

NEW ONE-STORY HOME

Mr. & Mrs. Liu
462 Casita Way
Los Altos, California 94022



THAM DO
Design and Planning
7624 Windbridge Drive #46
Sacramento, CA 95831
916-662-5580
www.td-arch.com

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PROJECT DIRECTORY

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DESIGNER
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505 ALAMONT DRIVE
MILPITAS, CA 95035
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DRAWING INDEX TOTAL 12 SHEETS

- AO.1 COVER SHEET
- AO.2 AREA CALCULATIONS
- A1.1 SITE PLAN, PRELIMINARY LANDSCAPE PLAN
- A2.1 BASEMENT & 1ST FLOOR PLANS
- A2.2 2ND FLOOR PLAN & ROOF PLAN
- A3.1 BUILDING ELEVATIONS
- A3.2 BUILDING ELEVATIONS
- A3.3 (E) HOUSE ELEVATIONS
- A4.1 SECTIONS
- AT.1 DETAILS
- C-1 BOUNDARY & TOPOGRAPHY SURVEY
- GRADING AND DRAINAGE PLAN

PROJECT DATA

APN: I70-18-020
ZONING: R1-10
TYPE OF CONSTRUCTION: V-B
OCCUPANCY GROUP: R-3/U
FIRE SPRINKLERS: YES, NFPA 13R
EXISTING USE: ONE STORY HOUSE, SFD
PROPOSED USE: TWO STORY HOUSE, SFD AND BASEMENT
5 BED + OFFICE / 6 BATH

PROJECT ADDRESS:
462 CASITA WAY
LOS ALTOS, CA 94022

PROJECT DESCRIPTION:
DEMOLISH AN EXISTING ONE-STORY HOME AND REBUILD A TWO-STORY HOME WITH BASEMENT

ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE	2,024 SF.	3,032 SF.	3,070 SF.
NET LOT AREA: 10,235 SF.	19.8%	29.6%	30%
FLOOR AREA	1ST FLR:	2,024 SF.	2,154 SF.
	2ND FLR:		1,426 SF.
	TOTAL:	2,024 SF.	3,580 SF.
	19.8%	34.98%	35%
SETBACKS			
FRONT	25'-1"	25'-2"	25'-0"
REAR	56'-4"	35'-4"	25'-0"
RIGHT SIDE (1ST/2ND)	10'-6"/NA	10'-2"/31'-1"	10'/17.5'
LEFT SIDE (1ST/2ND)	10'-4"/NA	12'-4"/19'-3"	10'/17.5'
HEIGHT	± 16'-0"	26'-2"	27'-0"

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	1,398 SF.	1,751 SF.	3,149 SF.
NON-HABITABLE AREA (DOES NOT INCLUDE PORCHES)	626 SF.	-195 SF.	431 SF.

LOT CALCULATIONS	
NET LOT AREA	10,235 SF.
FRONT YARD AREA	2,633 SF.
FRONT YARD HARDCAPE AREA	1,086 SF., 41.2% (50% MAX.)
LANDSCAPING BREAKDOWN	TOTAL HARDCAPE AREA: 6,738 SF.
	EXISTING SOFTSCAPE AREA: 3,491 SF.
	NEW SOFTSCAPE AREA: 0 SF.
TOTAL:	10,235 SF.

SUMMARY SQUARE FOOTAGE:	
1ST FLOOR:	1,723 SF.
2ND FLOOR:	1,426 SF.
BASEMENT:	1,254 SF.
TOTAL LIVING:	4,403 SF.
GARAGE:	431 SF.
COVERED FRONT PORCH:	48 SF.
COVERED SIDE PORCH:	81 SF.
COVERED REAR PATIO:	749 SF.
2ND FLOOR BALCONY:	146 SF.
LIGHTWELL:	138 SF.
BASEMENT RETAINING WALL:	143 SF.
TOTAL BASEMENT:	1,590 SF.

(E) LIVING: 1,398 SF.
(E) GARAGE: 626 SF.

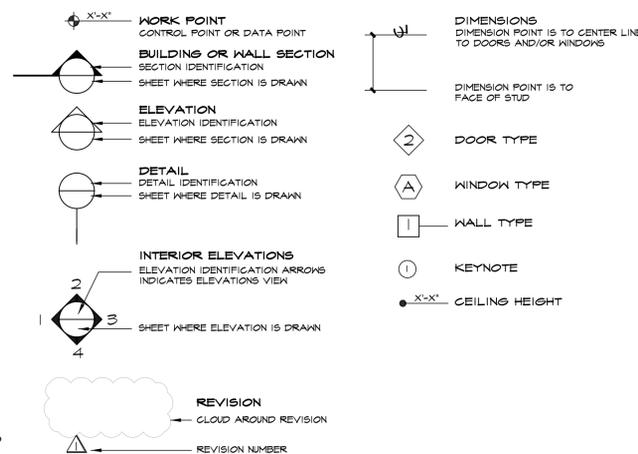
VICINITY MAP



GRAPHIC LEGEND:

SECTIONS

- CONCRETE
- EARTH
- MASONRY
- ROCK FILL
- SAND / MORTAR / PLASTER
- WOOD FRAMING (THROUGH MEMBER)
- WOOD FRAMING (INTERRUPTED MEMBER)
- WOOD FINISHED
- BATT INSULATION
- GYPSUM WALLBOARD
- PLYWOOD



ABBREVIATIONS:

#	AND	CONC.	CONCRETE	F.H.	FIRE HYDRANT	I.D.	INSIDE DIAMETER	FLAM.	FLASTIC LAMINATE	STOR.	STORAGE
AT	AT	CONT.	CONTINUOUS	F.H.C.	FIRE HOSE CABINET	INSUL.	INSULATION	PNT.	PAINT	STR.	STRUCTURAL
CL	CENTER LINE	D.F.	DRINKING FOUNTAIN	FIN.	FINISH FLOOR	INT.	INTERIOR	PT.	POINT	SUSP.	SUSPENDED
PL	PROPERTY LINE	DIA.	DIAMETER	FLSH.	FLASHING	JST.	JOIST	P.T.D.	PAPER TOWEL DISPENSER	SYM.	SYMMETRICAL
Ø	DIAMETER OR ROUND	DET.	DETAIL	FL.	FLOOR	LAM.	LAMINATE	PLVD.	PLYWOOD	T.	TREAD
⊥	PERPENDICULAR	DISP.	DISPENSER	F.O.C.	FACE OF CONCRETE	LAV.	LAVATORY	P.V.C.	POLY VINYL CHLORIDE	T.B.	TOKEN BAR
#	NUMBER	DN.	DOWN	F.O.F.	FACE OF FINISH	LT.	LIGHT	R.	RISER	T.C.	TOP OF CURB
(E)	EXISTING	DR.	DOOR	F.O.S.	FACE OF STUD	LVR.	LOUVER	R.B.	RUBBER BASE	T.O.C.	TOP OF CONCRETE
(N)	NEW	D.O.	DOOR OPENING	FTS.	FOOTING	MAX.	MAXIMUM	R.D.	ROOF DRAIN	TEL.	TELEPHONE
A.B.	ANCHOR BOLT	DR.	DOOR	GA.	GAUGE	NET.	NET	REF.	REFRIGERATOR	T.G.	TONGUE & GROOVE
ABV.	ABOVE	DS.	DOWNSPOUT	GEN.	GENERAL	MFR.	MANUFACTURER	REIN.	REINFORCED	T.H.	THRESHOLD
AC	AIR CONDITIONING	DWG.	DRAWING	GALV.	GALVANIZED	MIS.	MISCELLANEOUS	REQD.	REQUIRED	T.I.	TENANT IMPROVEMENT
ADJ.	ADJUSTABLE	DWR.	DRAWER	GEN.	GENERAL	MIN.	MINIMUM	RESL.	RESILIENT	T49	TOILET PAPER DISPENSER
ALUM.	ALUMINUM	EA.	EACH	G.I.	GALVANIZED IRON	M.O.	MASONRY OPENING	RF6.	ROOFING	TPD	TOILET PAPER DISPENSER
ARCH.	ARCHITECTURAL	E.J.	EXPANSION JOINT	GL.	GLASS	N.I.C.	NOT IN CONTRACT	RFH.	ROOF HATCH	TV.	TELEVISION
BD.	BOARD	ELEC.	ELECTRIC	GR.	GRADE	N.T.S.	NOT TO SCALE	RM.	ROOM	TYP.	TYPICAL AT ALL SIMILAR CONDITION
BLDG.	BUILDING	ELEV.	ELEVATION	GYP.	GYPSUM	NO.	NUMBER	R.O.	ROUGH OPENING	U.O.N.	UNLESS OTHERWISE NOTED
BLK.	BLOCK	E.P.	ELECTRIC PANEL	G.Y.B.	GYPSUM WALLBOARD	O/	OVER	SAP.	SELF-ADHESIVE FLASHING	V.T.	VINYL TILE
BLKG.	BLOCKING	EQ.	EQUAL	HDR.	HEADER	H.B.	HOSE BIB	S4P	SHELF AND POLE	VERT.	VERTICAL
BM.	BEAM	EQUP.	EQUIPMENT	H.C.	HOLLOW CORE	H.C.	HOLLOW CORE	S.C.	SOLID GORE	VIN.	VINYL
BOT.	BOTTOM	EXH.	EXHAUST	H.W.	HARDWOOD	H.W.	HARDWOOD	SECT.	SECTION	W/	WITH
CAB.	CABINET	EXP.	EXPANSION	HORIZ.	HORIZONTAL	O.H.	OVERHEAD	SHELV.	SHELVING	W.C.	WATER CLOSET
C.C.	CENTER TO CENTER	EXT.	EXTERIOR	H.M.	HOLLOW METAL	O.D.	OUTSIDE DIAMETER	SHT.	SHEET	WD.	WOOD
C.J.	CENTER JOINT	F.E.	FIRE EXTINGUISHER	H.M.	HOLLOW METAL	O.F.S.	OUTSIDE FACE OF STUD	SIM.	SIMILAR	W/O	WITHOUT
CL.	CELLING	F.G.	FINISH GRADE	H.R.	HOUR	P.	PITCH	STL.	STEEL	WP.	WATERPROOFING
COL.	COLUMN			HR.	HOUR	FL.	PLATE	STD.	STANDARD	W/S	WEATHER STRIPING

