



CUSTOM HOUSE

OWNER : MR. SHAUN & ELIZABETH WOO

ADDRESS: 84 DOUD DR. LOS ALTOS, CA

ABBREVIATIONS:

RWL. RAIN WATER LEADER	O.F.S. OUT SIDE FACE OF STUD
DS. DOWNSPOT	I.O.S. INSIDE FACE OF STUD
S/GD. SINK WITH GARBAGE DISPOSAL	O.C. ON CENTER
SH. ENC. SHOWER ENCLOSURE	CL. CENTER LINE
T.C. TIME CLOCK	PL. PLATE LINE
U.O.N. UNLESS OTHERWISE NOTED	P.T. PRESSURE TREATED
TYP. TYPICAL	FL. FLOOR
VGDF. VERTICAL GRAIN DOUGLESS FIR	F.F.E. FLOOR FINISH ELEVATION
WMP. WATERPROOF MEMBRANE	FF. FINISH FLOOR
WD. WOOD	PR. PAIR
WDW. WINDOW	R/A. RETURN AIR
RM. ROOM	REFR. REFRIGERATOR
W.W.F. WOVEN WIRE FABRIC	R/O. RANGE OVEN
CYP. BD. GYPSUM BOARD	MICR. MICROWAVE
CEM. PL. CEMENT PLASTER	EX. EXISTING
H.B. HOSE BIB	CLG. CEILING
M/C. MEDICAL CABINET	BLDG. BUILDING
MTL. METAL	DWG. DRAWING
GLV. GALVANIZED	JST. JOIST
GSM. GALVANIZED SHEET METAL	BM. BEAM
N.I.C. NOT IN CONTRACT	HDR. HEADER
W.I.C. WALK-IN CLOSET	INSUL. INSULATION
	BOTT. BOTTOM
	PNL. PANEL
	CONC. CONCRETE

PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM PER CBC CALIFORNIA RESIDENTIAL CODE SECTION R313. INSTALL A NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT. (PER MUNICIPAL CODE SECT. 12.10)

LOCATION OF UNDERGROUND UTILITIES PURSUANT TO MUNICIPAL CODE SECT. 12.68

DRAWING LIST	
Sheet Number	Sheet Name
A1	COVER SHEET
A2	SITE PLAN
A3	FIRST FLOOR PLAN
A4	SECOND FLOOR PLAN
A5	ROOF PLAN
A6	SECTIONS
A7	EXTERIOR ELEVATIONS
A8	EXTERIOR ELEVATIONS
A9	AREA SCHEMATICS
A10	IMPERVIOUS AREAS SCHEMATICS
A11	EXISTING BUILDING PLANS

C.0	TOPOGRAPHIC SURVEY
C.1	CIVIL DETAILS, NOTES
C.2	DRAINAGE & EROSION CONTROL
C.3	EROSION CONTROL DETAILS
C.4	CLEAN BAY BLUE PRINT

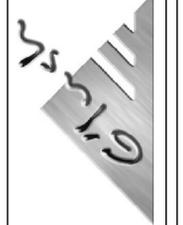
L-1	PLANTING PLAN
L-2	IRRIGATION PLAN
L-3	LANDSCAPE DETAIL & NOTES

DRAWING LIST:

GLUSH DESIGN ASSOC.
6572 NORTHRIDGE DR.
SAN JOSE CA 95120
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(408) 268-1665

No.	Description	Date

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COVER SHEET

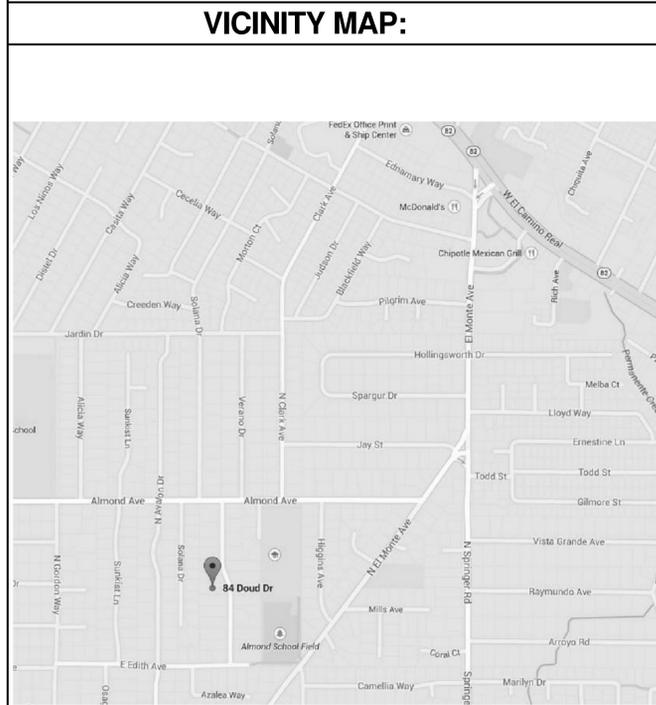
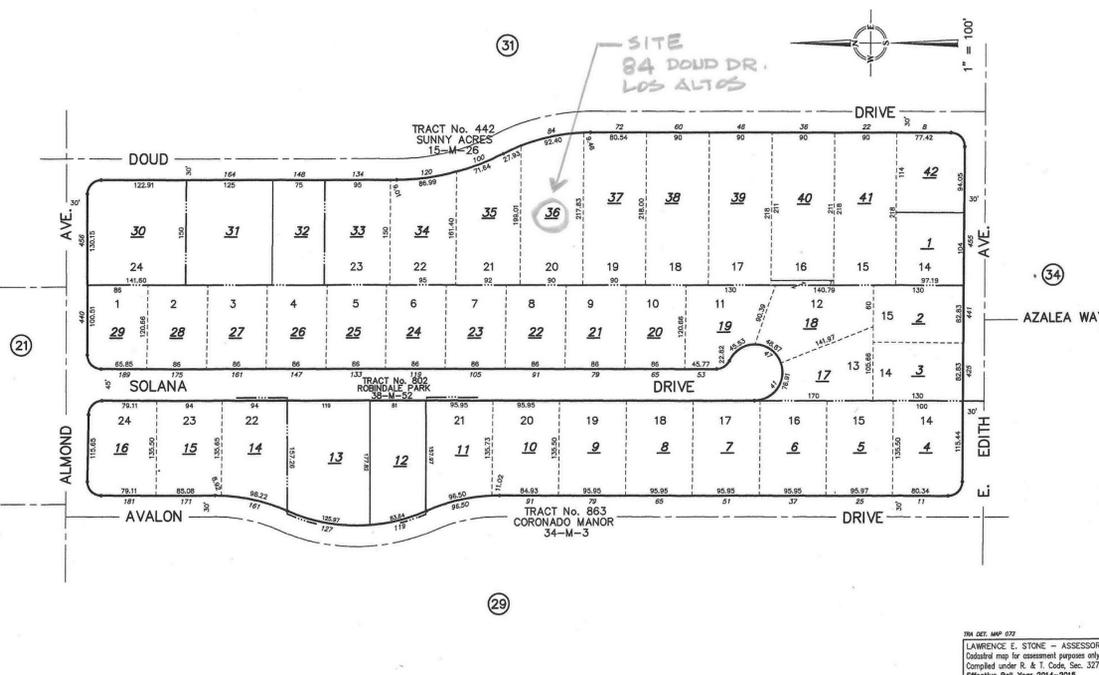
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OWNER: MR. SHAUN & ELIZABETH WOO
CUSTOM HOUSE
84 DOUD DR.
LOS ALTOS CA

Project no:	WU
Date:	NOV/11/2015
Drawn by:	Author
Checked by:	Checker
Scale:	A1

OFFICE OF COUNTY ASSESSOR — SANTA CLARA COUNTY, CALIFORNIA

BOOK	PAGE
170	30



VICINITY MAP:

A SEPARATED DEMOLITION PERMIT IS REQUIRED FOR THE COMPLETE AND SOMETIMES PARTIAL REMOVAL OF ANY STRUCTURE, AND MUST BE FINALIZED PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT APPLICATION.

PROJECT SUMMARY: APN # : 170-30-036

NET LOT AREA: 19,007 SQF			
% OF FRONT YARD PAVING	EXISTING 502 SQF (DEMO)	CHANGE IN DEMO	TOTAL PROPOSED 1335.6 SQF (7 %)
HABITABLE LIVING AREA	2,063.3 SQF (DEMO)	EXISTING TO BE DEMOLISHED	2,433.3 SQF. (1st FL.) + 1,740.8 SQF (2nd FL.) TOTAL= 4,174.1 SQF
NON-HABITABLE AREA	440 SQF (GARAGE) DEMO	EXISTING TO BE DEMOLISHED	475.5 SQF. (NEW GARAGE)

	EXISTING	PROPOSED	ALLOWED		
LOT COVERAGE STRUCT. OVER 6'-0" TALL	2,962.1 SQF. (15 %) (inc. garage)	3,481.3 SQF. (18 %)	5,702.1 SQF MAX. (30 %)		
FLOOR AREA	2,503.3 SQF (13 %) (inc. garage)	4,649.6 SQF (24 %)	4,650.7 SQF MAX. (FAR)		
SETBACKS:		1st FL.	2nd FL.	1st FL.	2nd FL.
FRONT	36'-3"	41'-4"	47'-0"	25'-0"	25'-0"
REAR	102'-10"	93'-0"	110'-6 1/2"	25'-0"	25'-0"
RIGHT SIDE	21'-9"	13'-0"	20'-6"	10'-0"	17'-6"
LEFT SIDE	9'-6"	10'-2"	18'-10"	10'-0"	17'-6"
HEIGHT	14'-0"	26'-8"	27'-0"		

LOT CALCULATIONS:
LOT AREA: 19,007 SQF
FRONT YARD HARDSCAPE AREA: 1,335.6 SQF

LANDSCAPING BREAKDOWN AREA:
TOTAL HARDSCAPE: 6,691.2 SQF
EXISTING SOFTSCAPE: 13,458.2 SQF
NEW SOFTSCAPE: -1,142.4 SQF
TOTAL : 19,007 SQF

PARKING SPACES: TWO COVERED (ENCLOSED)
ZONING : RESIDENTIAL
TYPE OF CONSTRUCTION: V-B
OCCUPANCY GROUP: R3 & U
NO OF STORIES: 2 STORY
APPLICABLE CODES: 2013 CBC, 2013 CRC, 2013 CMC, 2013 CPC, 2013 CE, 2013 CALIFORNIA FIRE CODE, CALIFORNIA ENERGY CODE

FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.

LAWRENCE E. STONE - ASSESSOR
Cadastral map for assessment purposes only
Compiled under S & T Code, Sec. 327
Effective Roll Year 2014-2015

Kiely Arborist Services
 Certified Arborist WE#0476A
 P.O. Box 6187
 San Mateo, CA 94403
 650-515-9783

November 24, 2014

Dr. Shaun Woo
 84 Doud Drive
 Los Altos, CA 94022

Site: 84 Doud Drive, Los Altos, CA

Dear Dr. Woo,

As requested on Wednesday, November 19, 2014, I visited the above site to inspect and comment on the trees on site. New construction is planned for this site and your concern as to the future health and safety of the trees has prompted this visit.

Method:
 All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey#	Tree#	Species	DBH	CON	HT/SP	Comments
	1	Hong Kong Orchid (<i>Bauhinia × blakeana</i>)	5X6"	55	30/35	Fair vigor, fair form, multi leader at base.
	2	Birch (<i>Betula pendula</i>)	10.1	25	20/15	Poor vigor, poor form, topped, in decline.
	3	Flowering cherry (<i>Prunus serrulata</i>)	18.1	35	30/20	Poor vigor, poor form, in decline.
	4	Willow (<i>Salix matsudana</i>)	8.5-5.4	60	30/25	Good vigor, poor form, codominant at base.
	5	Willow (<i>Salix discolor</i>)	15.4	55	30/25	Good vigor, poor-fair form, codominant at 1 foot.
	6	Apple (<i>Malus spp</i>)	17.6	50	25/30	Good vigor, fair form, some fireblight.

7*	Coast live oak (<i>Quercus agrifolia</i>)	15est	60	35/25	Good vigor, poor to fair form, codominant at 6 feet. Shared with neighbor.
8	Griselinia (<i>Griselinia littoralis</i>)	19.6	55	35/25	Good vigor, fair form, thrips.
9	Dracaena palm (<i>Dracaena drago</i>)	6.1	65	15/10	Good vigor, fair form for species.
10	Dracaena palm (<i>Dracaena drago</i>)	5.4-4.3	65	15/10	Good vigor, fair form for species.

Summary:
 The trees on site are all imported with no native trees on site. The trees are in poor to fair condition with no good or excellent trees. The trees have not been well maintained and show a lack of maintenance. The trees on site are located around the perimeter of the property ideal for a project such as this. Impacts to the tree will be minor with no long term impacts. The following tree protection plan will help to reduce impacts to the trees on site.

Tree Protection Plan:
 Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should

be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. The wooden fencing will suffice for the neighbor's trees.

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

The tree protection measures will be inspected by the site arborist prior to the start of any demolition or construction. Other inspections will be on an as needed basis.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

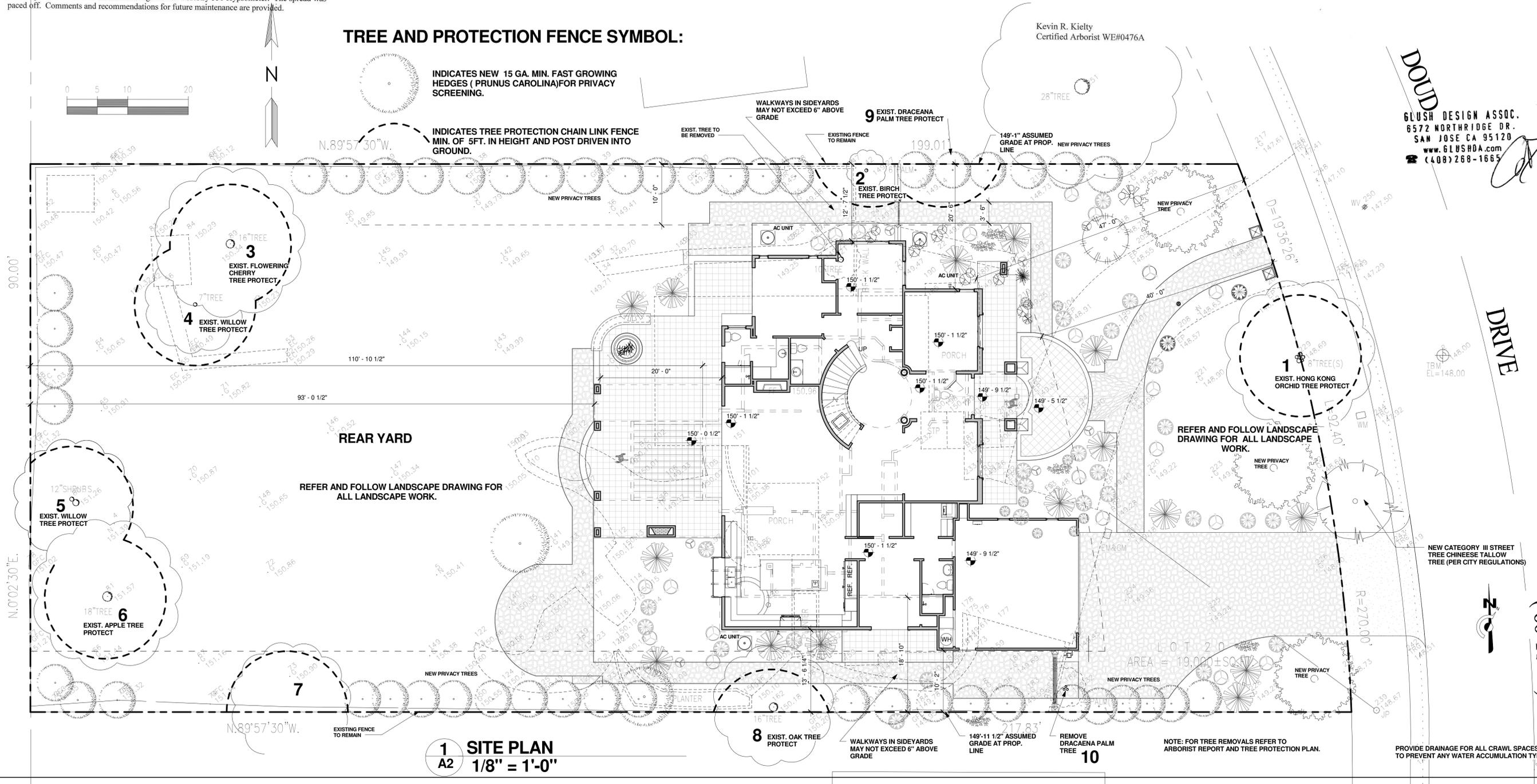
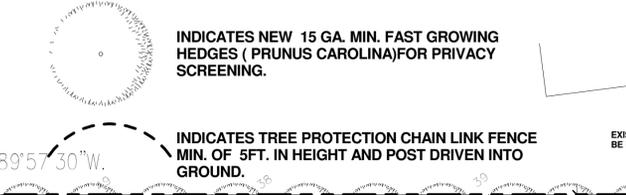
Sincerely,

