

CUSTOM HOUSE

OWNER : MR. JACKSON HUYNH
MRS: ANNA NGUYEN
ADDRESS: 859 CLINTON RD.
LOS ALTOS, CA

ABBREVIATIONS:

RWL	RAIN WATER LEADER	O.F.S	OUT SIDE FACE OF STUD
DS	DOWNSPOT	I.O.S	INSIDE FACE OF STUD
S/GD	SINK WITH GARBAGE DISPOSAL	O.C	ON CENTER
SH. ENC.	SHOWER ENCLOSURE	CL	CENTER LINE
T.C	TIME CLOCK	PL	PLATE LINE
UON.	UNLESS OTHERWISE NOTED	P.T.	PRESSURE TREATED
TYP.	TYPICAL	FL	FLOOR
V.GDF	VERTICAL GRAIN DOUGLESS FIR	F.F.E	FLOOR FINISH ELEVATION
WMP	WATERPROOF MEMBRANE	FF	FINISH FLOOR
WD	WOOD	PR	PAIR
WDW	WINDOW	R/A	RETURN AIR
RM	ROOM	REFR.	REFRIGERATOR
W.W.F	WOVEN WIRE FABRIC	R/O	RANGE OVEN
GYP. BD	GYP-SUM BOARD	MICR.	MICROWAVE
CEM. PL	CEMENT PLASTER	EX	EXISTING
H.B	HOSE BIB	CLG	CEILING
M/C	MEDICAL CABINET	BLDG	BUILDING
MTL	METAL	DWG	DRAWING
GLV	GALVANIZED	JST	JOIST
GSM	GALVANIZED SHEET METAL	BM	BEAM
N.I.C	NOT IN CONTRACT	HDR	HEADER
W.I.C	WALK-IN CLOSET	INSUL	INSULATION
		BOTT	BOTTOM
		PNL	PANEL
		CONC.	CONCRETE

PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM PER CBC CALIFORNIA RESIDENTIAL CODE SECTION R313. INSTALL A NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT. (PER MUNICIPAL CODE SECT. 12.10)

LOCATION OF UNDERGROUND UTILITIES PURSUANT TO MUNICIPAL CODE SECT. 12.68

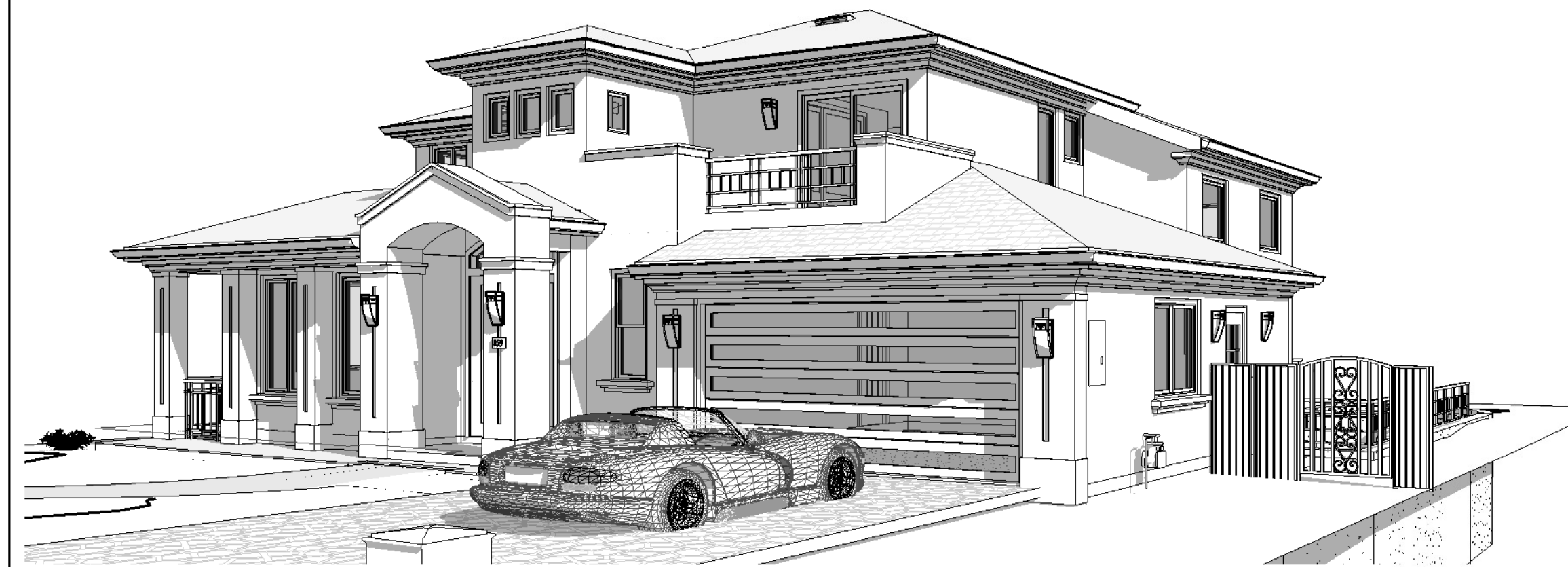
DRAWING LIST:

DRAWING LIST	
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C-2	GRADING DRAINAGE PLAN
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T-1	TOPO SURVEY

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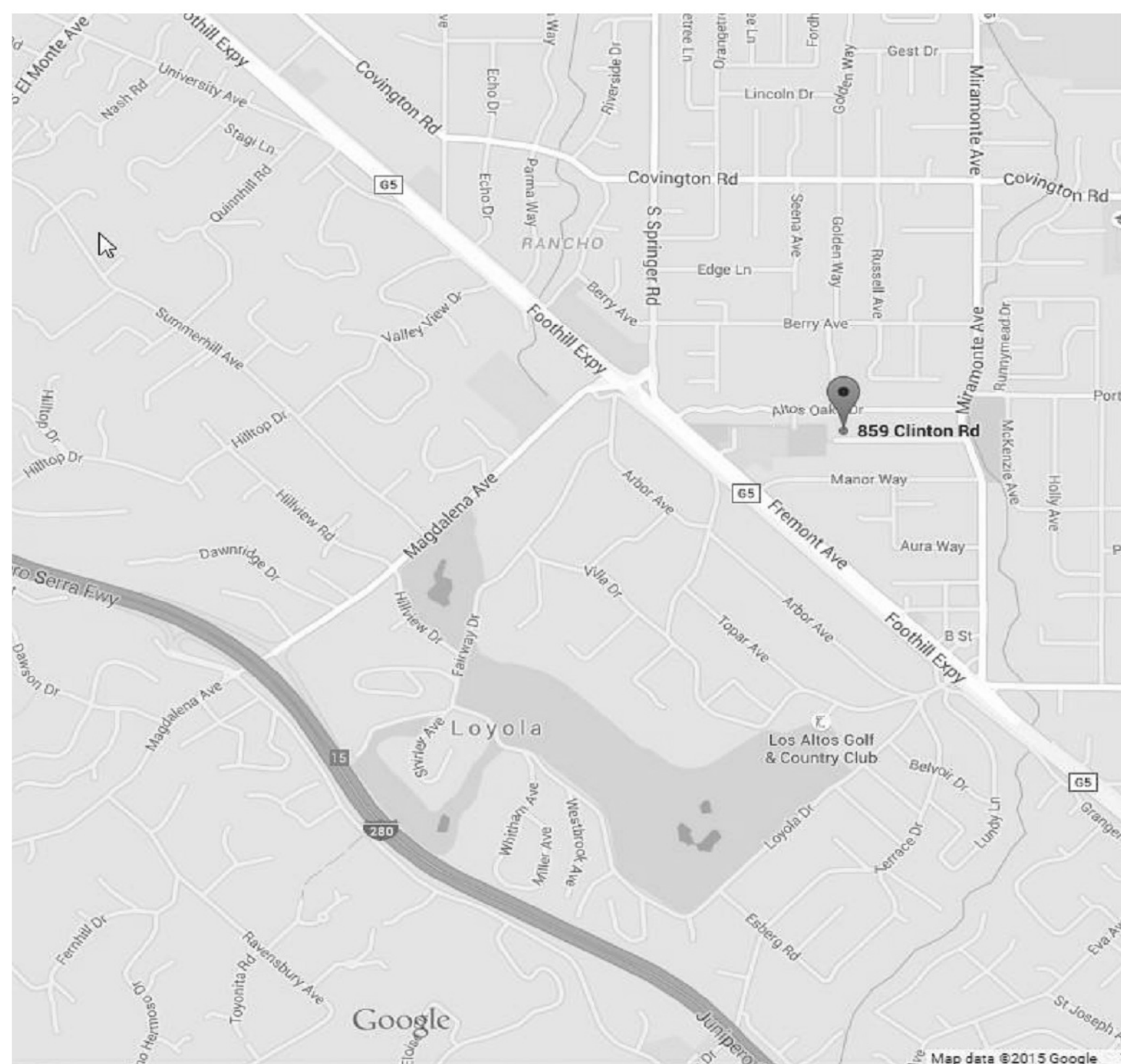


A SEPARATED DEMOLITION PERMIT IS REQUIRED FOR THE COMPLETE AND SOMETIMES PARTIAL REMOVAL OF ANY STRUCTURE, AND MUST BE FINALIZED PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT APPLICATION.

PROJECT SUMMARY: APN # : 189-13-022

NET LOT AREA: 9,448 SQF		COORDINATE WITH SHEET A10 & A11	
% OF FRONT YARD PAVING	EXISTING	CHANGE IN	TOTAL PROPOSED
	651 SQF (DEMO)	DEMO	714 SQF (36%)
HABITABLE LIVING AREA	1,138.5 SQF (DEMO)	EXISTING TO BE DEMOLISHED	1,994.3 SQF. (1st FL.) 882.2 SQF. (2nd FL.) TOTAL:4,897.1 SQF
NON-HABITABLE AREA	400 SQF (GARAGE) DEMO	EXISTING TO BE DEMOLISHED	420.6 SQF. (NEW GARAGE)

VICINITY MAP:



	EXISTING	PROPOSED	ALLOWED / REQUIRED	
			FIRST FLOOR	SECOND FLOOR
LOT COVERAGE STRUCT. OVER 6'-0" TALL	1,651.8 SQF. (18%) (inc. garage)	2,831.4 SQF. (30%)	2,834.4 SQF MAX.(30%)	
FLOOR AREA	1,538.5 SQF (16%) (inc. garage)	3,297.1 SQF (34.8%)	3,306.8 SQF MAX. (35%)	
SETBACKS:			FIRST FLOOR	SECOND FLOOR
FRONT	26'-0"	25'-0"	30'-6"	25'-0"
REAR	42'-6"	28'-0"	41'-3 1/4"	25'-0"
RIGHT SIDE	7'-8"	10'-0"	21'-10"	17'-6"
LEFT SIDE	28'-6"	13'-10"	19'-8"	17'-6"
HEIGHT	14'-0"	26'- 3"	27'-0"	

LOT CALCULATIONS:
LOT AREA: 9,448 SQF
FRONT YARD HARDSCAPE AREA: 787 SQF

LANDSCAPING BREAKDOWN AREA:
TOTAL HARDSCAPE: 6,007.4 SQF
EXISTING SOFTSCAPE: 6,039.7 SQF
NEW SOFTSCAPE: 3,440.6 SQF (- 2,599.1 SQF OF EXIST)
(EXISTING LANDSCAPE AREAS TO BE REPLACED WITH NEW LANDSCAPE= 3,369.7 SQF)

PARKING SPACES: TWO COVERED (ENCLOSED)
ZONING: RESIDENTIAL
TYPE OF CONSTRUCTION: V-B
OCCUPANCY GROUP: R3 & U
NO OF STORIES: 2 STORY plus BASEMENT
APPLICABLE CODES: 2013 CBC, 2013 CRC, 2013 CMC, 2013 CPC, CEC, 2013 CALIFORNIA FIRE CODE, CALIFORNIA ENERGY CODE

COVER SHEET

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A1
Scale

TREE REPORT:

OBSERVATIONS

Tree# 1: London Plane *Platanus x acerifolia*: DBH 18", height 20', crown spread 17', live crown ratio 60%, health: poor, structure: poor.
 Health is poor due to anthracnose disease. Structure of the tree is also poor due to heading cuts to the entire canopy. The tree is not asymmetrical.

Tree# 2: London Plane *Platanus x acerifolia*: DBH 18", height 19', live crown ratio 45%, crown spread 10', health: poor, structure: poor.
 Health is poor due to anthracnose disease. There are large decay cavities at the 6' height of the tree. There is a lot of termite activity visible in the decaying wood. Structure is poor due to the topping heading pruning that the tree has been subjected to.

Tree# 3,4: Glossy Leaf Privet *Ligustrum lucidum*: DBH 24.5" multi-trunk, height 40', crown spread 19', live crown ratio 60%, health: fair, structure: poor.
 Structure is poor due to poor attachments at or below grade. These trees are with 2' of the high voltage power lines.

Tree# 5: Glossy Leaf Privet *Ligustrum lucidum*: DBH 26" multi-trunk, height 41', crown spread 14', live crown ratio 55% health: fair, structure: fair.
 Structure is poor due to poor included attachments at the grade or below.

Tree# 6: Photinia: DBH 20" multi-trunk, height 14', crown spread 8', live crown ratio 90% health: poor, structure: poor.
 Health is poor due to a poor history of maintenance. There are basil conks at the base of the tree which is an indication of decay in the root system. Structure is poor due to poor pruning practices.

Tree# 7: DBH Purple Leaf Plum *Prunus cerasifera*: 13" multi-trunk, height 12', crown spread 7', live crown ratio 40%, health: poor, structure: poor.
 Health is poor due to declining canopy. Structure is poor due to loss of structural limbs and deadwood.

Tree# 8: Guava *Psidium guajava*: DBH 4", height 10', crown spread 7', live crown ratio 90% health: fair, structure: fair.
 Structure is fair. Tree is 1' from foundation and within the construction footprint of the construction.

Tree# 9: Guava *Psidium guajava*: DBH 6" multi-trunk, height 10', crown spread 8', health: fair, structure: fair.
 Tree is situated 2' from foundation and within the construction footprint.

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Tree# 10: Birch *Betula*: DBH 2.5", height 10', crown spread 5', health: dead, structure: dead.
 Tree is dead.

Tree# 11: Birch *Betula*: DBH 3", height 13', crown spread 5', health: poor, structure: poor.
 Tree is 50% dead.

Tree# 12: Birch: *Betula* DBH 4.5", height 16', crown spread 5', health: poor, structure: poor.
 Due to over crowding by shrubbery and poor health tree is not suitable for retention.

Tree# 13: Orange *Citrus sinensis*: DBH 10" multi-trunk, height 13', crown spread 10', live crown ratio 85% health: fair, structure: good.
 Structure is good. Health is fair due to drought stress. Tree is within the foot print of construction.

Tree# 14: Birch *Betula*: DBH 5", height 14', crown spread 7', live crown ratio 70%, health: poor, structure: poor.
 Health is poor due to dieback and drought stress. Structure is poor due to over crowding from adjacent shrubbery.

Tree# 15: Bay Laurel *Laurus nobilis*: DBH 9" multi-trunk, height 17', crown spread 7', live crown ratio 90%, health: poor, structure: poor.
 Health is poor due to aphids and has a history of topping cuts made. Structure is poor due to proximity to the house 5' away and the history of poor pruning practices.

RECOMMENDATIONS

Tree #1-15 are not suitable for retention due to health, structure and/or tree is within the construction footprint.

CONCLUSION

Removal and replace per City of Los Altos ordinance.

GLOSSARY OF TERMS

Anthracnose: is a general term used to describe diseases that result in a wide range of symptoms including leaf spots, blotches or distortion, defoliation, shoot blight, twig cankers and dieback on many different deciduous trees and shrubs.

Bleeding: Flow of sap from plant wounds, injuries, or pathogen invasion.

Cavities: Open or closed hollow within the tree stem, usually associated with decay.

Codominant stem: Forked branches nearly the same size in diameter, arising from a common junction and lacking a normal branch union.

Diameter at breast height (DBH): Measures at 1.4 meters (4.5 feet) above ground in United States, Australia (arboriculture), New Zealand, and when using the *Guide for Plant Appraisal*, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

Mitigation: The processes of reducing risk.

Fungal conks: Fruiting body or non fruiting body (sterile) of a fungus. Often associated with decay.

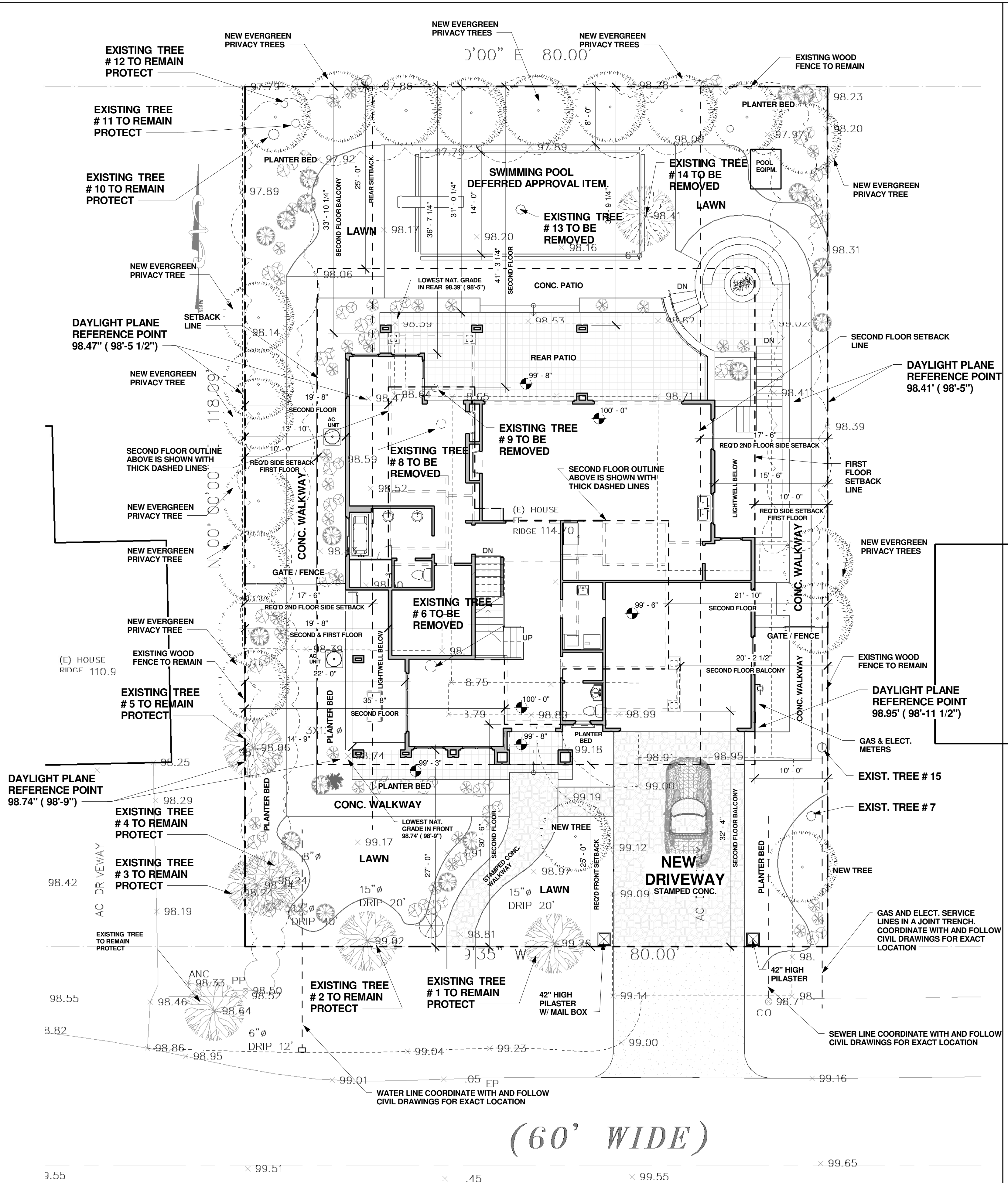
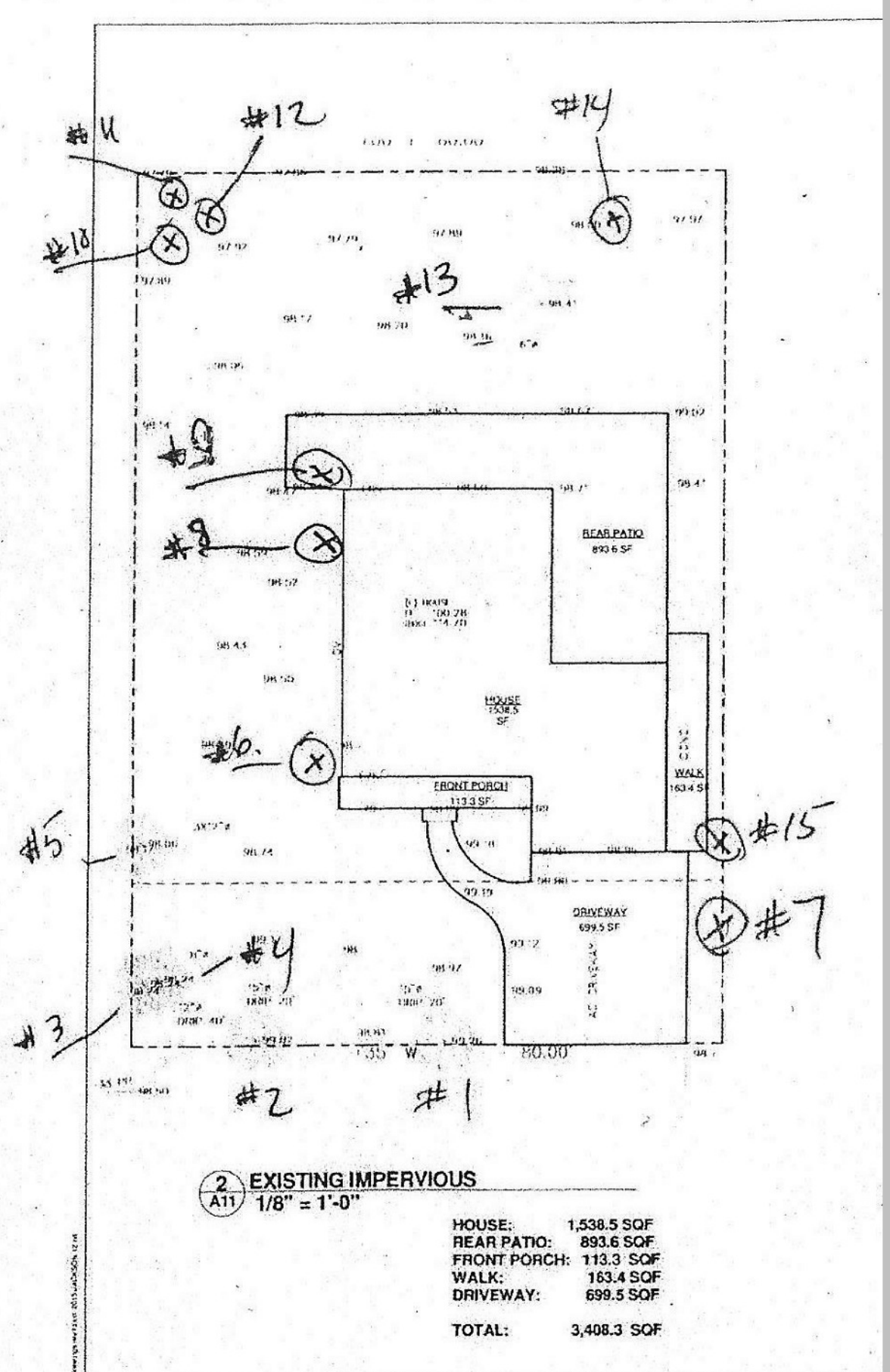
Topping: Inappropriate pruning technique to reduce tree size. Cutting back a tree to a predetermined crown limit, often at internodes.