Revisions

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AO.1



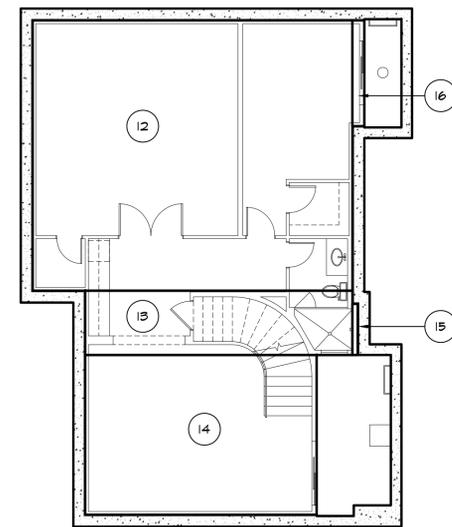
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BASEMENT:

- 12 30'-2" x 25'-4 1/2" = 765.5 SF.
 - 13 25'-2" x 6'-0 1/2" = 152.3 SF.
 - 14 21'-10" x 15'-0" = 327.5 SF.
 - 15 6" x 4'-9 1/2" = 2.4 SF.
 - 16 1'-1 1/2" x 9'-11" = 11.2 SF.
- TOTAL: 1,258.9 SF.

LIGHTWELL: 138 SF.
RETAINING WALLS: 193 SF.



1 BASEMENT 1/8"=1'-0"

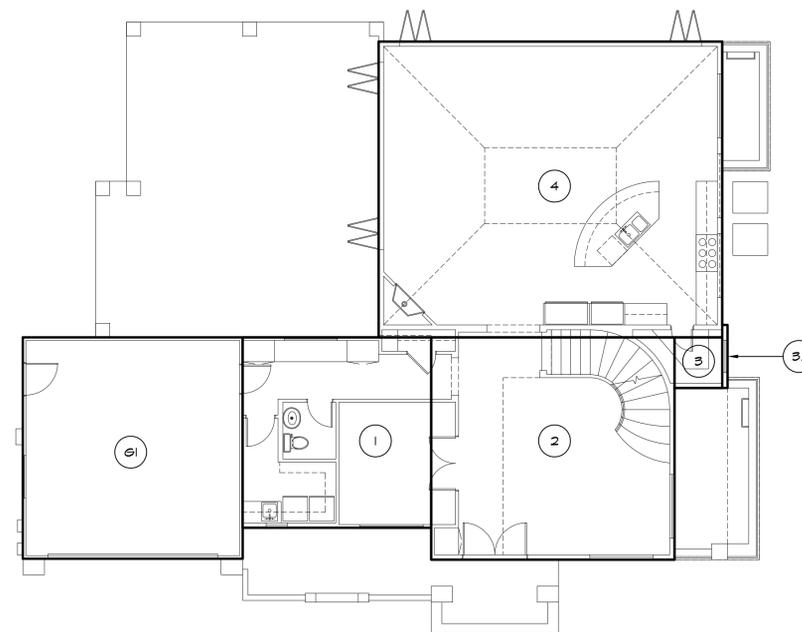
1ST FLOOR:

- 1 17'-9 1/2" x 17'-10 1/2" = 318 SF.
 - 2 22'-11 1/2" x 20'-10 1/2" = 479.3 SF.
 - 3 4'-6" x 4'-9" = 21.4 SF.
 - 3.1 6" x 5'-11" = 3.0 SF.
 - 4 32'-5" x 27'-9 1/2" = 900.9 SF.
- TOTAL: 1,722.7 SF.

COVERED FRONT PORCH: 48 SF.
COVERED SIDE PORCH: 81 SF.
COVERED REAR PATIO: 749 SF.

GARAGE:

- 61 20'-9" x 20'-9 1/2" = 431.4 SF.

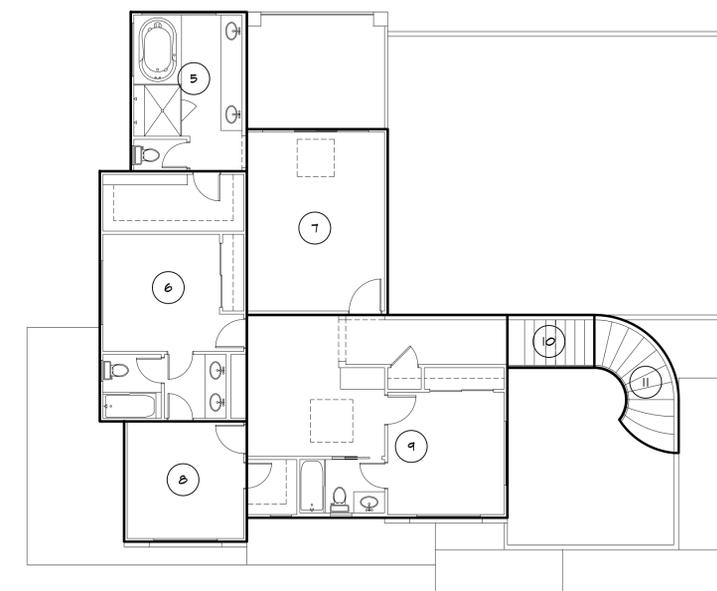


2 1ST FLOOR 1/8"=1'-0"

2ND FLOOR:

- 5 10'-11 1/2" x 14'-11 1/2" = 163.9 SF.
 - 6 13'-10 1/2" x 23'-6" = 326.1 SF.
 - 7 13'-3 1/2" x 17'-5 1/2" = 232.1 SF.
 - 8 11'-7" x 11'-3 1/2" = 130.8 SF.
 - 9 24'-7" x 19'-0 1/2" = 468.1 SF.
 - 10 8'-2 1/2" x 4'-11 1/2" = 40.7 SF.
 - 11 64.7 SF.
- TOTAL: 1,426.4 SF.

COVERED BALCONY: 146 SF.



3 2ND FLOOR 1/8"=1'-0"

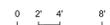
Revisions

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NEW TWO-STORY RESIDENCE
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APN: 170-18-020
Drawing
FLOOR AREA CALCULATIONS

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A0.2



NEW PLANTS

-  NEW SCREEN TREE
PRIVET LIGUSTRUM - GLOSSY PRIVET
15-GALLON
TOTAL 4
-  NEW SCREEN TREE
RHUS LANCIA - AFRICAN SUMAC
15-GALLON
TOTAL 2
-  VARIOUS LOW WATER
CONSUMED FLOWER

-  TURF
-  BARK GROUND COVER IN BETWEEN
SHRUBS AND TREES IN FRONT YARD,
TYP. BACKYARD & SIDE YARDS TO
BE DIRT, UN-LANDSCAPED

NOTE:

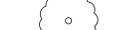
1. PROVIDE LANDSCAPING IRRIGATION SYSTEM

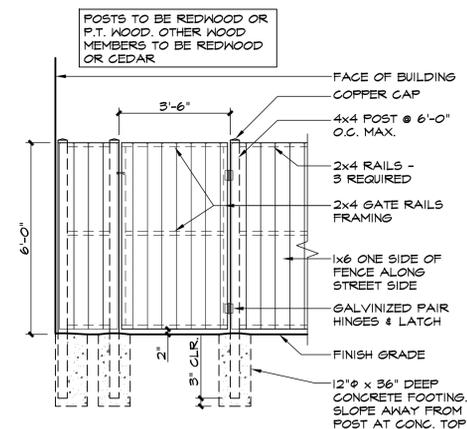
TREE SUMMARY

TREE #	SIZE	SPECIES	RETAINED	REMOVED
1	12"	BIRCH	X	
2	10"	BIRCH	X	
3	12"	BIRCH	X	
4	6"	PRIVET LIGUSTRUM	X	
5	7"	PERSIMMON	X	
6	7"	PINE	X	
7	12"	PINE	X	
8	4"	BUCKEYE		X
9	6"	ORANGE	X	
10	36"	PINE	X	
11	12"	PINE	X	
12	20"	PINE	X	
13	6"	FRINGE		X