Kevin R. Kiely
 Certified Arborist WE#0476A

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TREE AND PROTECTION FENCE SYMBOL:



1 SITE PLAN
 A2 1/8" = 1'-0"

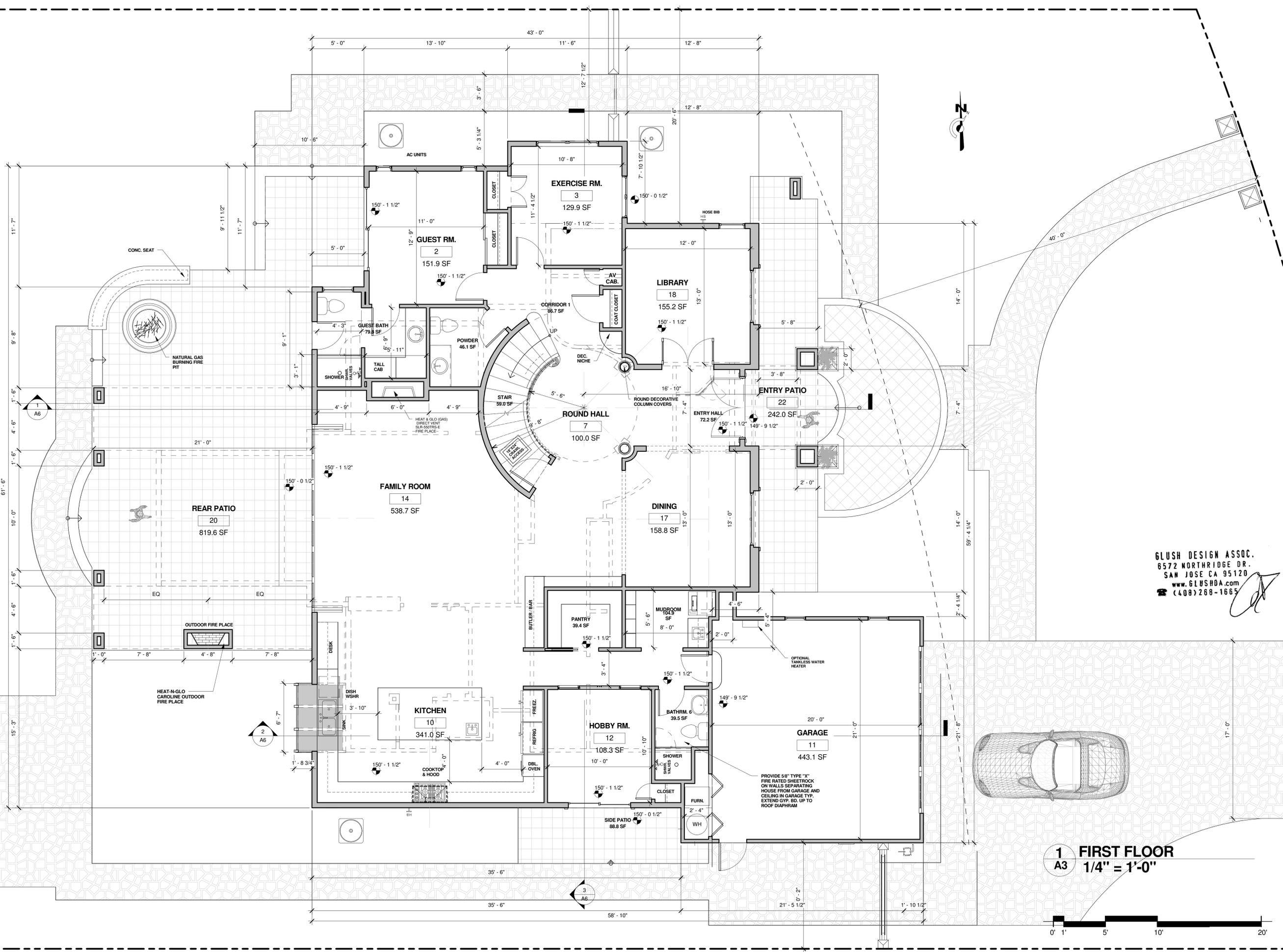
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SITE PLAN

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CUSTOM HOUSE
 84 DOUD DR.
 LOS ALTOS CA

Project no: WU
 Date: NOV/11/2015
 Drawn by: Author
 Checked by: Checker
A2
 Scale: 1/8" = 1'-0"



1 FIRST FLOOR
A3 1/4" = 1'-0"

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No.	Description	Date

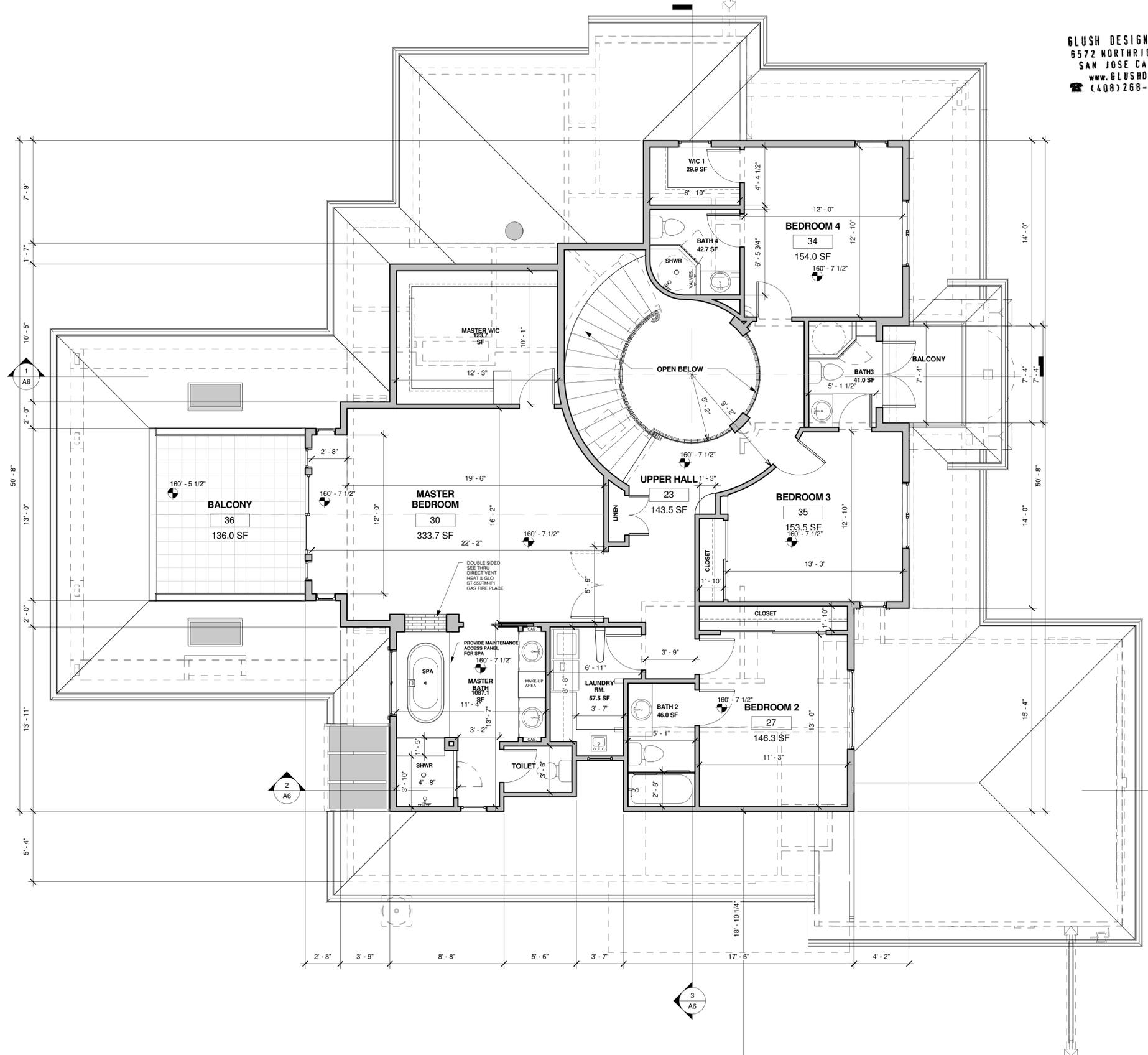
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FIRST FLOOR PLAN

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LOS ALTOS, CA

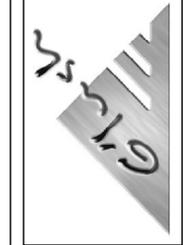
Project no: WU
 Date: NOV/11/2015
 Drawn by: L.A.
 Checked by: G.D & L.A.
A3
 Scale: 1/4" = 1'-0"



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SECOND FLOOR PLAN

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CUSTOM HOUSE
84 DOUD DR. CA
LOS ALTOS CA

Project no: WU
Date: NOV/11/2015
Drawn by: Author
Checked by: Checker

A4
Scale: 1/4" = 1'-0"

1 SECOND FLOOR
1/4" = 1'-0"

AC UNITS



think XC25 and feel perfectly cool

Virtually silent

Exclusive SilentComfort™ technology makes the XC25 up to 50% quieter than a standard air conditioner. An industry-exclusive composite fan design with variable-speed operation and an insulated compressor compartment also help reduce sound levels.

SEERiously efficient

With industry-leading efficiencies of up to 26.00 SEER, the XC25 can save you hundreds of dollars each year on your utility bills, compared to older or conventional air conditioners.



SEER stands for "Seasonal Energy Efficiency Ratio" and is a measure of a central air conditioner's efficiency and performance. The higher the SEER, the greater your energy savings. Typical SEER ratings range from 13 to 18, but the XC25 comes with ratings as high as 26.00.

This chart compares the energy savings you can expect from a 26.00 SEER air conditioner vs. existing equipment with a 13.00 SEER rating and industry-standard equipment with a 15.00 SEER rating. The ratings used to calculate household fuel and utility costs reflect a projection of climate in the U.S. In addition to geographic location, cooling costs are based on 3-ton capacity specifications, with 35,000 BTU/hour cooling and 4.5 tons per year (based on 10,000 BTU/hour average electric cooling—July 12 months ending in December 2013). Your actual costs will vary depending on the weather, load used, compressor capacity, compressor units.



XC25
The most precise and efficient air conditioner you can buy*



- SilentComfort™ Fan Grille** – Uses patent-pending, vortex-suppression technology to reduce sound of airflow exiting unit, providing a quieter environment outside your home.
- SilentComfort™ Outdoor Fan Motor with Composite Fan Blades** – Provides extremely reliable starting and running performance, even under the harshest outdoor conditions.
- Comfort™ Enabled Technology** – Allows the XC25 to exchange information with other home comfort system components and make adjustments as needed to optimize performance and efficiency.
- High-Efficiency Outdoor Coil** – Provides exceptional heat transfer and low air resistance for high-efficiency operation that can lower your cooling bills.
- Variable-Capacity Inverter Controlled Compressor** – Adjusts output in increments as low as 1%, allowing the unit to perfectly cool your home using minimal energy. Plus, it comes with U.S. EPA-approved R-410A refrigerant.
- PermaGuard™ Cabinet** – Heavy-gauge, galvanized steel construction, lower coil guard, baked-on powder finish and durable zinc-coated steel base provide long-lasting protection against rust and corrosion.
- SmartHinge™ Louver Design** – Allows quick, easy access to interior components from all sides, so the unit can be serviced in minimal time.

Dave Lennox Signature® Collection XC25 Specifications

Model	024	036	048	060
SEER Rating – dB	Up to 26.00	Up to 23.50	Up to 21.00	Up to 19.50
Sound Rating – dB	59	59	66	64
Dimensions H x W x D (in)	47 x 35-1/2 x 39-1/2			
H x W x D (mm)	1194 x 902 x 1003			

Note: Due to Lennox' ongoing commitment to quality, all specifications, ratings and dimensions are subject to change without notice. Always verify actual system efficiencies through AHRI or by visiting the AHRI website at www.ahri.org. *Applies to residential applications only. See actual warranty certificate for details.

Required setbacks per Planning Division calculations for locating air conditioning units in order to meet the Noise Control Ordinance limit of 50 dBA at the property line.

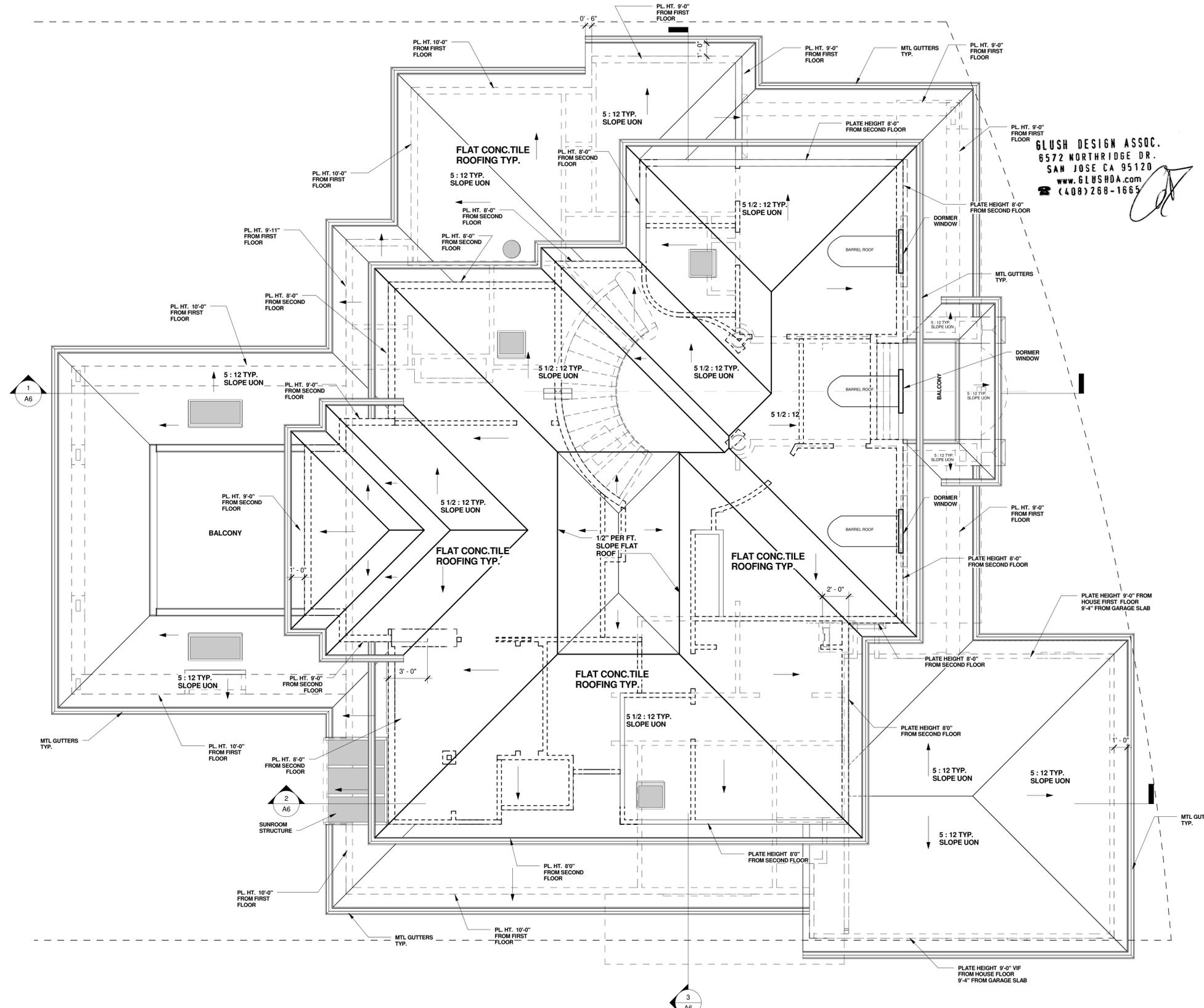
Sound Rating (Decibels)	Distance to Property Line
64	6 feet
66	8 feet
68	11 feet
70	14 feet
72	18 feet
74	22 feet

- Notes:
- Air conditioning equipment must maintain a minimum setback of five-foot from a property line.
 - If the air conditioning unit is later determined by the City to exceed the limits of the noise ordinance, it must be relocated, replaced, or otherwise modified to achieve compliance with the noise ordinance.

