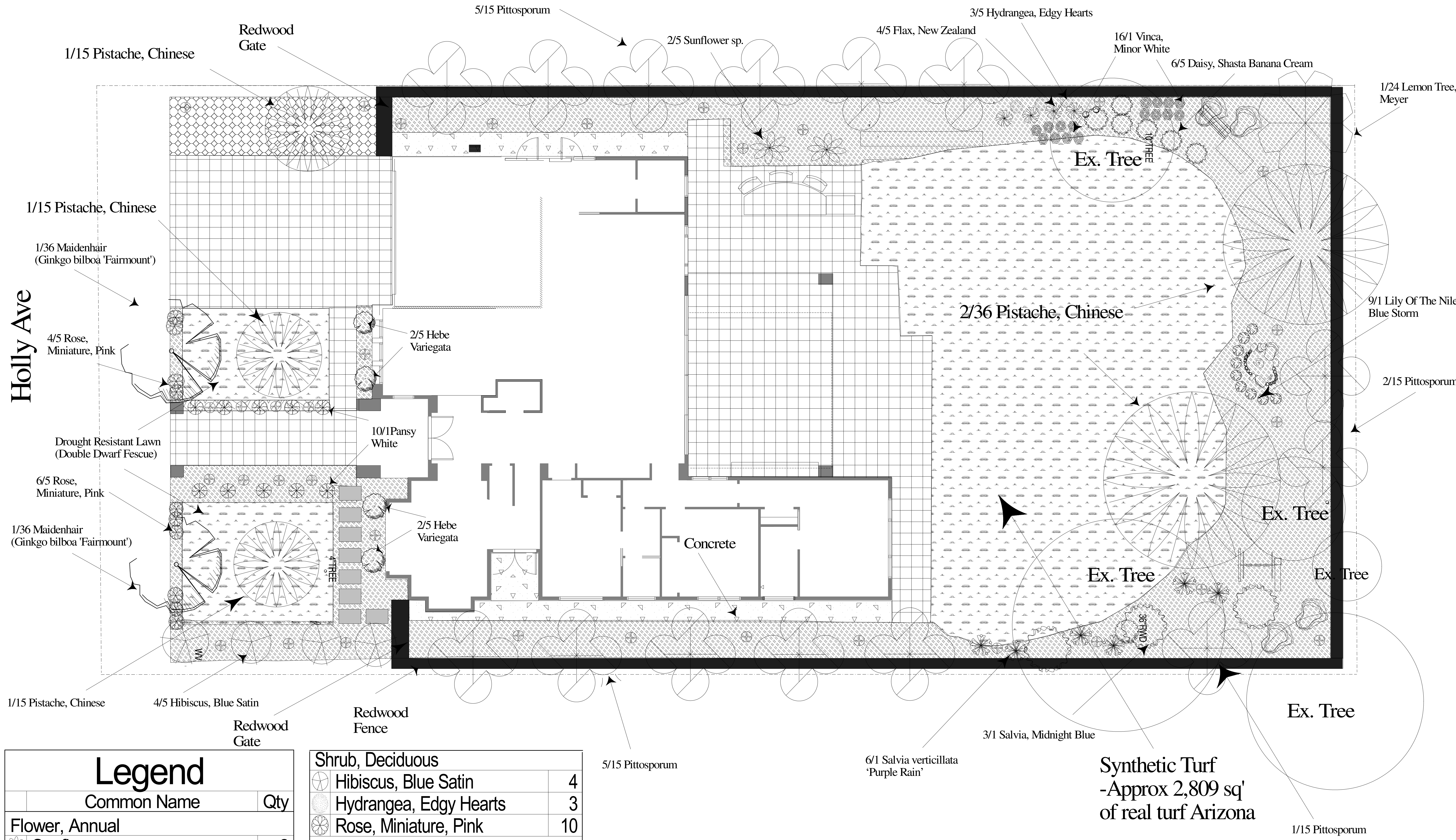
I-shaped BBQ Island Example

**Hardscape/Lighting Landscape Plan:  
1331 Holly Avenue Los Altos, CA, 94024**

Redwood Fence Detail







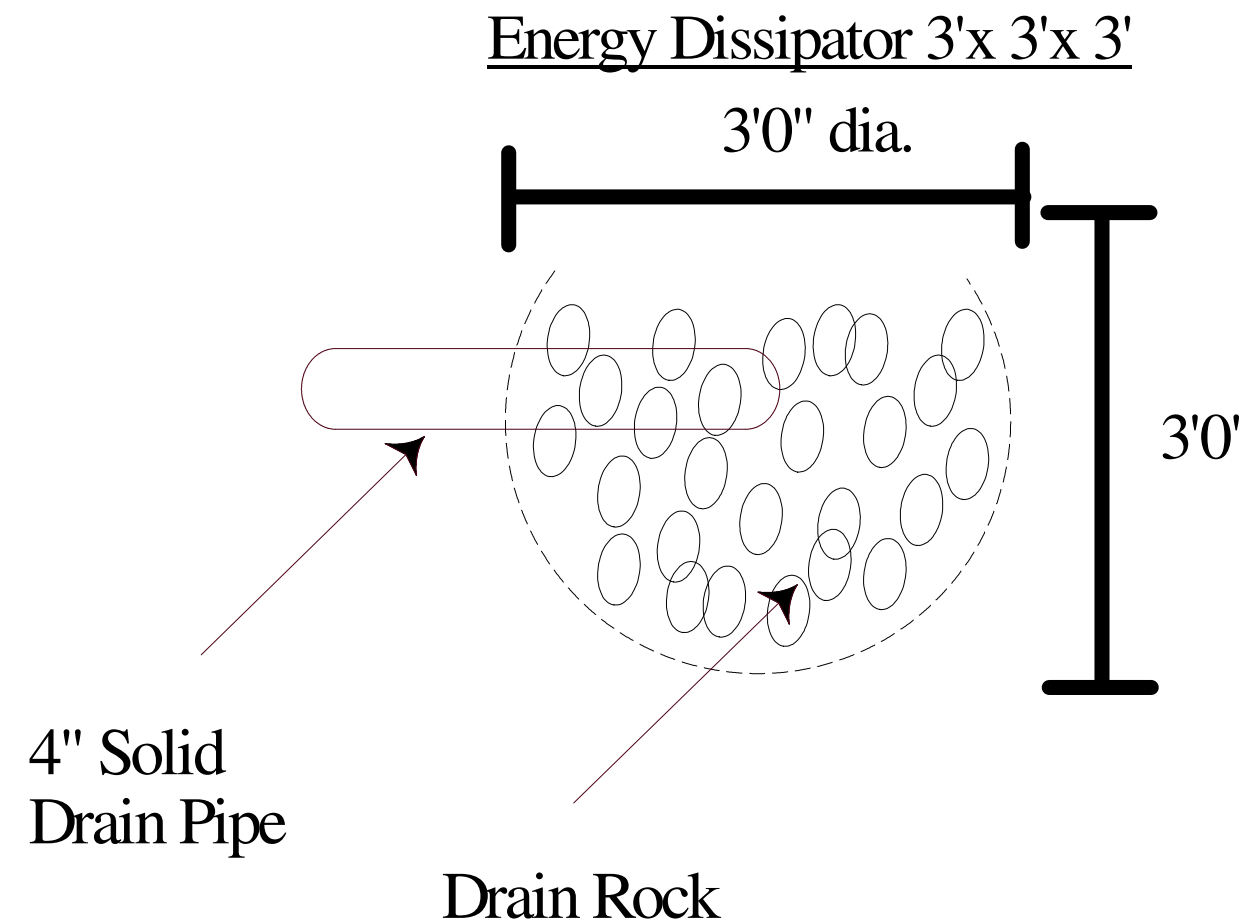
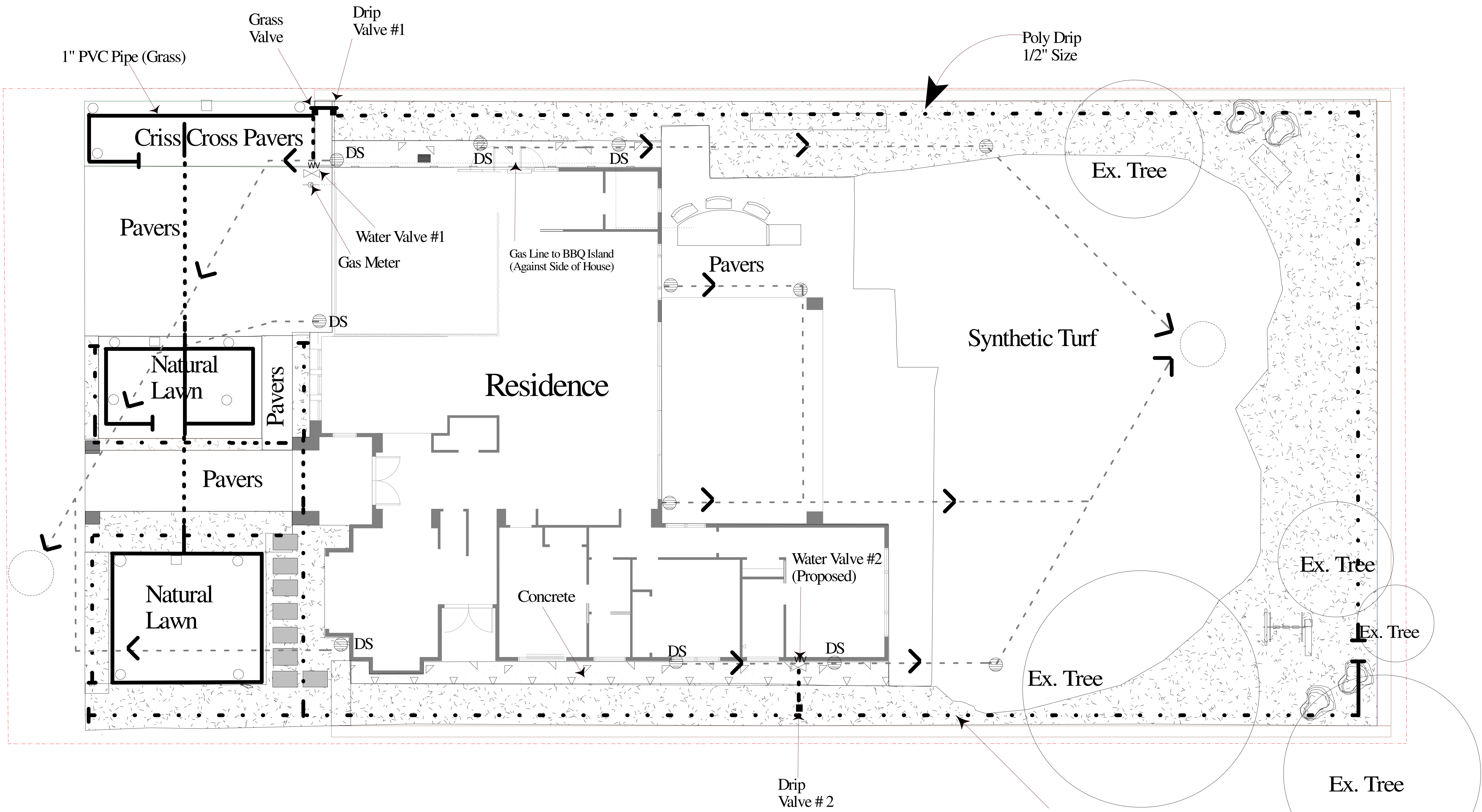
Legend	
Common Name	Qty
<b>Flower, Annual</b>	
Sunflower	2
<b>Flower, Perennial</b>	
Daisy, Shasta Banana Cream	6
Flax, New Zealand	4
Lily Of The Nile, Blue Storm	9
Pansy, White	10
Salvia verticillata 'Purple Rain'	6
Salvia, Midnight Blue	3
Vinca, Minor - White	16