Wounds: A type of injury to the tree from mechanical or biological damage.

This Glossary of Terms was adapted from the *Glossary of Arboricultural Terms* (ISA, 2006).



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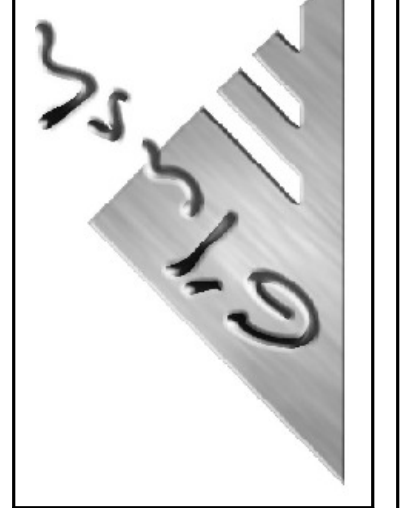


1 SITE PLAN
A2 1/8" = 1'-0"

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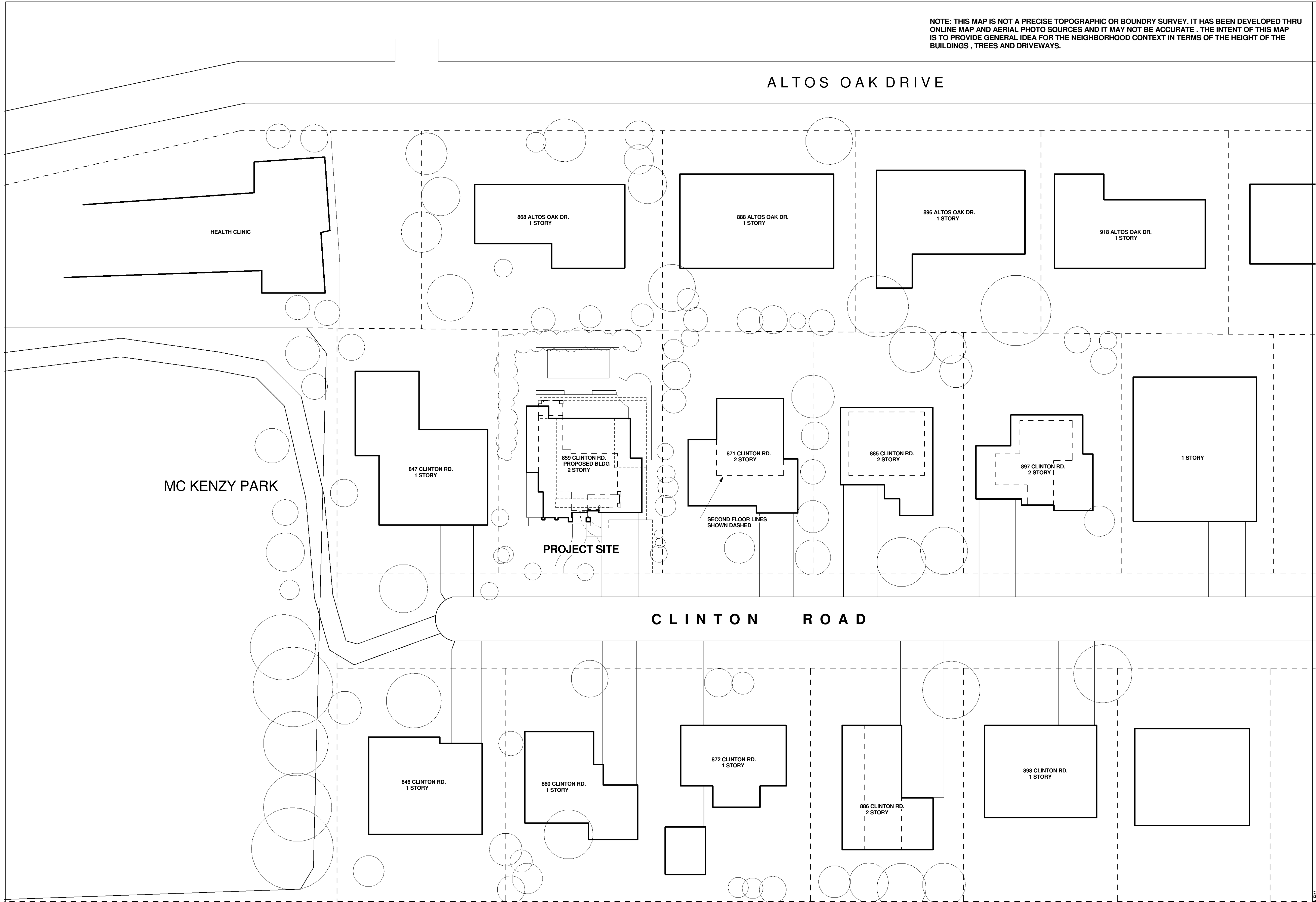


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A2
 Scale: 1/8" = 1'-0"

NOTE: THIS MAP IS NOT A PRECISE TOPOGRAPHIC OR BOUNDARY SURVEY. IT HAS BEEN DEVELOPED THRU ONLINE MAP AND AERIAL PHOTO SOURCES AND IT MAY NOT BE ACCURATE. THE INTENT OF THIS MAP IS TO PROVIDE GENERAL IDEA FOR THE NEIGHBORHOOD CONTEXT IN TERMS OF THE HEIGHT OF THE BUILDINGS, TREES AND DRIVEWAYS.



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NEIGHBORHOOD CONTEXT

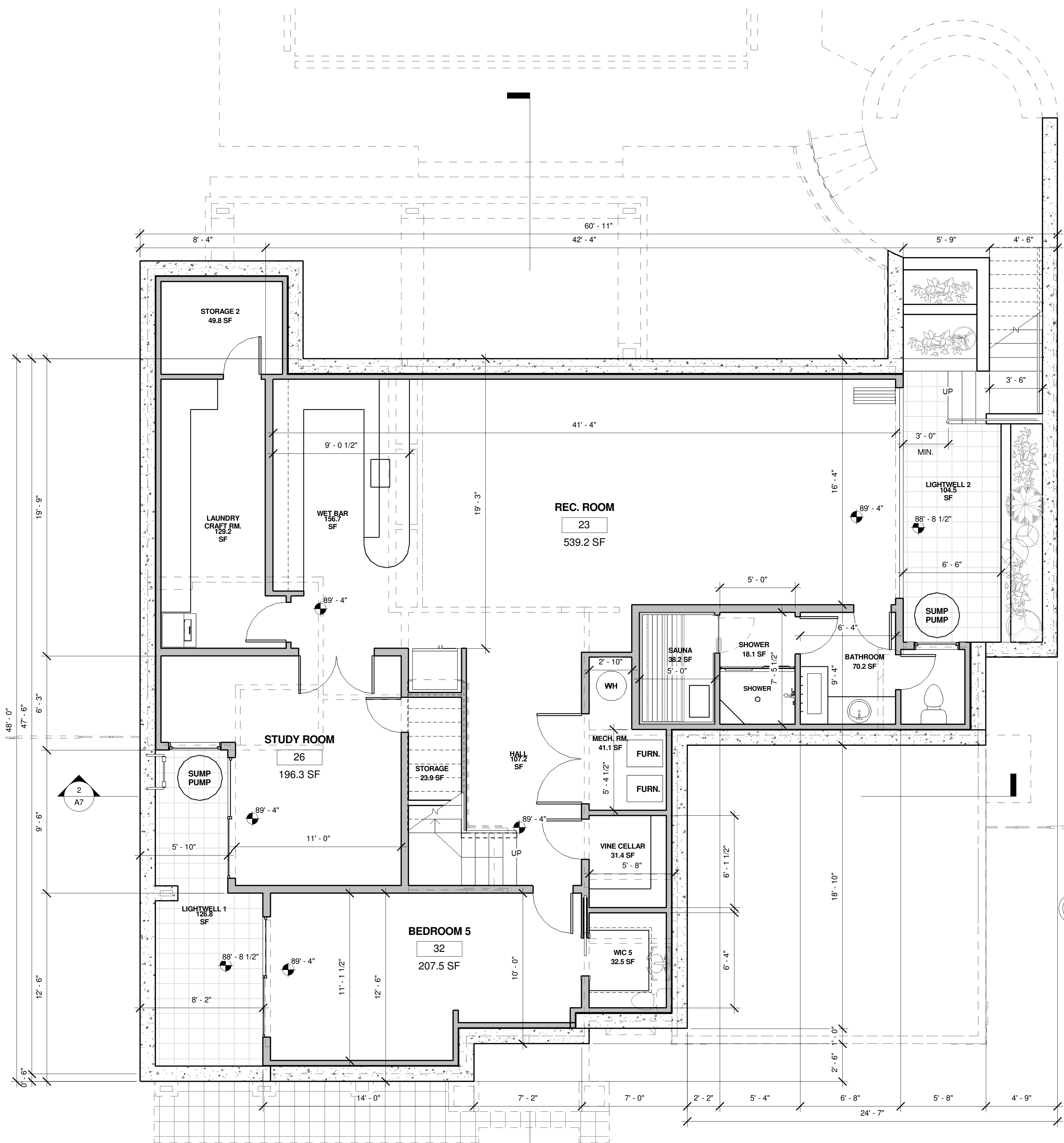
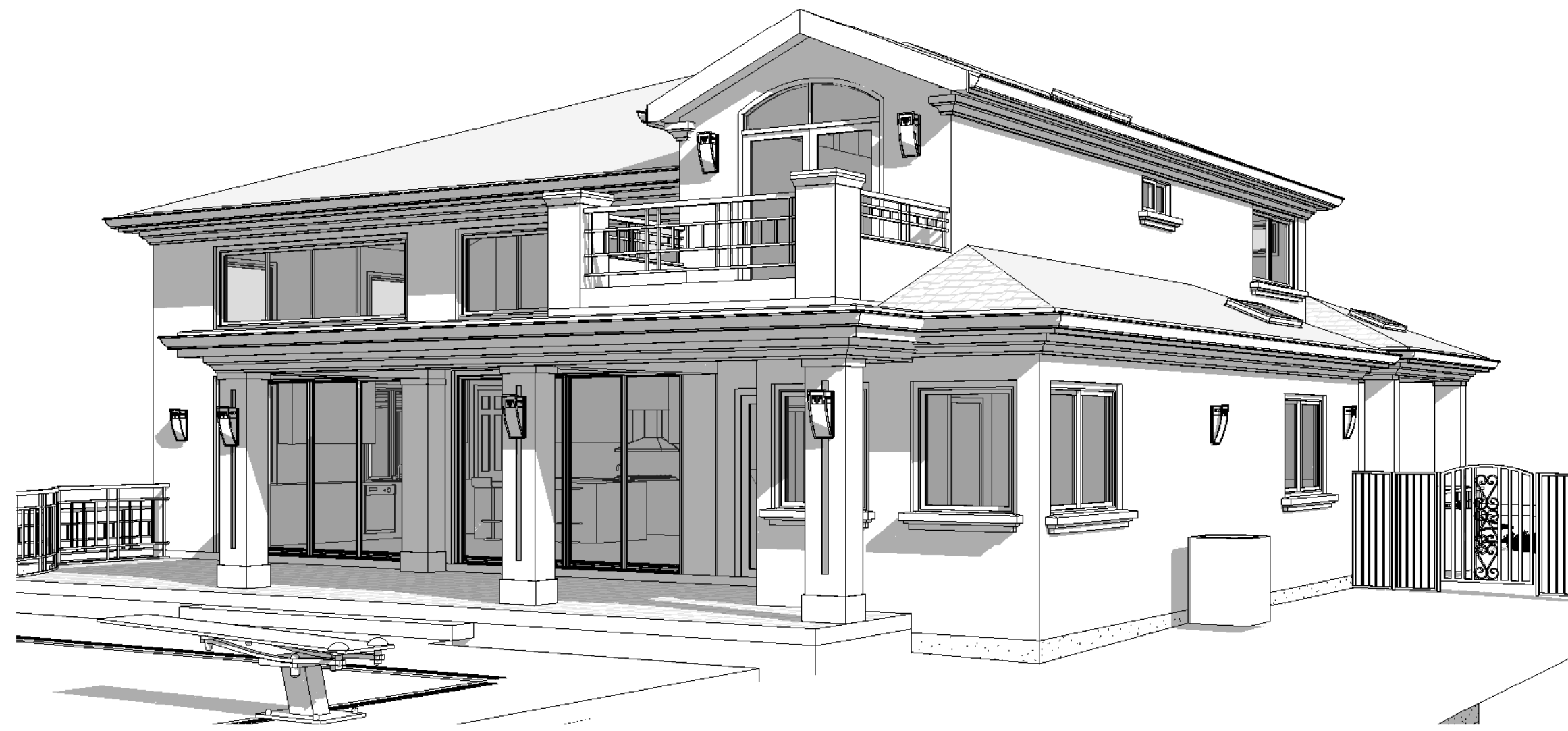
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A2a
 Scale 1" = 20'-0"

1 NEIGHBORHOOD CONTEXT
 A2a 1" = 20'-0"



1 BASEMENT FLOOR PLAN
A3 1/4" = 1'-0"

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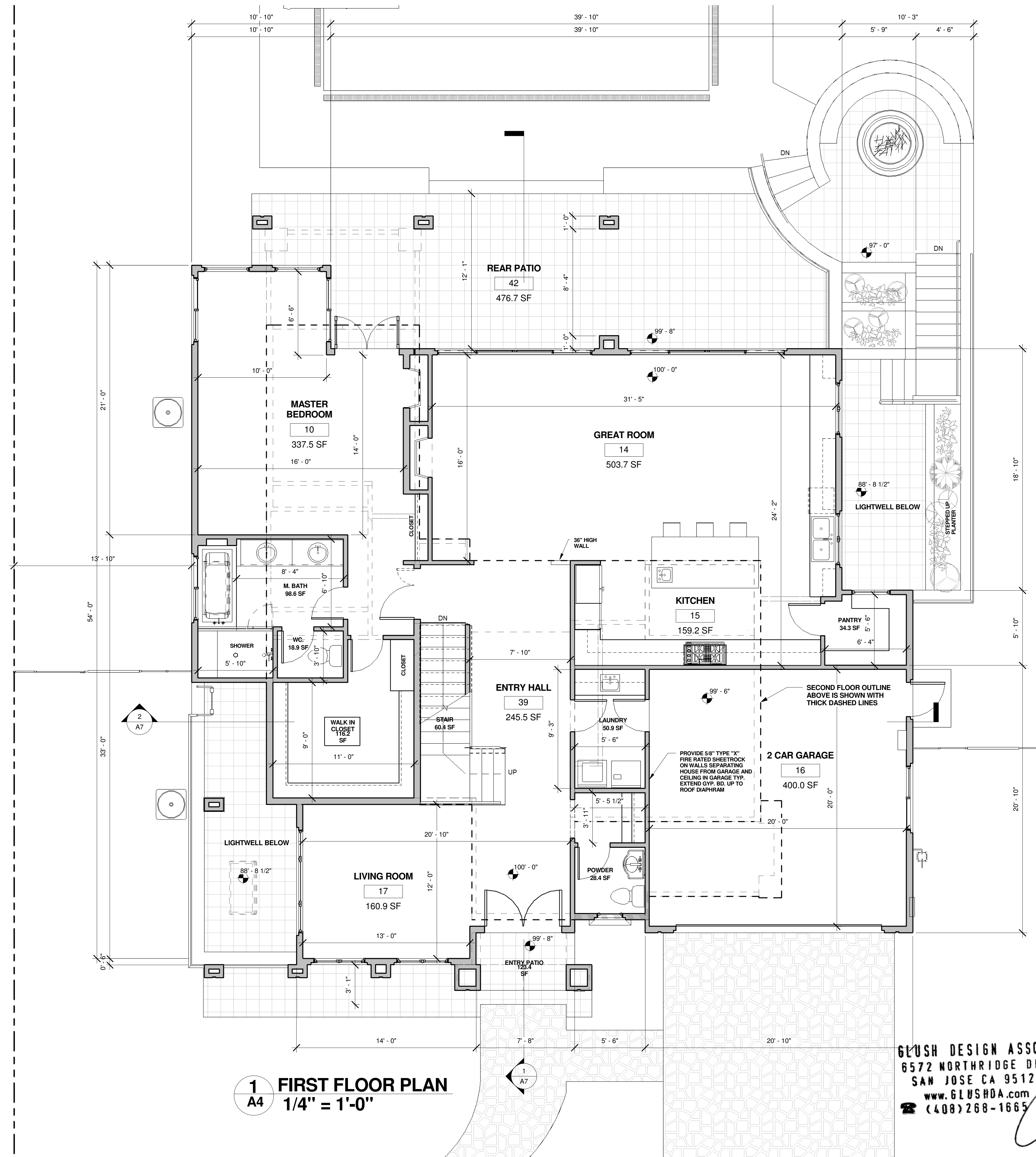
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BASEMENT PLAN