- City Assumptions Used in Calculations:
- The distance is measured from the outside edge of the air conditioner.
 - The air conditioner is located within 10 feet of only one reflective surface, such as the wall of a house.
 - There is a six-foot tall solid fence or wall along the nearest property line.
 - The listener is standing one-foot away from the solid fence or wall on the opposite side.

Source: ANSI/AHRI Standard 275 – 2010 Air Conditioning, Heating and Refrigeration Institute, www.ahrinet.org

USE SHOWN AC UNIT OR EQUAL WITH THE SAME SOUND RATINGS. FOR SOUND RATING AND CITY NOISE REGULATION COORDINATE AND COMPLY ABOVE SHOWN TABLE.



1 ROOF PLAN
A5 1/4" = 1'-0"

No.	Description	Date

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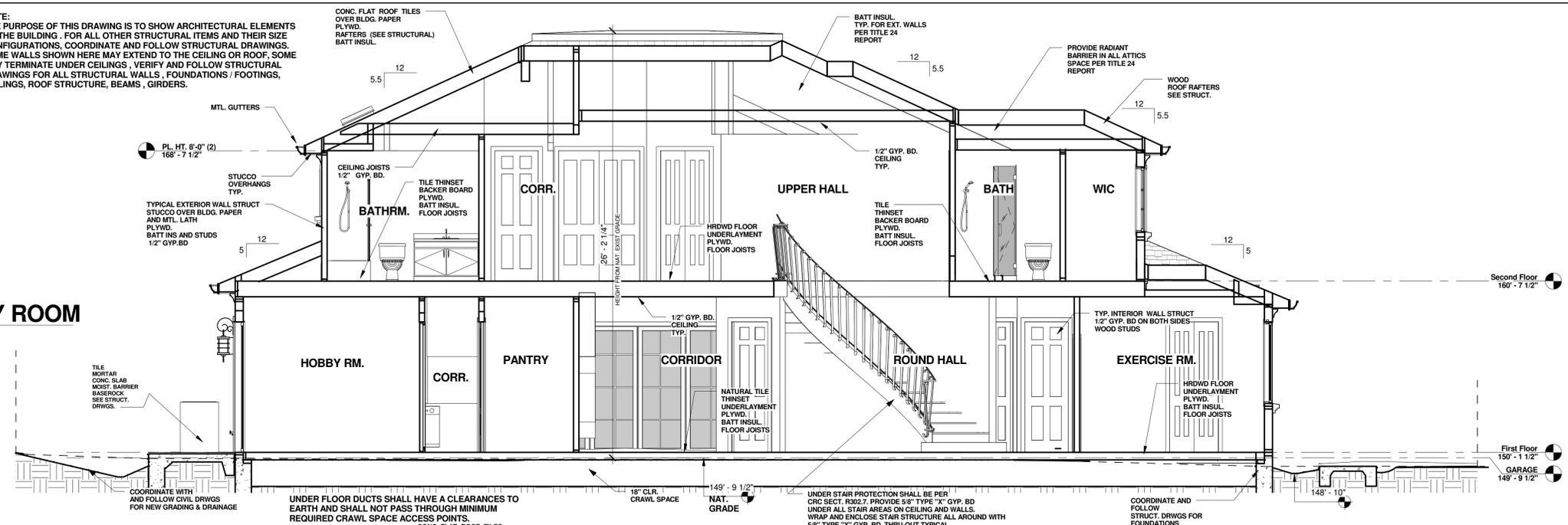
ROOF PLAN

OWNER: MR. SHAUN & ELIZABETH WOO
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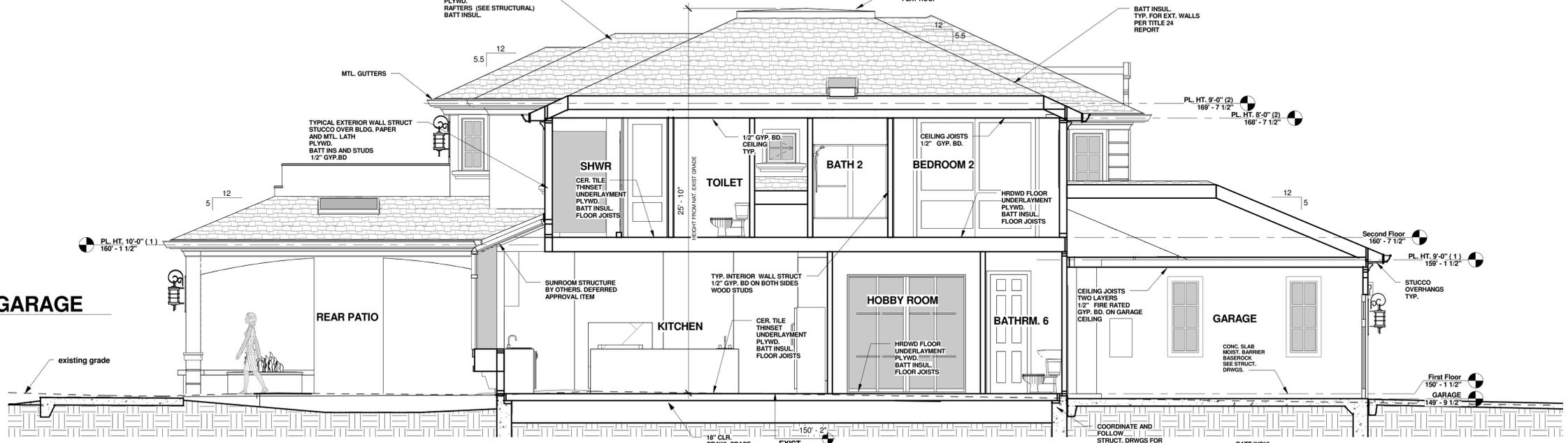
Project no:	WU
Date:	NOV/11/2015
Drawn by:	Author
Checked by:	Checker
A5	
Scale:	1/4" = 1'-0"

NOTE:
THE PURPOSE OF THIS DRAWING IS TO SHOW ARCHITECTURAL ELEMENTS OF THE BUILDING. FOR ALL OTHER STRUCTURAL ITEMS AND THEIR SIZE CONFIGURATIONS, COORDINATE AND FOLLOW STRUCTURAL DRAWINGS. SOME WALLS SHOWN HERE MAY EXTEND TO THE CEILING OR ROOF. SOME MAY TERMINATE UNDER CEILINGS. VERIFY AND FOLLOW STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WALLS, FOUNDATIONS / FOOTINGS, CEILINGS, ROOF STRUCTURE, BEAMS, GIRDERS.

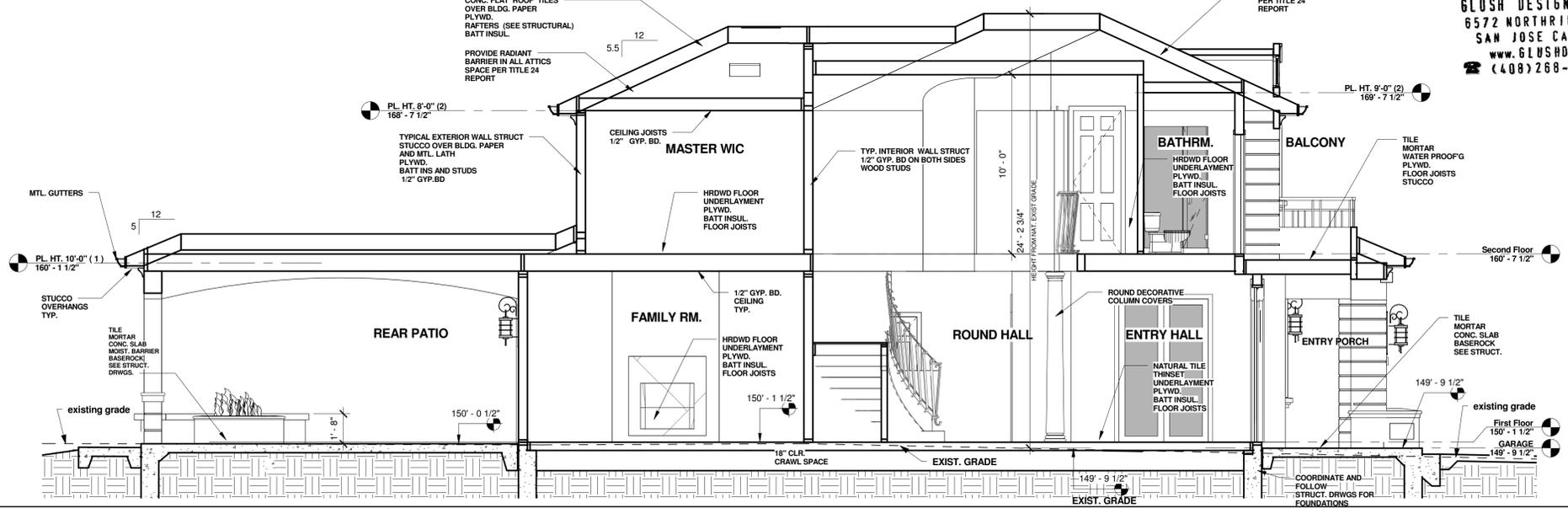
3 SECTION THRU HOBBY ROOM
A6 1/4" = 1'-0"



2 SECTION THRU GARAGE
A6 1/4" = 1'-0"



1 SECTION THRU ENTRY / STAIR
A6 1/4" = 1'-0"



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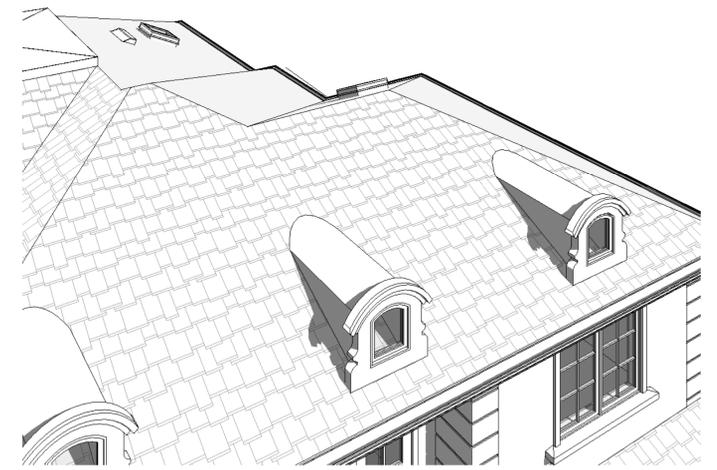
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A6
Scale: 1/4" = 1'-0"



2 REAR (WEST)
A7 1/4" = 1'-0"



1 FRONT (EAST)
A7 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

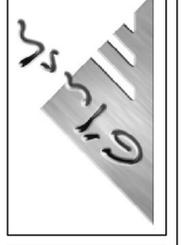
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LOS ALTOS

Project no: WU
Date: NOV/11/2015
Drawn by: Author
Checked by: Checker
A7
Scale: 1/4" = 1'-0"

No.	Description	Date

GLUSH DESIGN ASSOCIATES INC.
 Residential, Commercial Building Design & Consulting
 6572 Northridge Drive, San Jose, CA 95120
 Ph: (408) 268-1665
 EMAIL: LUCY@GLUSHDA.COM www.glushda.com

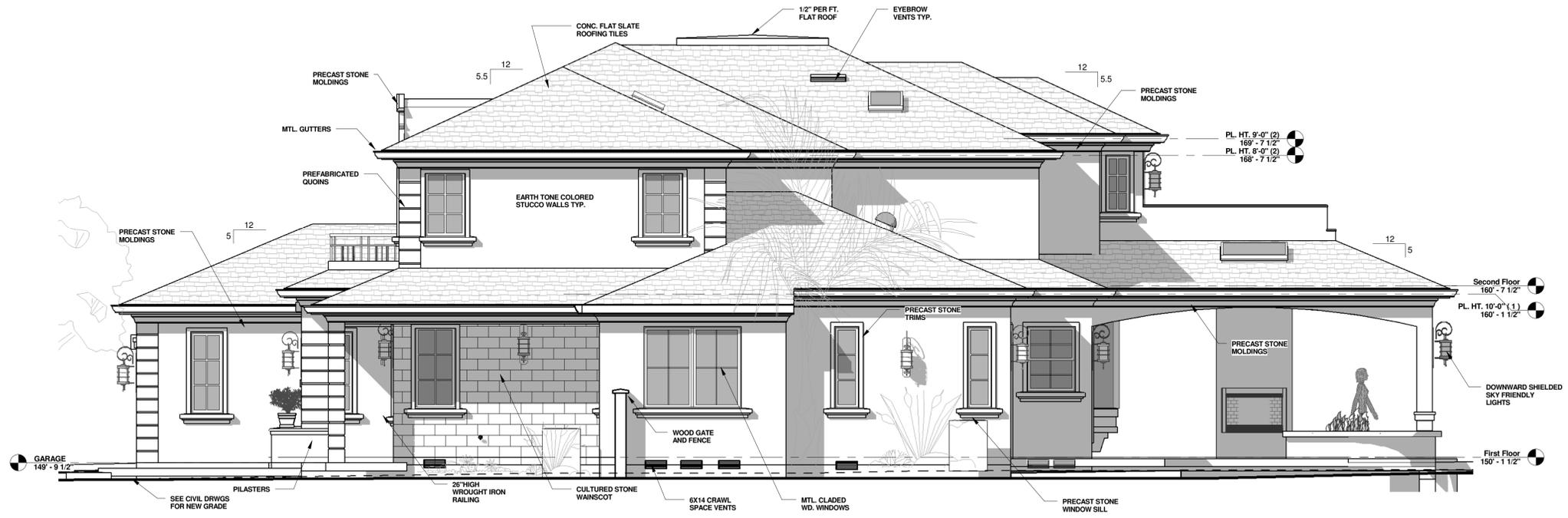


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EXTERIOR ELEVATIONS

OWNER: MR. SHAUN & ELIZABETH WOO
CUSTOM HOUSE
 84 DOUD DR. CA
 LOS ALTOS

Project no:	WU
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A8	
Scale:	1/4" = 1'-0"



2 RIGHT SIDE (NORTH)
 A8 1/4" = 1'-0"



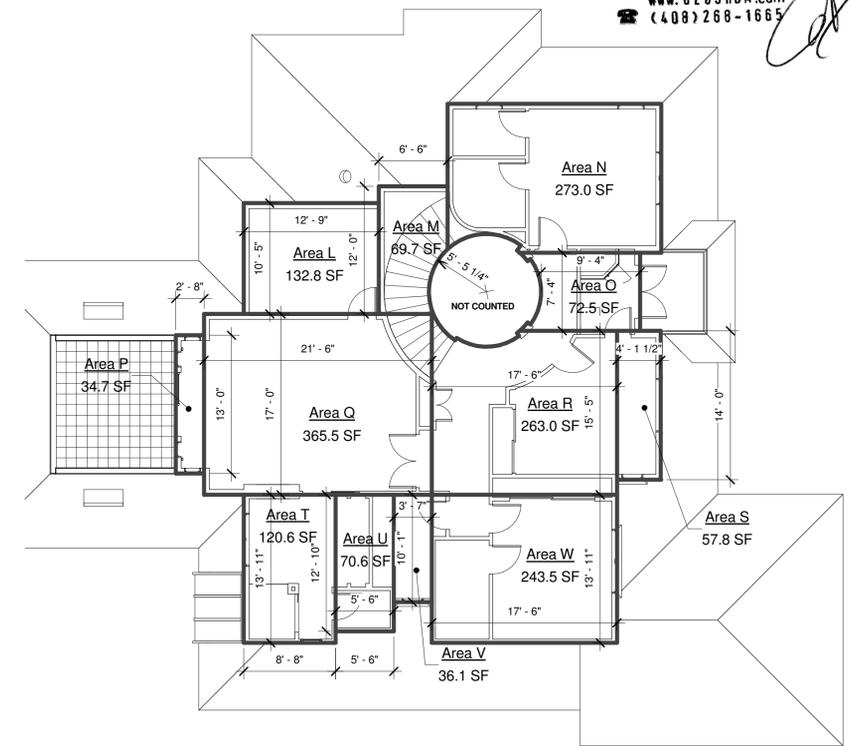
1 LEFT SIDE (SOUTH)
 A8 1/4" = 1'-0"