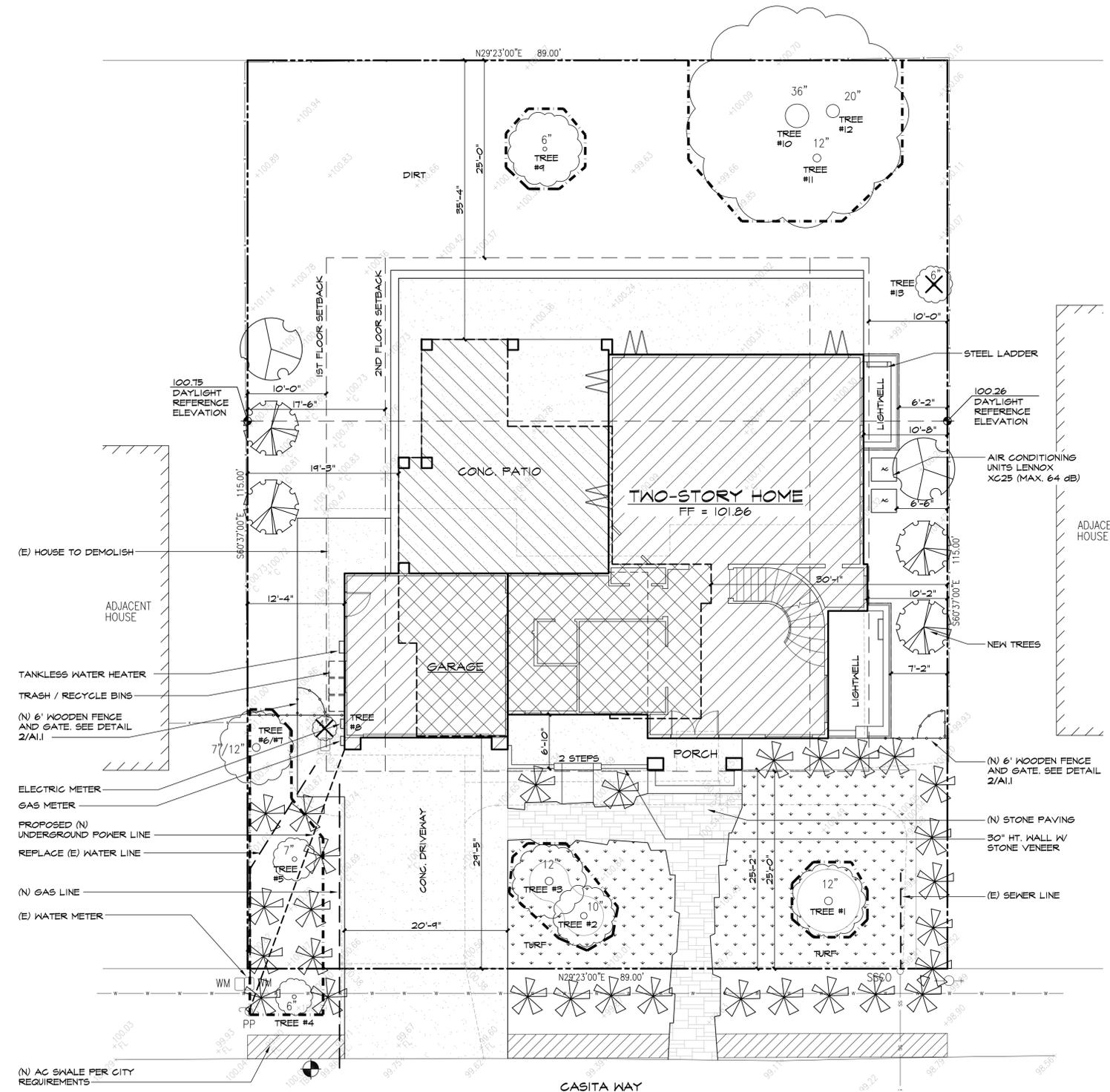
LEGEND

-  1ST FLOOR BLDG.
STRUCTURE
-  OUTLINE OF 2ND FLOOR
-  CONCRETE PAVEMENT
-  STONE PAVEMENT
BELGARD
MEGA-LAFITT - VICTORIAN
www.belgard.com

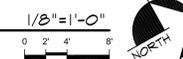
-  PROPERTY LINE
-  SETBACK LINE
-  (N) 6' W.D. FENCE,
SEE DETAIL 2/A.1
-  (E) SPOT ELEVATION
-  TYPICAL TREE PROTECTION
FENCE
-  (E) TREE TO REMAIN
10 TOTAL
-  (E) TREE TO REMOVE
2 TOTAL



2 WOOD FENCE & GATE 3/8"=1'-0"



1 SITE PLAN



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AFN: 170-18-020
Drawing
SITE PLAN
LANDSCAPE PLAN

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A.1

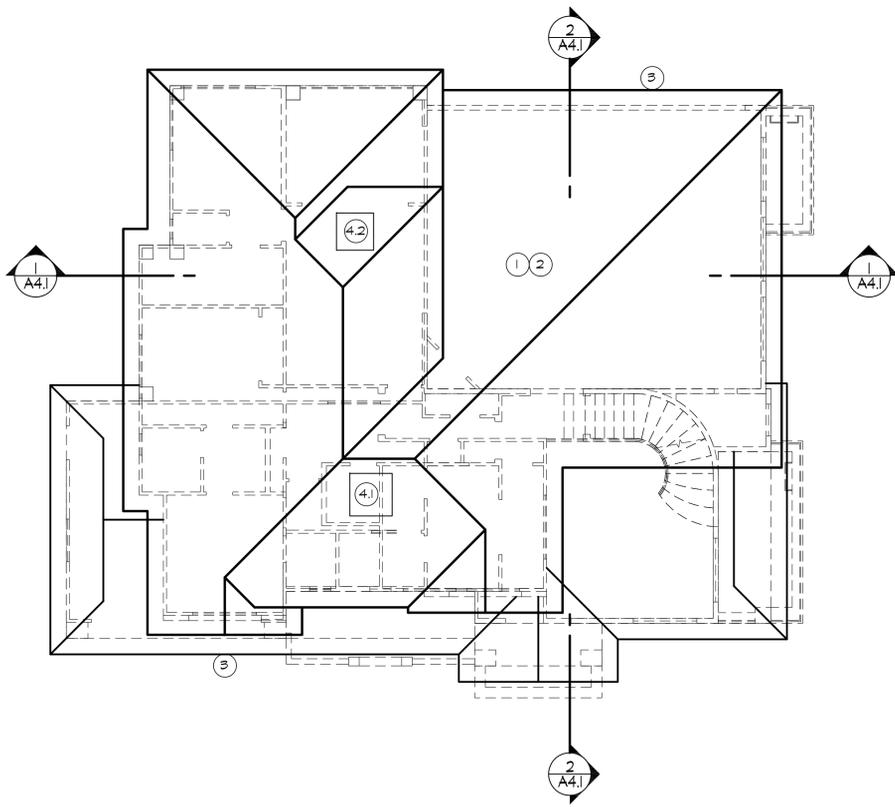


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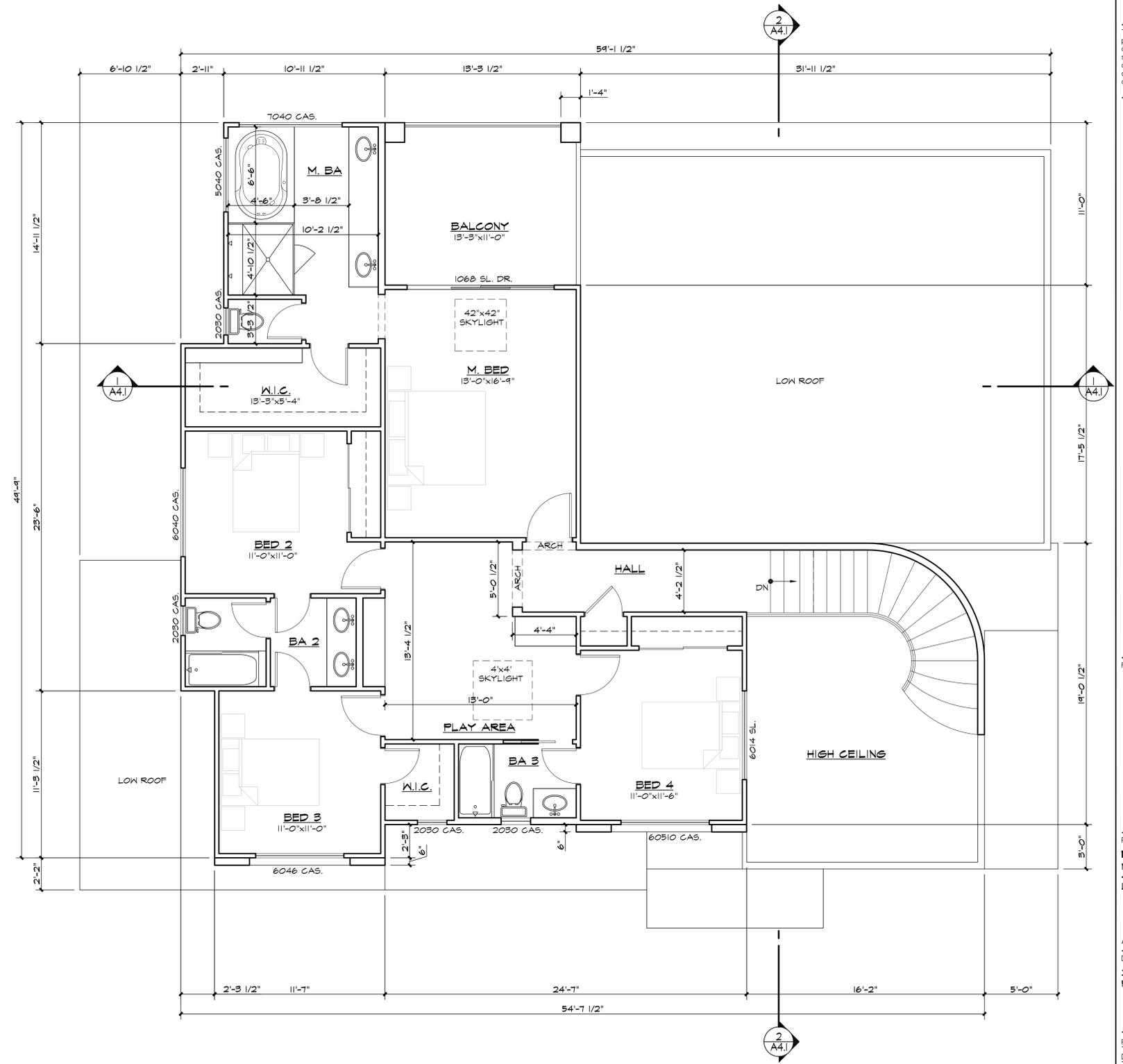
ROOF KEYNOTES