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A3
 Scale: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
A4 1/4" = 1'-0"

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FIRST FLOOR PLAN

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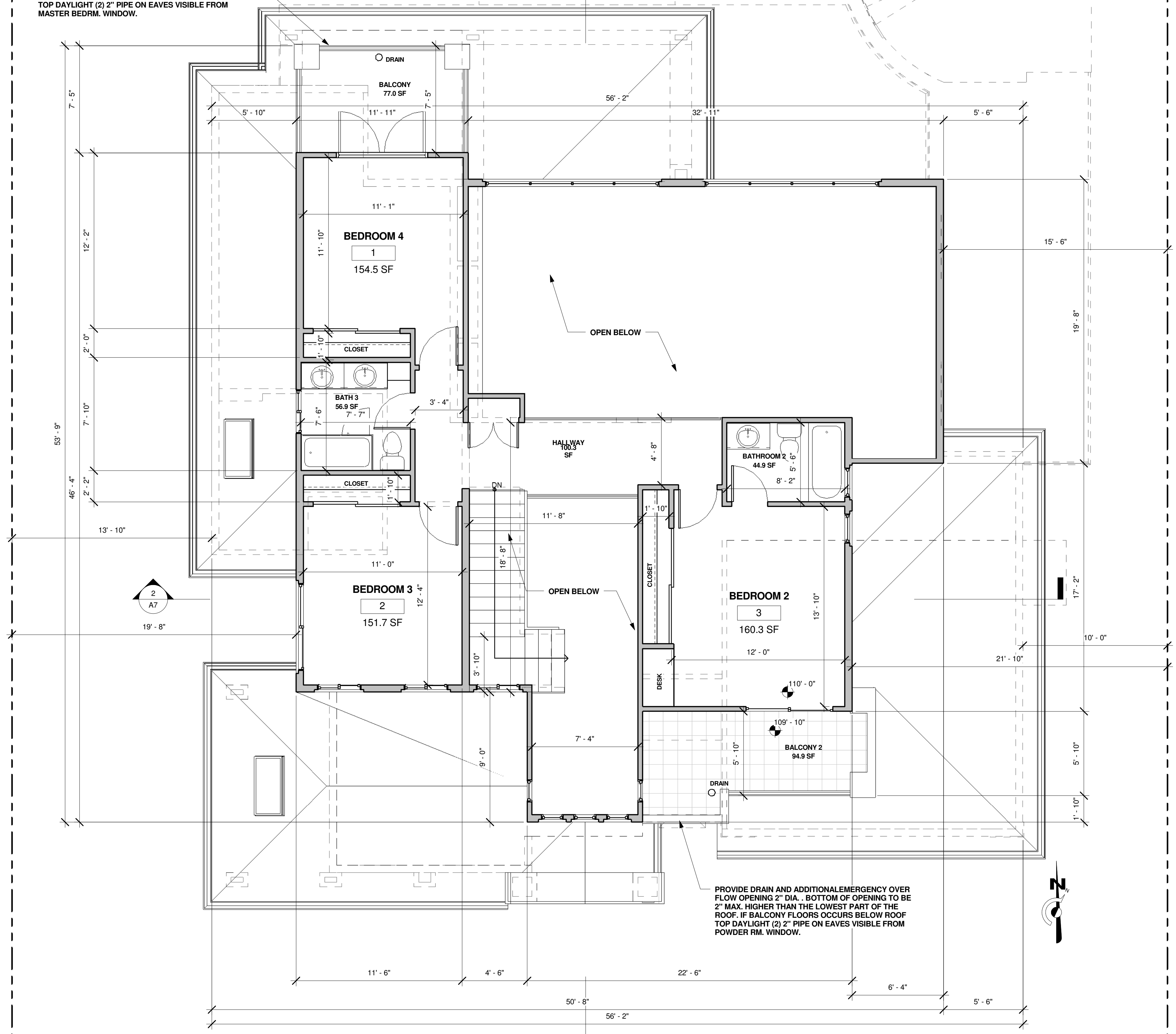
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A4
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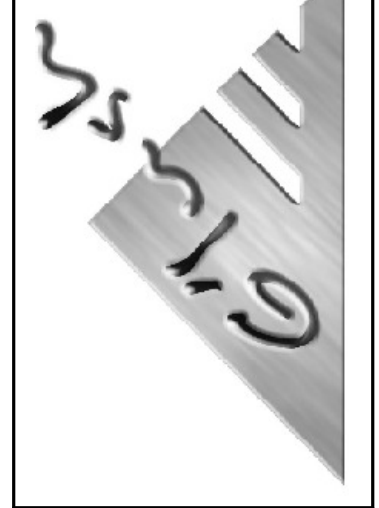
PROVIDE DRAIN AND ADDITIONAL EMERGENCY OVER FLOW OPENING 2" DIA. . BOTTOM OF OPENING TO BE 2" MAX. HIGHER THAN THE LOWEST PART OF THE ROOF. IF BALCONY FLOORS OCCURS BELOW ROOF TOP DAYLIGHT (2) 2" PIPE ON EAVES VISIBLE FROM MASTER BEDRM. WINDOW.



1 SECOND FLOOR PLAN
 1/4" = 1'-0"

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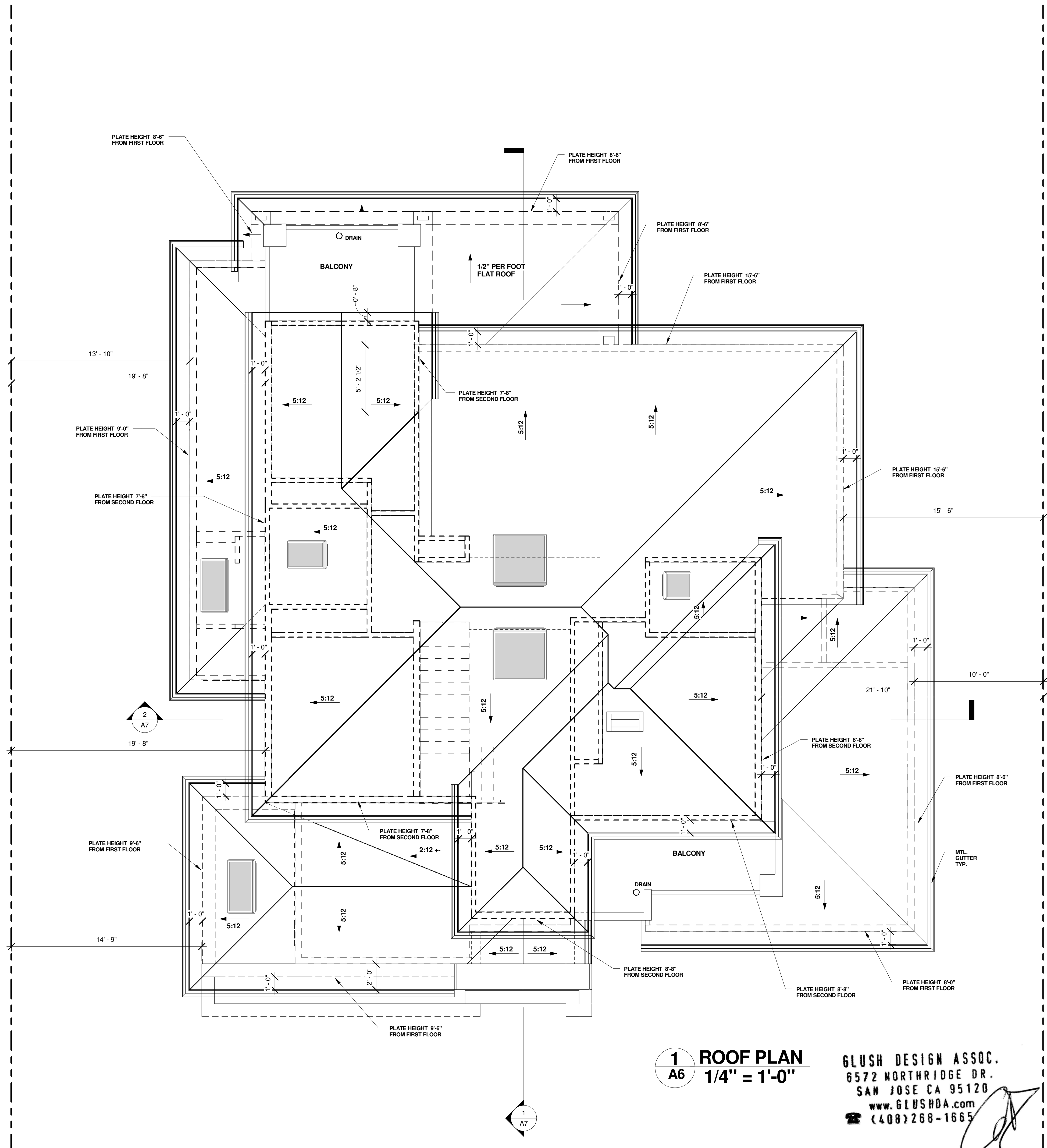
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SECOND FLOOR PLAN

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A5
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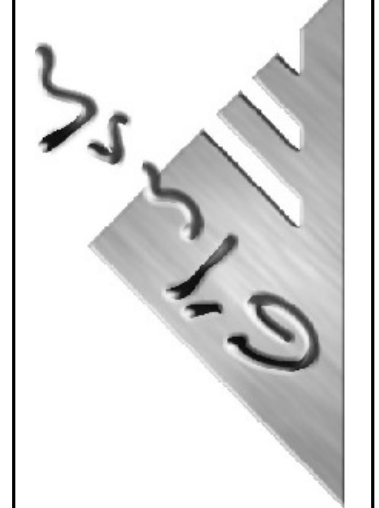
1 ROOF PLAN
A6 1/4" = 1'-0"

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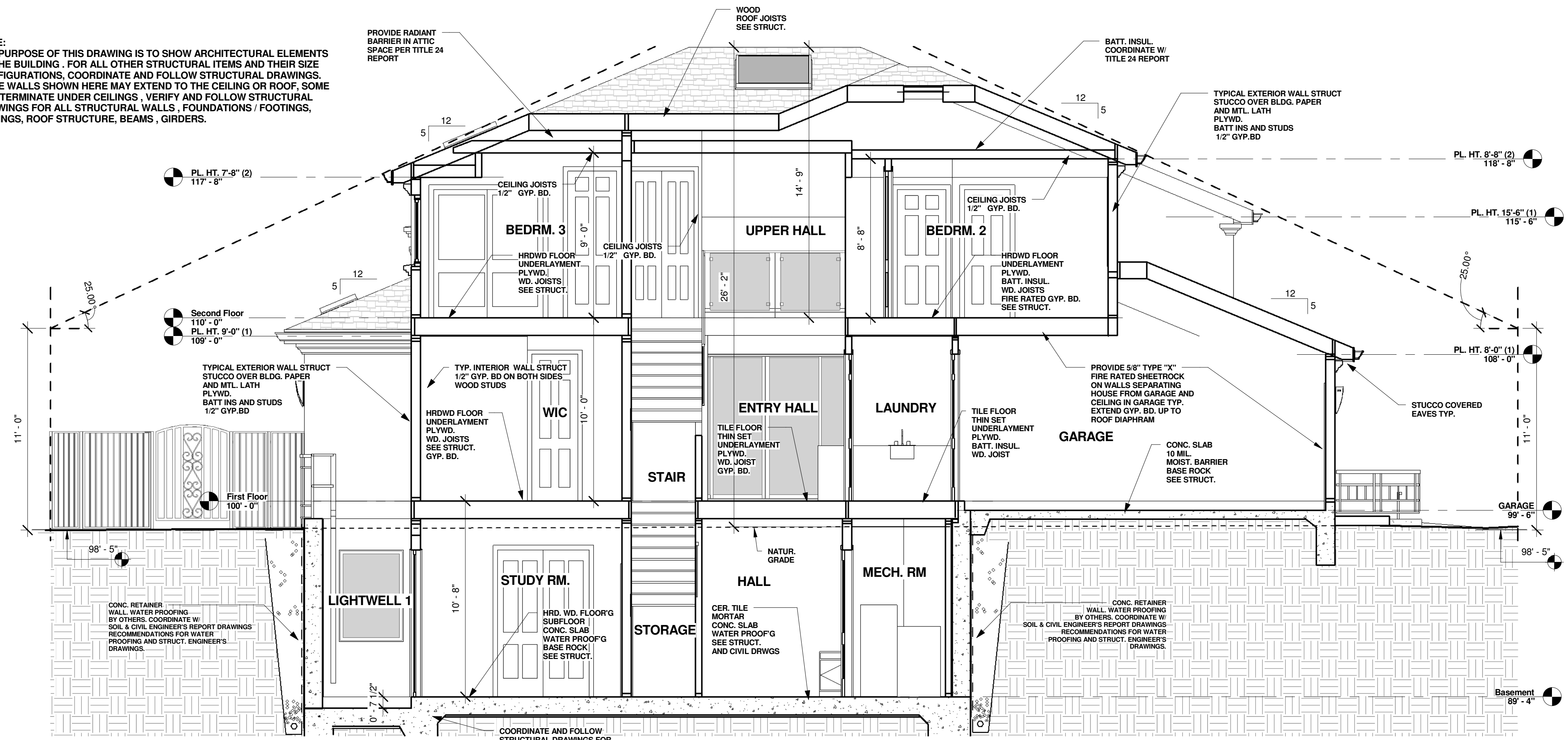
ROOF PLAN

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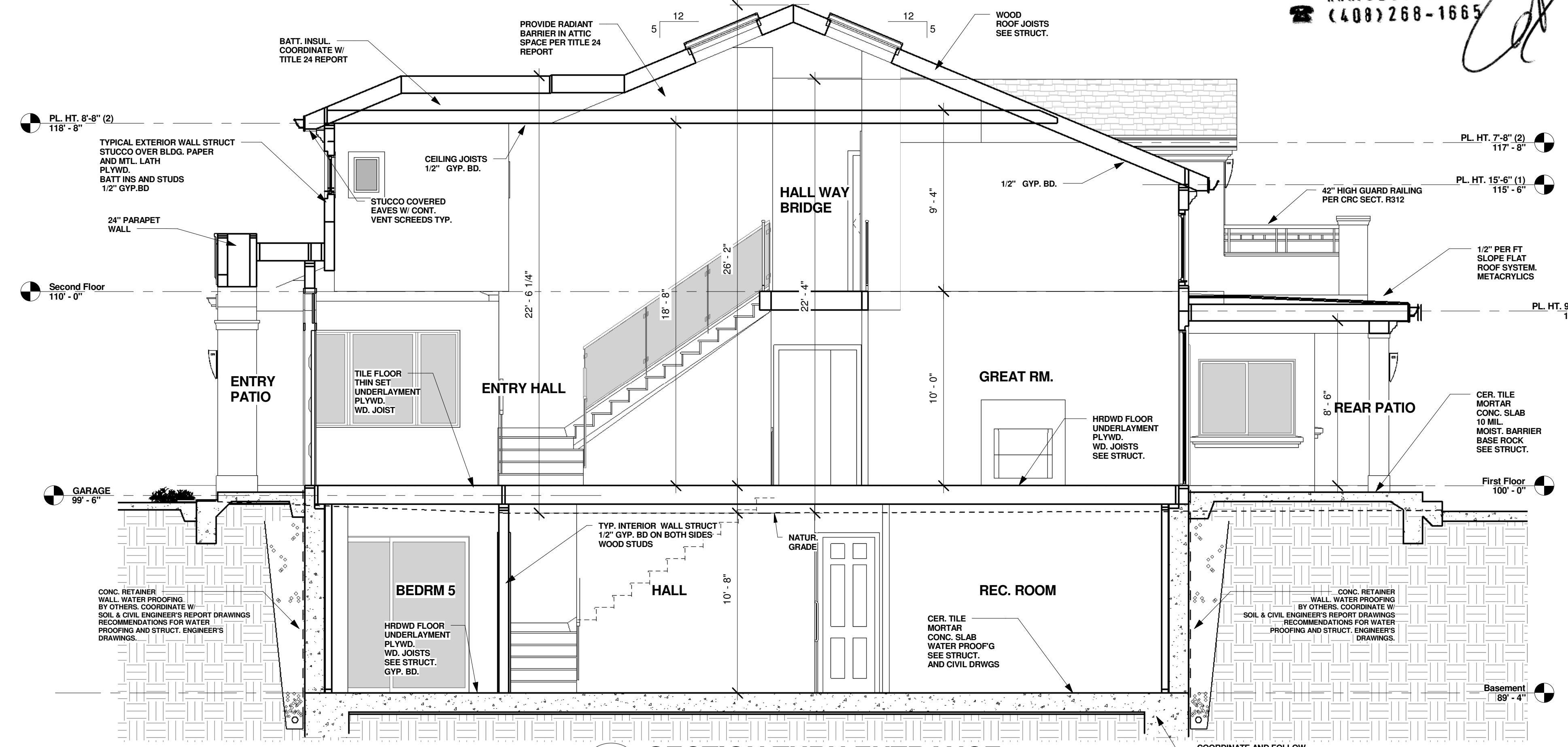
A6
Scale: 1/4" = 1'-0"

NOTE:
THE PURPOSE OF THIS DRAWING IS TO SHOW ARCHITECTURAL ELEMENTS OF THE BUILDING. FOR ALL OTHER STRUCTURAL ITEMS AND THEIR SIZE CONFIGURATIONS, COORDINATE AND FOLLOW STRUCTURAL DRAWINGS. SOME WALLS SHOWN HERE MAY EXTEND TO THE CEILING OR ROOF, SOME MAY TERMINATE UNDER CEILINGS. VERIFY AND FOLLOW STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WALLS, FOUNDATIONS / FOOTINGS, CEILINGS, ROOF STRUCTURE, BEAMS, GIRDERS.