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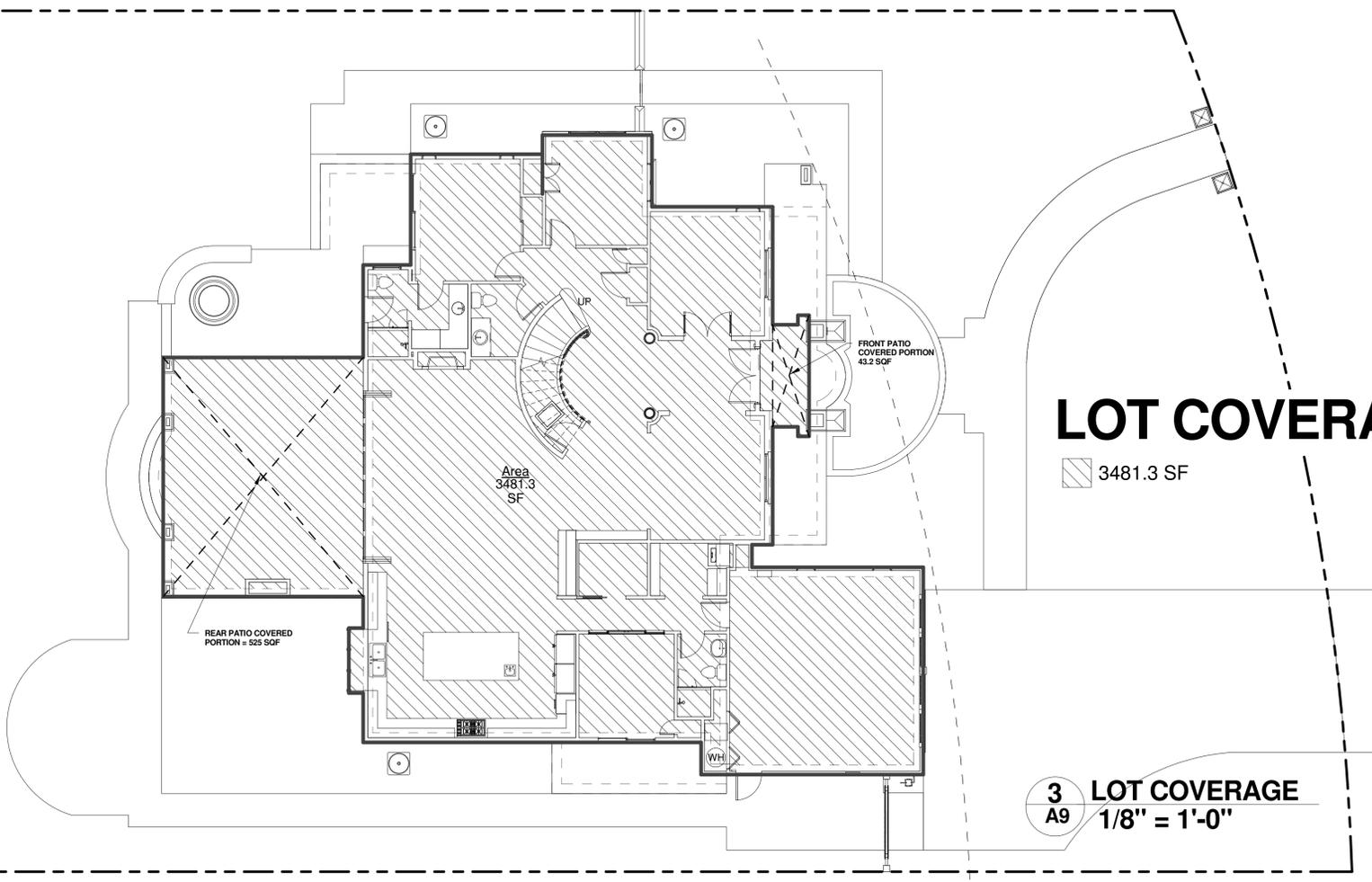
GLUSH DESIGN ASSOC.
6572 NORTHRIDGE DR.
SAN JOSE CA 95120
www.GLUSHDA.com
(408) 268-1665

BUILDING AREA:

AREA	SQFT
FIRST FLOOR	
A	= 160.2 SQF
B	= 160.5 SQF
C	= 77.1 SQF
D	= 1248 SQF
E	= 11.1 SQF
F	= 420.2 SQF
G	= 447.8 SQF
G1	= 16.1 SQF
G2	= 5.3 SQF
G3	= 6.3 SQF
H	= 176.9 SQF
I	= 15.6 SQF
J	= 160.5 SQF
K	= 3.2 SQF
TOTAL FIRST FLOOR LIVABLE = 2,433.3 SQF	
TOTAL FIRST FLOOR = 2,908.8 SQF	
GARAGE 475.5 SQF	
SECOND FLOOR	
L	= 132.8 SQF
M	= 69.7 SQF
N	= 273 SQF
O	= 72.5 SQF
P	= 34.7 SQF
Q	= 365.5 SQF
R	= 263 SQF
S	= 57.8 SQF
T	= 120.6 SQF
U	= 70.6 SQF
V	= 36.1 SQF
W	= 243.5 SQF
TOTAL SECOND FLOOR LIVABLE = 1,740.8 SQF	
TOTAL FIRST & SECOND FLOOR LIVABLE = 4,174.1 SQF	
TOTAL BUILDING = 4,649.6 SQF	
ENTRANCE PORCH = 43.2 SQF (COUNTED ONLY FOR BLDG COVERAGE)	
REAR PATIO COVERED = 525 SQF (COUNTED ONLY FOR BLDG COVERAGE)	
TOTAL STRUCT. COVERAGE (OVER 6 FT TALL) = 3,472.7 SQF	
TOTAL ALLOWABLE FAR: 4,650.7 SQF	
PROPOSED FAR : 4,649.6 SQF	

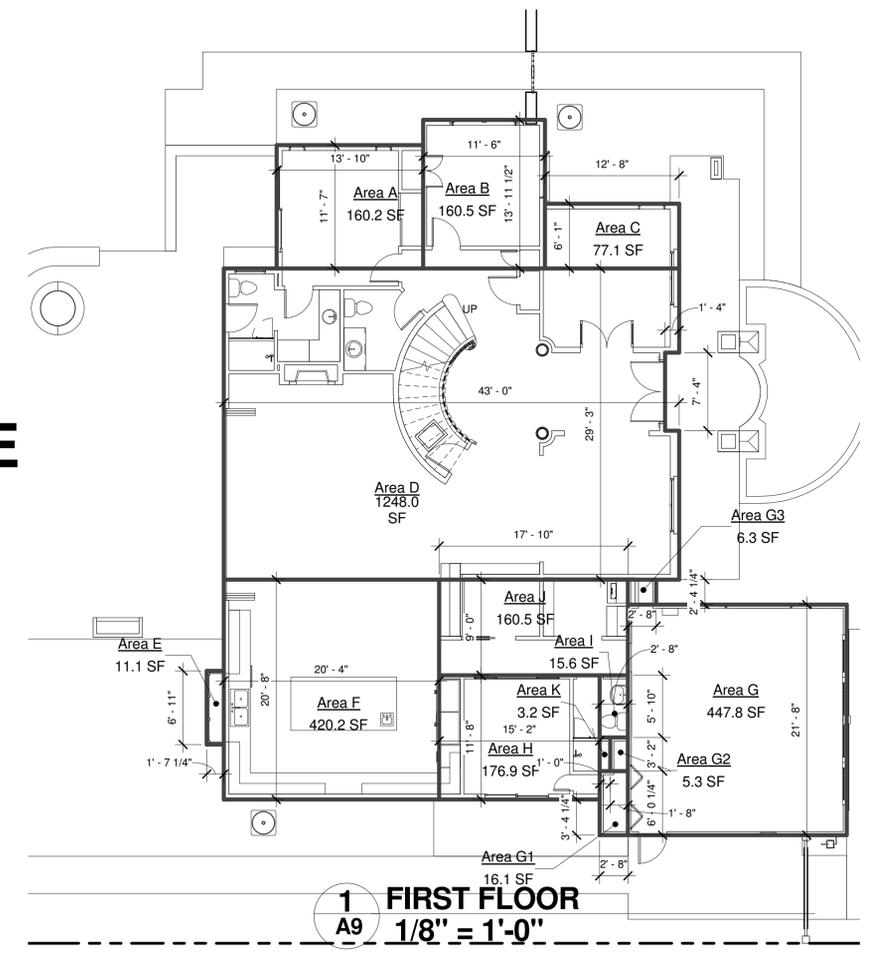


2 SECOND FLOOR
A9 1/8" = 1'-0"



LOT COVERAGE
3481.3 SF

3 LOT COVERAGE
A9 1/8" = 1'-0"



1 FIRST FLOOR
A9 1/8" = 1'-0"

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AREA SCHEMATICS

OWNER: MR. SHAUN & ELIZABETH WOO
CUSTOM HOUSE
84 DOUD DR. CA
LOS ALTOS CA

Project no: WU
Date: NOV/11/2015
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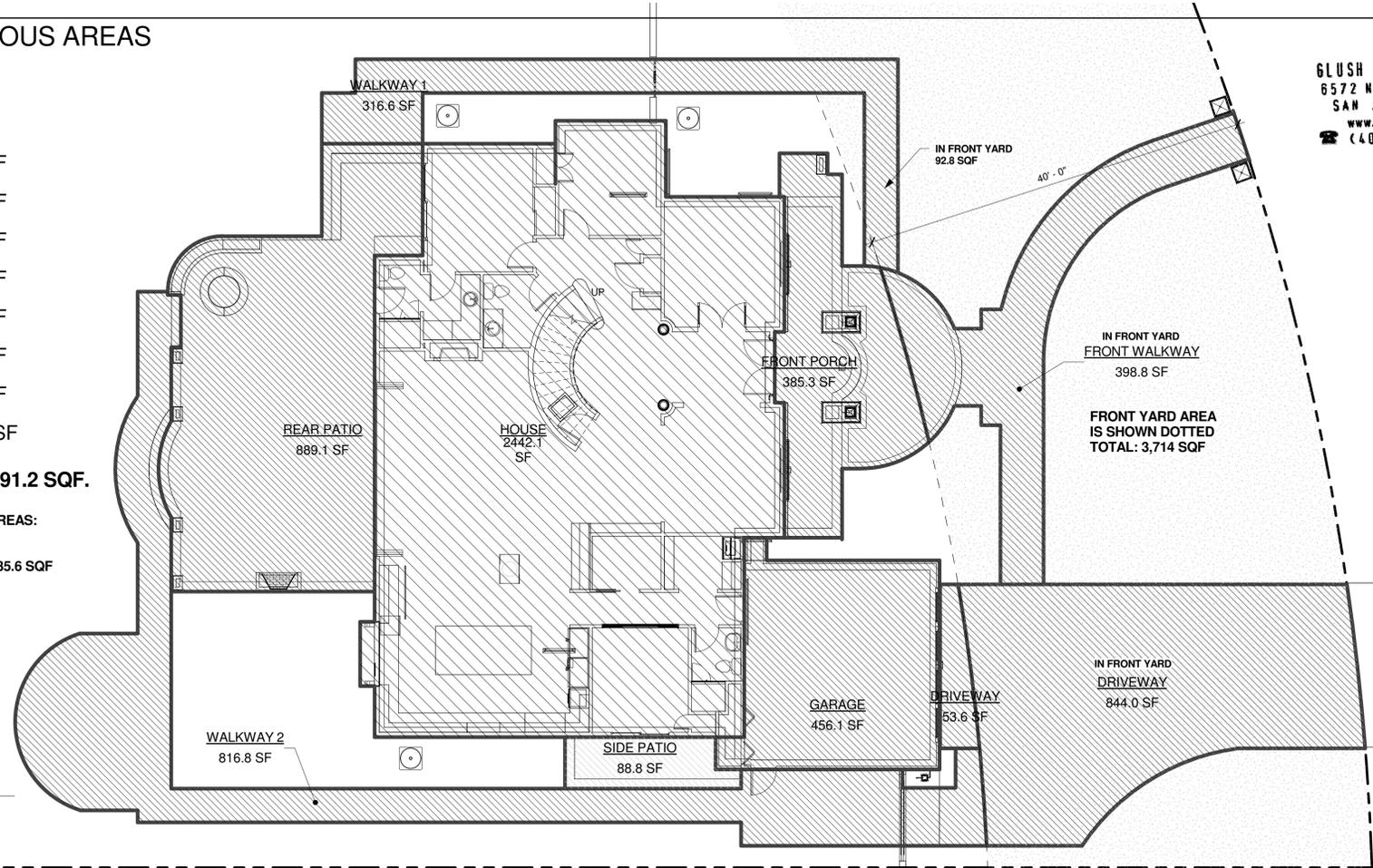
A9
Scale: 1/8" = 1'-0"

IMPERVIOUS AREAS

-  53.6 SF
-  88.8 SF
-  316.6 SF
-  385.3 SF
-  398.8 SF
-  456.1 SF
-  816.8 SF
-  844.0 SF
-  889.1 SF
-  2442.1 SF

TOTAL: 6,691.2 SQF.

TOTAL FRONT YARD IMPERVIOUS AREAS:
 TOTAL FRONT YARD: 3,714 SQF
 FRONT YARD IMPERVIOUS AREAS
 92.8 SQF + 398.8 SQF + 844.0 SQF = 1,335.6 SQF
 36% IMPERVIOUS



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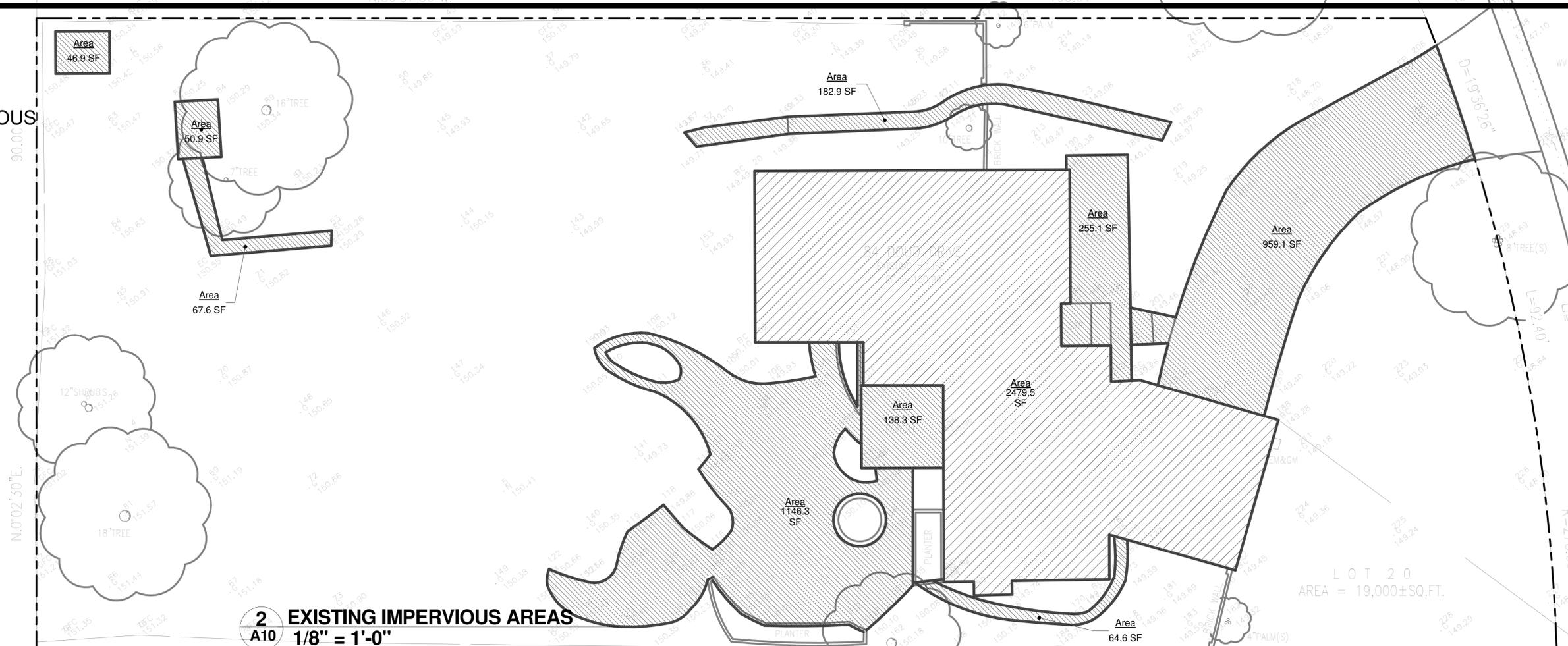
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1 NEW IMPERVIOUS AREAS
 A10 1/8" = 1'-0"

EXISTING IMPERVIOUS

-  46.9 SF
-  50.9 SF
-  64.6 SF
-  67.6 SF
-  138.3 SF
-  182.9 SF
-  255.1 SF
-  959.1 SF
-  1146.3 SF
-  2479.5 SF

TOTAL: 5,391.2 SQF.