1. ROOF SLOPES: 4:12 (TYP.) U.O.N
2. ROOF MATERIAL: CLASS 'A' ROOFING
SEE ELEVATIONS
3. 16" EAVE AND RAKE, U.O.N.
4. VELUX ELECTRIC FRESH AIR SKYLIGHT
4.1 Model #: VCE 4646 (46"x46", 13.13 SF.)
4.2 Model #: VCE 3434 (34"x34", 6.84 SF.)



2 ROOF PLAN

1/8"=1'-0"



1 2ND FLOOR PLAN

1/4"=1'-0"



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Drawing
2ND FLOOR PLAN
ROOF PLAN

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A2.2

COLOR & MATERIAL SCHEDULE

A	ROOF	COMPOSITION SHINGLE GAF - TIMBERLINE HD Charcoal	
B	MAIN BODY	KELLY-MOORE PAINTS Sophistication KM4565	
C	TRIM, GUTTER, GARAGE DOOR	KELLY-MOORE PAINTS Porcelain Basin KM4563	
D	STONE VENEER	ELDORADO STONE Nantucket Stacked Stone	
E	STEEL RAILING	PAINT BLACK, SEMI-GLOSS	
F	ENTRY DOOR	WOOD, DARK BROWN	
H	WINDOW	MILGARD, VINYL, LIGHT GREY	

NOTE: PAINT DOWN SPOUT, FLASHING, EXPOSED CONCRETE FOUNDATION, UNDER FLOOR VENT, ROOF VENT TO MATCH ADJACENT COLOR

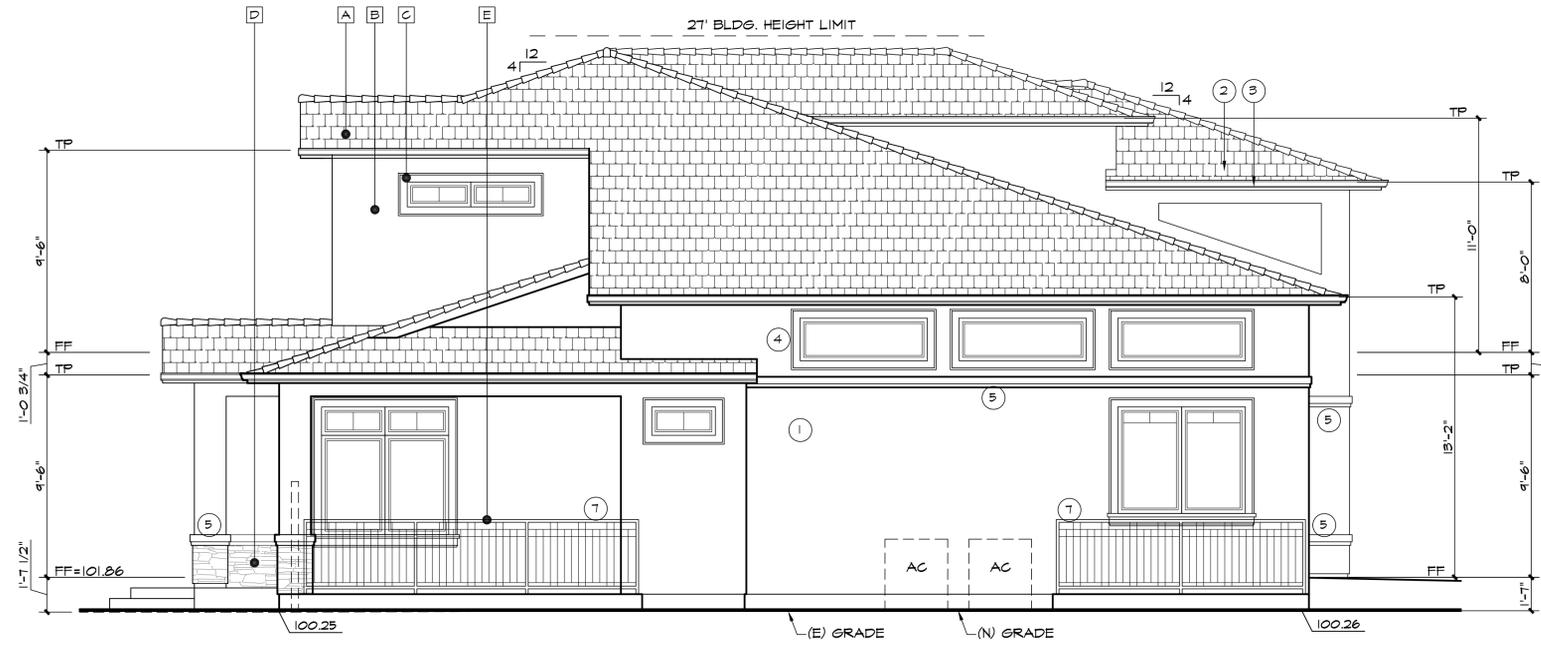
TRIM SCHEDULE

1. WINDOW & DOOR TRIM
PRE-CAST CONCRETE
2. WINDOW SILL
PRE-CAST CONCRETE
3. TRIM BAND
PRE-CAST CONCRETE



ELEVATION KEYNOTES: (#)

1. 3-COAT 1/8" THICK SMOOTH PLASTER O/ 2 LAYERS OF GRADE "D" BLDG. PAPER TYP.
2. COMPOSITION SHINGLE
3. OGEE GUTTER
4. PRE-CAST CONCRETE WINDOW/DOOR TRIM. SEE DETAILS 1, 2, 3/AT.1
5. PRE-CAST TRIM BAND. SEE DETAIL 4/AT.1
6. STONE VENEER. SEE DETAIL 4/AT.1
7. 42" HT. STEEL GUARDRAIL. SEE DETAIL 8/AT.1
8. 42" HT. STEEL GATE AT LIGHTWELL
9. 30" HT. STEEL GUARDRAIL ABOVE LOW WALL
10. DECORATIVE LIGHT FIXTURE
11. LOW 6" CMU WALL W/ STONE VENEER & STONE CAP
12. 4" TALL ADDRESS NUMBERS ON CONTRASTING BACKGROUND
13. SKYLIGHT
14. RECESSED WINDOW. SEE DETAILS 5, 6, 7/AT.1



2 RIGHT / NORTH ELEVATION 1/4"=1'-0"



1 FRONT / EAST ELEVATION 1/4"=1'-0"

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COLOR & MATERIAL SCHEDULE

A	ROOF	COMPOSITION SHINGLE GAF - TIMBERLINE HD Charcoal	
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13. SKYLIGHT
14. RECESSED WINDOW. SEE DETAILS 5, 6, 7/AT.1



2 LEFT / SOUTH ELEVATION



1 REAR / WEST ELEVATION

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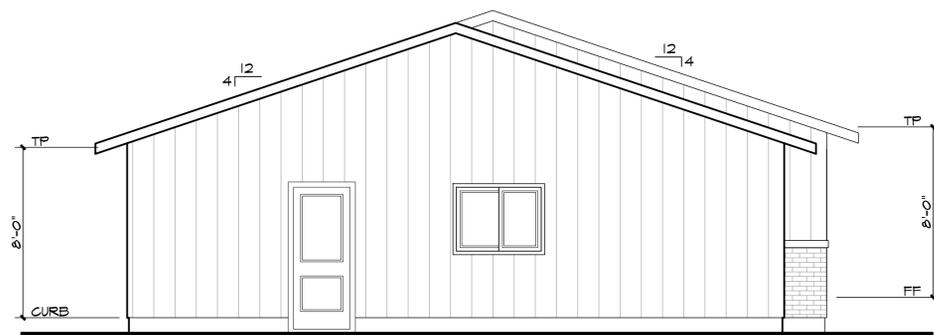
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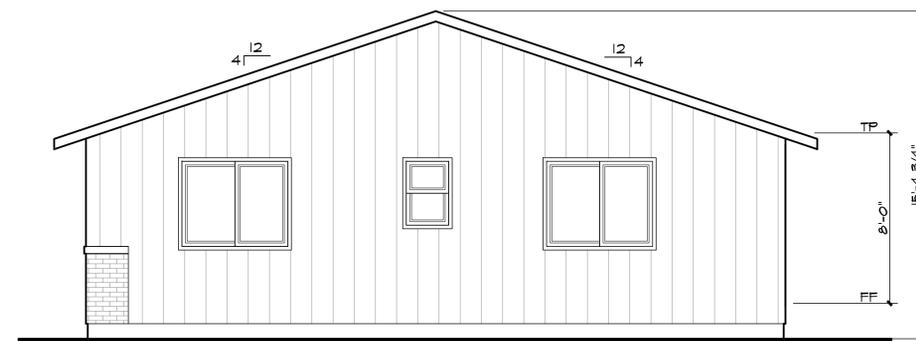