2 SECTION THRU STAIR & GARAGE
A7 1/4" = 1'-0"

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1 SECTION THRU ENTRANCE
A7 1/4" = 1'-0"

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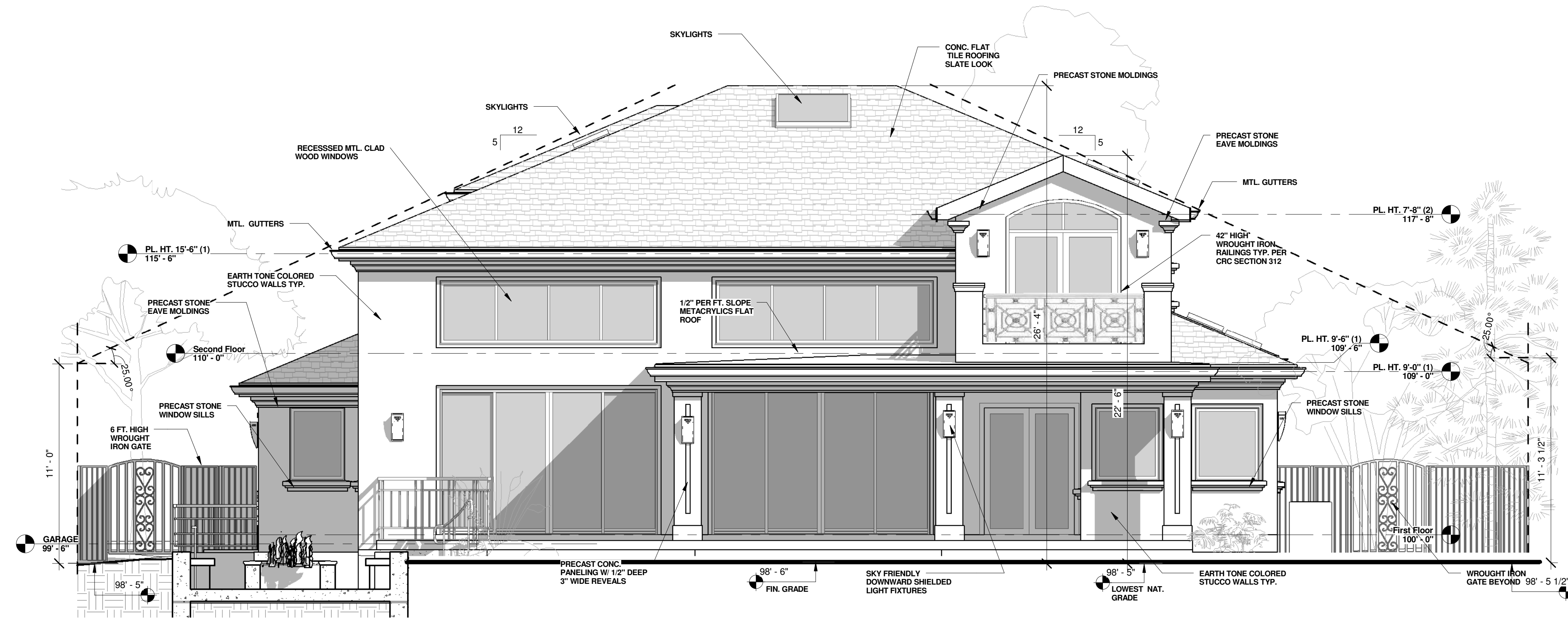
SECTIONS

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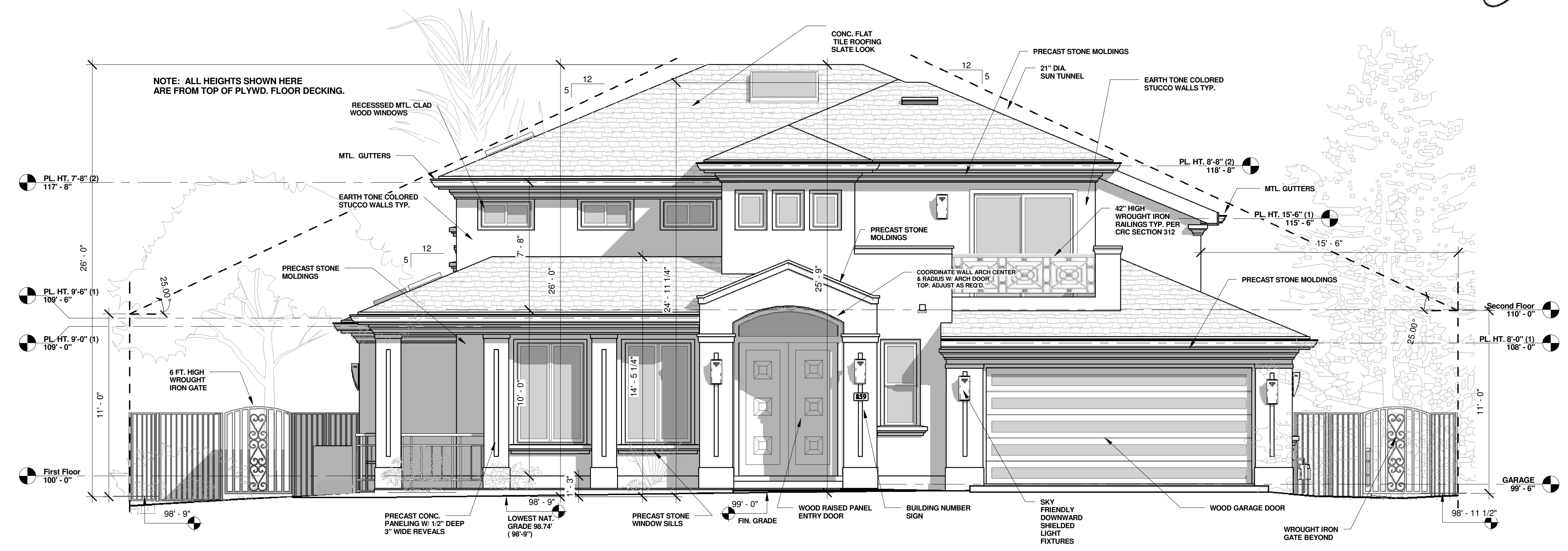
A7

Scale: 1/4" = 1'-0"



2 NORTH (REAR) ELEVATION
A8 1/4" = 1'-0"

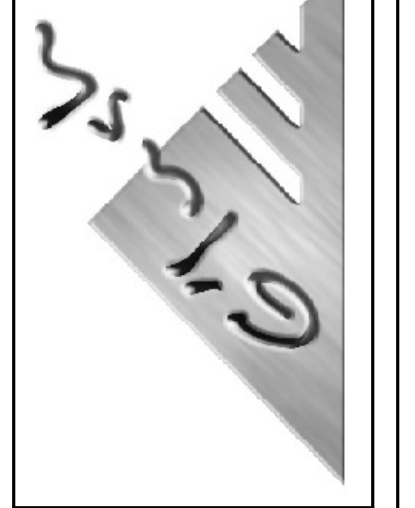
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1 SOUTH (FRONT) ELEVATION
A8 1/4" = 1'-0"

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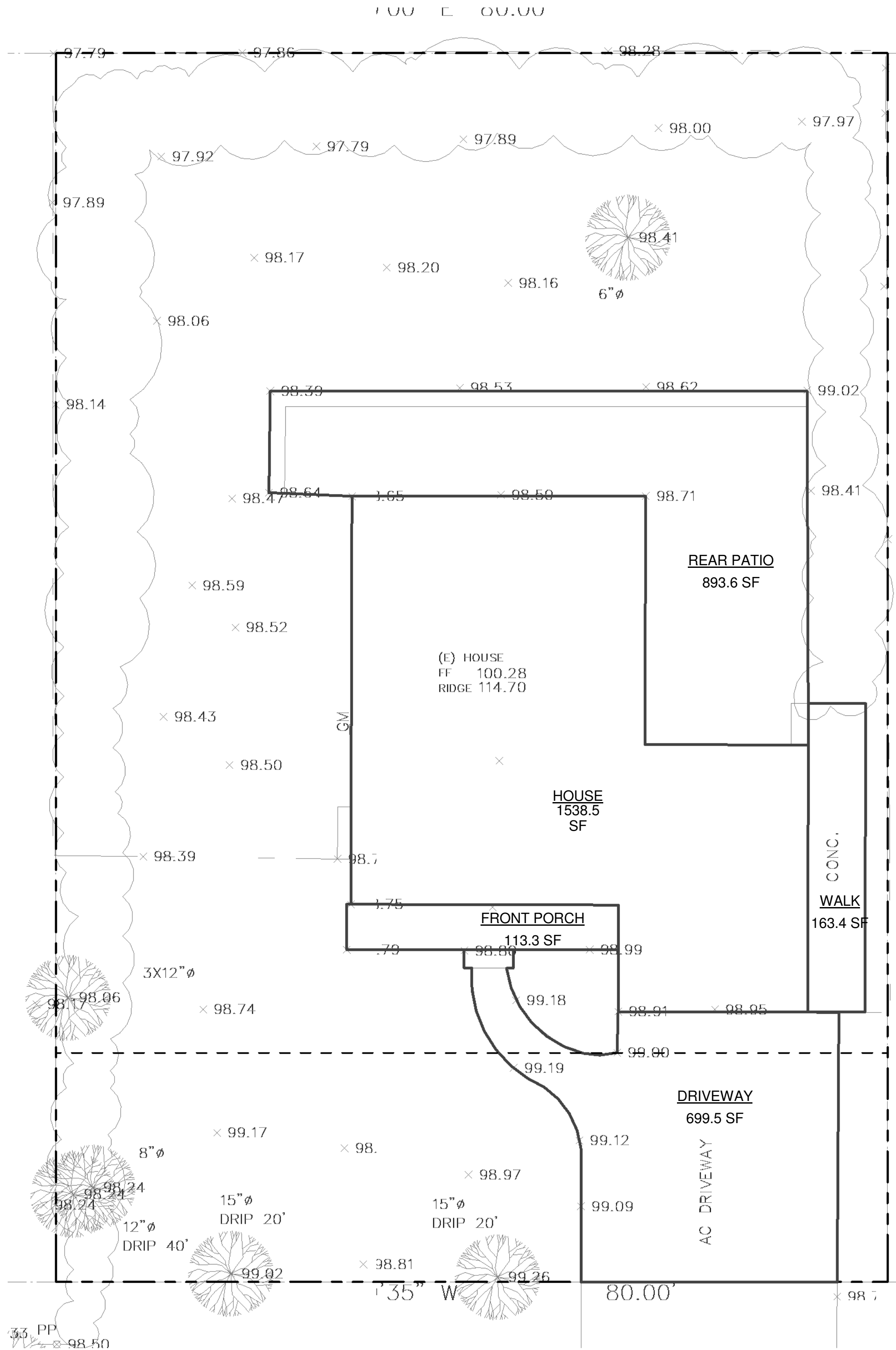
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EXTERIOR ELEVATIONS

OWNER: MR. JACKSON HUYNH & MRS. ANNA NGUYEN
CUSTOM HOUSE
859 CLINTON RD.
LOS ALTOS, CA

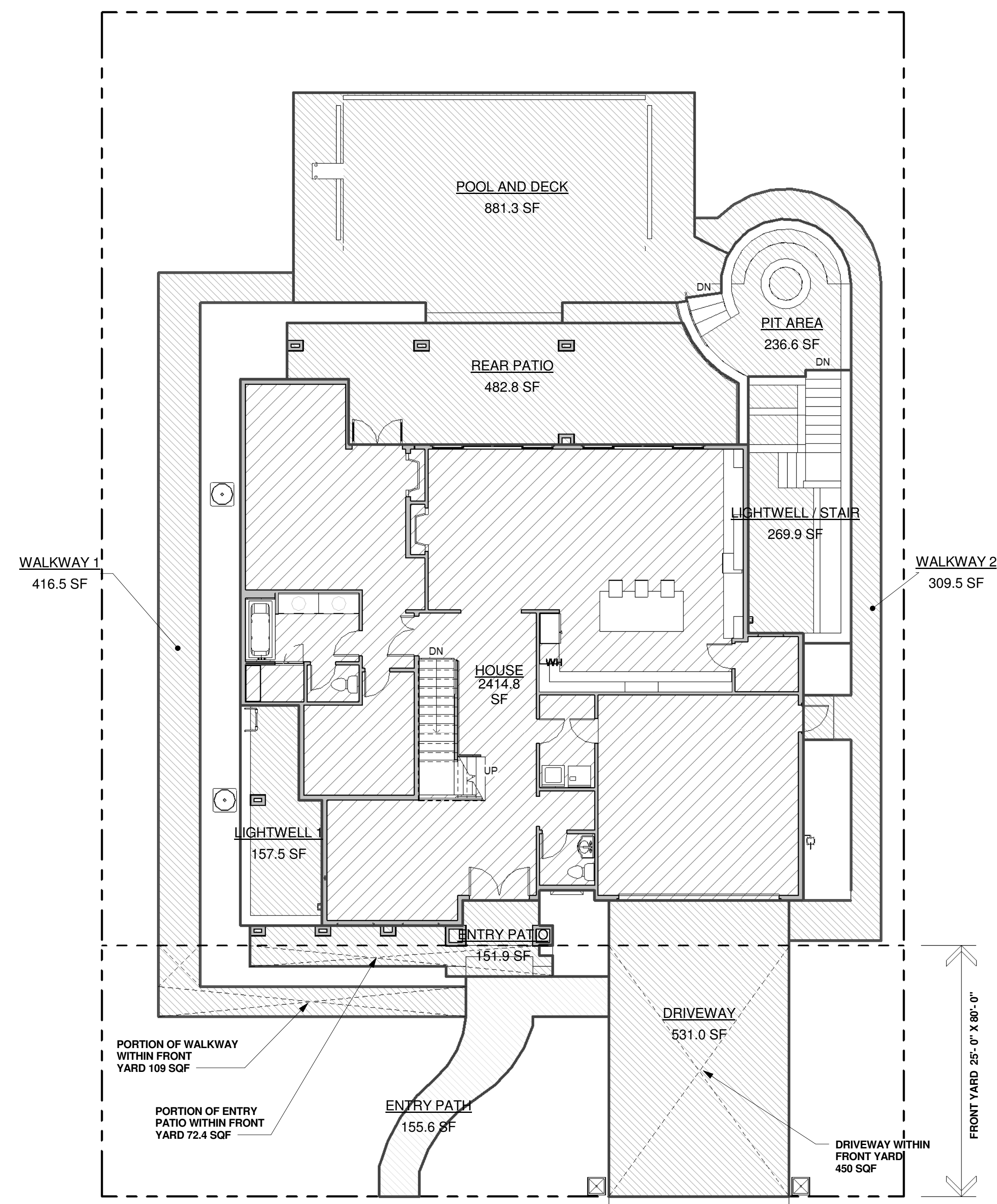
Project no: JACK
 Date: NOV-11-2015
 Drawn by: Author
 Checked by: Checker

A8
 Scale: 1/4" = 1'-0"



2 EXISTING IMPERVIOUS
A11 1/8" = 1'-0"

HOUSE: 1,538.5 SQF
 REAR PATIO: 893.6 SQF
 FRONT PORCH: 113.3 SQF
 WALK: 163.4 SQF
 DRIVEWAY: 699.5 SQF
TOTAL: 3,408.3 SQF



1 NEW IMPERVIOUS
A11 1/8" = 1'-0"

NEW IMPERVIOUS

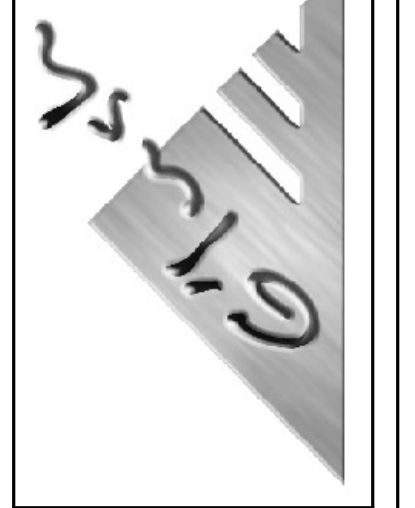
- 151.9 SF ENTRY PATIO
- 155.6 SF LIGHTWELL 1
- 157.5 SF ENTRY PATH
- 236.6 SF PIT AREA
- 269.9 SF LIGHTWELL / STAIR
- 309.5 SF WALKWAY 2
- 416.5 SF WALKWAY 1
- 482.8 SF REAR PATIO
- 531.0 SF DRIVEWAY
- 881.3 SF POOL AND DECK
- 2414.8 SF HOUSE

TOTAL : 6,007.4 SQF

TOTAL FRONT YARD IMPERVIOUS AREAS:
TOTAL FRONT YARD: 25'-0" X 80'-0" = 2,000 SQF
FRONT YARD IMPERVIOUS AREAS
109 SQF+72.4 SQF + 155.6 SQF + 450 SQF= 787 SQF
% 39.3 IMPERVIOUS

No.	Description	Date

GLUSH DESIGN ASSOCIATES INC.
 Residential, Commercial Building Design & Consulting
 6572 Northridge Drive San Jose, CA 95120
 PH: (408) 268-1665
 EMAIL: LUYEN@GLUSHDA.COM www.glushda.com



IMPERVIOUS AREAS

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THESE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

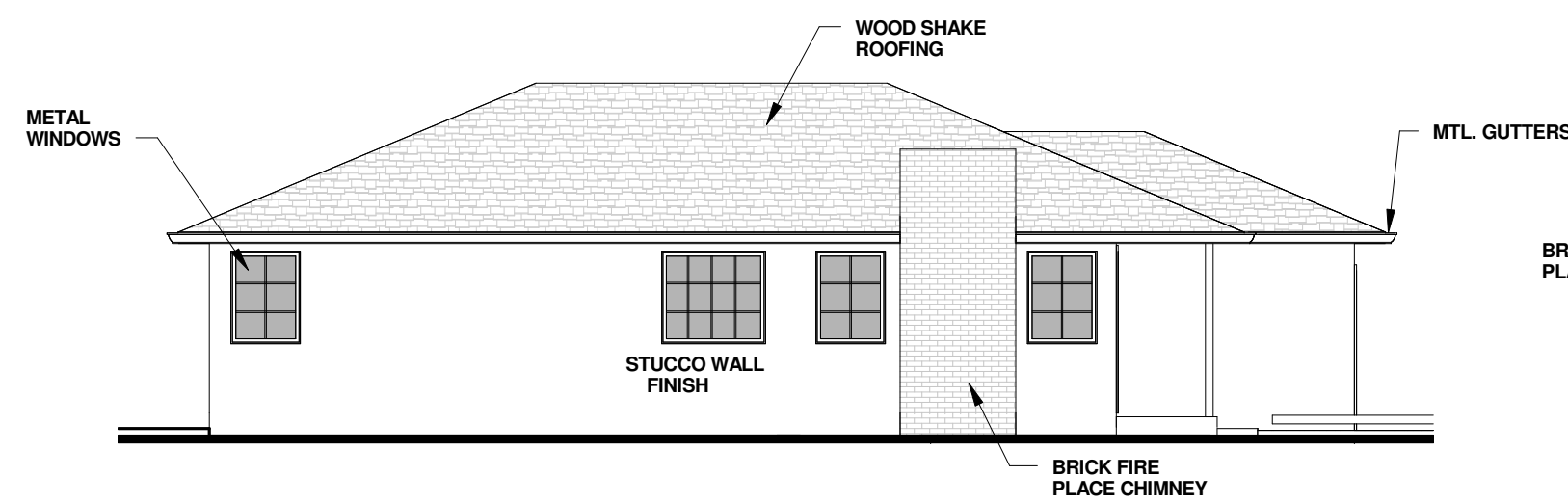
OWNER: MR. JACKSON HUYNH & MRS. ANNA NGUYEN
CUSTOM HOUSE
859 CLINTON RD.
LOS ALTOS, CA

GLUSH DESIGN ASSOC.
 6572 NORTHRIDGE DR.
 SAN JOSE CA 95120
 www.GLUSHDA.com
 (408) 268-1665

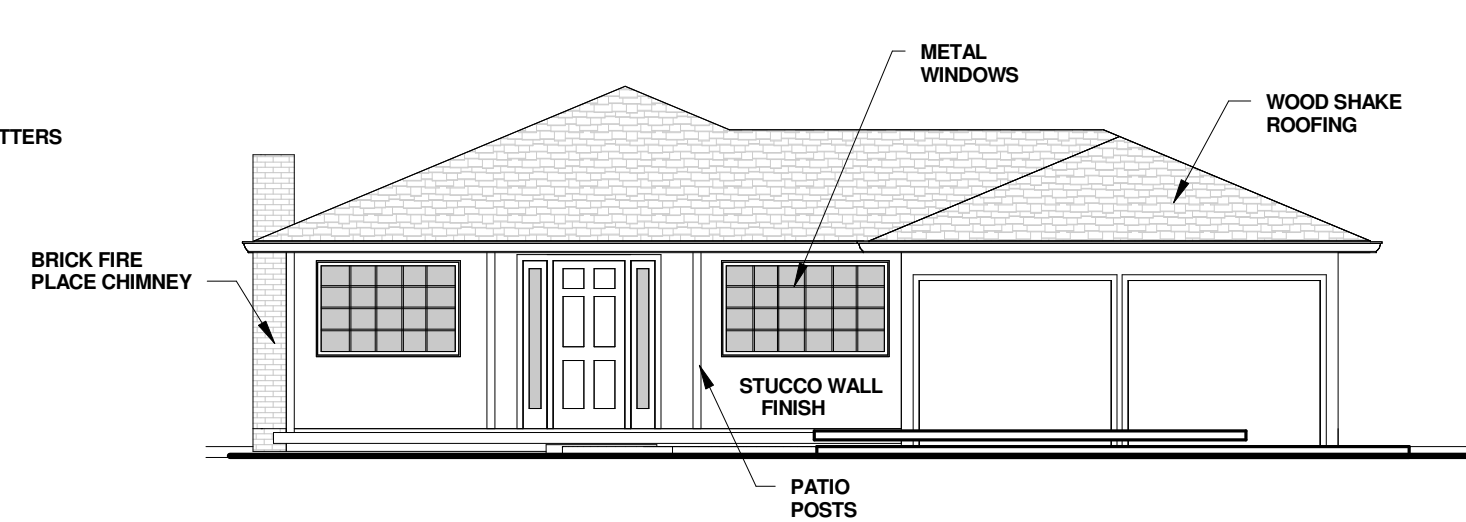
Project no: JACK
 Date: NOV-11-2015
 Drawn by: Author
 Checked by: Checker