2 EXISTING IMPERVIOUS AREAS
 A10 1/8" = 1'-0"

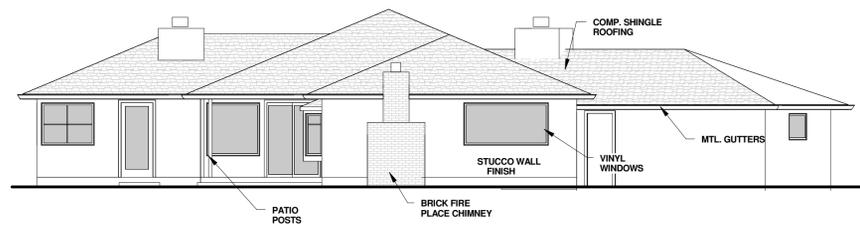
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IMPERVIOUS AREAS SCHEMATICS

OWNER: MR. SHAUN & ELIZABETH WOO
CUSTOM HOUSE
84 DOUD DR.
LOS ALTOS CA

Project no:	WU
Date:	NOV/11/2015
Drawn by:	Author
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A10	
Scale:	1/8" = 1'-0"

EXISTING HOUSE TO BE DEMOLISHED



4 EXISTING SOUTH (LEFT) ELEVATION
A11 1/8" = 1'-0"

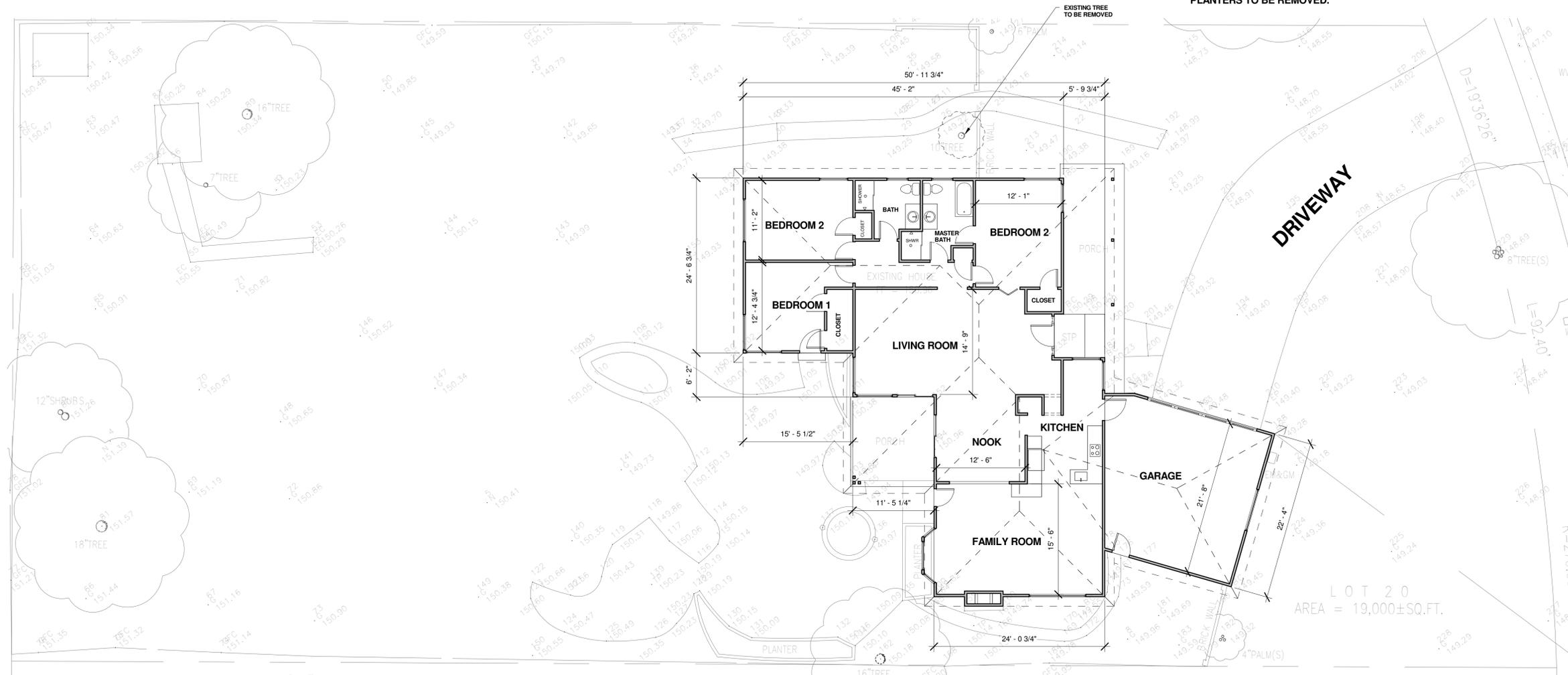


3 EXISTING NORTH (RIGHT) ELEVATION
A11 1/8" = 1'-0"



2 EXISTING EAST (FRONT) ELEVATION
A11 1/8" = 1'-0"

NOTE: BUILDING, SHEDS AND ALL DRIVEWAYS
PLANTERS TO BE REMOVED.



1 EXISTING FLOOR PLAN
A11 1/8" = 1'-0"

No.	Description	Date

**G'LUSH DESIGN
ASSOCIATES INC.**

Residential, Commercial Building Design & Consulting
4577 Northridge Drive San Jose, CA 95120
Ph: (408) 268-1665
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EMAIL: LUYEN@G'LUSH.COM www.g'lush.com

EXISTING HOUSE PLAN &
EXTERIOR ELEVATIONS

OWNER: MR. SHAUN & ELIZABETH WOO
CUSTOM HOUSE
84 DOUD DR.
LOS ALTOS CA

Project no: WU
Date: FEB-20-2015
Drawn by: Author
Checked by: Checker

A11
Scale: 1/8" = 1'-0"

GRADING AND DRAINAGE IMPROVEMENTS

I. GENERAL NOTES

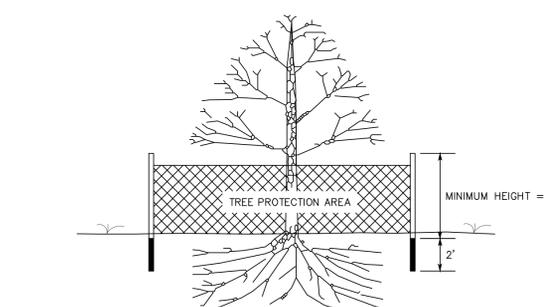
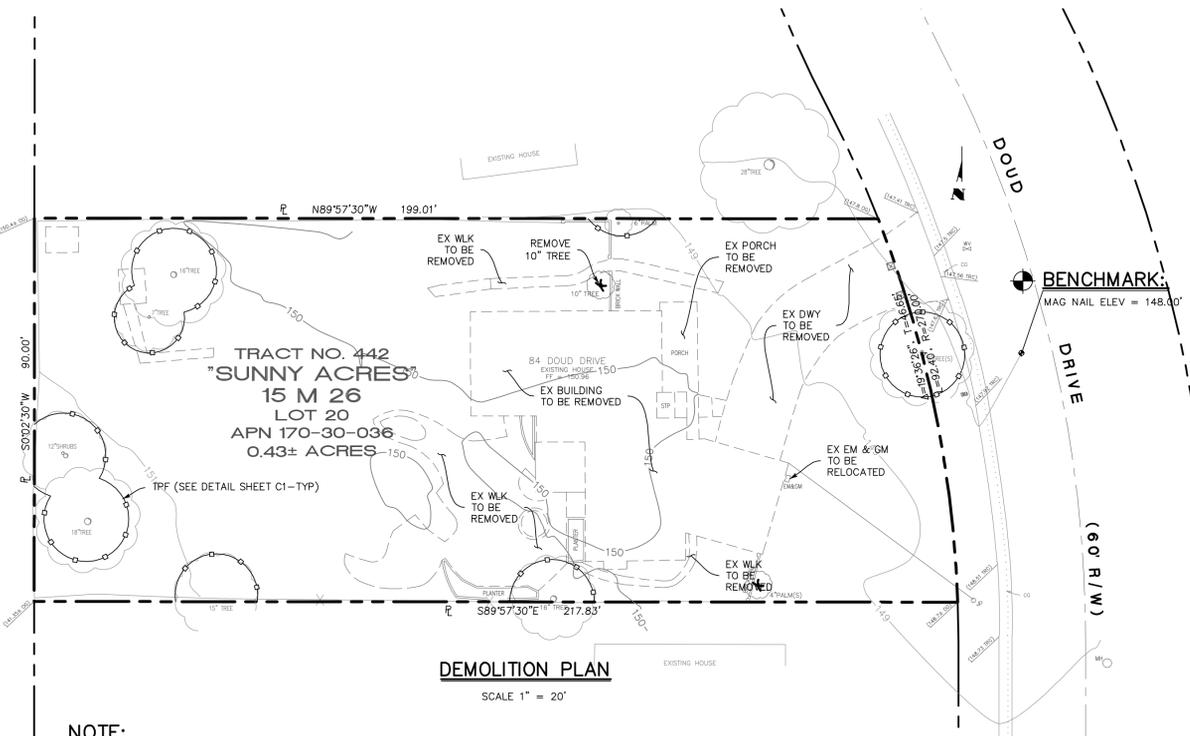
- ALL GRADING SHALL COMPLY WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING CODE.
- THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
- ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE DESIGNATED BY THE OWNER AND SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTION PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
- EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 1%.
- THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- THE TOPOGRAPHY SURVEY MADE BY W E C ASSOCIATE ON JUNE 03/14
- THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY.
- THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS. SEE ARCHITECT PLAN.
- CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 382 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.
- ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
- IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE, CALL :

UNDERGROUND SERVICE ALERT (USA) 800-642-2444
- THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.
- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 mm) PLUS 2%. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2010 UNIFORM BUILDING CODE.
- ABS AND PVC EXTENDABLE BACKWATER VALVE MAY BE ORDERED FROM CLEAN CHECK, INC AT 1(866) 288-2583 OR P.O. BOX 2437, HAYDEN, ID 83635-2437.

II. DUST CONTROL

- ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
- AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST.
- GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR.
- STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED.
- THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEPED (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

LEGEND & ABBREVIATIONS					
AB	AGGREGATE BASE	FF	FINISH ELEVATION OF SUBFLOOR	PVC	POLYVINYL CHLORIDE
AC	ASPHALT CONCRETE	FG	GROUND FINISH GRADE	R	RADIUS
AD	AREA DRAIN	FH	FIRE HYDRANT	RW	RETAINING WALL
AE	ANCHOR EASEMENT	FL	FLOW LINE	REM	REMOVE
BB	BUSBLER BOX	G	GARAGE SLAB ELEVATION/GAS LINE	R/W	RIGHT OF WAY
BLDG	BUILDING	GPE	GENERAL PUBLIC EASEMENT	SD	STORM DRAIN
BLK	BLOCK	GSB	GRADING SETBACK	SDE	STORM DRAIN EASEMENT
BSL	BUILDING SETBACK LINE	GM	GAS METER	SE	SLOPE MAINTENANCE EASEMENT
BW	BOTTOM OF WALL/BACK OF WALK	HP	HI POINT	SME	SLOPE MAINTENANCE EASEMENT
CC	CURB & GUTTER	INV	INVERT	SS	SANITARY SEWER/LATERAL
CD	CENTERLINE	LIP	LIP OF GUTTER	SSE	SANITARY SEWER EASEMENT
CLF	CHAIN LINK FENCE	LS	LANDSCAPED AREA	STA	STATION
CO	COUNTY STANDARD DETAIL	LW	LIGHT WELL	STD	STANDARD CITY DETAIL
COP	CURB OPENING	MAX	MAXIMUM	SW	SIDEWALK
CONC	CONCRETE	MH	MANHOLE	TB	TOP OF BANK
CSD	COUNTY STANDARD DETAIL	MIN	MINIMUM	TC	TOP OF CURB
CVE	CURB OPENING	N&S	NAIL AND SILVER	TEMP	TEMPORARY
DE	DRAINAGE EMITTER	NTS	NOT TO SCALE	TOC	TOP OF COVER
DI	DRAINAGE INLET	OH	OVERHEAD	TOE	TOP OF BANK
DS	DOWNSPOUT	OG	ORIGINAL GROUND	TOG	TOP OF GRADE
DWY	DRIVEWAY	PA	PAVEMENT FINISH GRADE	TRF	TREE PROTECTION FENCE
EA	EASEMENT	PAD	PATIO	TW	TOP OF ROLLED CURB
ELEV	ELEVATION	PE	PERFORATED	TYP	TYPICAL
EM	ELECTRIC METER	PEE	PEDESTRIAN EASEMENT	VG	VALLEY GUTTER
E(OH)	ELECTRIC OVERHEAD	PERF	PERFORATED	W	WATER
E(UG)	ELECTRIC UNDERGROUND	R	PROPERTY LINE	WCE	WIRE CLEARANCE EASEMENT
EP	EDGE OF PAVEMENT	PP	POWER POLE	WLK	WALKWAY
EX	EXISTING	PROP	PROPOSED	WM	WATER METER
EVA	VEHICLE ACCESS EASEMENT	PSE	PUBLIC SERVICE EASEMENT	WOE	WIRE OVERHANG EASEMENT
EXC	EXISTING	PUE	PUBLIC UTILITY EASEMENT	WV	WATER VALVE
FC	FACE OF CURB	PVMT	PAVEMENT		
FD	FOUND				



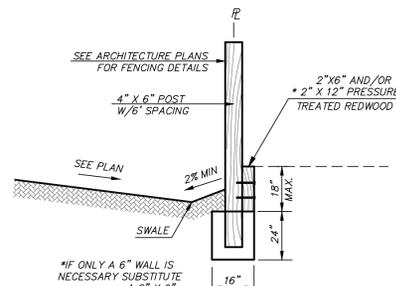
ALL TREES TO BE PRESERVED SHALL BE PROTECTED WITH CHAIN LINK FENCES WITH A MINIMUM HEIGHT OF FIVE FEET (5') ABOVE GRADE.

FENCES ARE TO BE MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO FEET (2') AT NO MORE THAN 10-FOOT SPACING.

FENCING SHALL BE RIGIDLY SUPPORTED AND MAINTAINED DURING ALL CONSTRUCTION PERIODS.

NO STORAGE OF EQUIPMENT, VEHICLES OR DEBRIS SHALL BE ALLOWED WITHIN THE DRIP LINES OF THESE TREES AT ANY TIME.

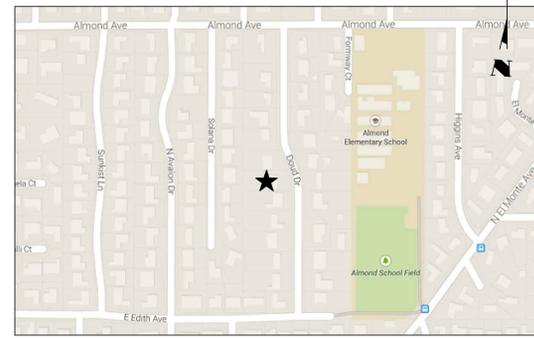
18" MAX. WALL/FENCE DETAIL @ PERIMETER



- NOTES:**
- TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
 - THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OTHERS. THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. CLEARLY DEFINED MARKINGS THAT EXISTED AT THE TIME OF THE SURVEY WERE LOCATED AND ARE SHOWN ON THIS PLAN.

BASIS OF BEARINGS

THE BEARING S0°02'30"W OF THE CENTER LINE OF DOUD DRIVE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 15 OF MAPS AT PAGE 26, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.



