



DESIGN STUDIO

4180 WATKINS WAY
SAN JOSE, CA 95135
408.375.0041

SINGLE FAMILY HOUSE REMODEL & ADDITION

ARON'S RESIDENCE

444 ARBOLEDA DR.
LOS ALTOS, CALIFORNIA

REVISIONS

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DESIGN BY: CN

PROJECT

PROJECT INFO.

ASSESSOR'S PARCEL NUMBER 189-50-006
TYPE OF CONSTRUCTION: R-1
ZONE: R-1
LOT AREA: 10,477 SF.
HISTORICAL: NO
OCCUPANCY GROUP: R3/U

ARON'S RESIDENCE

SCOPE OF WORK

ADDITION OF 820 SF TO EXISTING 2,813 SF STRUCTURE OF SINGLE FAMILY HOUSE
NEW SECOND FLOOR MASTER BEDROOM
NEW HOUSE ENTRY

444 ARBOLEDA DR.
LOS ALTOS, CALIFORNIA

CONTACT INFO.

OWNER: NAVNEET ARON
444 ARBOLEDA DR.
LOS ALTOS, CA

DESIGNER: 08 DESIGN STUDIO
4180 WATKINS WAY
SAN JOSE, CA 95135
408-375-0041

SHEET CONTENTS

TITLE SHEET

BUILDING CODES

THIS PROJECT SHALL COMPLY WITH
2013 CALIFORNIA BUILDING CODE (CBC)
2013 CALIFORNIA MECHANICAL CODE (CMC)
2013 CALIFORNIA PLUMBING CODE (CPC)
2013 CALIFORNIA ELECTRICAL CODE (CEC)
2013 CALIFORNIA RESIDENTIAL CODE (CRC)
CALIFORNIA ENERGY CODE
CALIFORNIA GREEN BUILDING CODE
LOCAL CITY ORDINANCE

DATE 04-25-15

SCALE AS SHOWN

JOB 1510

SHEET

A-0

ABBREVIATIONS

&	AND	E.J.	EXPANSION JOINT	MAX.	MAXIMUM	S.N.D.	SANITARY NAPKIN DISPENSER
∠	ANGLE	E.L.C.	ELECTRICAL	M.C.	MEDICINE CABINET	S.N.R.	SANITARY NAPKIN RECEPTACLE
AT	AT CENTERLINE	ELEC.	ELECTRICAL	MECH.	MECHANICAL	SPEC.	SPECIFICATIONS
Ø	DIAMETER OR ROUND	ELEV.	ELEVATOR	MEMB.	MEMBRANE	SQ.	SQUARE
⊥	PERPENDICULAR	EMER.	EMERGENCY	MET.	METAL	SST.	STAINLESS STEEL
∩	ROUND OR NUMBER	ENCL.	ENCLOSURE	MFR.	MANUFACTURER	S.SK.	SERVICE SINK
(E)	EXISTING	E.P.	ELECTRICAL PANELBOARD	MH.	MANHOLE	STA.	STATION
ACOUST.	ACOUSTICAL	E.Q.	EQUAL	MIN.	MINIMUM	STD.	STANDARD
A.D.	AREA DRAIN	E.QPT.	EQUIPMENT	MIR.	MIRROR	STL.	STEEL
ADJ.	ADJUSTABLE	E.W.C.	ELECTRIC WATER COOLER	MISC.	MISCELLANEOUS	STOR.	STORAGE
AGGR.	AGGREGATE	EXST.	EXISTING	M.O.	MASONRY OPENING	STR.	STRUCTURAL
AL.	ALUMINUM	EXP.	EXPANSION	MTD.	MOUNTED	SUSP.	SUSPENDED
APPROX.	APPROXIMATE	EXT.	EXTERIOR	MUL.	MULLION	SYM.	SYMMETRICAL
ARCH.	ARCHITECTURAL	F.A.	FIRE ALARM	N.	NORTH	TREAD	TREAD
ASB.	ASBESTOS	F.B.	FLAT BAR	N.I.C.	NOT IN CONTRACT	T.B.	TOWEL BAR
ASPH.	ASPHALT	F.C.	FIRE EXTINGUISHER	NO.	NUMBER	T.C.	TOP OF CURB
BD.	BOARD	FDN.	FOUNDATION	NOM.	NOMINAL	TEL.	TELEPHONE
BITUM.	BITUMINOUS	F.E.	FIRE EXTINGUISHER CABINET	N.T.S.	NOT TO SCALE	TER.	TERRAZZO
BLK.	BLOCK	F.H.C.	FIRE HOSE	O.A.	OVERALL	T.&G.	TONGUE AND GROOVE
BLKG.	BLOCKING	FL.	FLOOR	OSB.	OSB/CL.	TRK.	TRUCK
BM.	BOTTOM	FLASH.	FLASHING	OFF.	OFFICE	T.P.	TOP OF PAVEMENT
BTM.	BOTTOM	FLUOR.	FLUORESCENT	OPNG.	OPENING	T.P.D.	TOILET PAPER DISPENSER
CAB.	CABINET	F.O.C.	FACE OF CONCRETE	OPP.	OPPOSITE	T.V.	TELEVISION
C.B.	CATCH BASIN	F.O.F.	FACE OF FINISH	PRCST.	PRECAST	T.W.	TOP OF WALL
CEM.	CEMENT	F.O.S.	FACE OF STUDS	PL.	PLATE	UNF.	UNFINISHED
CER.	CERRAMIC	FRF.	FIREPROOF	PLAM.	PLASTIC LAMINATE	U.D.M.	UNLESS OTHERWISE NOTED
CL.	CAST IRON	F.S.	FULL SIZE	PLAS.	PLASTER	UR.	URINAL
CLG.	CEILING	FT.	FOOT OR FEET	PLYM.	PLYWOOD	VERT.	VERTICAL
CLG.	CAULKING	FTG.	FOOTING	PR.	PAIR	VEST.	VESTIBULE
CLG.	CLOSET	FURR.	FURRING	PT.	POINT	W.	WEST
CLR.	CLEAR	FUT.	FUTURE	P.T.D.	PAPER TOWEL DISPENSER	W/.	WITH
CLC.	COLUMN	GAU.	GAUGE	P.T.D./R.	PAPER TOWEL/RECEPTACLE	W.C.	WATER CLOSET
CONC.	CONCRETE	GALV.	GALVANIZED	PTN.	PARTITION	WD.	WOOD
CONN.	CONNECTION	G.B.	GRAB BAR	Q.T.	QUARRY TILE	W/O	WITHOUT
CONSTR.	CONSTRUCTION	GL.	GLASS	R.	RISER	WP.	WATERPROOF
CONT.	CONTINUOUS	GRD.	GROUND	RAD.	RADIUS	WSC.	WAINSCOT
CORR.	CORRIDOR	GRD.	GRADE	R.D.	ROOF DRAIN	WT.	WEIGHT
CTSK.	COUNTERSUNK	GYP.	GYP/SUM	REF.	REFERENCE		
CNTR.	COUNTER	H.B.	HOSE BIB	REFR.	REFRIGERATOR		
DBL.	DOUBLE	H.C.	HOLLOW CORE	REIN.	REINFORCED		
DEPT.	DEPARTMENT	HDWD.	HARDWOOD	REQ.	REQUIRED		
D.F.	DRINKING FOUNTAIN	HW.	HARDWARE	RESIL.	RESILIENT		
DET.	DETAIL	H.M.	HOLLOW METAL	RM.	ROOM		
DIAM.	DIAMETER	HORIZ.	HORIZONTAL	R.O.	ROUGH OPENING		
DISP.	DISPENSER	HGT.	HEIGHT	RWD.	REDWOOD		
DN.	DOWN	I.D.	INSIDE DIAMETER(DIM.)	R.W.L.	RAIN WATER LEADER		
D.O.	DOOR OPENING	INSUL.	INSULATION	S.	SOUTH		
DR.	DOOR	INT.	INTERIOR	S.C.	SOLID CORE		
DWB.	DRAWER	JAN.	JANITOR	S.C.D.	SEAT COVER DISPENSER		
D.S.	DOWN SPOUT	JT.	JOINT	SCHED.	SCHEDULE		
D.S.P.	DRY STAND PIPE	KIT.	KITCHEN	S.D.	SOAP DISPENSER		
DWG.	DRAWING	LAB.	LABORATORY	SECT.	SECTION		
E.	EAST	LAM.	LAMINATE	SH.	SHOULDER		
EA.	EACH	LAV.	LAVATORY	SHR.	SHOWER		
		LKR.	LOCKER	SHT.	SHEET		
		LT.	LIGHT	SM.	SIMILAR		