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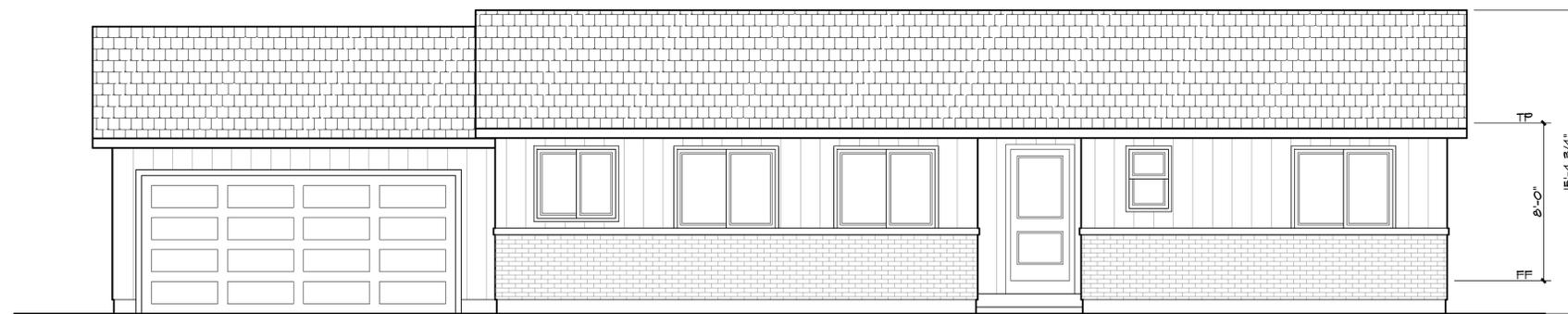
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3 LEFT / SOUTH ELEVATION 1/4"=1'-0"



2 RIGHT / NORTH ELEVATION 1/4"=1'-0"



1 FRONT / EAST ELEVATION 1/4"=1'-0"

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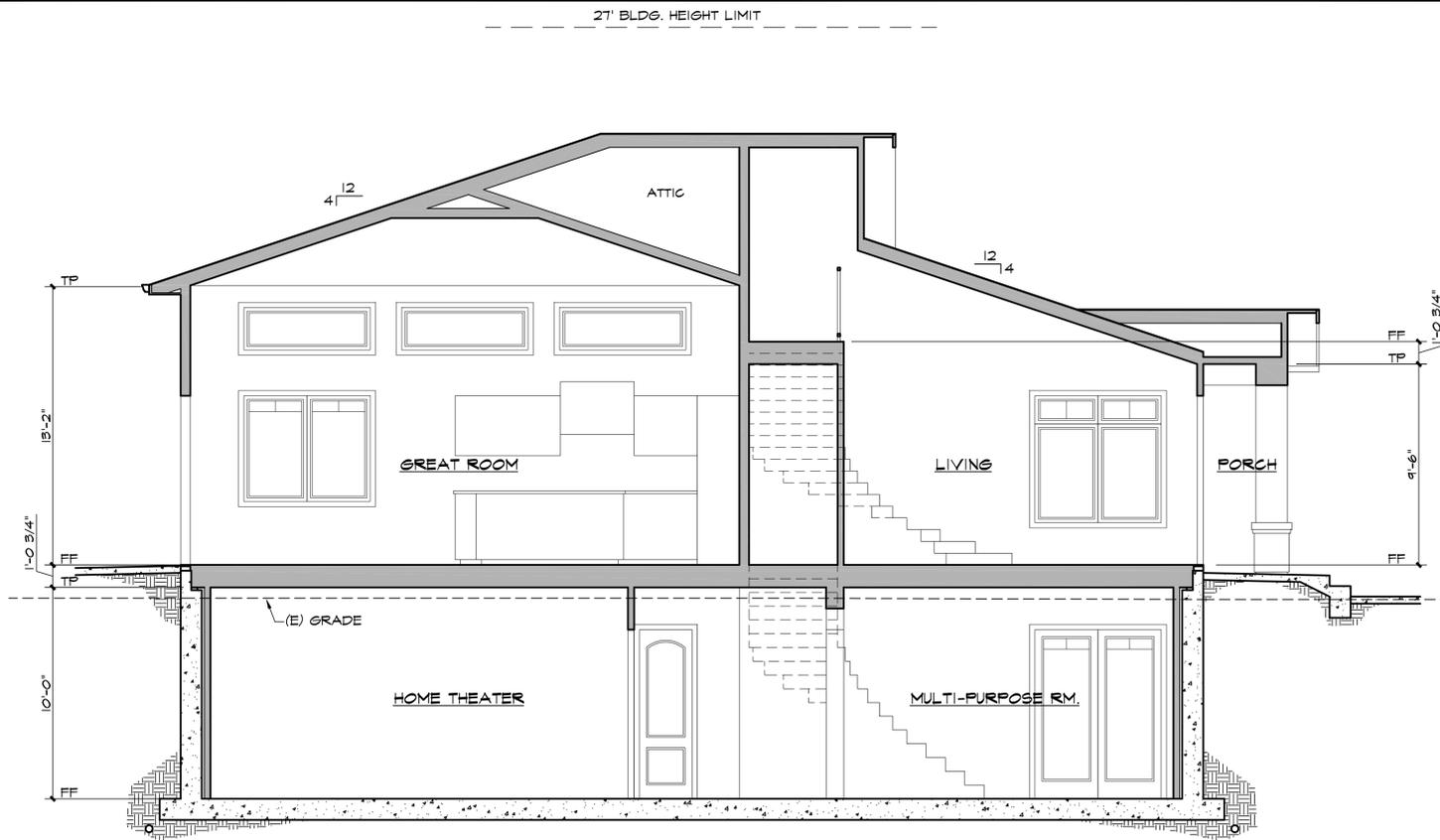
A3.3





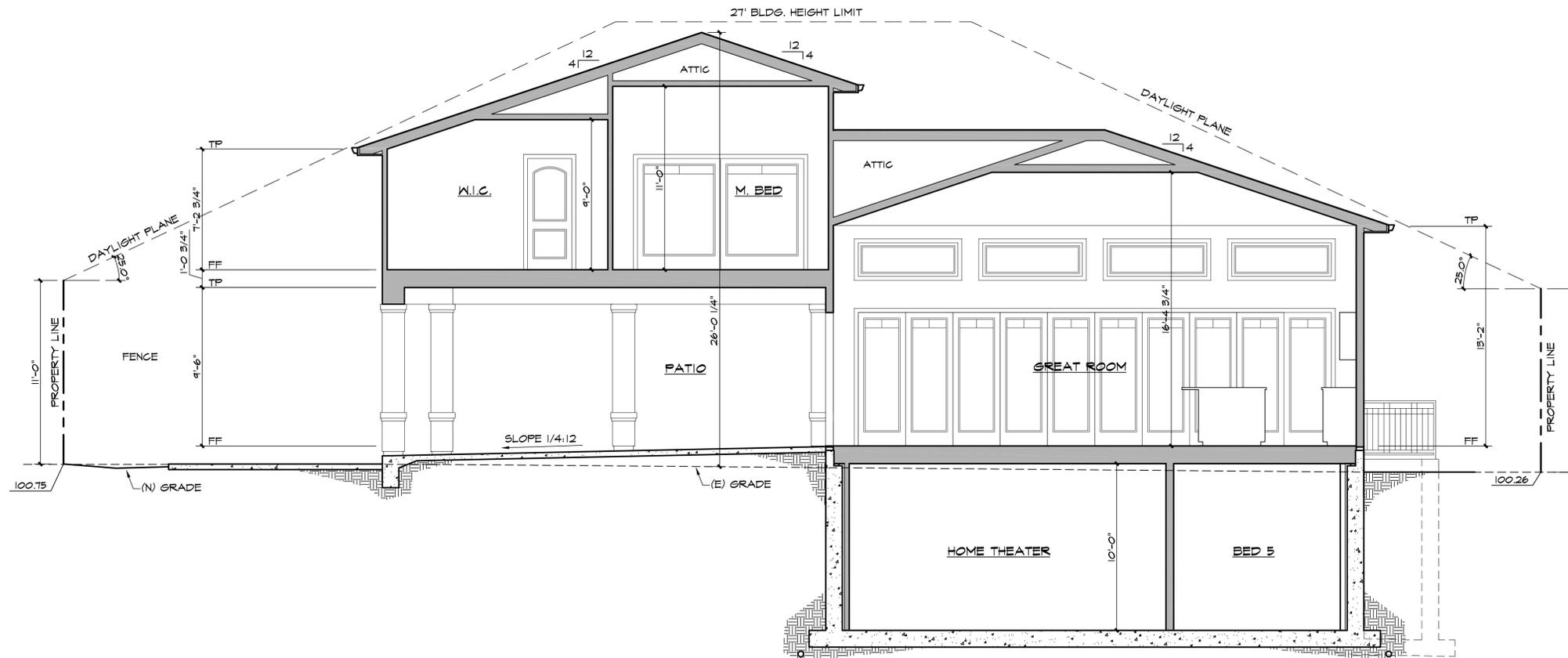
THAM DO
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7624 Windbridge Drive #46
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www.td-arch.com