EARTH WORK QUANTITY	
CUT	147.00 CY ; MAXIMUM CUT 1.50 FT
FILL	0.00 CY ; MAXIMUM FILL 0.00 FT
IMPORT	0.00 CY
EXPORT	147.00 CY

EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.

IMPERVIOUS AREA

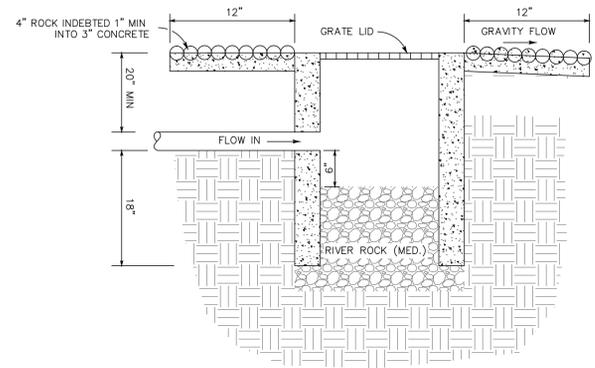
EXISTING IMPERVIOUS:	5,391 SF
NEW IMPERVIOUS:	6,751 SF

SHEET INDEX

SHEET C1	TITLE SHEET
SHEET C2	GRADING, DRAINAGE AND EROSION CONTROL PLAN
SHEET C3	EROSION CONTROL DETAILS
SHEET C4	BLUEPRINT FOR CLEANBAY



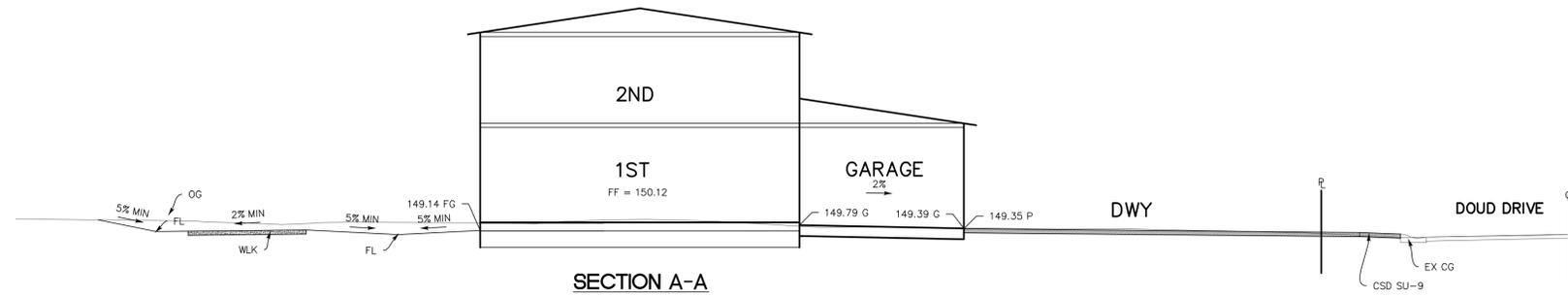
DRAWING NO.	C1	
	SHT NO.	1 OF 4
FILE NO.	Los Altos	
	PROJECT NO.	CONTRACT NO.
DESIGNED	11/20/15	DATE
	DESIGNED	11/20/15
DRAWN	AS NOTED	SCALE
	AS NOTED	SCALE
CHECKED	11/20/15	DATE
	CHECKED	DATE
ENGINEERING 598 E Santa Clara St, #270 San Jose, CA 95121 Phone: (408) 806-7187 Fax: (408) 583-4006		REVISIONS BY DATE APP'D



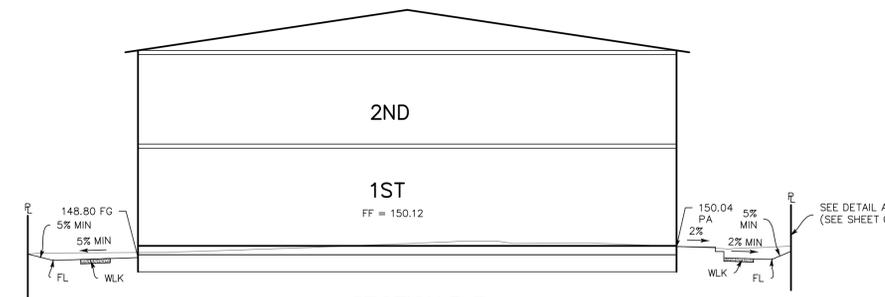
BUBBLER BOX
NTS

NOTES:

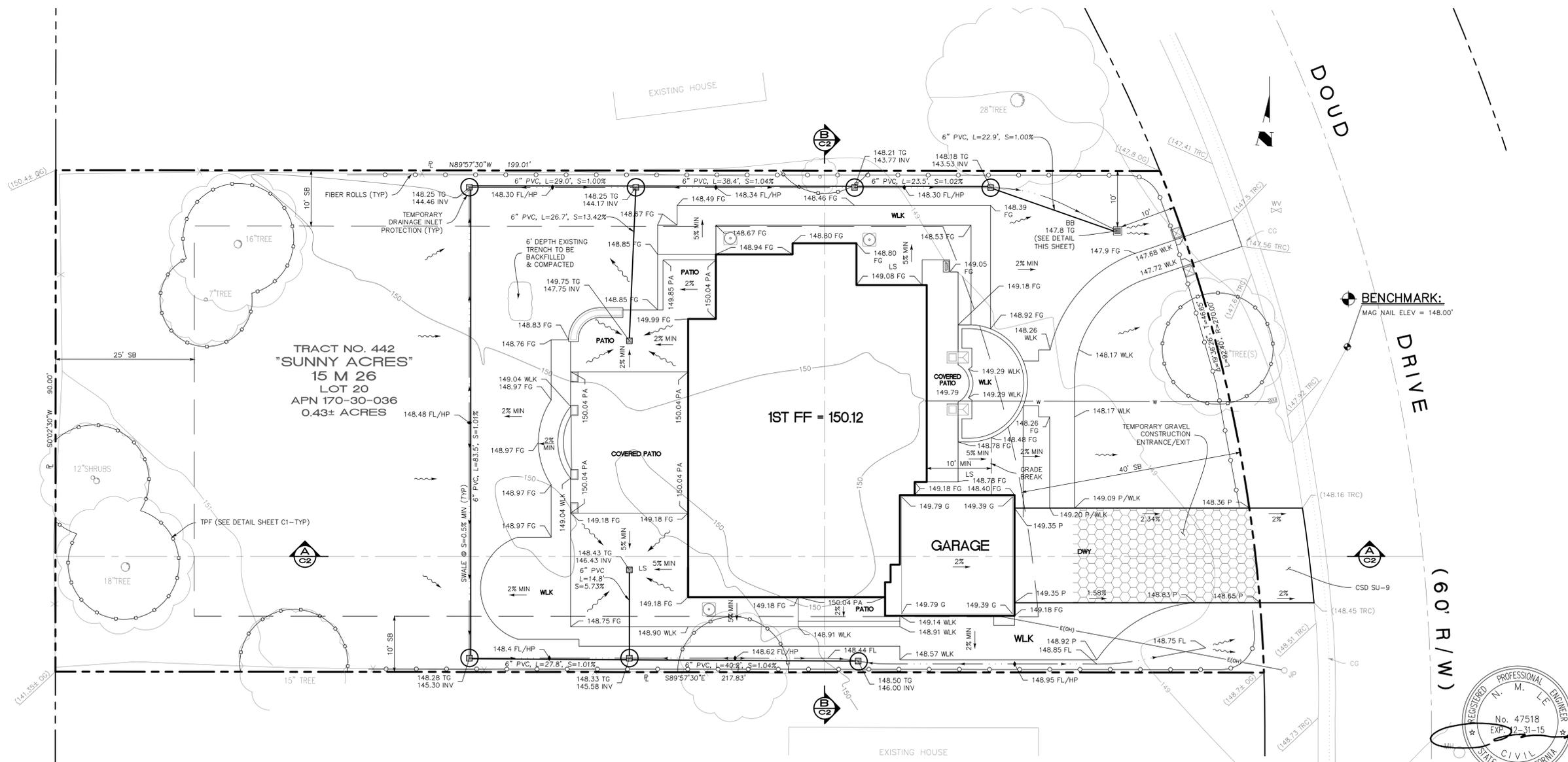
1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
5. BOX MUST BE LOCATE AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MINIMUM AWAY FROM SIDE AND REAR PROPERTY LINES, APPROPRIATELY LOCATED IN SWALE, VEGETATED OR RETENTION AREA.



SECTION A-A



SECTION B-B



TRACT NO. 442
"SUNNY ACRES"
LOT 20
APN 170-30-036
0.43± ACRES

1ST FF = 150.12

DOUD DRIVE

(60 R/W)



NO.	DATE	BY	DATE	APPD	REVISIONS

PT	DESIGNED	DATE	DRAWN	DATE	CHECKED	DATE
		11/20/15		11/20/15		11/20/15

ENGINEERING

598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

GRADING, DRAINAGE AND EROSION CONTROL PLAN

LANDS OF WOO

84 DOUD DRIVE

APN 170-30-036

California

PROJECT NO. _____ CONTRACT NO. _____

DRAWING NO. **C2** OF 4

SHT NO. **2** OF 4

FILE NO. **Los Altos**

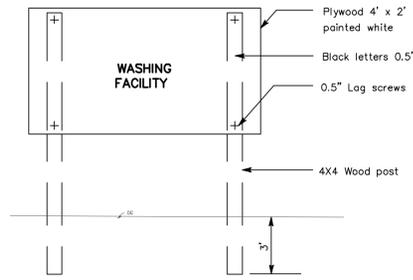
APPLICANT : WOO

ROAD NAME : DOUD DRIVE

FILE NO : .

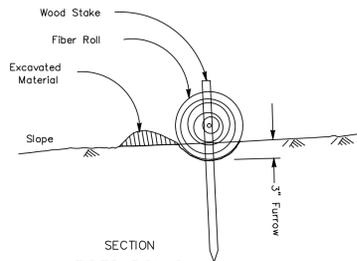
EROSION CONTROL NOTES

- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE COUNTY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL EROSION CONTROL MEASURES DURING EARTHWORK OPERATION.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES. GRADING WORK BETWEEN OCTOBER 15 TO APRIL 15 IS AT THE DISCRETION OF THE CITY OF LOS ALTOS BUILDING OFFICIAL.
- FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS.
- ACTIVE DRAINAGE INLETS AND NATURAL DRAINAGES WHERE RUNOFF IS LIKELY TO GO SHALL HAVE DRAINAGE INLET PROTECTION INSTALLED AROUND THE IMMEDIATE PERIMETER OF THE INLET AS NOTED ON THE PLANS.
- UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM EROSION AS SHOWN ON THE EROSION CONTROL PLAN. HAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES STEEPER THAN FIVE PERCENT.
- IF THE APPROVED EROSION CONTROL PLAN DOES NOT WORK, THE CITY OF LOS ALTOS CONSTRUCTION INSPECTOR CAN CHANGE THE EROSION CONTROL MEASURES AND LAYOUT.

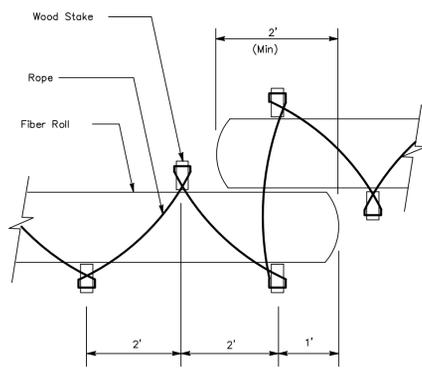


SIGN ELEVATION

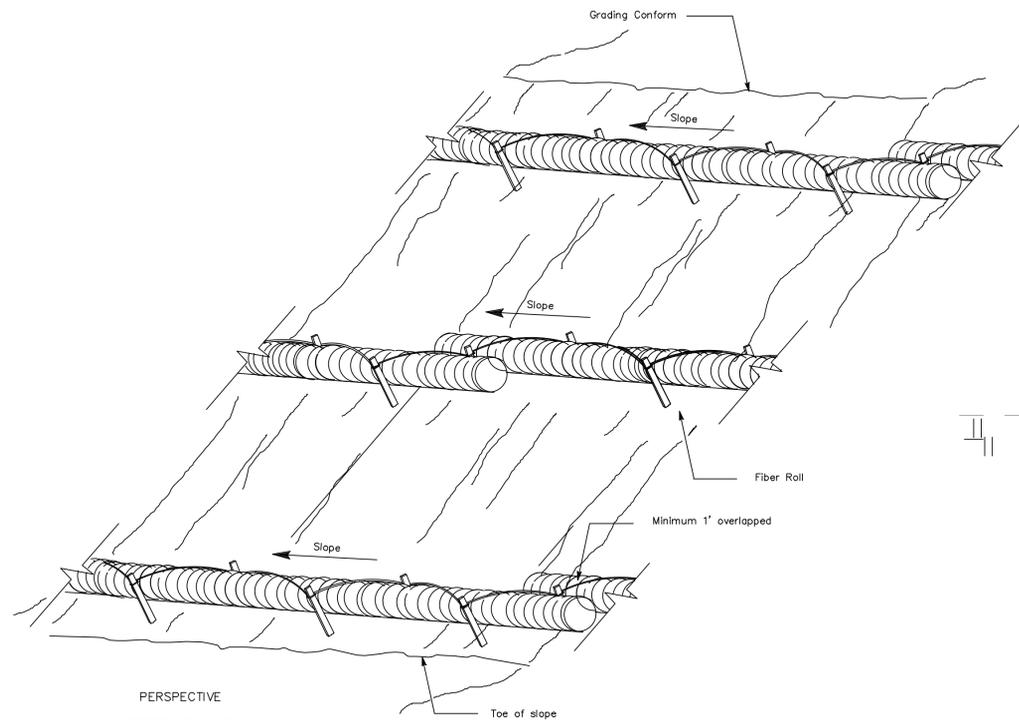
NOTE:
The temporary equipment washing facility sign shall be installed within 20 feet of the temporary concrete washout facility.