A11
 Scale: 1/8" = 1'-0"

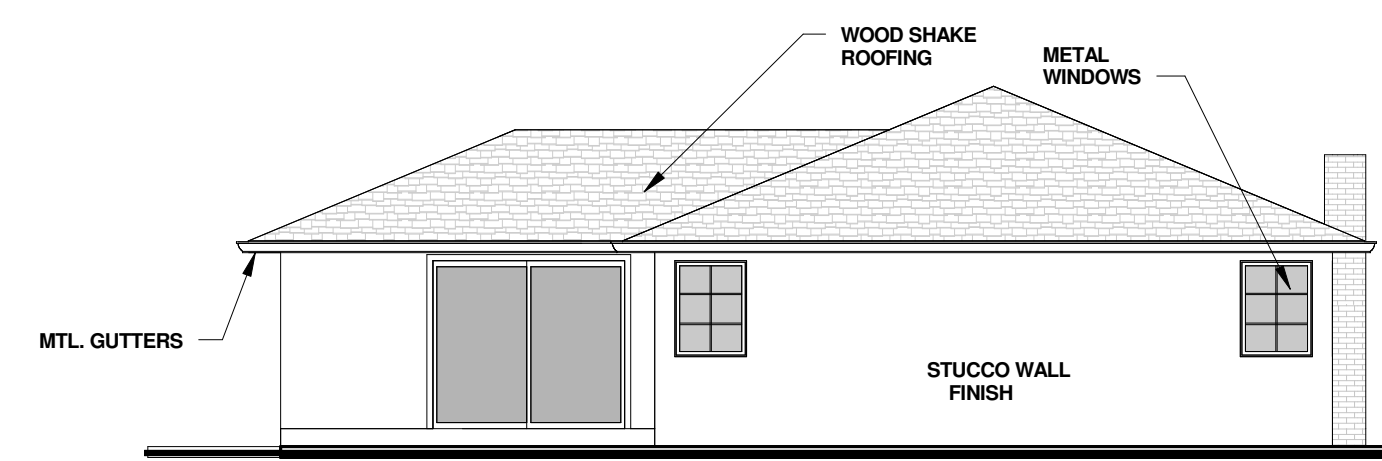
EXISTING HOUSE TO BE DEMOLISHED



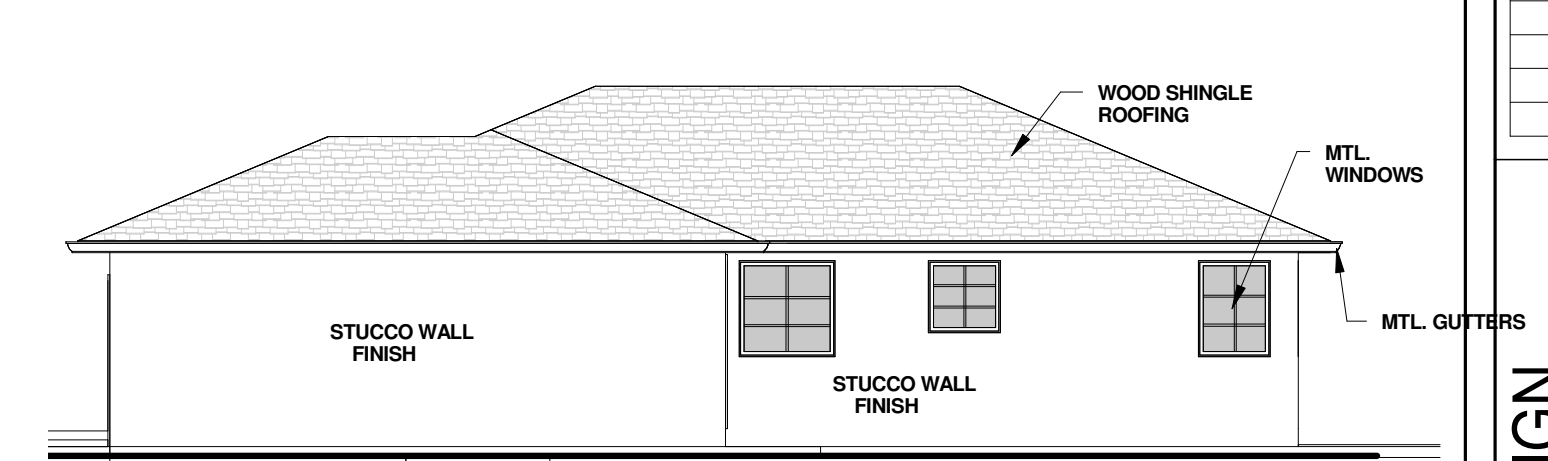
5 EXISTING WEST (LEFT) ELEVATION
A12 1/8" = 1'-0"



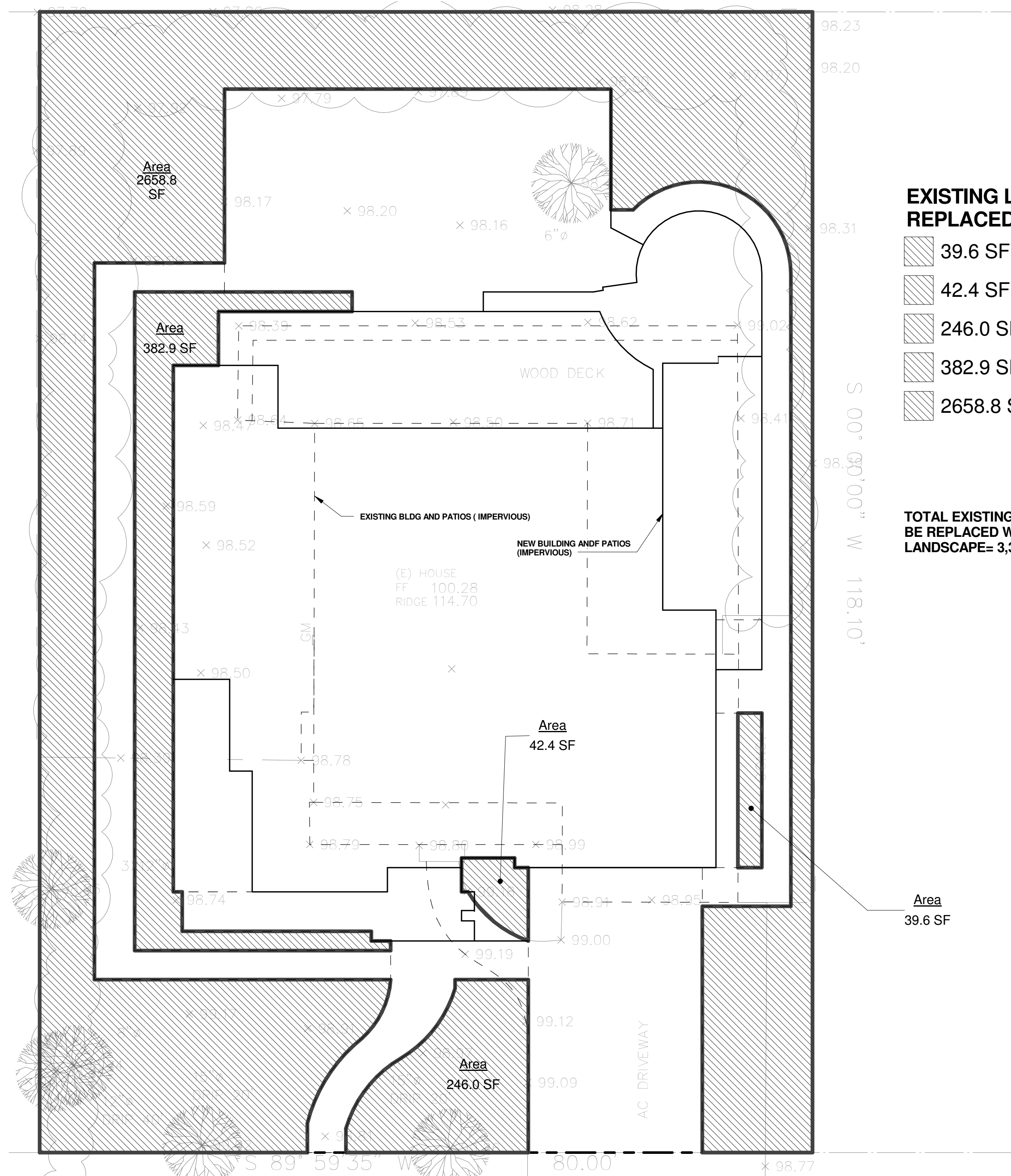
4 EXISTING SOUTH (FRONT) ELEVATION
A12 1/8" = 1'-0"



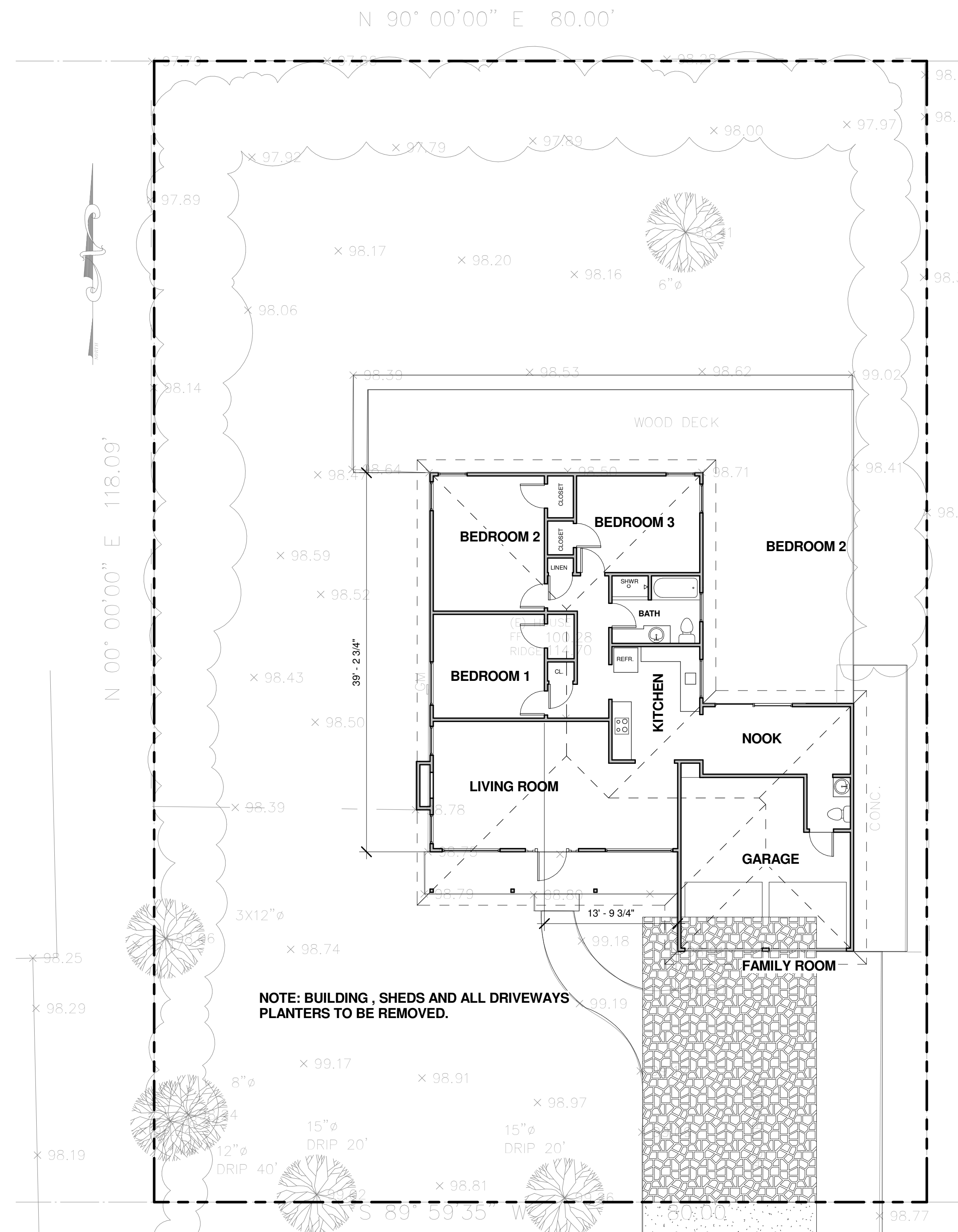
3 EXISTING NORTH (REAR) ELEVATION
A12 1/8" = 1'-0"



2 EXISTING EAST (RIGHT) ELEVATION
A12 1/8" = 1'-0"



6 EXISTING LANDSCAPE AREAS TO BE REPLACED W/ NEW
A12 1/8" = 1'-0"



1 EXISTING FLOOR PLAN
A12 1/8" = 1'-0"

No.	Description	Date

G'LUSH DESIGN ASSOCIATES INC.
Residential, Commercial Building Design & Consulting
4577 Northridge Drive San Jose, CA 95120
Ph: (408) 268-1665
FAX: (408) 268-1665
WWW.GLUSHDESIGN.COM

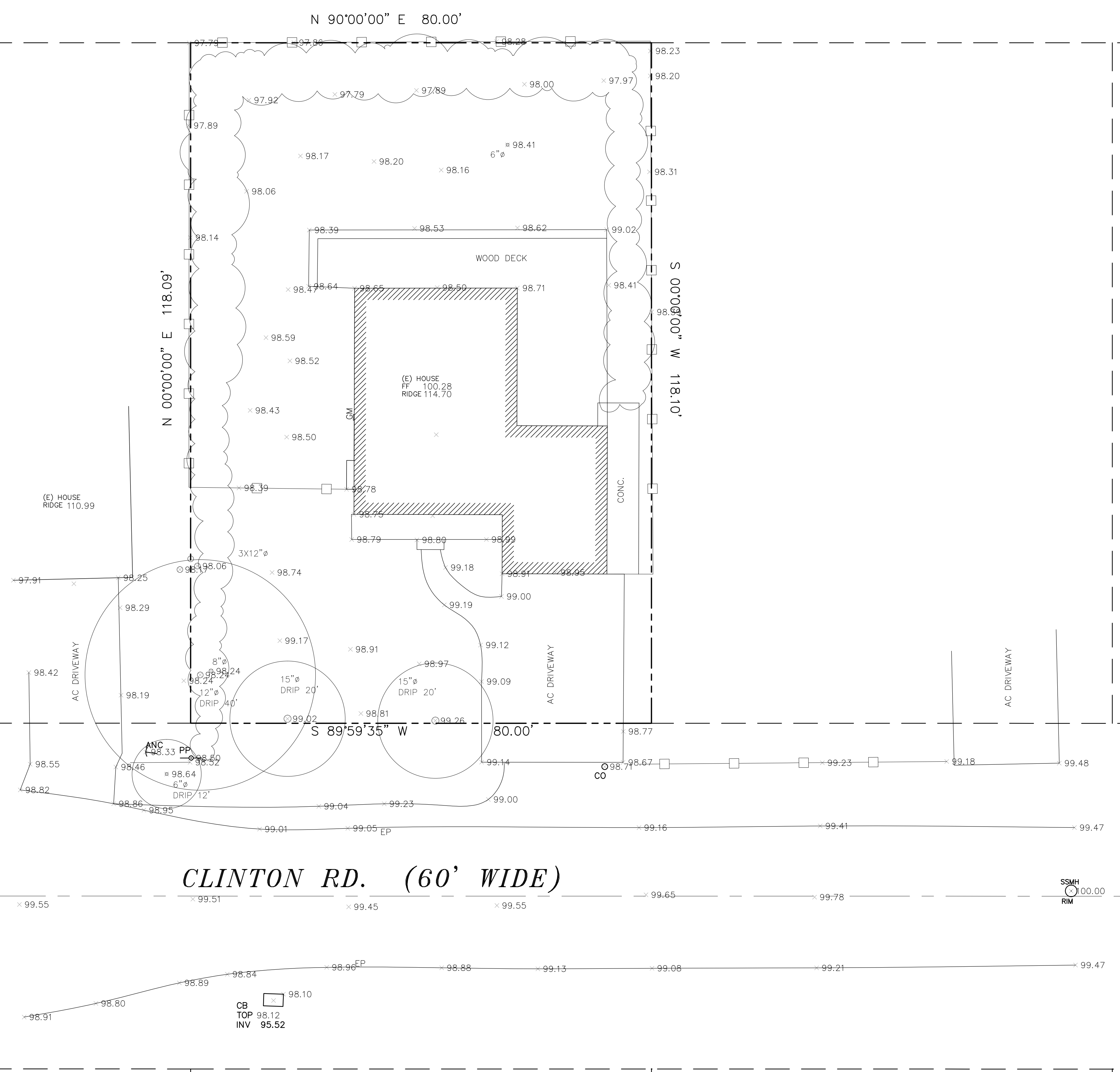
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EXISTING HOUSE PLAN & EXTERIOR ELEVATIONS

OWNER: MR. SHAUN & ELIZABETH WOO
CUSTOM HOUSE
84 DOUD DR.
LOS ALTOS CA

Project no: WU
Date: FEB-20-2015
Drawn by: Author
Checked by: Checker

A12
Scale: 1/8" = 1'-0"



LEGEND:

- PROPERTY LINE
- - - EXISTING LOTS
- CENTERLINE
- EASEMENT LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD POWER LINE
- WOOD FENCE
- WATER VALVE
- POWER POLE
- FIRE HYDRANT

ABBREVIATIONS:

- AC ASPHALT
- AD AREA DRAIN
- ANC ANCHOR
- C&G CURB AND GUTTER
- CB CATCH BASIN
- DW DRIVEWAY
- EB ELECTRIC BOX
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FH FIRE HYDRANT
- GM GAS METER
- GV GAS VALVE
- P.U.E. PUBLIC UTILITY EASEMENT
- PP POWER POLE
- S.D.E. STORM DRAINAGE EASEMENT
- SDMH STORM DRAINAGE MANHOLE
- SSMH SANITARY SEWER MANHOLE
- CO CLEAN OUT
- VG VALLEY GUTTER
- WM WATER METER
- P PLANTER AREA

DISCLAIMER:
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

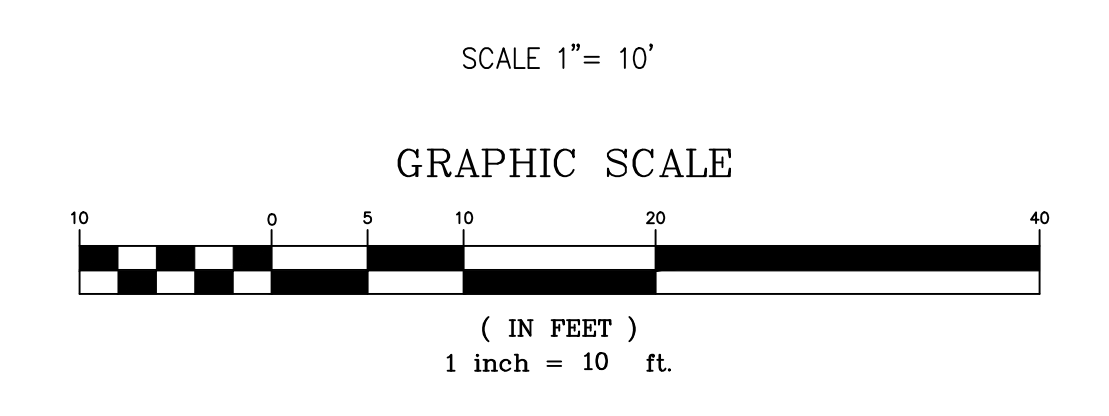
NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
THE BEARING N 90°00'00" E OF CENTERLINE OF CLINTON RD., AS SHOWN ON CERTAIN TRACT NO. 464, RECORDED IN BOOK 15 OF MAPS AT PAGE 27, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