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2 SECTION

1/4"=1'-0"



1 SECTION

1/4"=1'-0"

Revisions

Project
NEW TWO-STORY RESIDENCE
Mr. & Mrs. LIU
462 CASITA WAY
LOS ALTOS, CA 94022

APN: 170-18-020
Drawing
SECTIONS

Proj. No. 14-020
Drawn BTB
Date 6-24-15
Scale AS NOTED
Sheet

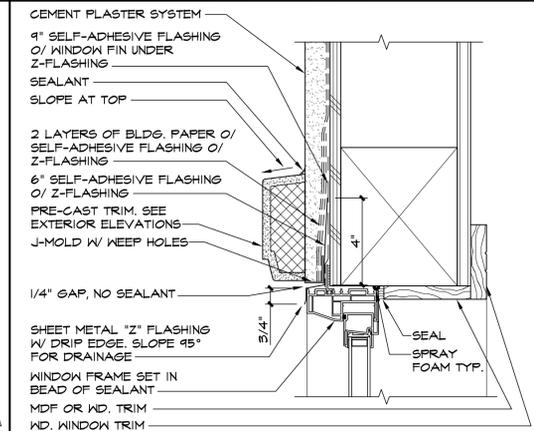
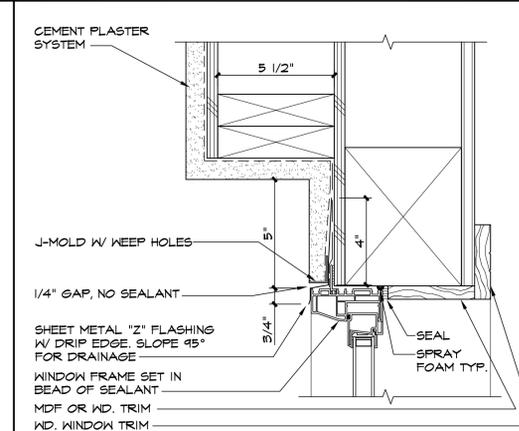
A4.1





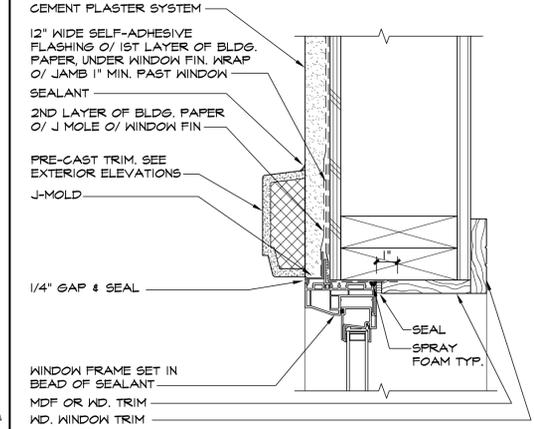
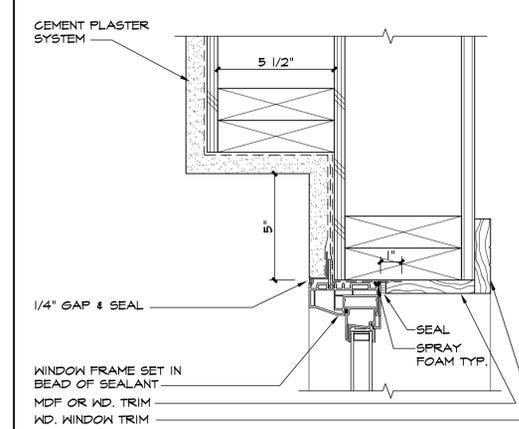
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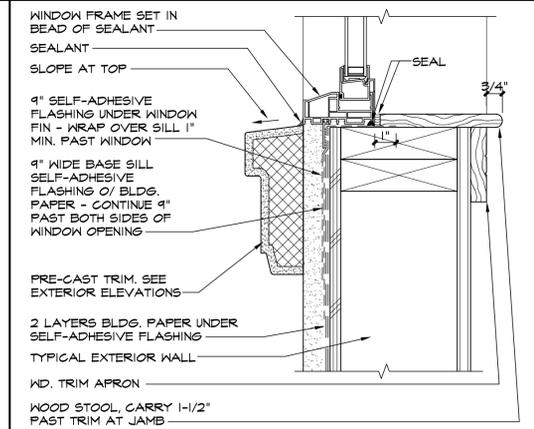
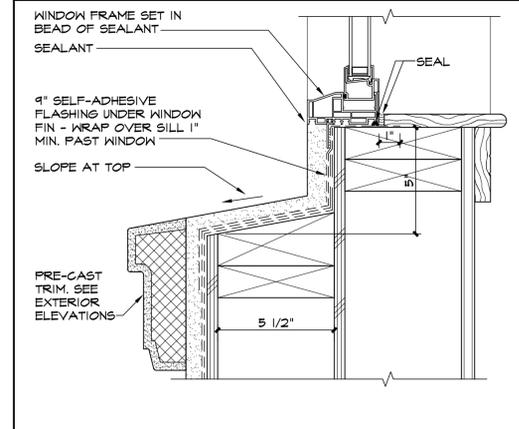
5
A7.1 RECESSED WINDOW HEAD 3"=1'-0"

1
A7.1 WINDOW HEAD 3"=1'-0"



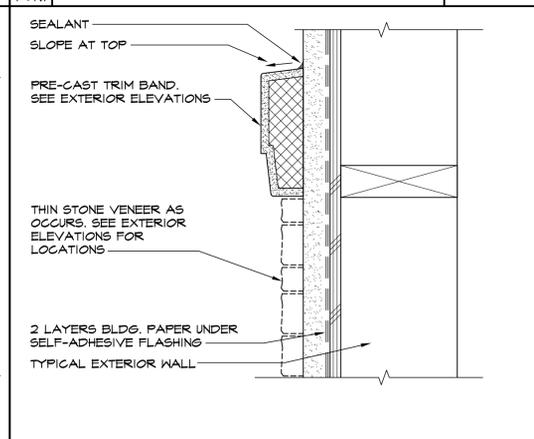
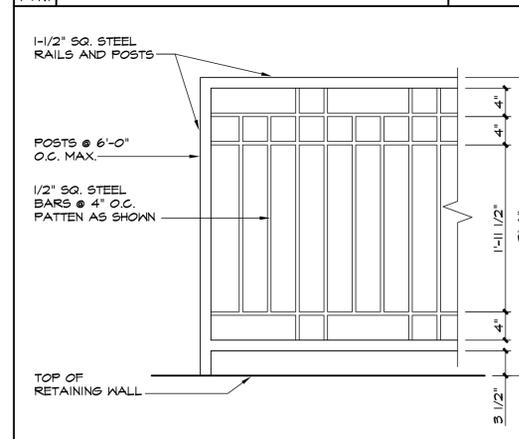
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A7.1 RECESSED WINDOW JAMB 3"=1'-0"

2
A7.1 WINDOW JAMB 3"=1'-0"



7
A7.1 RECESSED WINDOW SILL 3"=1'-0"

3
A7.1 WINDOW SILL 3"=1'-0"



8
A7.1 STEEL RAILING 1"=1'-0"

4
A7.1 TRIM BAND 3"=1'-0"

Revisions

Project
NEW TWO-STORY RESIDENCE
Mr. & Mrs. LIU
462 CASITA WAY
LOS ALTOS, CA 94022

AFN: 170-18-020

Drawing
DETAILS

Proj. No.	14-020
Drawn	BTD
Date	6-24-15
Scale	AS NOTED
Sheet	

A7.1

NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THIS MAP SHALL NOT BE USED TO STAKE OUT CONSTRUCTION IMPROVEMENTS IN THE FIELD.
3. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
4. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
5. BOUNDARY LINES DELINEATED ON THIS MAP ARE BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA.
6. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
7. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
8. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
9. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
10. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK:

SET NAIL
ELEVATION=100.00' ASSUMED

BASIS OF BEARINGS:

THE BEARING N29°23'00"E OF CENTERLINE OF CASITA WAY AS SHOWN ON TRACT MAP NO. 916 FILED IN BOOK 34 OF MAPS AT PAGE 28, SANTA CLARA COUNTY RECORDS.