SHEET INDEX

A-0 TITLE SHEET
A-C1 FLOOR AREA CALCULATIONS

CIVIL
C1 SURVEY PLAN

ARCHITECTURAL

D-1.0 DEMOLITION FLOOR PLAN AND ELEVATION
A-1.0 PROPOSED SITE PLAN & LANDSCAPE PLAN
A-2.1 PROPOSED FIRST FLOOR PLAN
A-2.2 PROPOSED SECOND FLOOR PLAN
A-3.1 PROPOSED ELEVATIONS
A-3.2 PROPOSED ELEVATIONS
A-4.0 PROPOSED ROOF PLAN
A-5.0 SECTIONS

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/ REQUIRED
LOT COVERAGE	2,858 SF. (27.3%)	2,916 SF. (%27.8)	3,143 SF. (30%)
FLOOR AREA	1ST FLR: 2,858 SF 2ND FLR: N/A TOTAL: 2,858 SF (27.3%)	1ST FLR: 2,891 SF. 2ND FLR: 742 SF. TOTAL: 3,633 (34.7)%	3,667 SF. (35%)
SET BACKS			
FRONT	25'-6"	25'-0"	25'-0"
REAR	31'-4 1/2"	31'-4 1/2"	25'-0"
RIGHT SIDE (1st/2nd)	10'-9"	10'-9" / 29'-9 1/2"	10'-0" / 17'-6"
LEFT SIDE (1st/2nd)	10'-0"	10'-0" / 21'-9"	10'-0" / 17'-6"
HEIGHT	14'-8"	22'-10"	27'-0"

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	2,308 SF.	800 SF.	3,108 SF.
NON-HABITABLE LIVING AREA	550 SF.	0 SF.	550 SF.

LOT CALCULATIONS

NET LOT AREA:	10,477 SF.
FRONT YARD HARDSCAPE AREA	532 SF. (22.5%)
LANDSCAPE BREAKDOWN	TOTAL HARDSCAPE AREA (EXISTING & PROPOSED): 2,858 SF. / 2,916 SF. EXISTING SOFTSCAPE (UNDISTURBED) AREA: 7,619 SF. NEW SOFTSCAPE AREA: 7,561 SF.

VICINITY MAP



DEFERRED SUBMITTAL

- CONTRACTOR TO INSTALL A NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT
- CONTRACTOR TO SUBMIT SHOP DRAWINGS AND A PERMIT APPLICATION TO THE LOS ALTOS FIRE DEPARTMENT FOR APPROVAL PRIOR CONSTRUCTION.

SYMBOLS

- ⊕ COLUMN/GRIDLINE
- ⊕ DETAIL REF. # SHEET REF. #
- ⊕ SECTION REF.

ENERGY CONSULTANT

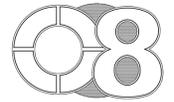
CARSTAIRS ENERGY CALCULATIONS
P.O. BOX 4736
SAN LUIS OBISPO, CA 93403
805-904-9048

CONSUL. CIVIL ENGINEERS

ROBERT WANG - RW ENGINEERING, INC.
505 ALTAMONT DRIVE.
MILPITAS, CA
408-262-1899

ENGINEERS CONSULTING STRUCTURAL

WESLEY LIU ENGINEERING
7246 SHARON DRIVE #0
SAN JOSE, CA 95129
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DESIGN BY: CN

PROJECT

REMODEL AND ADDITION

ARON'S RESIDENCE

444 ARBOLEDA DR.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

FLOOR AREA CALCULATIONS

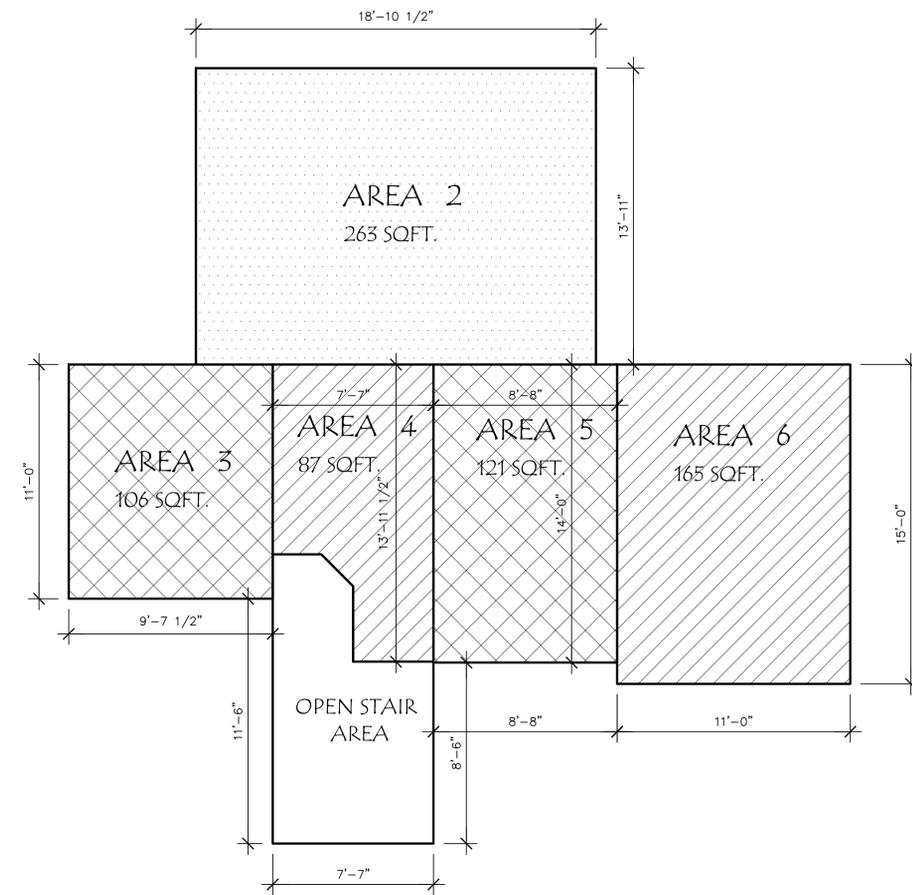
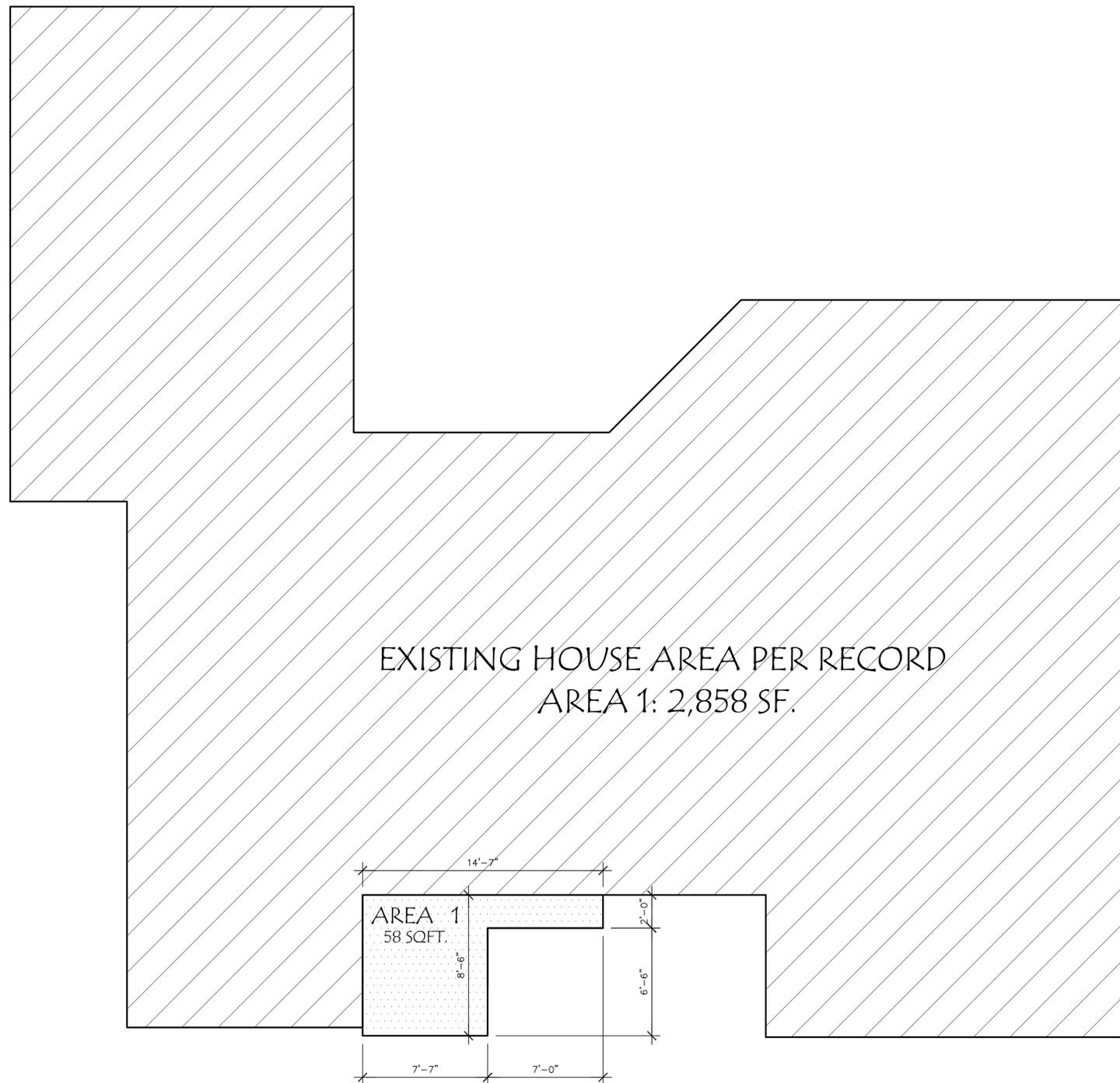
DATE 04-25-15