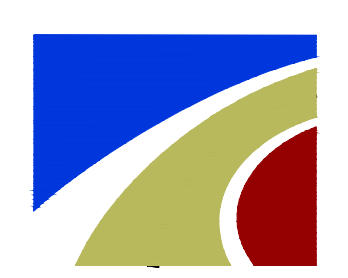
REFERENCED ASSUMED BENCHMARK:
TOP OF SANITARY SEWER MANHOLE LOCATED AT CLINTON RD. DISTANT THEREON 79'± EASTERLY FROM SOUTHEASTERLY PROPERTY CORNER EL: 100.00'

NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. THE GROSS AREA OF LAND OF RECORD IS 9447 SQ. FT. ±.
3. THE SURVEY WAS BASED ON A GRANT DEED DOC.# 22719327 BY CHICAGO TITLE CO. DATED 12/04/2014, RECORDED IN SANTA CLARA COUNTY.
4. ALL EXISTING BUILDINGS ARE WOOD.
5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
6. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



859 Clinton Rd.
Los Altos, CA
APN: 189-13-022



SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 10'
Prepared by: M.J.
Checked by: S.R.
Date: 2/18/2015
Project No: 215013

BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No:

T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

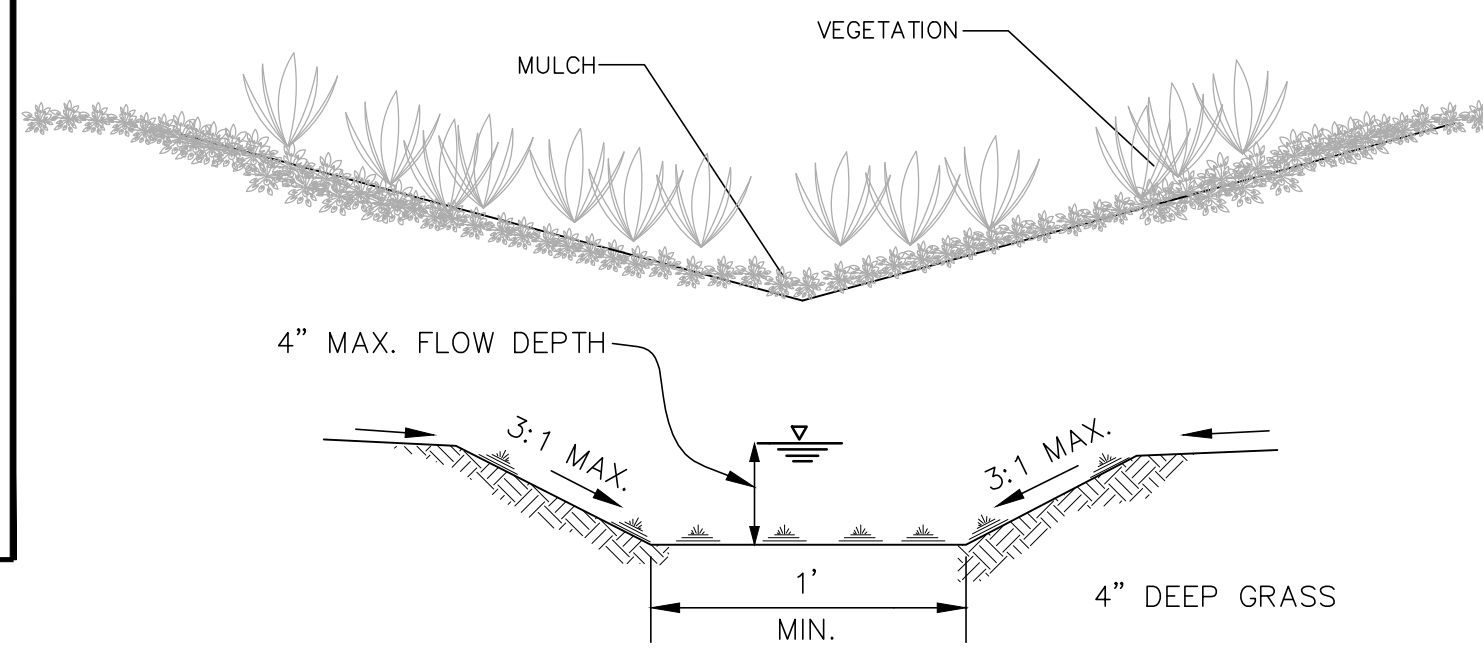
CITY OF LOS ALTOS

CONSETUAL GRADING AND DRAINAGE PLANS

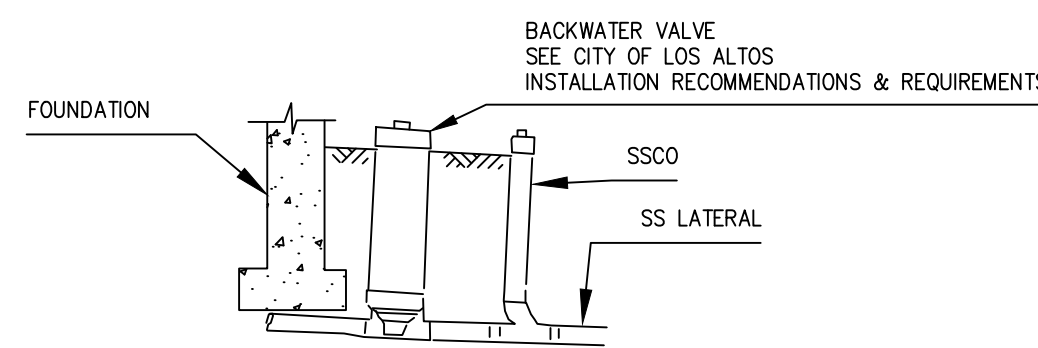
NEW, SINGLE FAMILY RESIDENTIAL 859 CLINTON RD, LOSALTOS, CA

ABBREVIATIONS			
DESCRIPTION	DESCRIPTION	DESCRIPTION	
AB	AGGREGATE BASE (CLASS AS NOTED)	JP	JOINT POLE
AC	ASPHALT CONCRETE	MON.	MONUMENT
AD	AREA DRAIN	OG	ORIGINAL GROUND
BC	BEGIN OF CURVE	PB	PULL BOX
BO	BLOW OFF	PG&V	PG&E VAULT
BW	BACK OF WALK	R_PL	PROPERTY LINE
BWAL	BLACK WALNUT TREE	PP	POWER POLE
CFF	GARAGE FINISH FLOOR (BACK)	PPP	PLASTIC PERFORATED PIPE
CL	CENTERLINE	PSE	PUBLIC SERVICE EASEMENT
CLSW	CENTERLINE SWALE	PVC	POLYVINYL CHLORIDE
CO	CLEANOUT	R/W	RIGHT OF WAY
CP	CONTROL POINT	RCP	REINFORCED CONCRETE PIPE
DDW	DIRT DRIVEWAY	SD	STORM DRAIN
DI	DROP INLET	SDMH	STORM DRAIN MANHOLE
DETAIL	DAYLIGHT	SS	SANITARY SEWER LINE
ELECT	ELECTROLIER	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT ELEVATION	SW	SIDEWALK
EUC	EUCALYPTUS TREE	TC	TOP OF CURB
EX	EXISTING	TOB	TOP OF BANK
FG	FINISHED FLOOR	TOE	TOE OF SLOPE
FG	FINISH GRADE	TF	TOP OF FOUNDATION
FH	FIRE HYDRANT	TP	TOP OF PIPE
FL	FLOW LINE	UG	UNDERGROUND GAS
FNC	FENCE	USS	UNDERGROUND SANITARY SEWER
FOG	FOG LINE	UST	UNDERGROUND STORM DRAIN
GB	GRADE BREAK	UT	UNDERGROUND TELEPHONE
GFF	GARAGE FINISH FLOOR (FRONT)	UW	UNDERGROUND WATER
GUY	GUY WIRE	VCP	VTRIFIED CLAY PIPE
HP	HIGH POINT	WL	WHITE LINE STRIPE
IP	IRON PIPE	WM	WATER METER
LIP	LIP OF GUTTER	WV	WATER VALVE
C&G	CURB AND GUTTER	YL	YELLOW LINE STRIPE

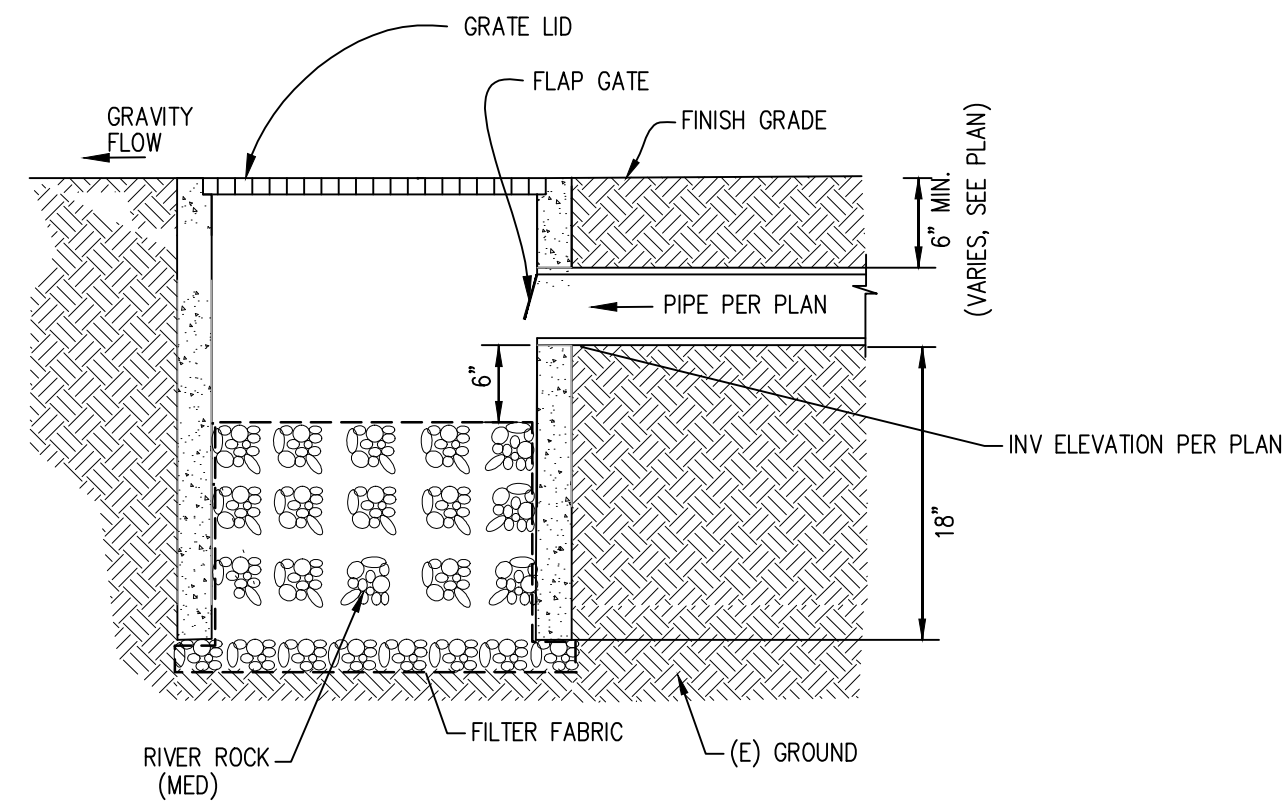
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
F	F	FILL AREA LIMIT
C	C	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
SUB	SUB	SUBDRAIN PIPE (PERFORATED)
OH e,T,V	OH e,T,V	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
○	●	SANITARY SEWER MANHOLE
○	●	STORM DRAIN MANHOLE
⊙	⊙	ELECTROLIER
WM	WM	WATER METER
○	○	TREE WITH TRUNK
x	x	6' WOODEN FENCE
102.23	102.23	SPOT ELEVATION
○	○	TREE PROTECTION FENCE
○	○	5' TALL CHAIN LINK
---	---	SWALE
→	→	DIRECTION OF FLOW IN PIPE
●	●	AREA DRAIN/ INLET
→	→	OVERLAND RELEASE PATH
→	→	GRADING DIRECTION
○	○	(E) TREE TO BE REMOVE
○	○	DOWN-SPOUT
○	○	POP-UP EMITTER



BIO SWALE DETAIL
N.T.S.



SANITARY SEWER BACKFLOW PREVENTOR DETAIL
N.T.S.



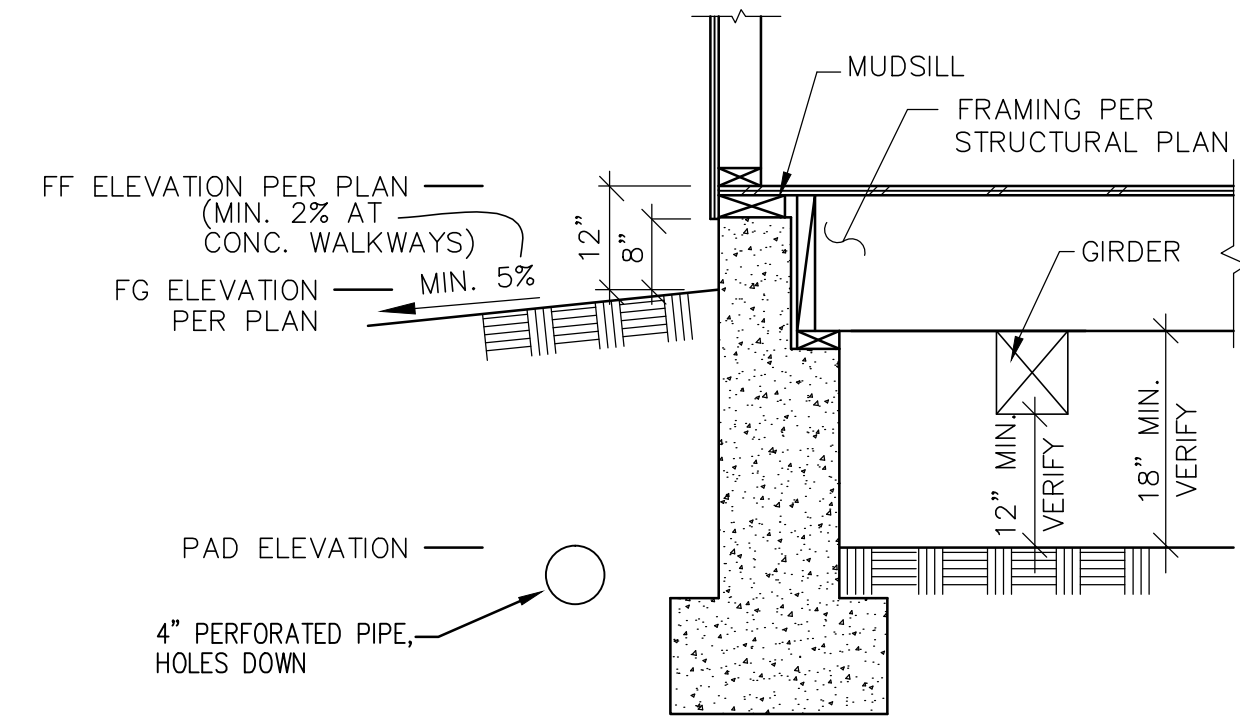
NOTES:

1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP.
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPE AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
5. BOX MUST BE LOCATED AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MIN. AWAY FROM SIDE AND REAR PROPERTY LINES, APPROX. LOCATED IN SWALE, VEGETATED OR RETENTION AREA.

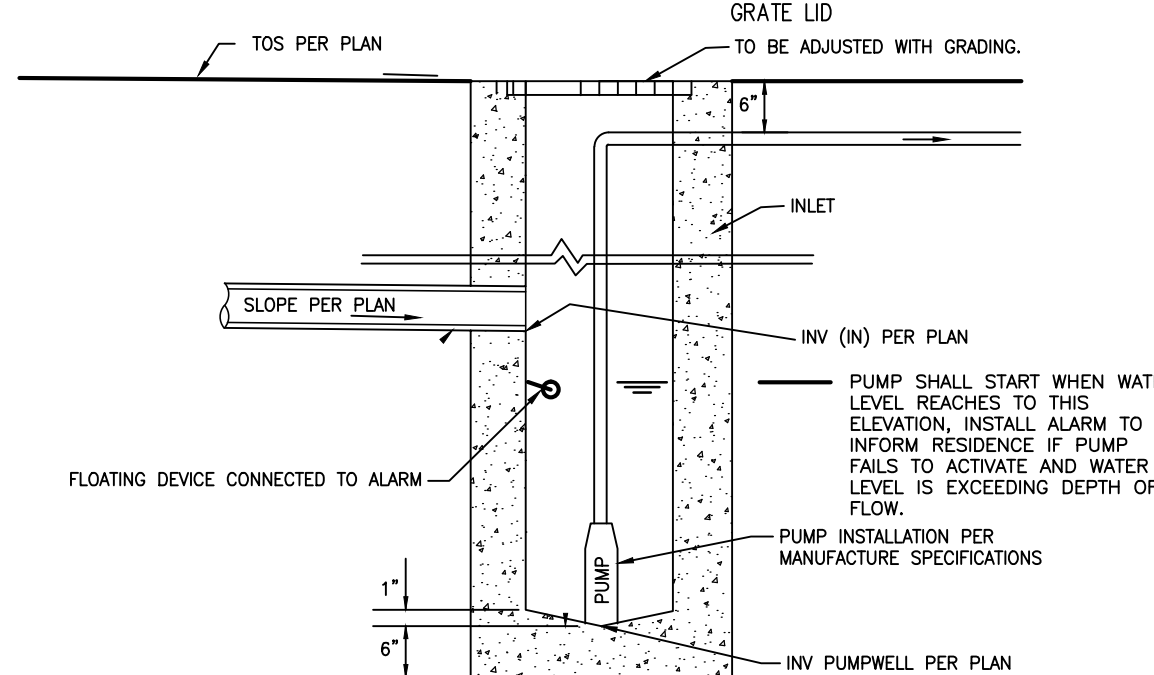
BUBBLER BOX DETAIL
N.T.S.

PUMP NOTES:

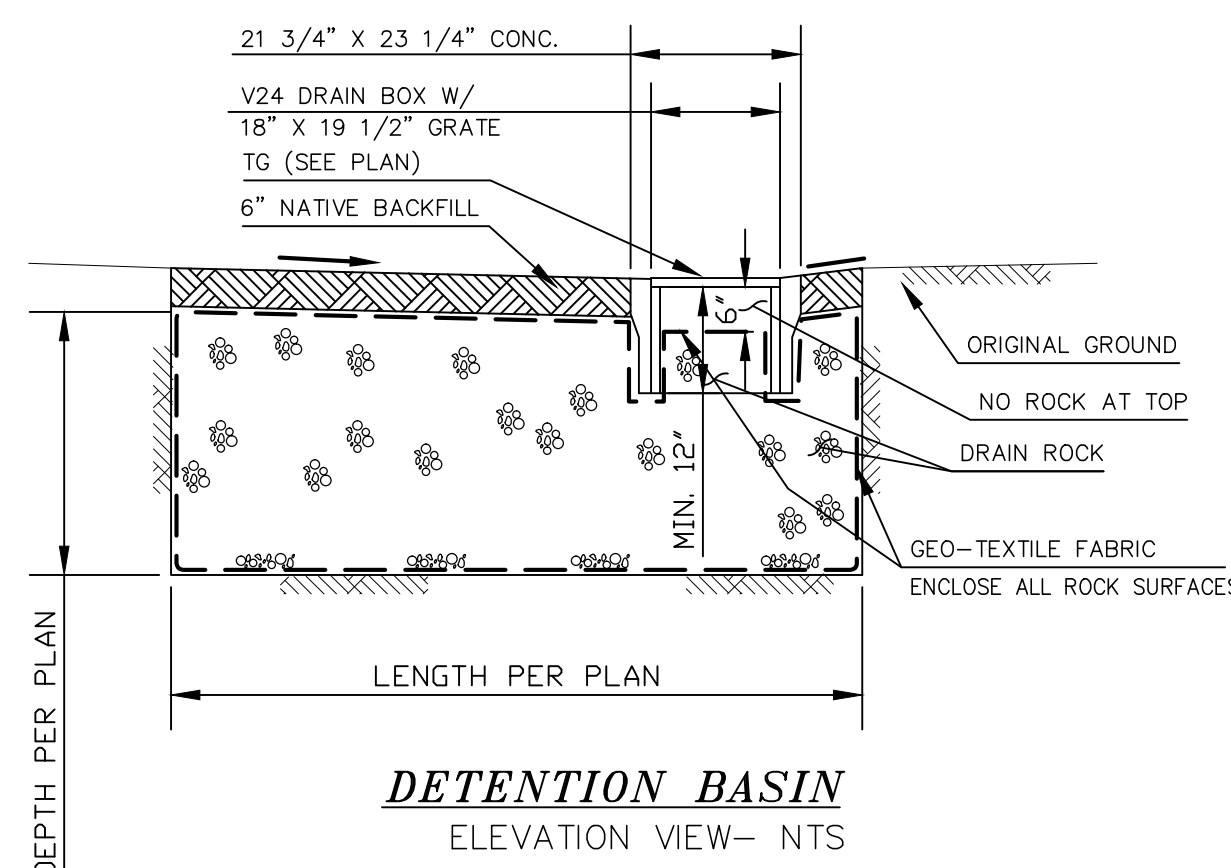
1. HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.
2. PUMPS TO BE CONNECTED TO BACKUP GENERATORS TO PREVENT FLOODING IN CASE OF BLACKOUT.
3. PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.
4. PROVIDE RESERVE PUMP FOR EACH PUMP WELL.
5. PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/ LIGHT ALARM, TO NOTIFY RESIDENTS OF POSSIBLE RISE OF WATER IN PUMPWELL.