REFERENCES:

- R1 TRACT 916 (34 MAPS 28)
- R2 TRACT 1395 (54 MAPS 19)

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rwengineering@gmail.com

TOPOGRAPHIC MAP

FEBRUARY 27, 2015
CONSISTING OF ONE SHEET

SITE: 462 CASITA WAY
LOS ALTOS, CA
APN: 170-18-020
PARCEL: LOT 161 TRACT 916
AREA: 10,235 S.F.±

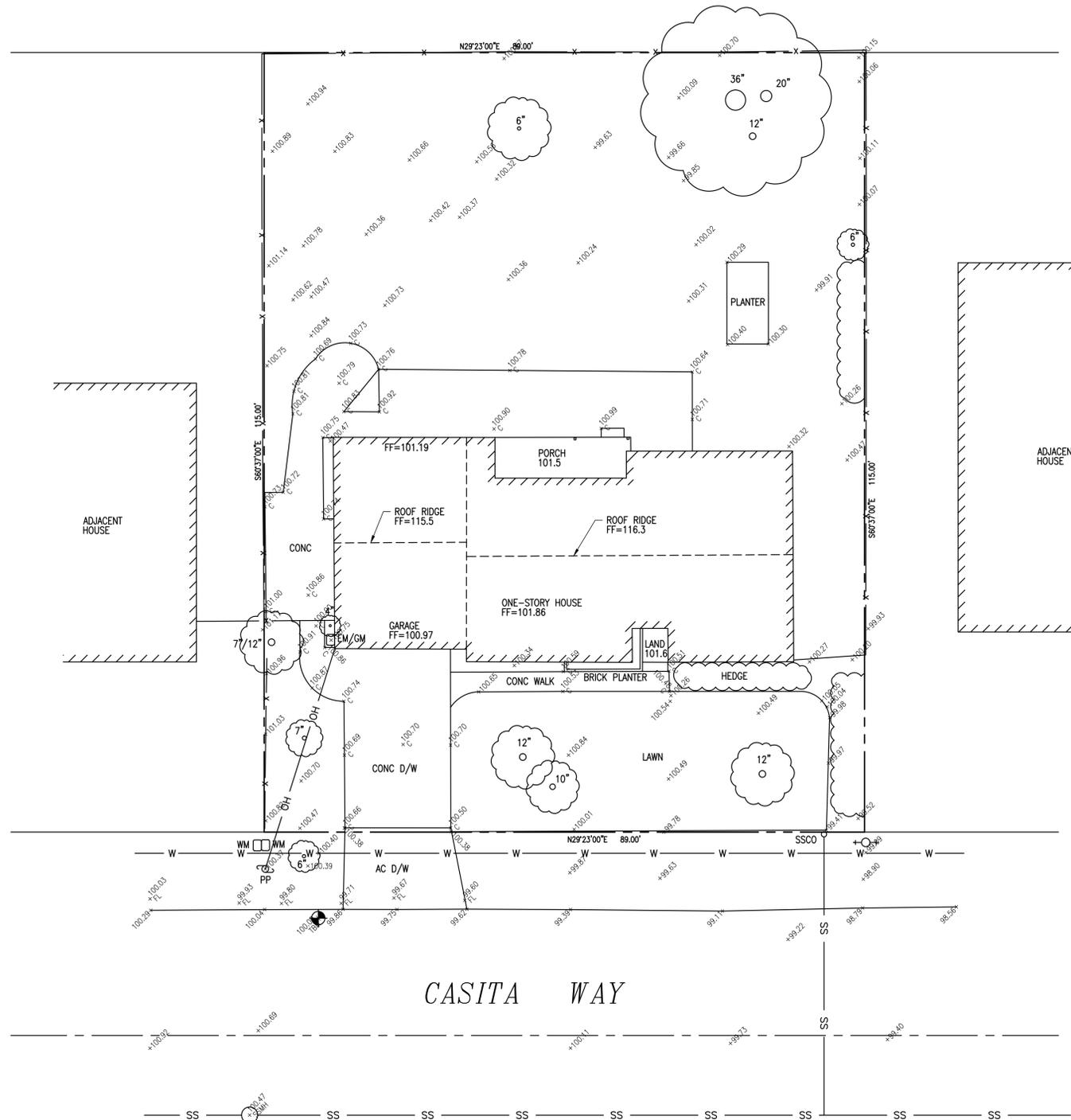


ABBREVIATION

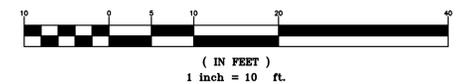
AD	AREA DRAIN
A.E.	ANCHOR EASEMENT
AC	ASPHALT CONCRETE
BRI	BRICK
C/G	CURB & GUTTER
C	CONCRETE
DI	DRAIN INLET
FF	FINISH FLOOR GRADE
FL	FLOWLINE
GM	GAS METER
LG	LIP OF GUTTER
MB	MAIL BOX
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.E.	PUBLIC SERVICE EASEMENT
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
S/W	SIDEWALK
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
W.C.E.	WIRE CLEARANCE EASEMENT
WM	WATER METER

LEGEND

---	PROPERTY LINE
- - -	CENTERLINE
SS	UTILITY LINE-TYPE AS NOTED
☉	STREET LIGHT
□ PG&E	UTILITY BOX-TYPE AS NOTED
□ WM/GM	WATER/GAS METER
⊗ WV	WATER VALVE
▣	CURB CATCH BASIN
⊕	FIRE HYDRANT
○ MH	MANHOLE-TYPE AS NOTED
○ CO	SANITARY SEWER CLEANOUT
PP ○ OH	POWER POLE W/ OVERHEAD WIRE
◆	BENCHMARK
— 200 —	CONTOUR LINE
⊙ MON	MONUMENT
○ 12"	TREE—TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN



GRAPHIC SCALE

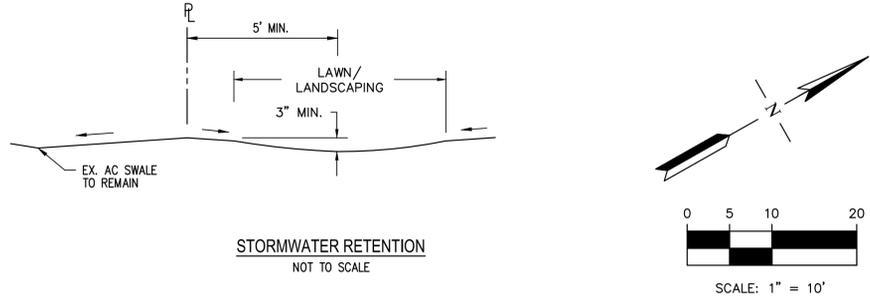


LEGEND

---	PROPERTY LINE
---	CENTERLINE
SS	UTILITY LINE-TYPE AS NOTED
○	STREET LIGHT
□	UTILITY BOX-TYPE AS NOTED
WM	WATER METER
WV	WATER VALVE
CB	CURB CATCH BASIN
+	FIRE HYDRANT
○	MANHOLE-TYPE AS NOTED
○	SANITARY SEWER CLEANOUT
PP	POWER POLE W/ OVERHEAD WIRE
⊕	BENCHMARK
⊙	MONUMENT
---	CONTOUR LINE
---	SWALE @ 1% MIN. (U.O.N.)
→	SURFACE FLOW DIRECTION
DS	DOWNSPOUT WITH SPLASH-BLOCK
○	TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
---	STRAW ROLL

ABBREVIATION

AC	ASPHALT CONCRETE
AD	AREA DRAIN
CONC	CONCRETE
C/G	CURB & GUTTER
DI	DRAIN INLET
DS	DOWNSPOUT
EX.	EXISTING
FF	GARAGE FINISH GRADE
FL	FINISH FLOOR GRADE
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
SW	SIDEWALK
TC	TOP OF CURB



- GRADING NOTES:**
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF LOS ALTOS.
 - THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
 - PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
 - CONTRACTOR TO EXPOSE EXISTING SEWERS AND CHECK INVERTS BEFORE CONSTRUCTING NEW SEWERS. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SEWERS.
 - THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
 - THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
 - GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
 - PRIOR TO START OF ANY WORK, CONTRACTOR MUST VERIFY THE PLANS FOR DESIGN INCONSISTENCIES AND TYPLOS SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPLOS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
 - THE LANDSCAPE FINISHED GRADES WITHIN FIVE FEET (TEN FEET IF BUILDING SETBACK ALLOWS) OF THE BUILDING OR STRUCTURE SHALL SLOPE AT A 2% MINIMUM FROM THE FOUNDATION. ALL EXTERIOR HARD SURFACING AREAS (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 2% MINIMUM GRADIENT, AND SHALL DRAIN AWAY FROM THE BUILDING. FINISHED GRADE DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1%. MAXIMUM GRADED SLOPE IS 3:1 (3 HORIZONTAL TO 1 VERTICAL). SPOT ELEVATIONS SHOWN ON THE PLAN SHALL DICTATE ACTUAL GRADES. SURFACE SLOPE GRADES NOTED ON THE PLAN ARE APPROXIMATE.
 - FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
 - SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.