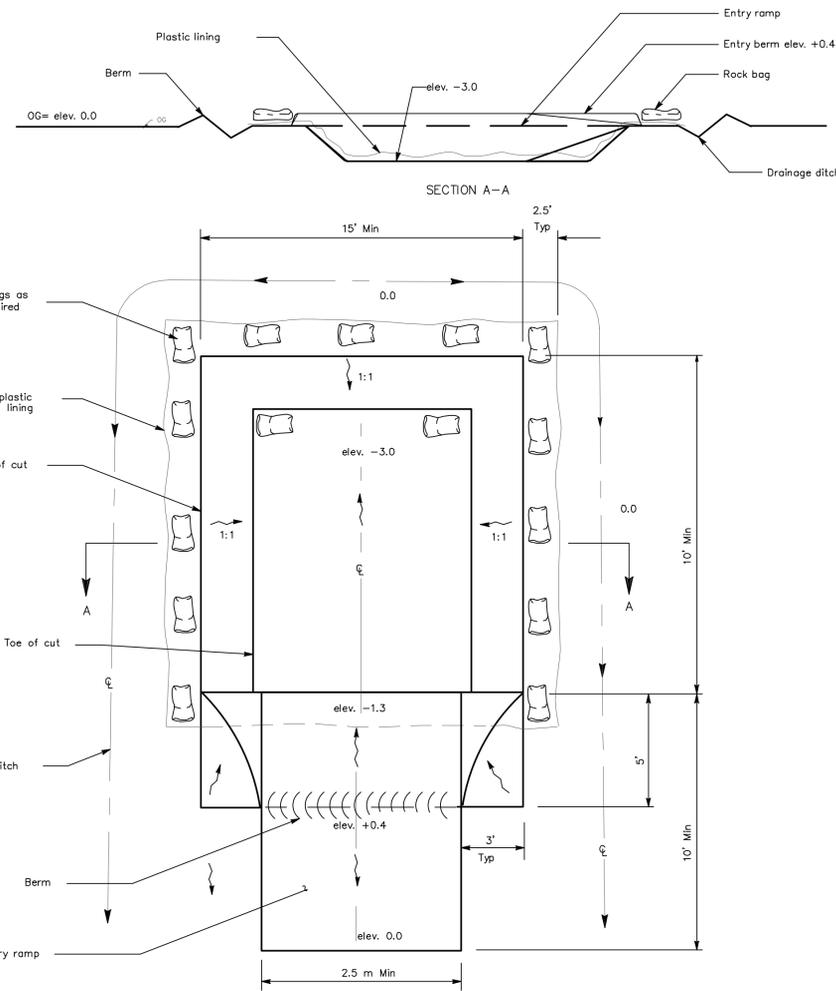
SECTION FIBER ROLLS IN FURROWS



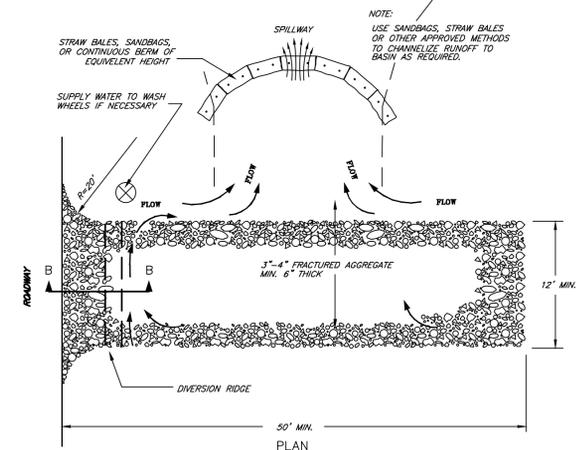
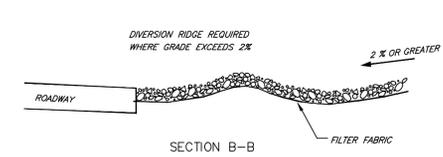
FIBER ROLLS ROPE RESTRAINT METHOD



FIBER ROLLS ROPE RESTRAINT METHOD

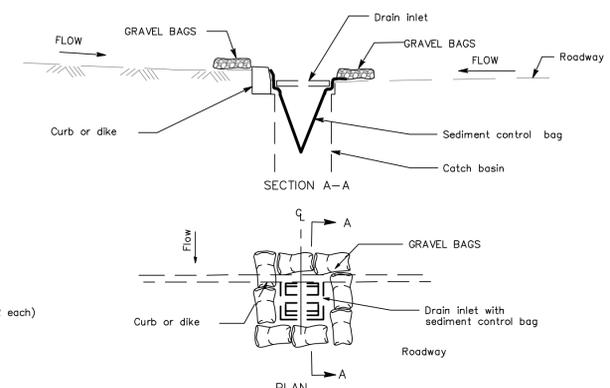


TEMPORARY EQUIPMENT WASHING FACILITY (Below Grade)

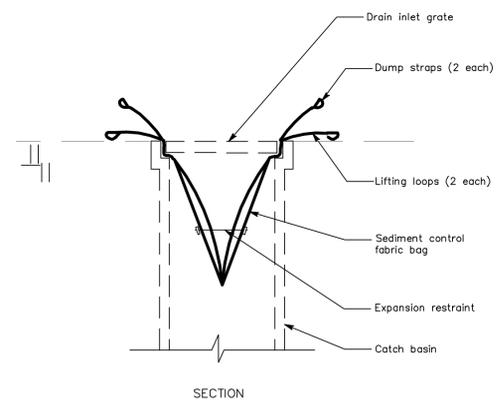


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



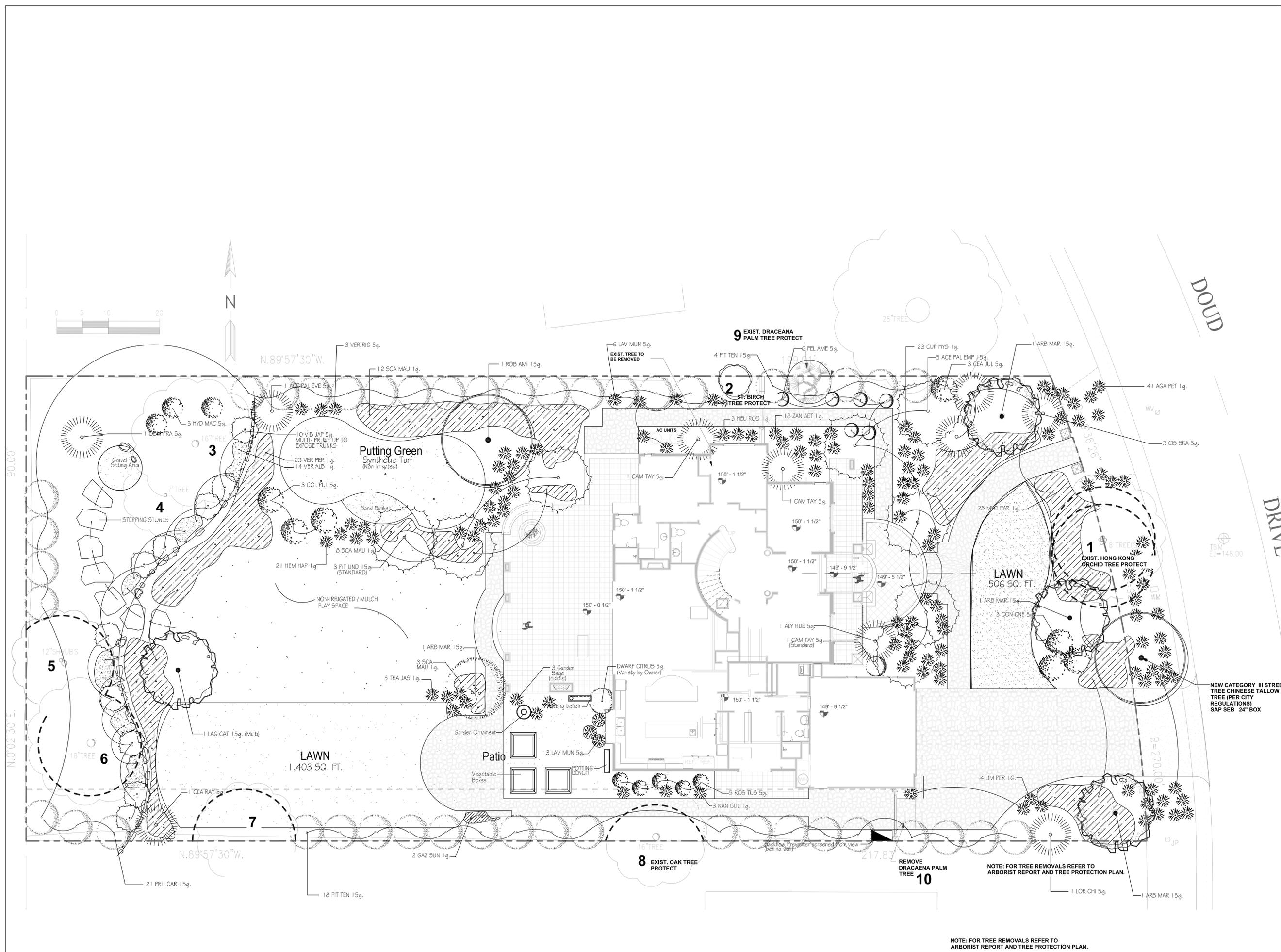
TEMPORARY DRAINAGE INLET PROTECTION For paved areas exposed to traffic



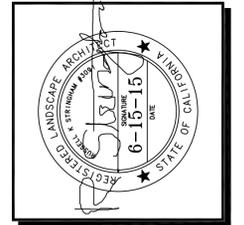
SECTION SEDIMENT CONTROL BAG



DESIGNED	11/20/15	DATE	11/20/15	DATE	11/20/15	DATE	11/20/15
DRAWN		SCALE		CHECKED		BY	
PT		APP'D		DATE		REVISIONS	
<p>ENGINEERING 598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 583-4006</p>							
<p>California</p>							
<p>EROSION CONTROL DETAILS LANDS OF WOO 84 DOUD DRIVE APN 170-30-036</p>							
DRAWING NO.	C3			PROJECT NO.			
SHT NO.	3 OF 4			CONTRACT NO.			
FILE NO.	Los Altos						



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 LIC.#3091
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WOO RESIDENCE
 84 DOUD DR.
 LOS ALTOS, CA
PLANTING PLAN

REVISION	REVISION DATE
	2-26-15
	6-15-15
	9-23-15
	11-12-15
	11-25-15

JOB NUMBER

DATE 1-8-15

DRAWN BY
RKS

SCALE
1/8"=1'-0"

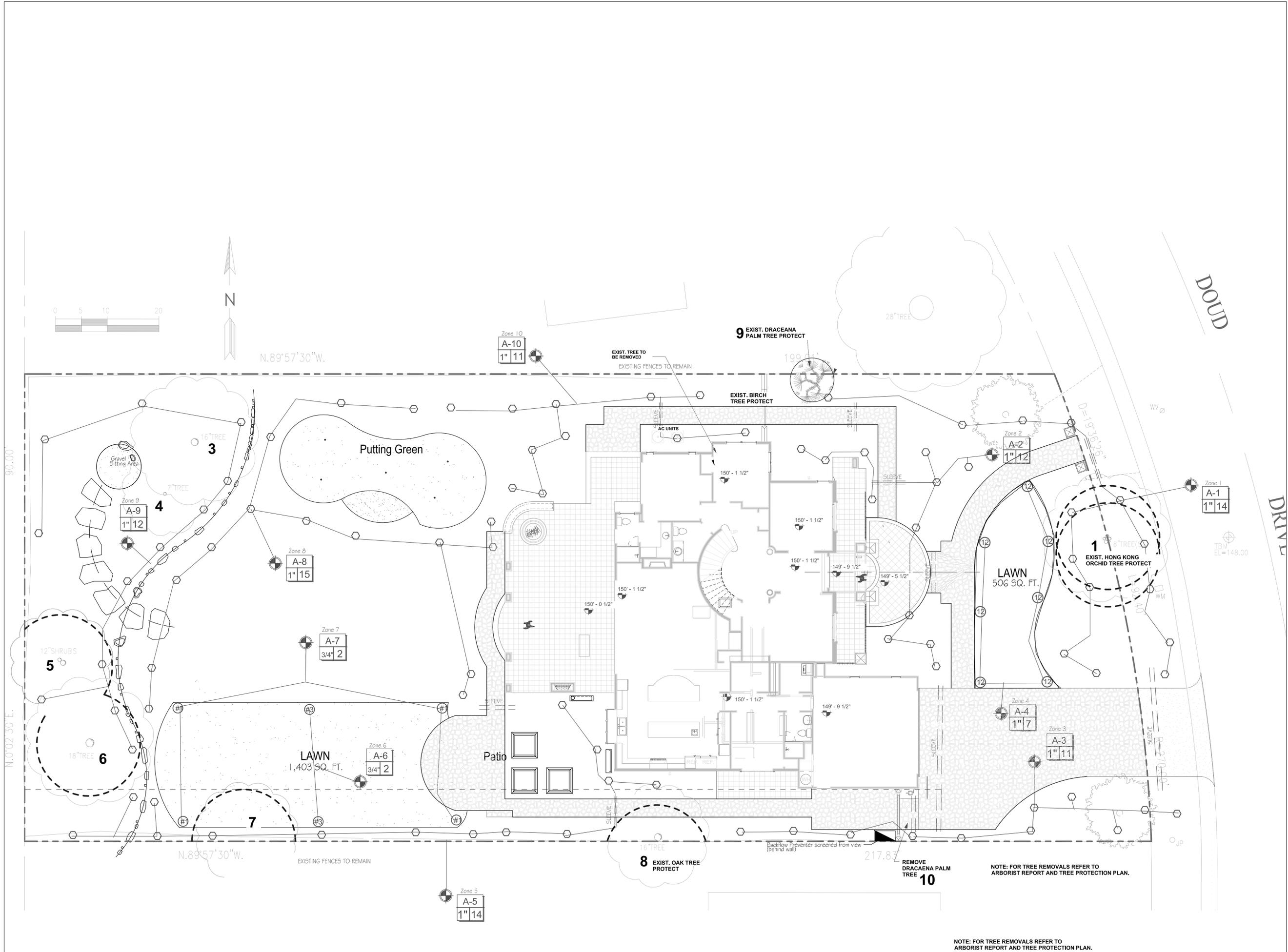
SHEET

L-1

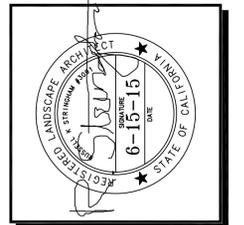
NOTE: FOR TREE REMOVALS REFER TO ARBORIST REPORT AND TREE PROTECTION PLAN.

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NEW CATEGORY III STREET TREE CHINESE TALLOW TREE (PER CITY REGULATIONS) SAP SEB 24" BOX



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WOO RESIDENCE
 84 DOUD DR.
 LOS ALTOS, CA
IRRIGATION PLAN

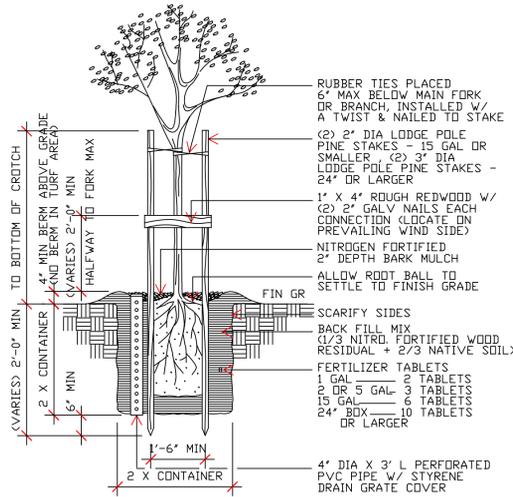
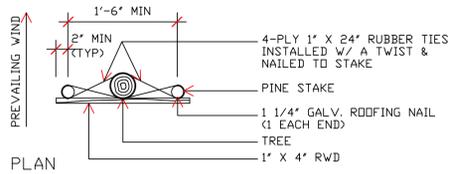
REVISION	REVISION DATE
	2-26-15
	6-15-15
	9-23-15
	11-25-15

JOB NUMBER
 DATE 1-8-15
 DRAWN BY
 RKS
 SCALE
 1/8"=1'-0"

SHEET
L-2

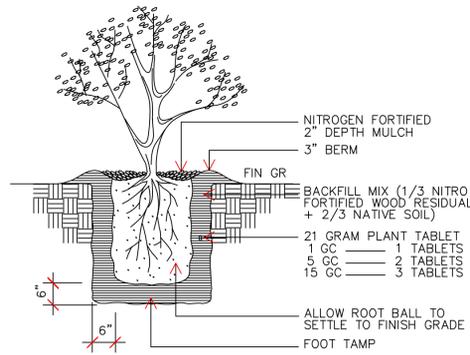
NOTE: FOR TREE REMOVALS REFER TO ARBORIST REPORT AND TREE PROTECTION PLAN.

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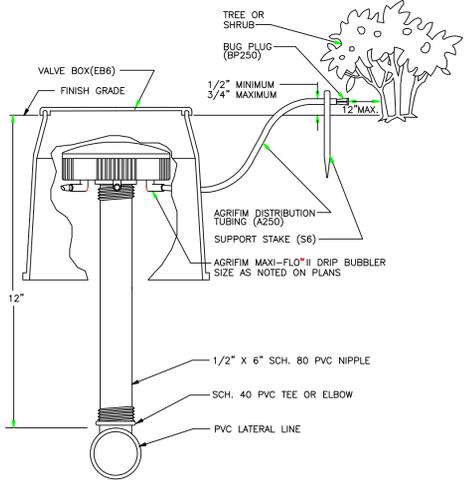
TREE PLANTING

N.T.S.



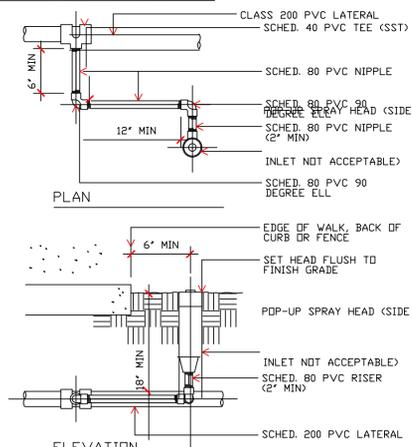
SHRUB PLANTING

N.T.S.