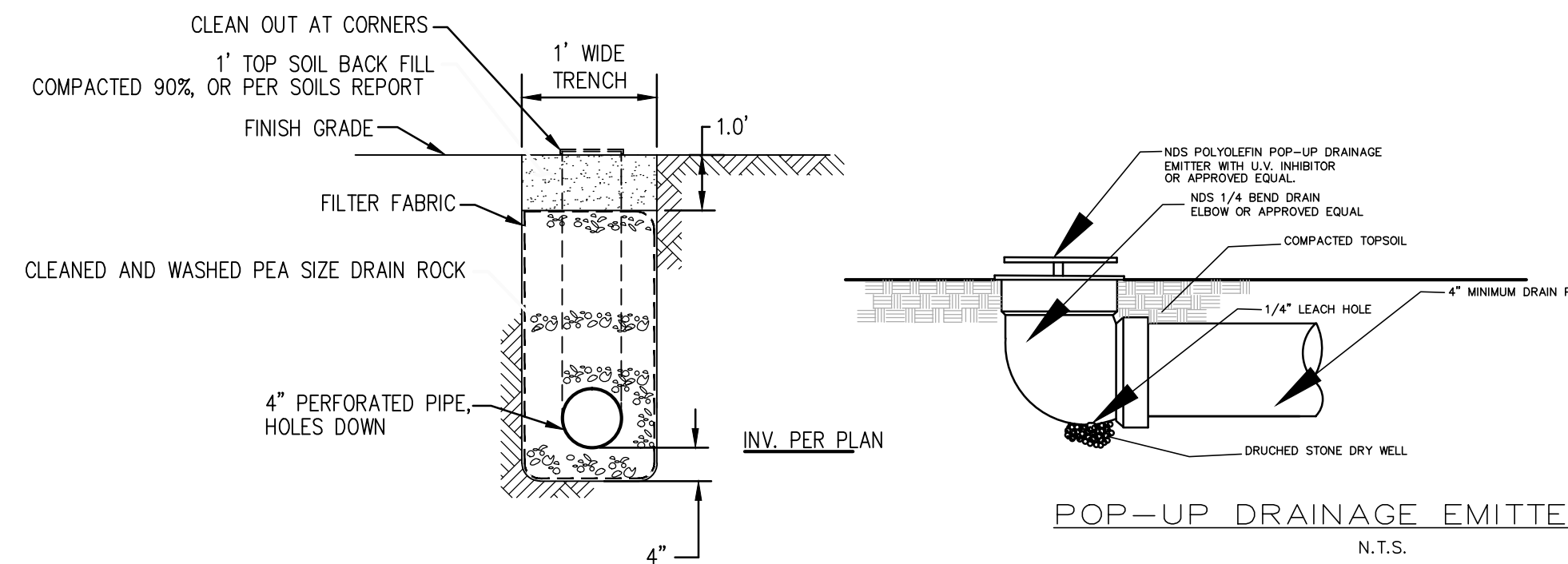
RAISED FOUNDATION CONCEPTUAL DETAIL
N.T.S.



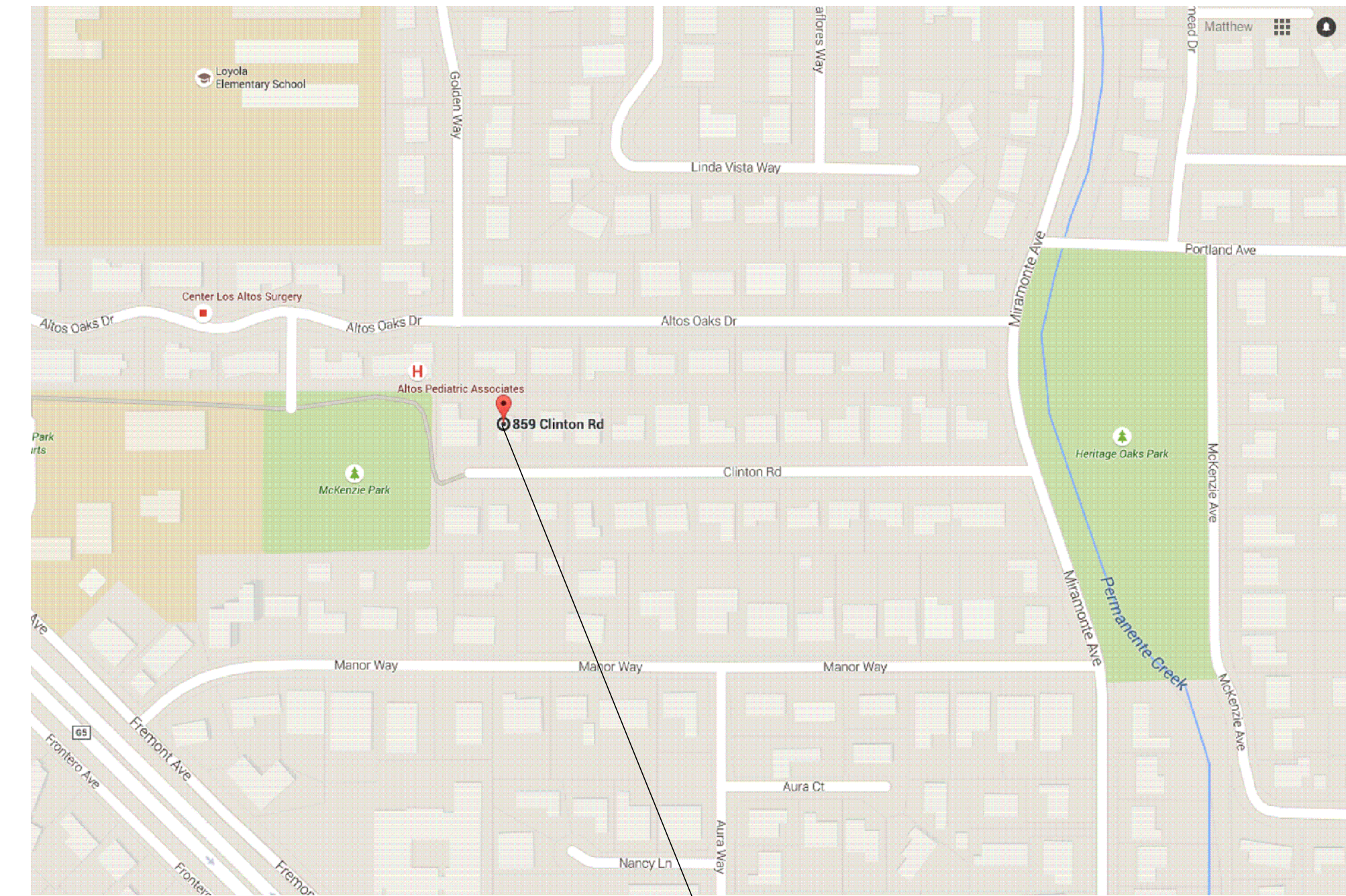
ELEVATION VIEW
INLET/ PUMPWELL DETAIL(CHRISTY V12 DRAIN BOX)
N.T.S.



DETENTION BASIN
ELEVATION VIEW- N.T.S.



SUBDRAIN TRENCH DETAIL
ELEVATION VIEW- N.T.S.



LOCATION MAP
N.T.S.

SHEET INDEX:

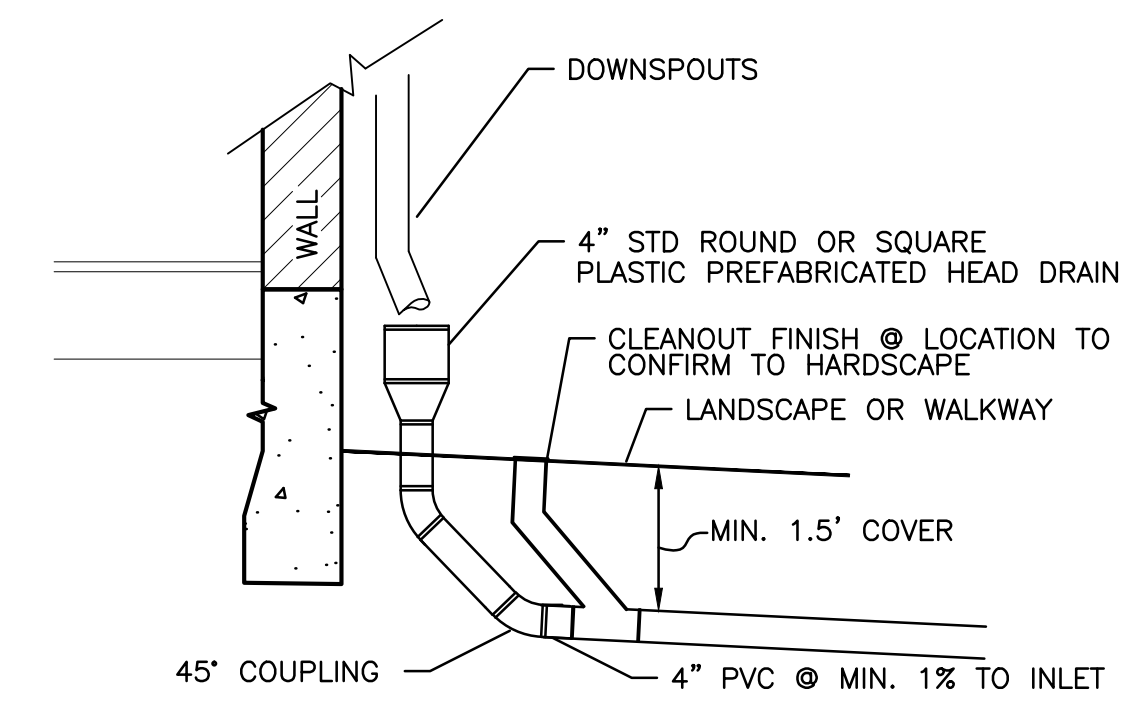
- C-1 COVER SHEET/ NOTES/ DETAILS
- C-2 GRADING AND DRAINAGE PLAN

DRAINAGE NOTES

1. Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
2. All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
3. On site storm drain lines shall consist of PVC-SCH 40 minimum or better.
4. Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

BENCHMARK:

SURVEY CONTROL SET MAG NAIL ELEVATION=100.00' (ASSUMED DATUM)



ROOF DOWN-SPOUT CONNECTION

NOTE:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

GEOTECHNICAL ENGINEER OF RECORD

THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL REPORT
PREPARED BY _____ DATED _____
BY C.E.G. # _____ BY G.E. # _____

NOTICE TO CONTRACTORS
CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER / DEVELOPER:

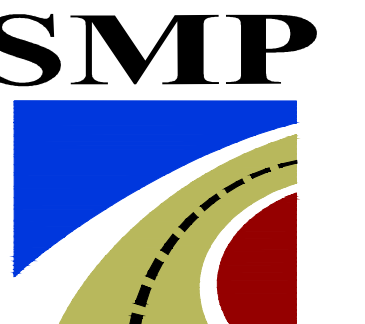
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COVER SHEET
NEW SINGLE FAMILY HOUSE
859 CLINTON RD, LOS ALTOS, CA
APN: 189-13-022
GRADING AND DRAINAGE PLANS

Revisions:



Date: 7/17/2015
Scale: AS SHOWN
PREPARED BY: S.S.
CHECKED BY: S.R.
Job #: 215013
Sheet: 1 OF 3



ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER / DEVELOPER:

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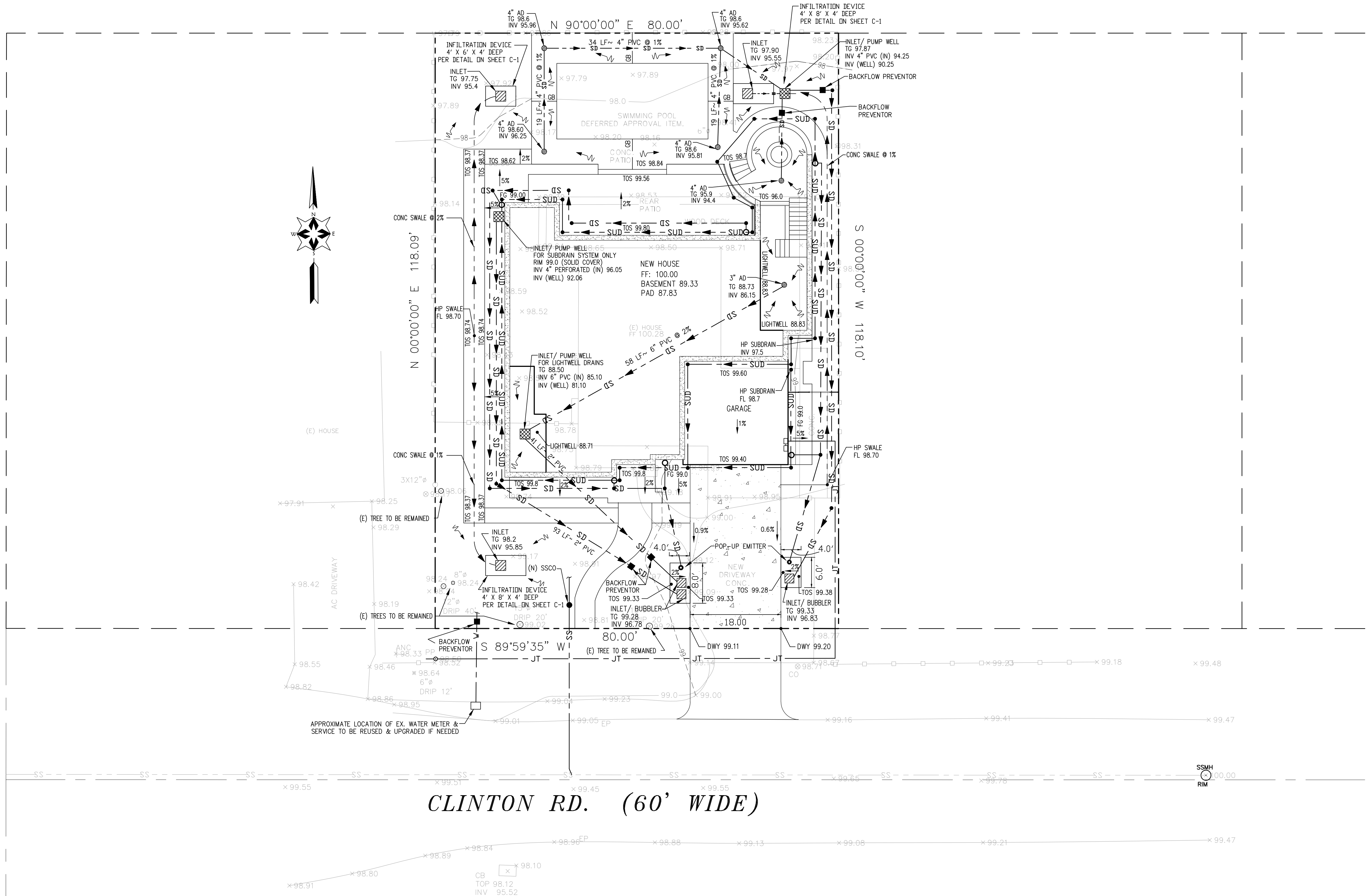
GRADING AND DRAINAGE PLAN
NEW SINGLE FAMILY HOUSE
859 CLINTON RD, LOS ALTOS, CA
APN: 189-13-022
GRADING AND DRAINAGE PLANS

Revisions:

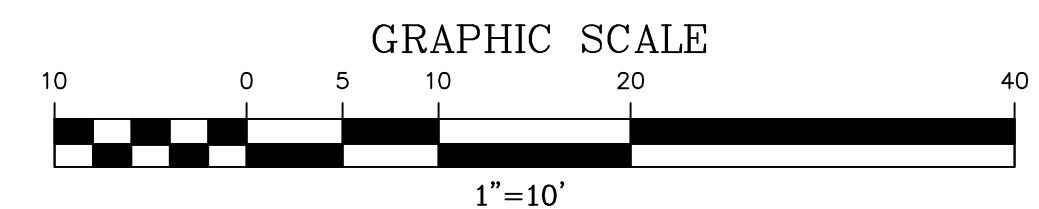
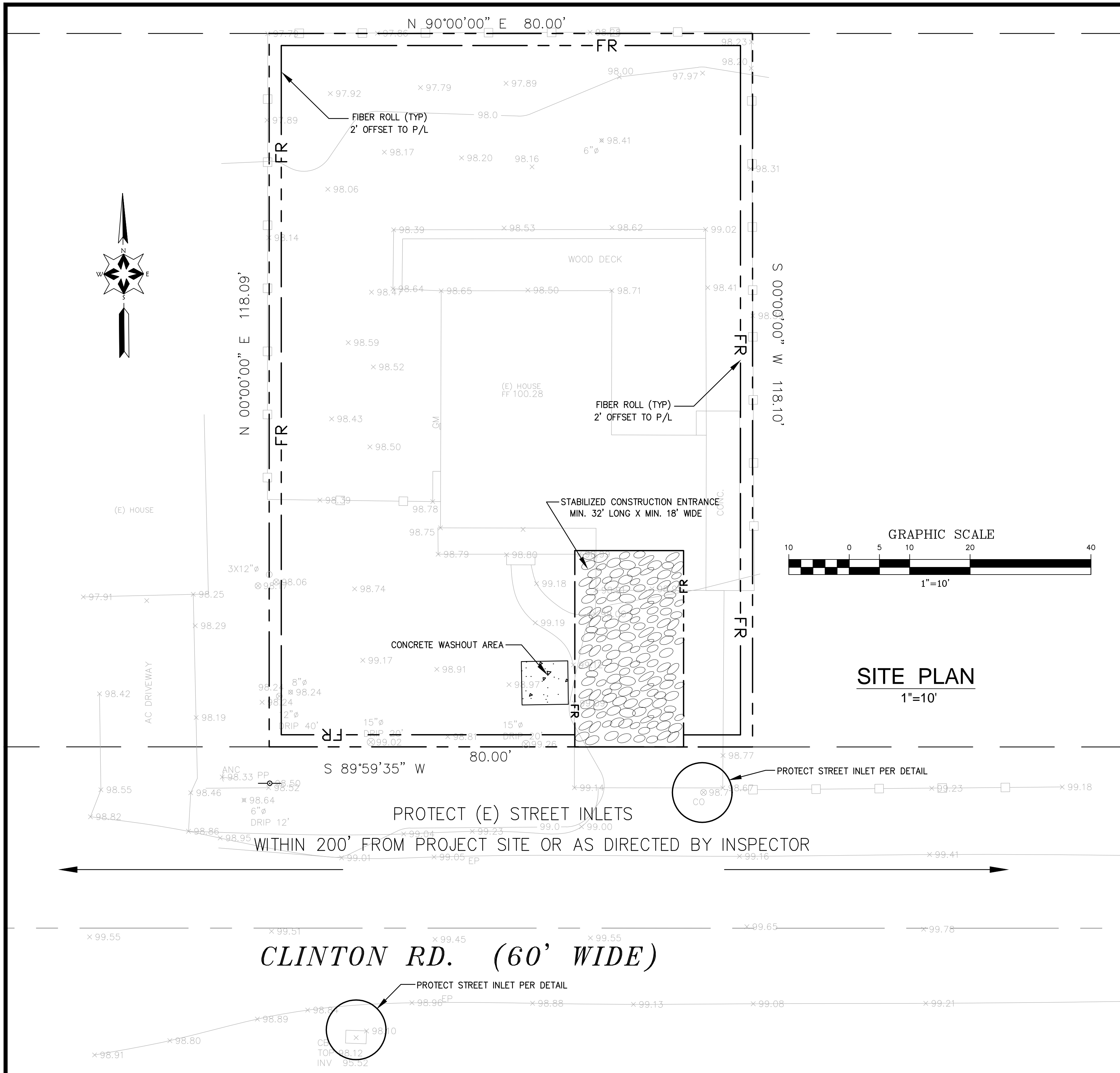