SCALE AS SHOWN

JOB 1510

SHEET

AC-1



FLOOR AREA CALCULATION		
FLOOR AREA NUMBER	DIMENSIONS AREA	AREA
1	SEE PLAN	78 SQFT.
2	18'-10 1/2"X13'-11"	263 SQFT.
3	9'-7 1/2"X11'-0"	106 SQFT.
4	SEE PLAN	87 SQFT.
5	8'-8"X14'-0"	121 SQFT.
6	11'-0"X15'-0"	165 SQFT.
TOTAL ADDITION AREA		
LOT AREA : 10,477 SQFT.		
TOTAL ALLOWABLE BUILDING AREA : 3,667 SQFT. (35%)		
TOTAL FLOOR EXISTING AREA : 2,813 SQFT		
GARAGE AREA : 448 SQFT.		
TOTAL ADDITION AREA: 820 SQFT.		
TOTAL FLOOR AREA : 2,813 SQFT + 820 SQFT = 3,633 SQFT.		
FAR: 3,633 / 10,477 = 0.347 (34.7%)		
TOTAL COVERAGE AREA: 2,891 + 25 = 2,916 SQFT.		
TOTAL COVERAGE RATIO: 2,916 / 10,477 = 0.278 (27.8%)		

NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THIS MAP SHALL NOT BE USED TO STAKE OUT CONSTRUCTION IMPROVEMENTS IN THE FIELD.
3. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
4. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
5. BOUNDARY LINES DELINEATED ON THIS MAP ARE BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA.
6. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
7. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
8. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
9. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
10. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

RW RW ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 505 ALTAMONT DRIVE
 MILPITAS, CA 95035
 (P) (408) 262-1899
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 rweengineering@gmail.com

SITE PLAN

MARCH 20, 2015
 CONSISTING OF ONE SHEET

SITE: 444 ARBOLEDA DRIVE
 LOS ALTOS, CA
 APN: 189-50-006
 PARCEL: LOT 35 TRACT 704
 AREA: 10,477 S.F.±

SITE BENCHMARK: 

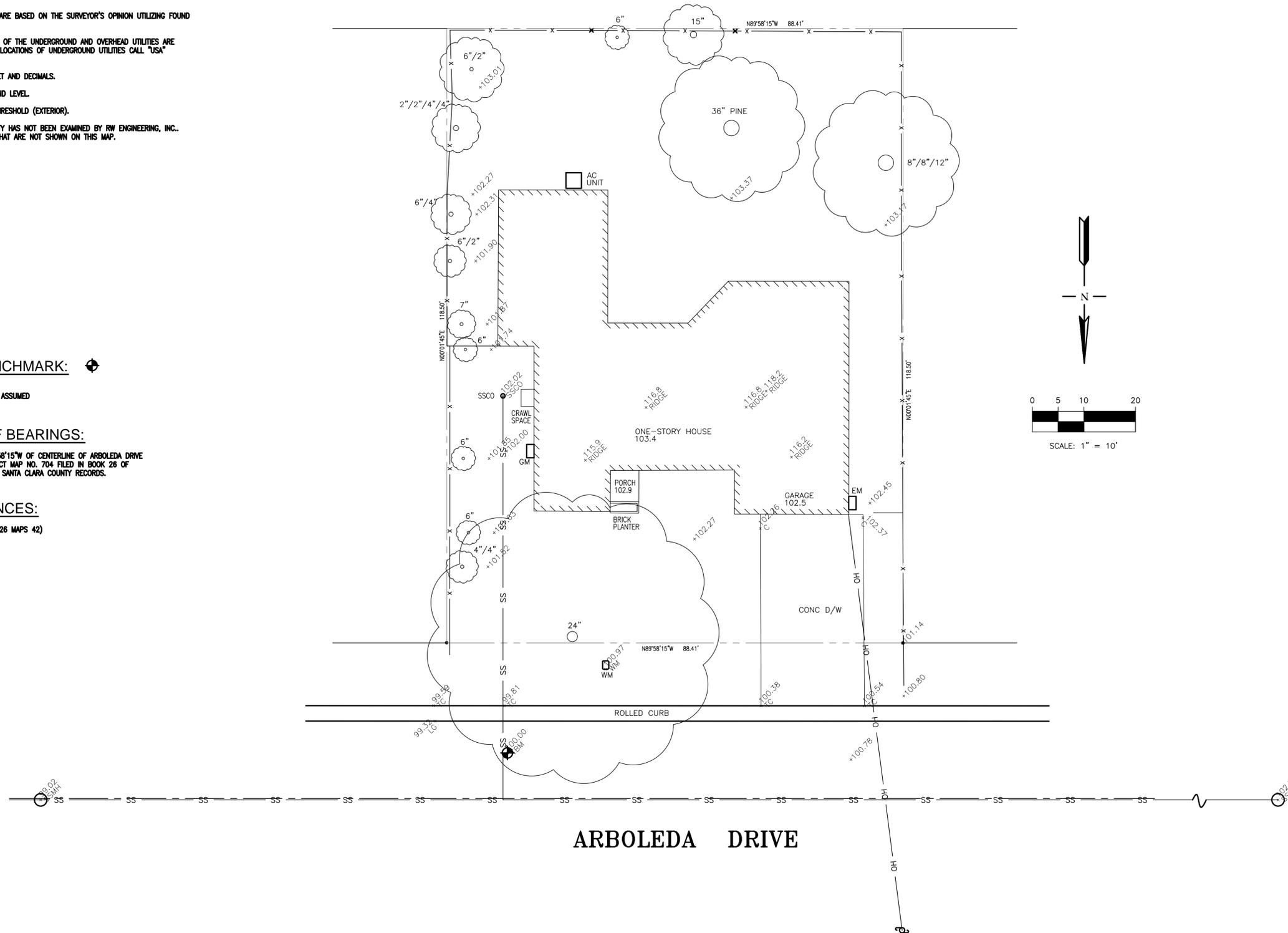
SET NAIL
 ELEVATION=100.00' ASSUMED

BASIS OF BEARINGS:

THE BEARING N89°58'15"W OF CENTERLINE OF ARBOLEDA DRIVE AS SHOWN ON TRACT MAP NO. 704 FILED IN BOOK 26 OF MAPS AT PAGE 42, SANTA CLARA COUNTY RECORDS.