<b>Shrub, Deciduous</b>	
Hibiscus, Blue Satin	4
Hydrangea, Edgy Hearts	3
Rose, Miniature, Pink	10
<b>Shrub, Evergreen Broadleaf</b>	
Hebe Variegata	4
Pittosporum	14
<b>Tree, Deciduous</b>	
Maidenhair (Ginkgo bilboa 'Fairmount')	2
Pistache, Chinese	5
<b>Tree, Evergreen</b>	
Lemon Tree, Meyer	1

## Greenscape Landscape Plan: 1331 Holly Avenue Los Altos, CA, 94024



Holly Ave



**Drainage Legend**

- New 6" Catch Basin
- 4" Solid Drain Pipe
- DS Down Spout
- Energy Dissipator 3'x 3'x 3'

**Irrigation Legend**

- 1" PVC Pipe (Natural Lawn Area)
- 1" PVC Pipe (Underneath Hardscape Areas)
- . - . 1/2" Poly Drip Pipe (Plants/Trees/Shrubs)
- Rain-Bird 1800 Series 6" Spray Head
- Rain-Bird 1800 Series 12" Spray Head

**Irrigation/Drainage Landscape Plan: 1331 Holly Avenue Los Altos, CA, 94024**



Landscape Design by: Chikezie Nkwuo  
Green Bliss Design

Landscape Plan: 01-05  
Tran-Poon Residence

Scale: 1" = 6'

Revision #:   
Date: 10/20/2015