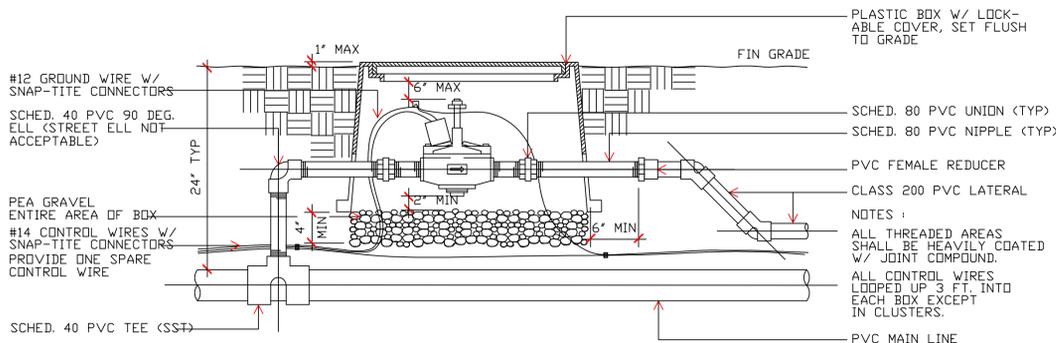
MAXI-FLO[®] RISER DETAIL

NOT TO SCALE



POP-UP SPRAY 4" LAWN HEAD

N.T.S.



REMOTE CONTROL VALVE

N.T.S.

KEY	TREES	
ACE PAL EMP	Acer palmatum 'Emperor 1'	Red Japanese Maple
ACE PAL EVE	Acer palmatum 'Ever Red'	Laceleaf Japanese Maple
ARB MAR	Arbutus 'Marina'	Strawberry Tree
LAG CAT	Lagerstroemia 'Catawba'	Crape Myrtle (Dark Purple)
PIT UND	Pittosporum undulatum	Victorian Box
ROB AMI	Rubus ambigua 'Purple Robe'	Flowering Locust
SAP SEB	Sapium sebiferum	Chinese Tallow Tree
KEY	SHRUBS	
AGA PET	Agapanthus 'Peter Pan-Albus'	Dwarf Agapanthus (White)
ALY HUE	Alyogyne Huegelii	Blue Hibiscus
CAM TAY	Camellia 'Taylors Perfection'	Camellia Std.(Pink)
CEA JUL	Ceanothus 'Julia Phelps'	Wild Lilac
CEA RAY	Ceanothus 'Ray Hartman'	Wild Lilac
OS SIA	Ostia skarrbergii	Dwarf Rockrose
CON CNE	Convolvulus cneorum	Bush Morning Glory
CUP HYS	Cuphea hyssopifolia	False Heather
DIE BIC	Dietsa bicolor	Fornight Lily
FEL AME	Felicla ameloides	Blue Marguerite
HEM HAP	Hemerocallis 'Happy Returns'	Daylily (Dwarf Yellow)
HEU ROS	Heuchera 'Rosada'	Coral Belle
HYD MAC	Hydrangea macrophylla	Hydrangea (Pink Lace Cap)
LAV MUN	Lavandula 'Munstead'	Dwarf English Lavender
NAN GUL	Nandina 'Gulf Stream'	Dwarf Heavenly Bamboo
OSM FRA	Osmanthus fragrans	Sweet Olive
PIT TEN	Pittosporum tenuifolium	Pittosporum
PRU CAR	Prunus caroliniana	Carolina Laurel Cherry
ROS TUS	Rosmarinus 'Tuscan Blue'	Rosemary
TRA JAS	Trachelospermum jasminoides	Star Jasmine
VER RIG	Verbena 'Rigida'	Tall Verbena
VIB JAP	Viburnum japonicum	Viburnum Multi
ZAN AET	Zantedeschia aethiopica	Calla Lily
KEY	GROUND COVERS	
AJU REP	Ajuga reptans	Carpet Bugle (Blue)
GAZ SUN	Gazania 'Sunrise Yellow'	Gazania
SCA MAU	Scaveola 'Maue Clusters'	Scaveola
VER PER	Verbena Peruviana (Purple)	Large Leaf Verbena
VER ALB	Verbena 'Alba'	Verbena (White)

WATER BUDGET CALCULATION FORM

Property Address : 84 Doud Dr. Los Altos, CA
 Authorized Professional Name/Company : Stringham Design
 License or Certification No : CA 83391



TOTAL AND SPECIAL LANDSCAPED AREA	
Enter Total Landscaped Area (LA)	8,237 square feet
Enter Special Landscaped Area (SLA)	0 square feet

HYDROZONE TABLE

Hydrozone	Plant Water Use Type	Irrigation Type	Plant Factor*	Hydrozone Area (sq. ft.)	Irrigation Efficiency (est. avg 0.75)	Net Water Requirement (gallons)	Gross Water Requirement (gallons)
1	Low	Drip	0.03	1,551	0.71	1,235	1,739
2	Low	Drip	0.03	710	0.71	565	796
3	Low	Drip	0.03	709	0.71	564	795
4	High	Sprinkler	0.70	506	0.71	9,399	13,238
5	Low	Drip	0.03	831	0.71	662	932
6	High	Sprinkler	0.70	701	0.71	13,021	18,340
7	High	Sprinkler	0.70	702	0.71	13,040	18,366
8	Low	Drip	0.03	1,102	0.71	877	1,236
9	Low	Drip	0.03	797	0.71	634	894
10	Low	Drip	0.03	628	0.71	500	704
11						0	0
12						0	0
13						0	0
14						0	0
15						0	0
16						0	0
17						0	0
18						0	0
19						0	0
20						0	0
SLA			1.00	0		40,498	57,039
Total				8,237			

* Use WUCOLS to determine PF: www.water.ca.gov/wateruseefficiency/docs/wucols06.pdf
 Note that surface areas of a water feature will be counted as high water using plant at PF 1.

MAWU and ETWU

Max Allowable Water Use (MAWA)	153,004	gallons/yr
Estimated Total Water Use (ETWU)	57,039	gallons/yr
Average Irrigation Efficiency	0.71	
Project Meets Water Efficient Requirements	Yes	
Project Meets Irrigation Efficiency Requirements	Yes	

CITY STAFF REVIEW	
<input type="checkbox"/> YES, ETWU < MAWA	
<input type="checkbox"/> NO, ETWU > MAWA	
Initials	

IRRIGATION LEGEND

- IRRITROL MC-18 PLUS 8 (OUTDOOR) WALL MOUNT ENCLOSURE WITH RAIN GAUGE AND SOIL MOISTURE SENSORS.
- FEBCO 825Y REDUCED PRESSURE BACKFLOW PREVENTER 1 1/4"
- Y STRAINER WILKINS YSBR SERIES WITH A 100 MESH SCREEN (LINE SIZE) MOUNT AS PART OF THE BACK FLOW ASSEMBLY.
- RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL VALVE SIZE AS NOTED.
- HUNTER PROFESSIONAL SERIES, G-TYPE, 28 RADIUS, NOZZLE #1 .5 G.P.M.
- HUNTER PROFESSIONAL SERIES, G-TYPE, 28 RADIUS, NOZZLE #3 .9 G.P.M.
- TORO 5702 12 RADIUS (PROVIDE ARC AS NEEDED FOR PROPER COVERAGE) 4" POP UP LAWN HEAD
- PRESSURIZED WATER MAIN, PVC SCHEDULE 40, BURY 18" MIN.
- IRRIGATION LINE PVC CLASS 200, BURY 12" MIN.
- USE SLEEVES WHERE EVER IRRIGATION LINES MUST PASS UNDER PAVING, TO BE COORDINATED ON SITE BY THE LANDSCAPE CONTRACTOR. SLEEVES SHALL BE 4" PVC SCHEDULE 40 BURY 18" MIN., EXTEND 6" BEYOND EDGE OF PAVING
- A-12
- 1 1/2
- 4
- AGRIFIM MAXI-FLO BUBBLER 6 OUTLETS AT 10 GPH EACH OPERATING RANGE 20-80 PSI USE A Y-STRAINER DOWN STREAM FROM VALVE FOR EACH CIRCUIT (SEE IRRIGATION LEGEND FOR SIZE AND TYPE OF FILTER) USE 1/4" DISTRIBUTION TUBING (170' I.D. X .250" O.D.-POLY) MAXIMUM RUN 8' LINES SHALL NOT TEE. PROVIDE ONE LINE TO EACH SHRUB OR GROUND COVER, AND TWO TO EACH TREE USE SUPPORT STAKE #36 AT END USE BUG PLUG #BP250

PLANTING NOTES

THE PLANTING PLAN IS DIAGRAMMATIC ONLY. THE EXACT LOCATION OF PLANT MATERIAL SHALL BE DETERMINED IN THE FIELD.

THE CONTRACTOR SHALL VERIFY THAT THE SOIL TO BE PLANTED IS NATIVE, AND FREE FROM ANY FOREIGN MATERIALS OR SUBSTANCES, WITH A MINIMUM DEPTH OF 8 INCHES OF NON COMPACTED TOPSOIL.

TILL ALL NEW PLANTING AREAS TO A DEPTH OF 8", AND REMOVE ALL WEEDS, STICKS, STONES OVER 1/2" DIAMETER, AND ANY OTHER MATERIAL WHICH WOULD BE HARMFUL TO PLANT GROWTH.

ALL NEW PLANTING AREAS SHALL RECEIVE A 2" LAYER OF NITROGEN FORTIFIED WOOD RESIDUAL. TILL IN TO A DEPTH OF 6" AND FINE GRADE.

ALL PLANT MATERIAL SHALL RECEIVE "AGRIFORM" FERTILIZER TABLETS AT THE TIME OF PLANTING, INSERTED IN THE BACKFILL MIX AT HALF THE DEPTH OF THE ROOTBALL. TABLET QUANTITIES AND SIZE AS INDICATED ON THE PLANTING DETAILS.

AFTER FINE GRADING, AND PLANTING, (PRIOR TO TOP DRESSING WITH MULCH) A PRE-EMERGENT HERBICIDE SHALL BE APPLIED AT A RATE AND METHOD RECOMMENDED BY THE PRODUCT MANUFACTURER. SPREAD AS A TOP DRESSING, A 2" LAYER OF NITROGEN FORTIFIED BARK (LARGE), IN ALL PLANTING AREAS FOR ADDITIONAL WEED CONTROL AND WATER RETENTION. SUBMIT A SAMPLE FOR APPROVAL.

ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNERS OR THE LANDSCAPE ARCHITECT.

ALL PLANTING DETAILS SHALL BE CLOSELY FOLLOWED, AND ALL LOCAL GOVERNING CODES SHALL BE MET.

ALL LAWN TO BE SOD "DOUBLE DWARF CHAMPION" BY THE GRASS FARM IN MORGAN HILL, OR APPROVED EQUAL.

ALL PLANTING MATERIALS SHALL BE IN A HEALTHY, VIGOROUS, AND DISEASE FREE CONDITION. THE PLANT SIZE SHALL BE PROPORTIONAL TO THE CONTAINER SIZE SPECIFIED. PLANTS NOT MEETING THESE REQUIREMENTS WILL BE REFUSED, EVEN IF PLANTED.

IT IS THE RESPONSIBILITY OF THE OWNER TO SUBMIT LANDSCAPE PLANS TO THE GOVERNING MUNICIPALITY FOR APPROVAL OF THE PLANS, AND TO OBTAIN BUILDING PERMITS. IF ANY CHANGES OR ADDITIONS TO THE PLANS NEED TO BE MADE, THE OWNER SHALL RETURN THE PLANS, WITH THE CITY REVIEW COMMENTS FOR REVISIONS. FINAL APPROVAL MUST BE OBTAINED FROM THE GOVERNING MUNICIPALITY PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

SEE CIVIL PLANS FOR ALL GRADING, DRAINAGE, AND ALL OTHER CIVIL WORK

IRRIGATION NOTES

PLAN IS DIAGRAMMATIC; THE EXACT LOCATION OF VALVES, LINES, HEADS, ETC., SHALL BE DETERMINED IN THE FIELD. LINES SHALL BE IN A COMMON TRENCH WHERE POSSIBLE. LINES AND SLEEVES TO BE INSTALLED UNDER PAVING SHALL BE SCHEDULE 40 PVC.

THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOT OPERATE ANY HEAVY EQUIP. OVER UTILITY LINES AND SHALL HAND DIG ANY TRENCHES WITHIN 5' OF UTILITY LINES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITY LINES AT HIS OWN EXPENSE.

IRRIGATION SYSTEM WAS DESIGNED FOR A MAXIMUM OF 14 GPM AT 40 PSIWORST PRESSURE (WORST CONDITION AT FURTHEST HEAD/DRIP UNIT. IRRIGATION CONT. TO VERIFY PRESSURE PRIOR TO CONSTRUCTION OF ANY PART OF THE IRRIGATION SYSTEM. IF WORKING PRESSURE IS GREATER THAN 70 PSI, CONSULT THE LANDSCAPE ARCHITECT FOR USE OF A PRESSURE REGULATOR. IF WORKING PRESSURE IS LESS THAN 40 PSI CONSULT LANDSCAPE ARCHITECT.

THE WATER SOURCE FOR THE IRRIGATION SYSTEM SHALL BE PROTECTED FROM BACK FLOW BY A BACK FLOW PREVENTER (TO BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DETAILS.

ALL VALVE WIRING SHALL BE COPPER U.L. APPROVED FOR DIRECT BURIAL. CONNECT WIRES USING SPLICE-KOTE WIRE CONNECTORS. WIRE SIZE TO BE #12 AWG MIN. (RUNS LONGER THAN 1000 FT. SHALL BE #10 AWG) ONE SPARE CONTROL WIRE TO BE PROVIDED THROUGHOUT

ALL BACKFILL MATERIAL SHALL BE FREE OF ROCKS (OVER 3/4"), AND OTHER EXTRANEIOUS MATERIALS, AND SHALL BE COMPACTED TO PREVENT SETTLING.

AT JOB COMPLETION SUPPLY OWNERS WITH CONTROLLER KEYS, AND MANUFACTURERS PRODUCT INFORMATION.

ALL IRRIGATION DETAILS SHALL BE CLOSELY FOLLOWED, AND ALL GOVERNING CODES SHALL BE MET

THE DRIP IRRIGATION SYSTEM WAS DESIGNED TO PROVIDE ONE DISTRIBUTION LINE TO EACH SHRUB (LINES SHALL NOT BE TEE), AND TWO LINES FOR EACH TREE.

THE IRRIGATION CONTRACTOR SHALL COORDINATE THE SPRINKLER HEAD/DRIP UNIT LOCATIONS AND QUANTITIES WITH THE PLANTING PLAN, AND PROVIDE PROPER IRRIGATION TO ALL PLANT MATERIALS SHOWN ON THE PLANTING PLANS. THE IRRIGATION CONTRACTOR SHALL TEST THE IRRIGATION SYSTEM PRIOR TO ANY BACK FILLING, AND SHALL CONTACT THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS.

NO TRENCHING WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE PERMITTED. IF IRRIGATION LINES MUST PASS THROUGH THE DRIP LINE OF EXISTING TREES, CONSULT THE LANDSCAPE ARCHITECT.

GREAT CARE SHALL BE GIVEN TO PREVENT DIRT FROM ENTERING THE IRRIGATION SYSTEM DURING CONSTRUCTION. FLUSH THE ENTIRE SYSTEM THOROUGHLY BEFORE INSTALLING THE MAXI FLO HEADS. ALL DRIP CIRCUITS SHALL HAVE A Y STRAINER AS INDICATED ON THE IRRIGATION LEGEND

I HAVE COMPLIED WITH THE CRITERIA OF WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

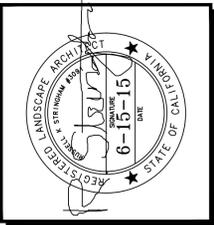
CHECK VALVES SHALL BE USED WHERE NEEDED TO PREVENT DRAINAGE TO LOW HEADS

SEE WATER BUDGET PREPARED FOR THIS SITE AND SUBMITTED WITH THIS DRAWING SET

THE IRRIGATION CONTRACTOR SHALL EMPLOY SOIL MOISTURE SENSORS, AND A RAIN GAUGE TO LIMIT WATER WASTE PER WEL0 12.44.070C2. CONTROLLER RMAV NOT RELY SOLELY ON TIME BASED SCHEDULING.

IRRIGATION SPRAY HEADS SHALL BE PLACED AND ADJUSTED TO PREVENT OVERSPRAY ON PAVED AREA, AND ADJUSTED TO PREVENT FOGGING AND MISTING.

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 84 DOUD DR.
 LOS ALTOS, CA
 DETAILS / NOTES

REVISION	REVISION DATE

JOB NUMBER

DATE 1-8-15

DRAWN BY
RKS

SCALE
NTS

SHEET

L-3