REFERENCES:

R1 TRACT 704 (28 MAPS 42)



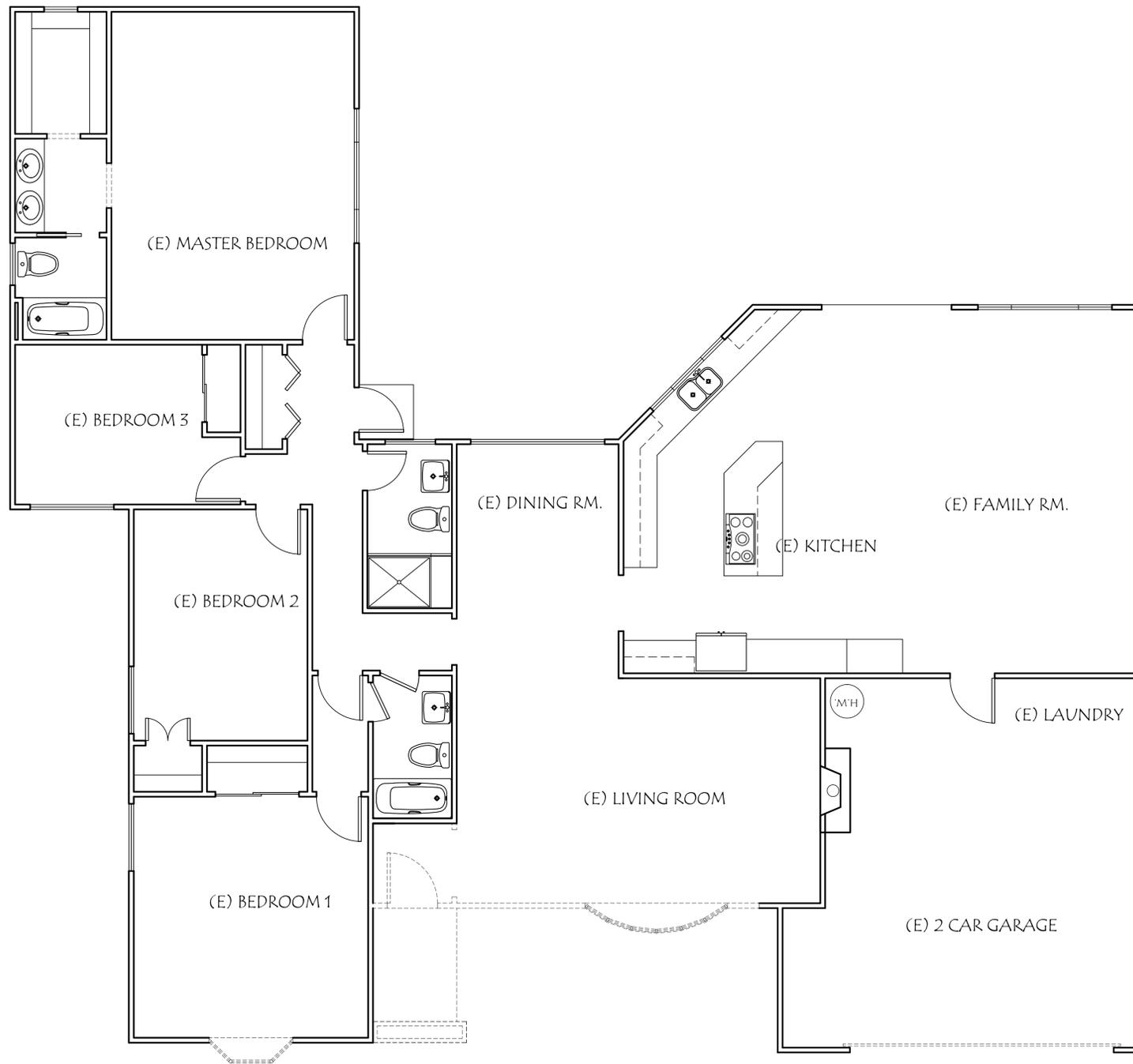
ABBREVIATION

AD	AREA DRAIN
A.E.	ANCHOR EASEMENT
AC	ASPHALT CONCRETE
BR	BRICK
C/G	CURB & GUTTER
C	CONCRETE
DI	DRAIN INLET
FF	FINISH FLOOR GRADE
FL	FLOWLINE
GM	GAS METER
LG	LIP OF GUTTER
MB	MAIL BOX
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.E.	PUBLIC SERVICE EASEMENT
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
S/W	SIDEWALK
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
W.C.E.	WIRE CLEARANCE EASEMENT
WM	WATER METER

LEGEND

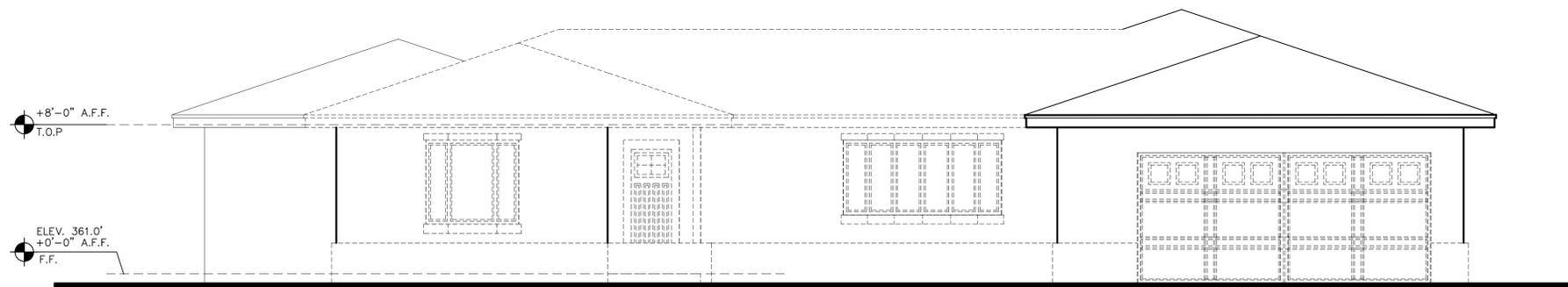
---	PROPERTY LINE
---	CENTERLINE
---	UTILITY LINE-TYPE AS NOTED
	STREET LIGHT
	UTILITY BOX-TYPE AS NOTED
	WATER/GAS METER
	WATER VALVE
	CURB CATCH BASIN
	FIRE HYDRANT
	MANHOLE-TYPE AS NOTED
	SANITARY SEWER CLEANOUT
	POWER POLE W/ OVERHEAD WIRE
	BENCHMARK
	CONTOUR LINE
	MONUMENT
	TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

C - 1



DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

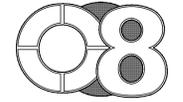


DEMOLITION FRONT ELEVATION

SCALE: 1/4" = 1'-0"