SITE BENCHMARK:

SET NAIL
ELEVATION=100.00' ASSUMED

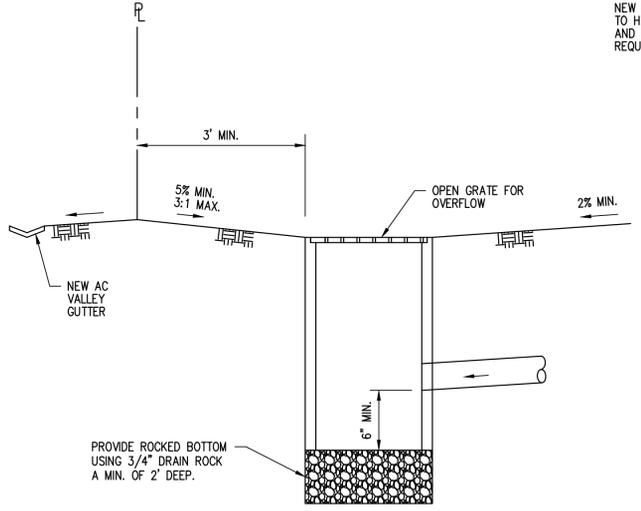
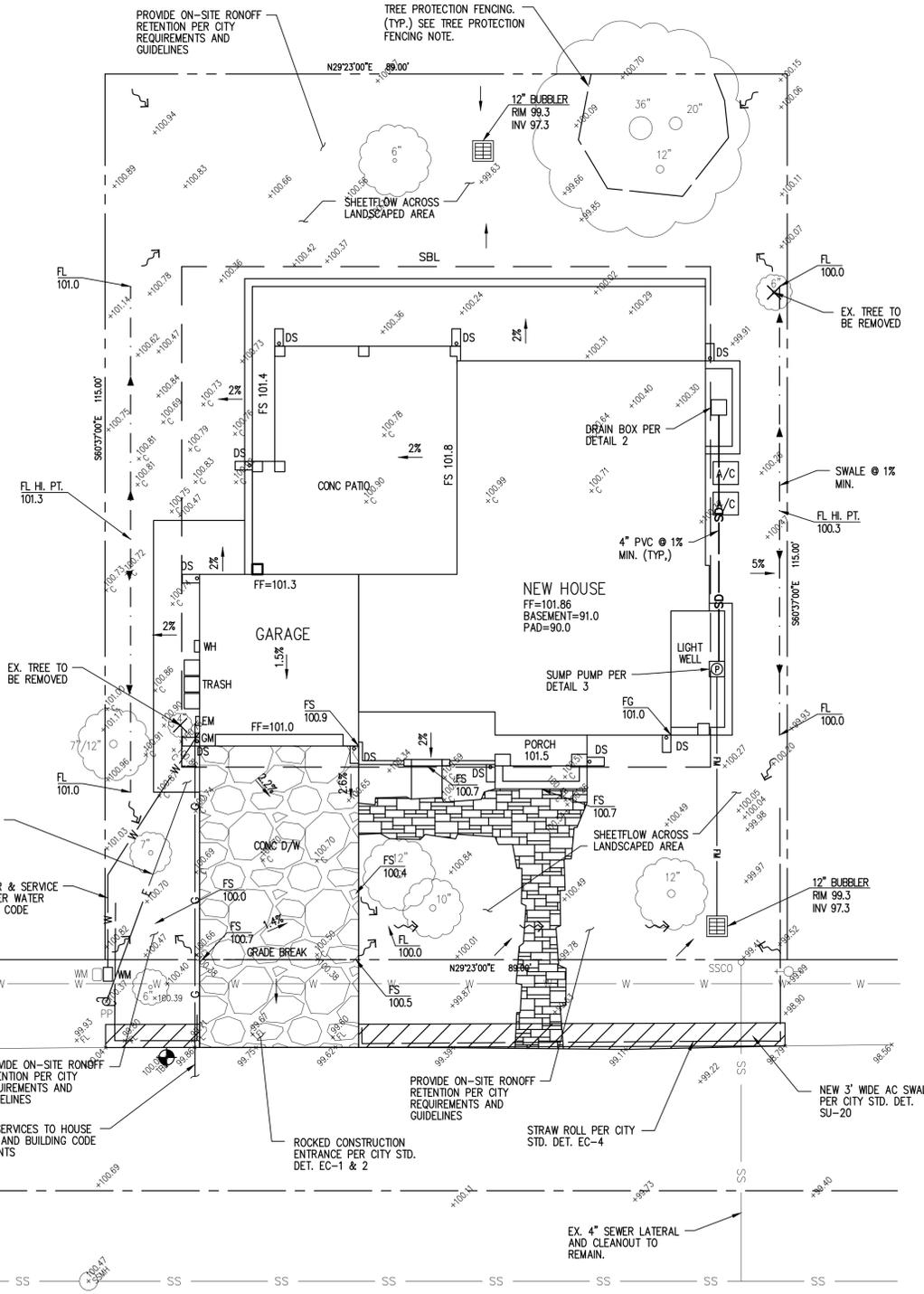
BASIS OF BEARINGS:

THE BEARING N29°23'00"E OF CENTERLINE OF CASITA WAY AS SHOWN ON TRACT MAP NO. 916 FILED IN BOOK 34 OF MAPS AT PAGE 28, SANTA CLARA COUNTY RECORDS.

EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)	EXPORT (CY)
DRIVEWAY & SITE	10	0	
HOUSE (BASEMENT)	650	0	
TOTAL	660	10	650

NOTE: EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.

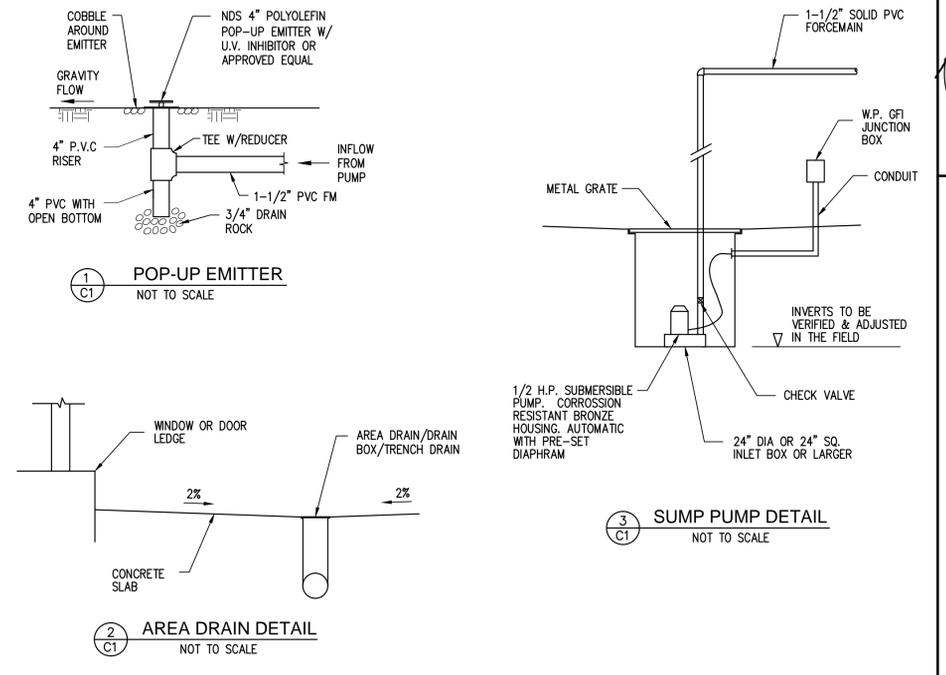


BUBBLER
NOT TO SCALE

TREE PROTECTION FENCING NOTE:
ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

CASITA WAY

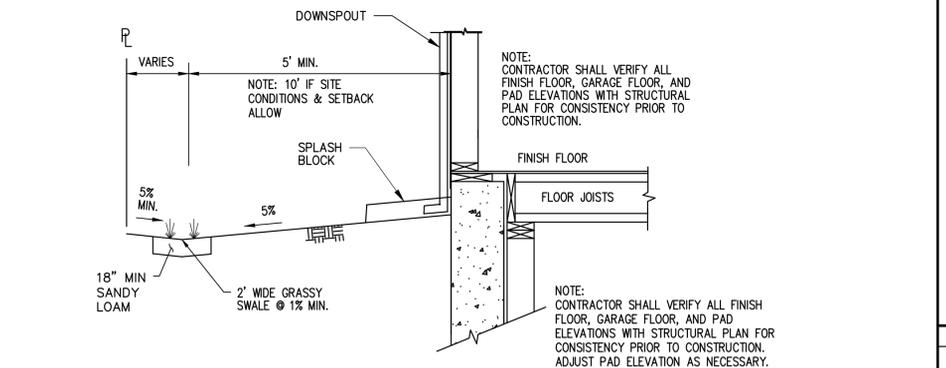
PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.



POP-UP EMITTER
NOT TO SCALE

AREA DRAIN DETAIL
NOT TO SCALE

SUMP PUMP DETAIL
NOT TO SCALE



TYPICAL GRADING AROUND FOUNDATION
NOT TO SCALE

DATE BY	
REVISION	
NO.	

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CIVIL ENGINEERS LAND SURVEYORS
505 ALAMONT DRIVE, MILPITAS, CA 95035
(P) (408) 262-1899 (FAX) (408) 824-5556
rwengineering@gmail.com

RW
REGISTERED PROFESSIONAL ENGINEER
NO. 50541
RENEWAL DATE: 06-30-17
CIVIL
STATE OF CALIFORNIA
DATE: 6/18/15

**462 CASITA WAY
LOS ALTOS, CA**
SANTA CLARA COUNTY
APN: 170-18-020

GRADING AND DRAINAGE PLAN

DATE: 6/18/15
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW

SHEET
C-1