Date: 7/17/2015
Scale: AS SHOWN
PREPARED BY: S.S.
CHECKED BY: S.R.
Job #: 215013

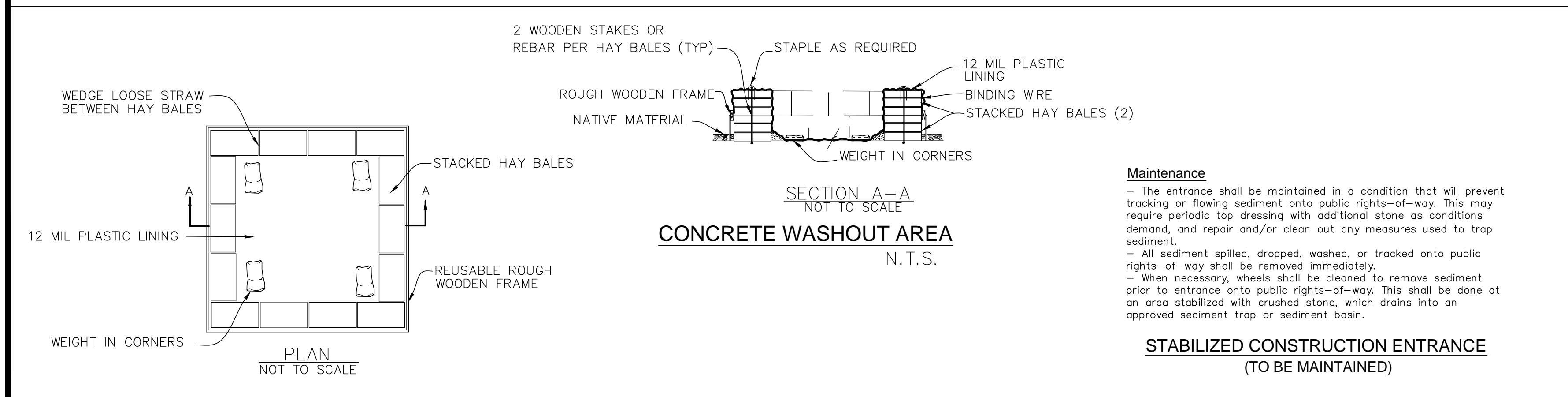
Sheet: **2 OF 3**
C-2



CLINTON RD. (60' WIDE)

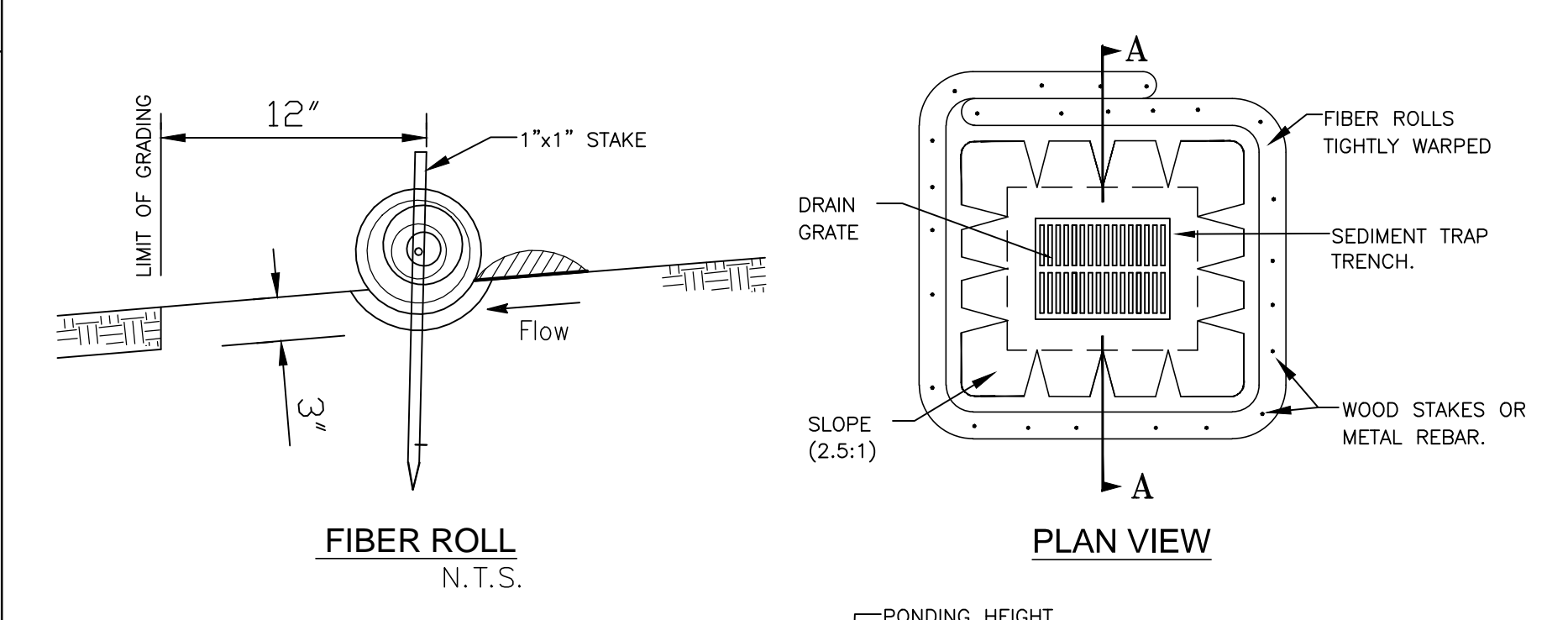


SITE PLAN
1"=10'



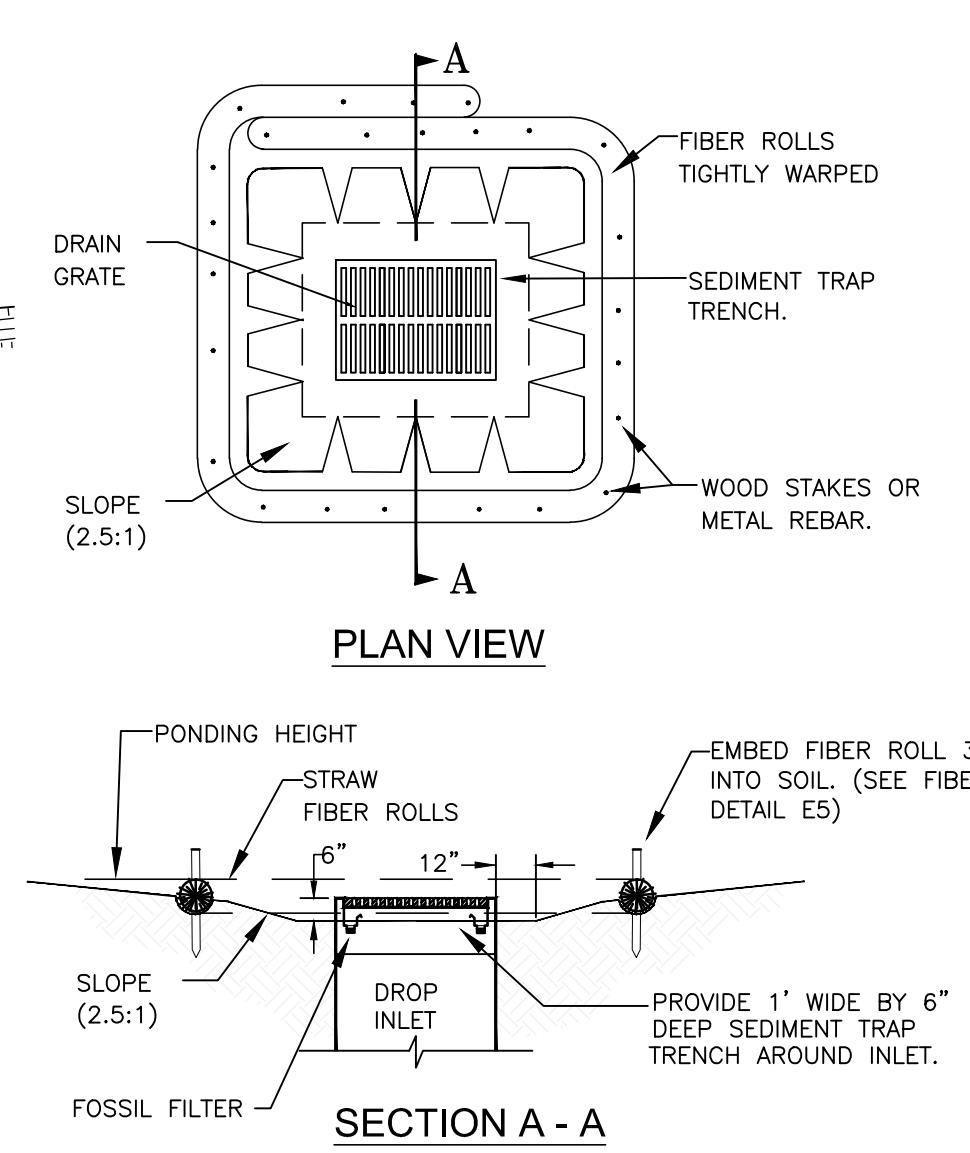
Maintenance
- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
- All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.
- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

STABILIZED CONSTRUCTION ENTRANCE
(TO BE MAINTAINED)

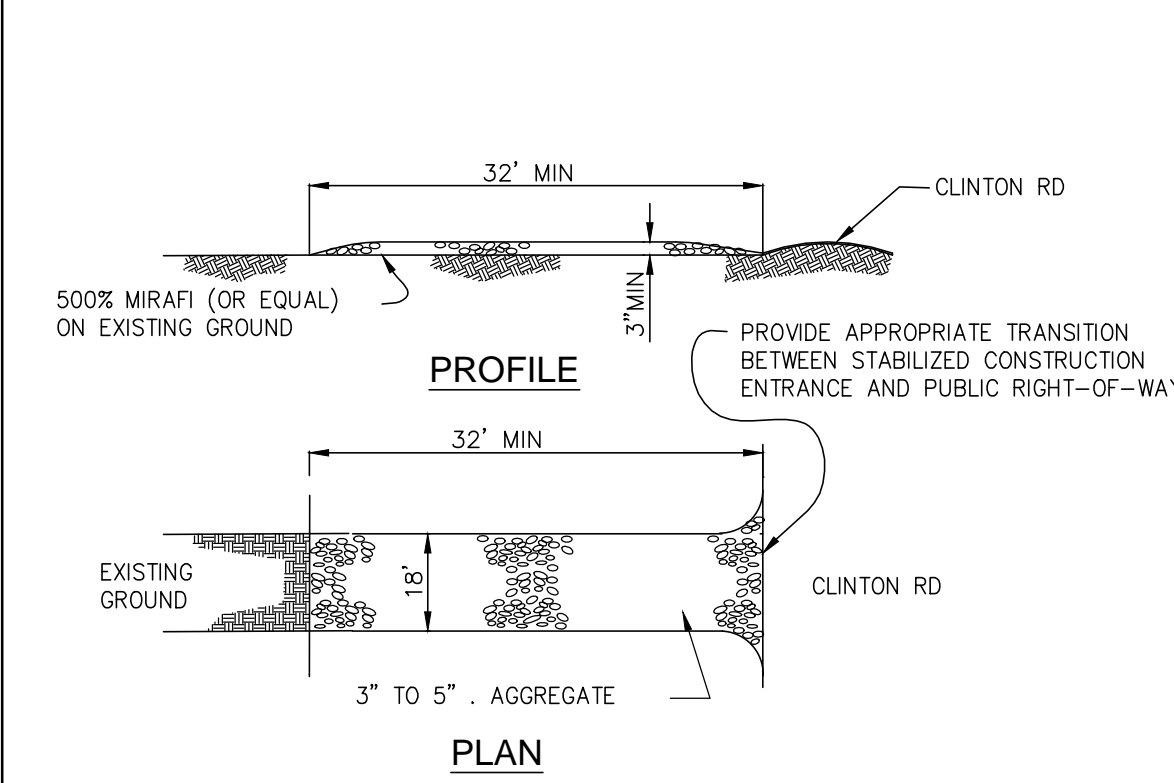


FIBER ROLL NOTES

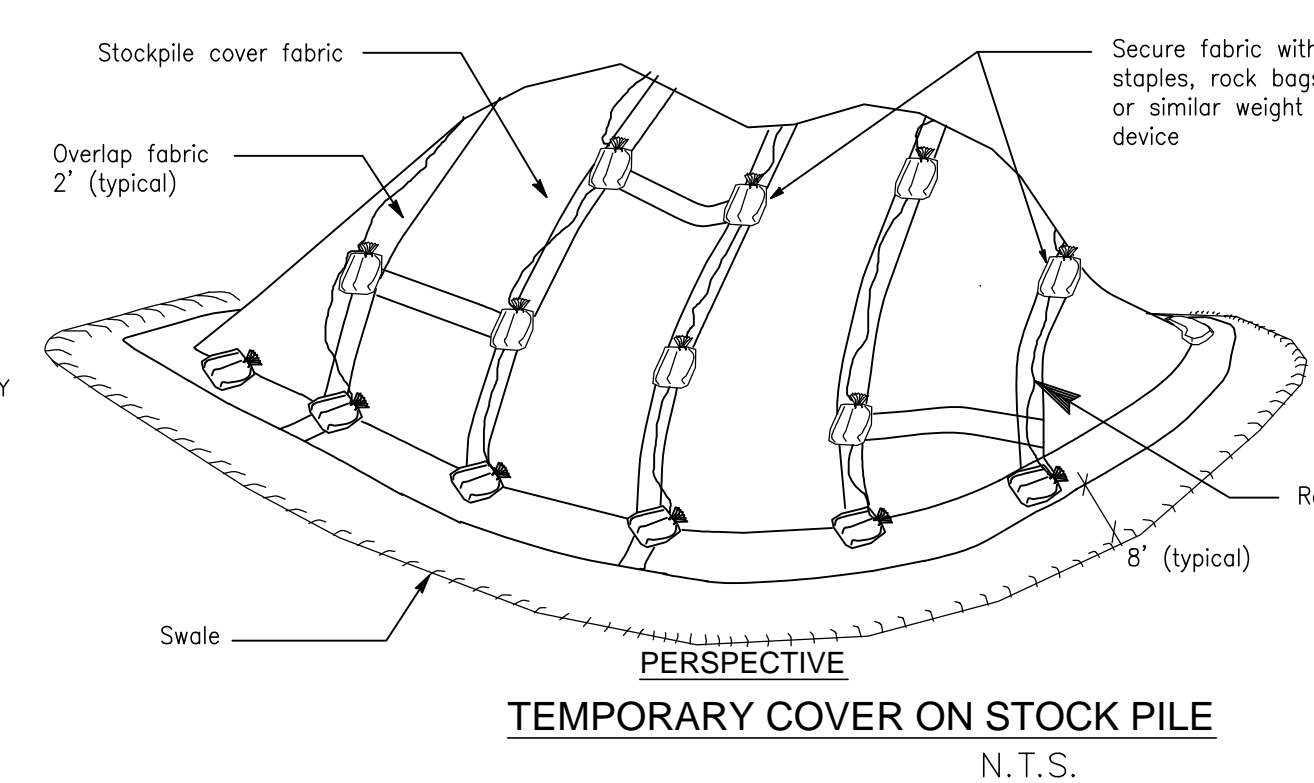
1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6".
3. Install fiber roll 12" from limit of grading



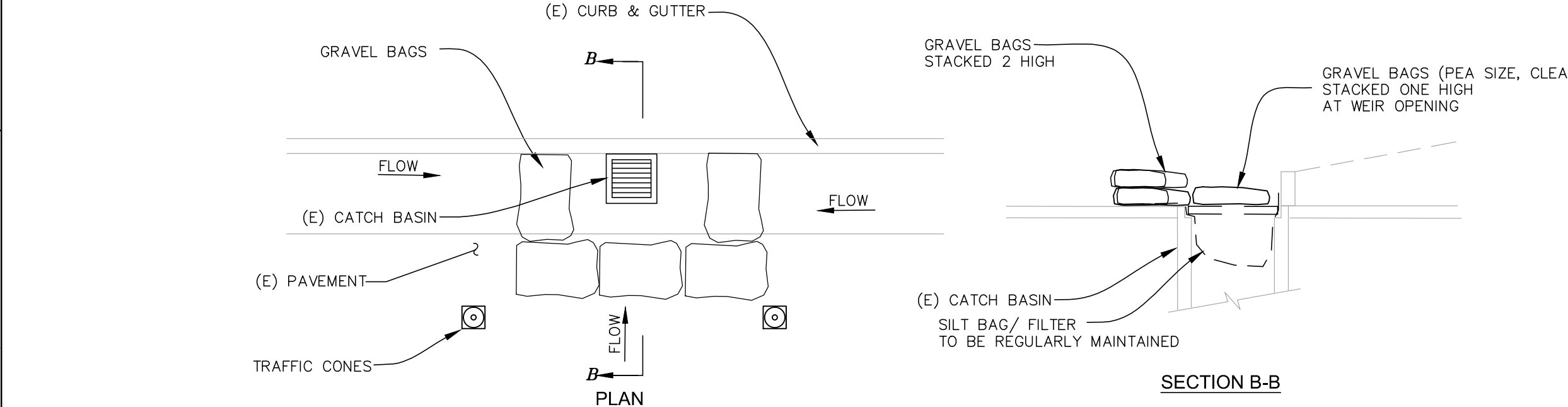
STORM INLET SEDIMENT TRAP-FIBER ROLL
N.T.S.



PROFILE
N.T.S.



TEMPORARY COVER ON STOCK PILE
N.T.S.



EXISTING DRAINAGE INLET PROTECTION
N.T.S.

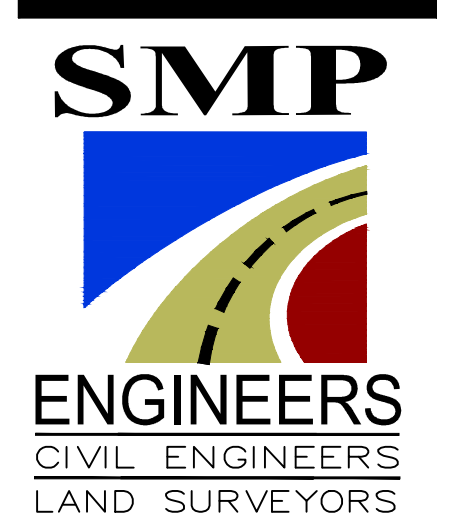
EROSION AND SEDIMENT CONTROL NOTES AND MEASURES

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1st to April 30. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrances.
4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydroseeding is not used or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydroseeded. Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
12. Sanitary facilities shall be maintained on the site.
10. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
13. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
14. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
13. With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.

MAINTENANCE NOTES

1. Maintenance is to be performed as follows:
 - A. Repair damages caused by soil erosion or construction at the end of each working day.
 - B. Swales shall be inspected periodically and maintained as needed.
 - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
 - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
 - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - F. Rills and gullies must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.



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OWNER / DEVELOPER:

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EROSION CONTROL PLAN
NEW SINGLE FAMILY HOUSE
859 CLINTON RD, LOS ALTOS, CA
APN: 189-13-022
GRADING AND DRAINAGE PLANS

Revisions:



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PREPARED BY: S.S.
CHECKED BY: S.R.
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