LEGEND

- WALLS AND ITEMS TO BE DEMOLISHED
- EXISTING WALLS



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SHEET CONTENTS

DEMOLITION
FLOOR PLAN
& ELEVATION

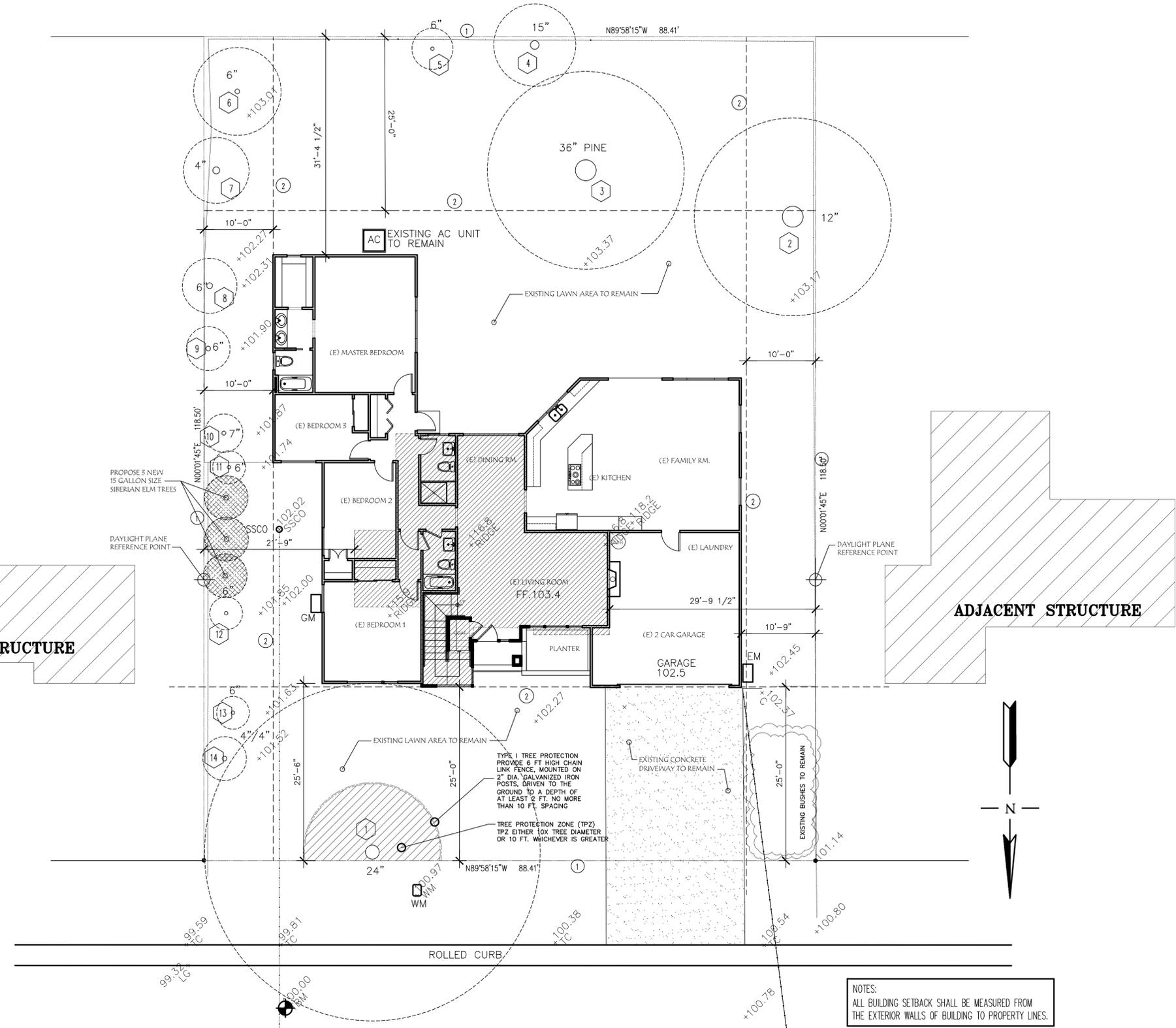
DATE 04-25-15

SCALE AS SHOWN

JOB 1510

SHEET

D-1.0



KEYNOTES

- | | |
|---------------------------|-------------------------|
| 1 PROPERTY LINE | 2 BUILDING SETBACK LINE |
| 3 PUBLIC UTILITY EASEMENT | 4 STREET TREE EASEMENT |
| 5 EASEMENT - | 6 STEPPING STONE |
| 7 ROOF LINE | |
-
- | | |
|--|----------------------|
| STRUCTURES/ MISCELLANEOUS ITEMS | (E=EXISTING, N=NEW) |
| 12 TERRACE | 13 DECK |
| 14 OPEN PORCH AREA | 15 CONDENSOR UNIT |
| 16 FENCE | 17 DOOR FENCE |
| 20 TREE | 19 PLANNER AREA |
| 21 GATE | 22 CONCRETE DRIVEWAY |
| 23 PATIO | |

TREE NOTES:

ALL TREES ON SITE SHALL BE REMAINED UNTOUCH. NO TREES WITH TREE TRUNK 4" OR GREATER TO BE REMOVED
 NO BACKFLOW PREVENTER REQUIRES FOR THIS PROJECT
 NO NEW LANDSCAPE PROPOSE FOR THIS PROJECT

TREE INVENTORY

ITEM	SIZE	DESCRIPTION	CONDITION	REMOVE
1	24"	MAPLE	FAIR	NO
2	12"	DOUGLAS FIR	FAIR	NO
3	36"	PINE	FAIR	NO
4	15"	SIBERIAN ELM	FAIR	NO
5	6"	TOBIRA	FAIR	NO
6	6"	SIBERIAN ELM	FAIR	NO
7	4"	ITALIAN BUCKTHOM	FAIR	NO
8	6"	ITALIAN BUCKTHOM	FAIR	NO
9	6"	TOBIRA	FAIR	NO
10	7"	SIBERIAN ELM	FAIR	NO
11	6"	ITALIAN BUCKTHOM	FAIR	NO
12	4"	ITALIAN BUCKTHOM	FAIR	NO
13	6"	ITALIAN BUCKTHOM	FAIR	NO
14	4"	SIBERIAN ELM	FAIR	NO

GENERAL NOTES

- NO GRADING AND DRAINAGE CHANGE FOR THIS PROJECT**
- FINISH FLOOR AT 103.4' TO REMAIN THE SAME**
- ALL EXTERIOR LANDING SHALL BE MAX. OF 7.75' IF DOOR OPEN TOWARD INSIDE AND MAX. OF 1" IF DOOR OPEN TOWARD LANDING.
- CONTRACTOR TO OBTAIN DEMOLITION PERMIT AND TREE REMOVAL PERMIT FROM PLANNING AND BUILDING DEPARTMENT PRIOR ANY CONSTRUCTION COMMENCEMENT.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - A. CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGE IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
 - B. WEATHER BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER.



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SITE PLAN

PROPOSED SITE PLAN

SIDEWALK, CURB & GUTTER:
 OWNER MUST REPLACE THOSE PORTIONS OF THE EXISTING SIDEWALKS, CURBS, GUTTERS OR DRIVEWAY APPROACHES IN THE PUBLIC RIGHT-OF-WAY ALONG THE FRONTAGE OF THE PROPERTY THAT ARE BROKEN, BADLY CRACKED, DISPLACED, OR NON-STANDARD, AND MUST REMOVE ANY UNPERMITTED PAVEMENT IN THE PLANTER STRIP. CONTACT PUBLIC WORKS' INSPECTOR TO ARRANGE A VISIT SO THE INSPECTOR CAN DETERMINE THE EXTENT OF REPLACEMENT WORK.
 ANY WORK IN THE RIGHT-OF-WAY MUST BE DONE PER PUBLIC WORKS' STANDARDS BY A LICENSED CONTRACTOR WHO MUST FIRST OBTAIN A STREET-WORK PERMIT FROM PUBLIC WORKS AT THE DEVELOPMENT CENTER.
 THE OWNER MAY BE REQUIRED TO REPLACE EXISTING AND OR ADD NEW STREET TREES IN THE PUBLIC RIGHT-OF-WAY ALONG THE PROPERTY'S FRONTAGE. CALL THE PUBLIC WORKS' ARBORIST TO ARRANGE A SITE VISIT SO HE/SHE CAN DETERMINE WHAT STREET TREE WORK, IF ANY, WILL BE REQUIRED FOR THIS PROJECT.

PUBLIC WORK NOTES

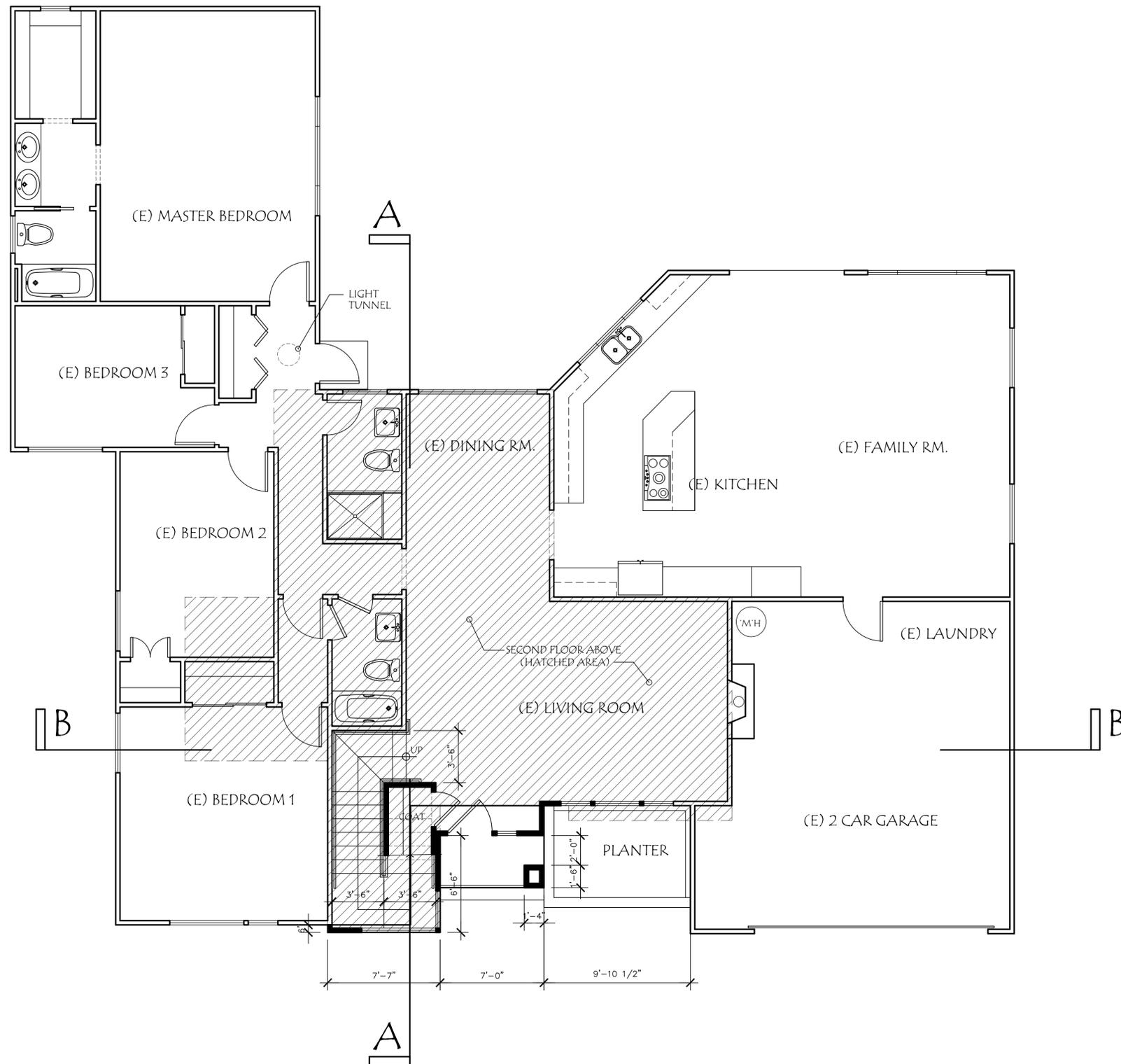
NOTES:
 ALL BUILDING SETBACK SHALL BE MEASURED FROM THE EXTERIOR WALLS OF BUILDING TO PROPERTY LINES.

SCALE: 1/8"=1'-0"

NOTES

DATE 04-25-15
 SCALE AS SHOWN
 JOB 1510
 SHEET

A-1.0



EXTERIOR LANDING NOTE:
 ALL EXTERIOR THRESHOLD HEIGHT AT ALL EXTERIOR DOORS. A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL. IF THE DOOR DOES NOT SWING OVER THE LANDING, MAXIMUM 1-1/2" IF DOOR SWING OVER THE LANDING.

FLOOR PLAN NOTES

- FIREPLACE NOTES:**
 MONESSEN GAS FIREPLACE OR EQUAL
 MODEL B0V600N / PV7
 FIREPLACE SHALL BE FACTORY-BUILT AND SHALL BE LISTED, LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH ITS LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- DRYER NOTES:**
 EXHAUST AIR VENT FOR DRYER TERMINATES TO THE OUTSIDE OF BUILDING MIN. 3 FEET FROM ANY OPENING.
- PLUMBING NOTES:**
 ALL WATER CLOSETS SHALL HAVE MAX 1.28 GPF
 SHOWER AND TUB/SHOWER WALLS SHALL BE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.
 PLUMBING VENTS TO BE MINIMUM 3 FEET ABOVE OR 10 FEET AWAY FROM ALL OPERABLE SKYLIGHTS.
 ALL PLUMBING FIXTURE AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1401.1 OF THE UPC.
- MECHANICAL NOTE:**
 DUCTS IN GARAGE PENETRATING THE WALLS AND CEILING AT SEPARATION WALL SHALL BE CONSTRUCTED OF A MIN NO. 26 GAGE STEEL SHEET
 VENTILATION FOR MECHANICAL CLOTHES DRYERS SHALL BE VENTED TO OUTSIDE
 VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE MERV 6 FILTERS OR BETTER.
 HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF CGSBC SECTION 4.507.2
 ALL DUCT AND OTHER REALTED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.
- ELECTRICAL NOTES:**
 ANNULAR SPACES AROUND PIPES, ELECTRIC CABLE, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS.
- RAIL AND GUARDRAIL NOTE:**
 OPEN GUARDS SHALL HAVE BALLUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 42 INCHES.
 PROVIDE MIN. OF 1/2" GYPBOARD UNDER STAIR CEILING

UNDERFLOOR VENT CALCULATION:

LIVING AREA:
 AREA TO BE VENTED: 1,482 SF.
 TOTAL AREA OF VENT REQUIRE: 9.8 SF.

TOTAL VENT REQUIRE:
 VENT TYPE: 8"x14" = .75 SF.
 9.8 / .75 = 13 VENTS

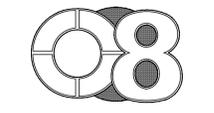
TOTAL VENT PROVIDE: 14 VENTS

NOTES: PROVIDE 1/4" WIRE MESH COVER EACH VENT

SEE ELEVATIONS SHEET A3.1 AND A3.2 FOR VENT LOCATIONS.

LEGEND

- 2X EXISTING WALLS
- 1 HR. FIRE RATED WALL
- SOUND INSULATED WALL
- NEW 2X4 STUD WALL
- NEW 2X6 STUD WALL
- TEMPERED GLASS
- SHUTOFF VALVE FOR GAS LOCATED OUTSIDE THE FIREBOX AND WITHIN 3 FT. OF THE APPLIANCE.
- EMERGENCY EGRESS WINDOW OR DOOR



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PROJECT

REMODEL AND ADDITION

ARON'S RESIDENCE

444 ARBOLEDA DR.
 LOS ALTOS, CALIFORNIA

SHEET CONTENTS

FLOOR PLANS

DATE 04-25-15
 SCALE AS SHOWN
 JOB 1510

SHEET

A-2.1

FLOOR PLAN NOTES

FIREPLACE NOTES:

MONESSEN GAS FIREPLACE OR EQUAL
 MODEL B0V600N / P17
 FIREPLACE SHALL BE FACTORY-BUILT AND SHALL BE LISTED, LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH ITS LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.

DRYER NOTES:

EXHAUST AIR VENT FOR DRYER TERMINATES TO THE OUTSIDE OF BUILDING MIN. 3 FEET FROM ANY OPENING.

PLUMBING NOTES:

ALL WATER CLOSETS SHALL HAVE MAX 1.28 GPF
 SHOWER AND TUB/SHOWER WALLS SHALL BE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH TUB COMPARTMENTS.

PLUMBING VENTS TO BE MINIMUM 3 FEET ABOVE OR 10 FEET AWAY FROM ALL OPERABLE SKYLIGHTS.

ALL PLUMBING FIXTURE AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1401.1 OF THE UPC.

MECHANICAL NOTE:

DUCTS IN GARAGE PENETRATING THE WALLS AND CEILING AT SEPARATION WALL SHALL BE CONSTRUCTED OF A MIN NO. 26 GAGE STEEL SHEET

VENTILATION FOR MECHANICAL CLOTHES DRYERS SHALL BE VENTED TO OUTSIDE

VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE MERV 6 FILTERS OR BETTER.

HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF CGESC SECTION 4.507.2

ALL DUCT AND OTHER REALTED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.

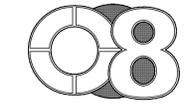
ELECTRICAL NOTES:

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RAIL AND GUARDRAIL NOTE:

OPEN GUARDS SHALL HAVE BALLUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 42 INCHES.

PROVIDE MIN. OF 1/2" GYPSBOARD UNDER STAIR CEILING



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PROJECT

REMODEL AND ADDITION

ARON'S
 RESIDENCE

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 LOS ALTOS, CALIFORNIA

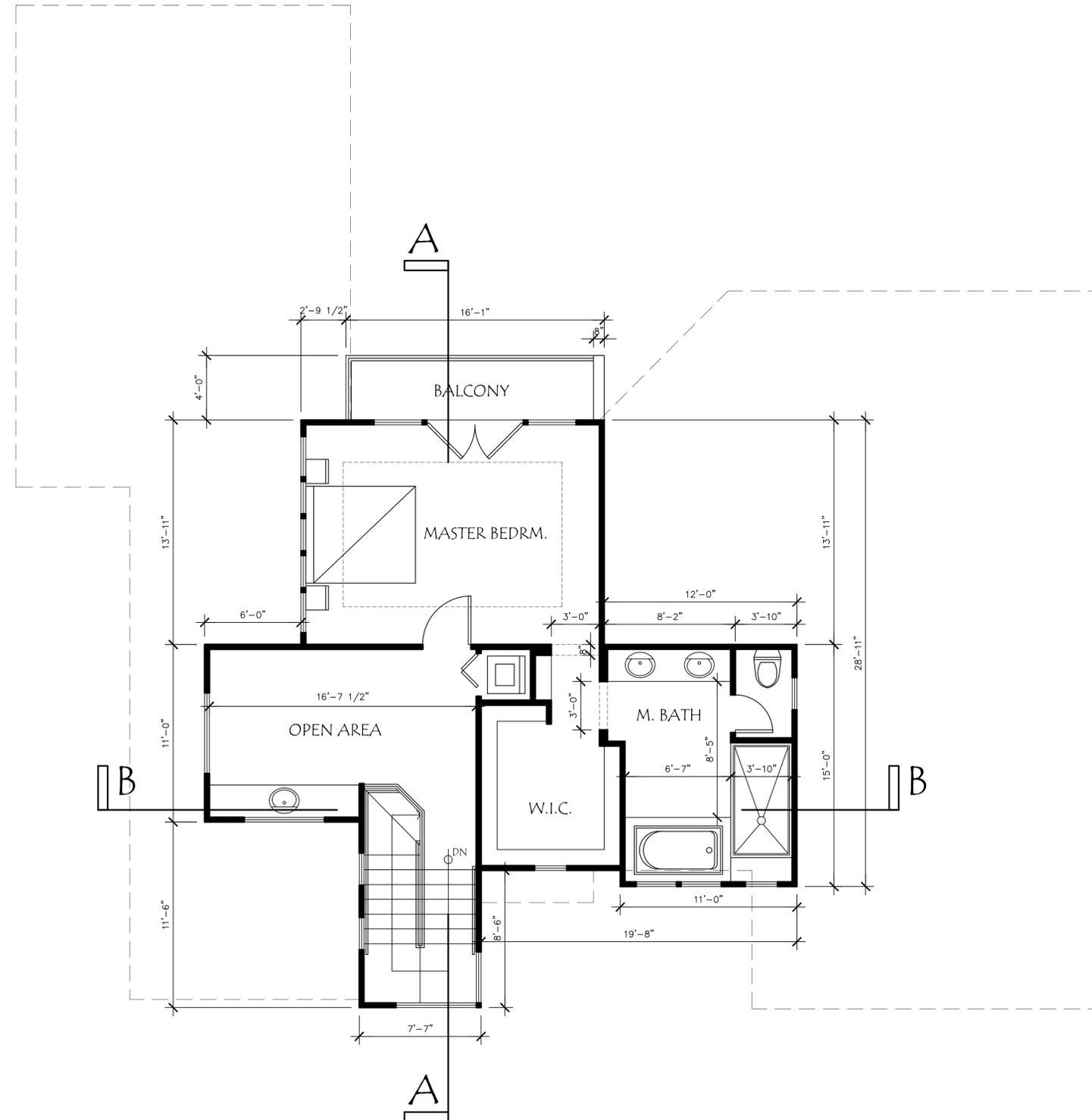
SHEET CONTENTS

SECOND
 FLOOR PLAN

DATE 04-25-15
 SCALE AS SHOWN
 JOB 1510

SHEET

A-2.2



UNDERFLOOR VENT CALCULATION:

LIVING AREA:
 AREA TO BE VENTED: 1,482 SF.
 TOTAL AREA OF VENT REQUIRE: 9.8 SF.

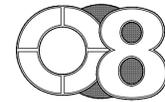
TOTAL VENT REQUIRE:
 VENT TYPE: 8"x14" = .75 SF.
 9.8 / .75 = 13 VENTS
 TOTAL VENT PROVIDE: 14 VENTS

NOTES: PROVIDE 1/4" WIRE MESH
 COVER EACH VENT

SEE ELEVATIONS SHEET A3.1 AND A3.2 FOR VENT LOCATIONS.

LEGEND

- 2X EXISTING WALLS
- 1 HR. FIRE RATED WALL
- SOUND INSULATED WALL
- NEW 2X4 STUD WALL
- NEW 2X6 STUD WALL
- TEMPERED GLASS
- SHUTOFF VALVE FOR GAS LOCATED OUTSIDE THE FIREBOX AND WITHIN 3 FT. OF THE APPLIANCE.
- EMERGENCY EGRESS WINDOW OR DOOR



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LOS ALTOS, CALIFORNIA

SHEET CONTENTS

ELEVATIONS

DATE 04-25-15

SCALE AS SHOWN

JOB 1510

SHEET

A-3.1

KEYNOTES

- ① ROOFING - ASPHALT SHINGLE - MATCH EXISTING
- ② DOOR
- ③ WINDOW
- ④ STUCCO FINISH
- ⑤ CULTURE STONE VENEER
- ⑥ METAL RAILING, SEE DETAIL 1
- ⑦ WOOD BRACKET - PAINTED, SEE DETAIL 2
- ⑧ UNDER FLOOR VENT
- ⑨ SMOOTH PREFINISH FOAM WINDOW TRIMS, SEE DETAIL 3 AND 4
- ⑩ WOOD TRIM
- ⑪ EXTERIOR LIGHT
- ⑫ CONCRETE STEPS
- ⑬ CHIMNEY
- ⑭ HOUSE ADDRESS
- ⑮ WOOD FENCE STAINED FINISH
- ⑯ FROSTED GLASS WINDOW
- ⑰ CULTURED STONE CAP
- ⑱ STAINED WOOD GARAGE DOOR
- ⑳ GALVANIZE METAL CHIMNEY CAP, PAINTED

MATERIAL NOTES

MANUFACTURE: STANDING SEAM METAL ROOFING
COLOR: OLD ZINC GRAY

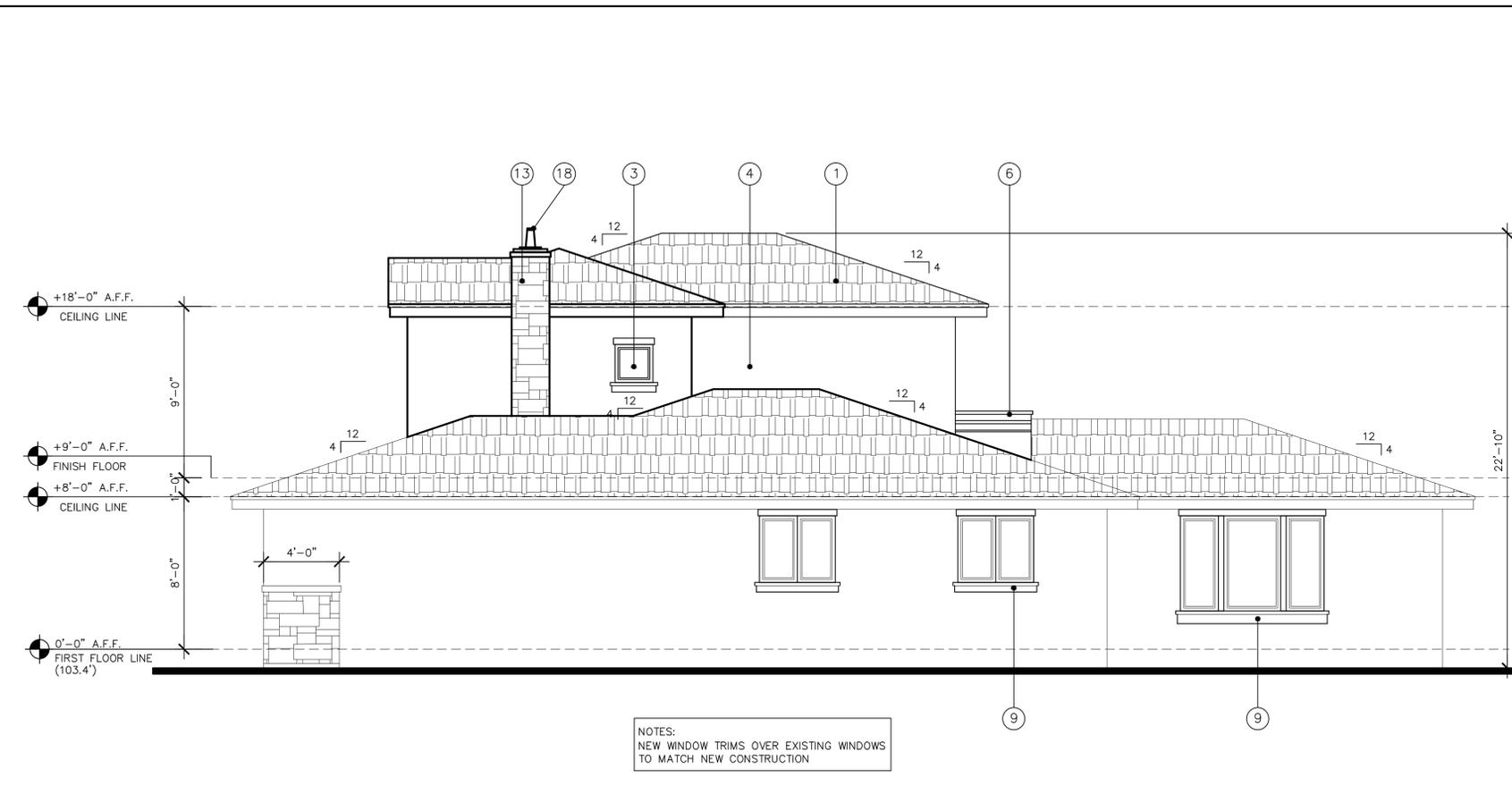
ROOFING:
WINDOWS AND DOORS:
MANUFACTURE: EAGLE WINDOWS BY ANDERSON
TYPE: WHITE COLOR

WINDOW TRIM/SILL:
MANUFACTURE: PER CONTRACTOR
TYPE: SMOOTH FINISH WOOD TRIM



NOTES:
NEW WINDOW TRIMS OVER EXISTING WINDOWS
TO MATCH NEW CONSTRUCTION

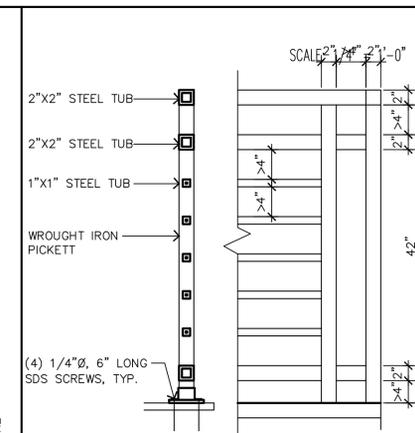
FRONT ELEVATION



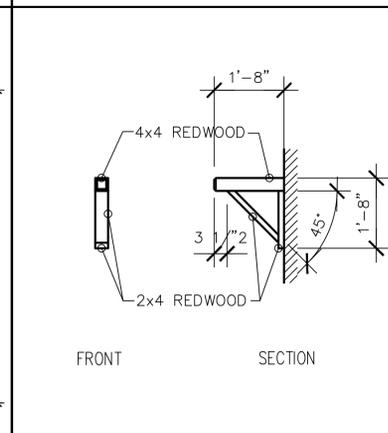
NOTES:
NEW WINDOW TRIMS OVER EXISTING WINDOWS
TO MATCH NEW CONSTRUCTION

RIGHT ELEVATION

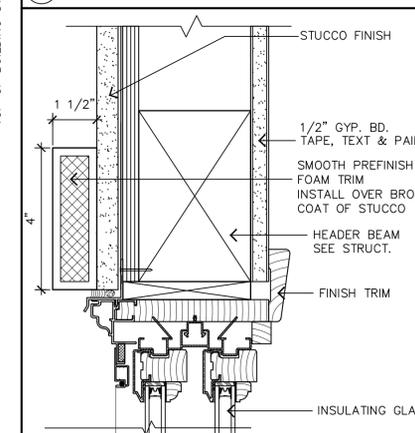
SCALE: 1/4" = 1'-0"



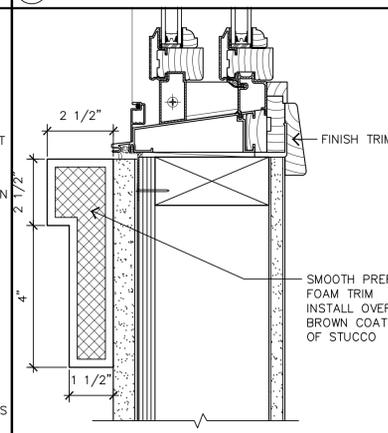
① RAILING DETAIL



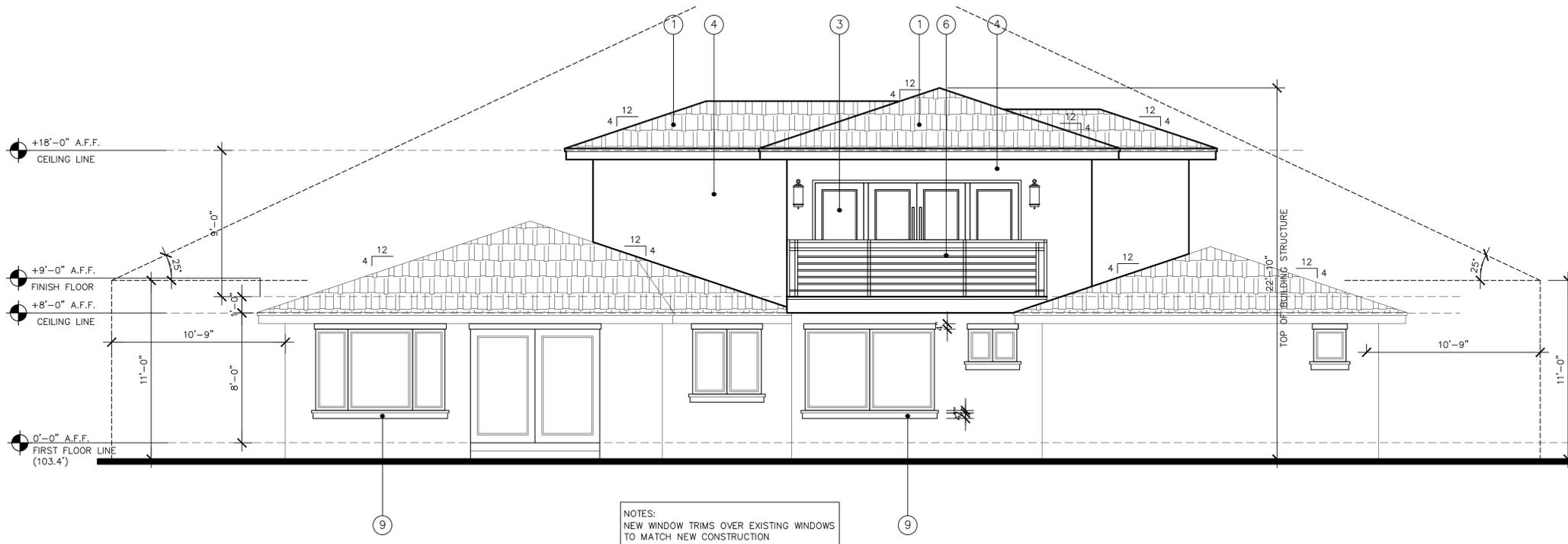
② WOOD BRACKET DETAIL



③ WINDOW TRIM - HEADER



④ WINDOW TRIM - SILL



REAR ELEVATION

SCALE: 1/4" = 1'-0"

KEYNOTES

- ① ROOFING - ASPHALT SHINGLE - MATCH EXISTING
- ② DOOR
- ③ WINDOW
- ④ STUCCO FINISH
- ⑤ CULTURE STONE VENEER
- ⑥ METAL RAILING, SEE DETAIL 1
- ⑦ WOOD BRACKET - PAINTED, SEE DETAIL 2
- ⑧ UNDER FLOOR VENT
- ⑨ SMOOTH PREFINISH FOAM WINDOW TRIMS, SEE DETAIL 3 AND 4
- ⑩ WOOD TRIM
- ⑪ EXTERIOR LIGHT
- ⑫ CONCRETE STEPS
- ⑬ CHIMNEY
- ⑭ HOUSE ADDRESS
- ⑮ WOOD FENCE STAINED FINISH
- ⑯ FROSTED GLASS WINDOW
- ⑰ CULTURED STONE CAP
- ⑱ STAINED WOOD GARAGE DOOR
- ⑲ GALVANIZE METAL CHIMNEY CAP, PAINTED



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PROJECT

REMODEL AND ADDITION

ARON'S RESIDENCE

444 ARBOLEDA DR.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

ELEVATIONS

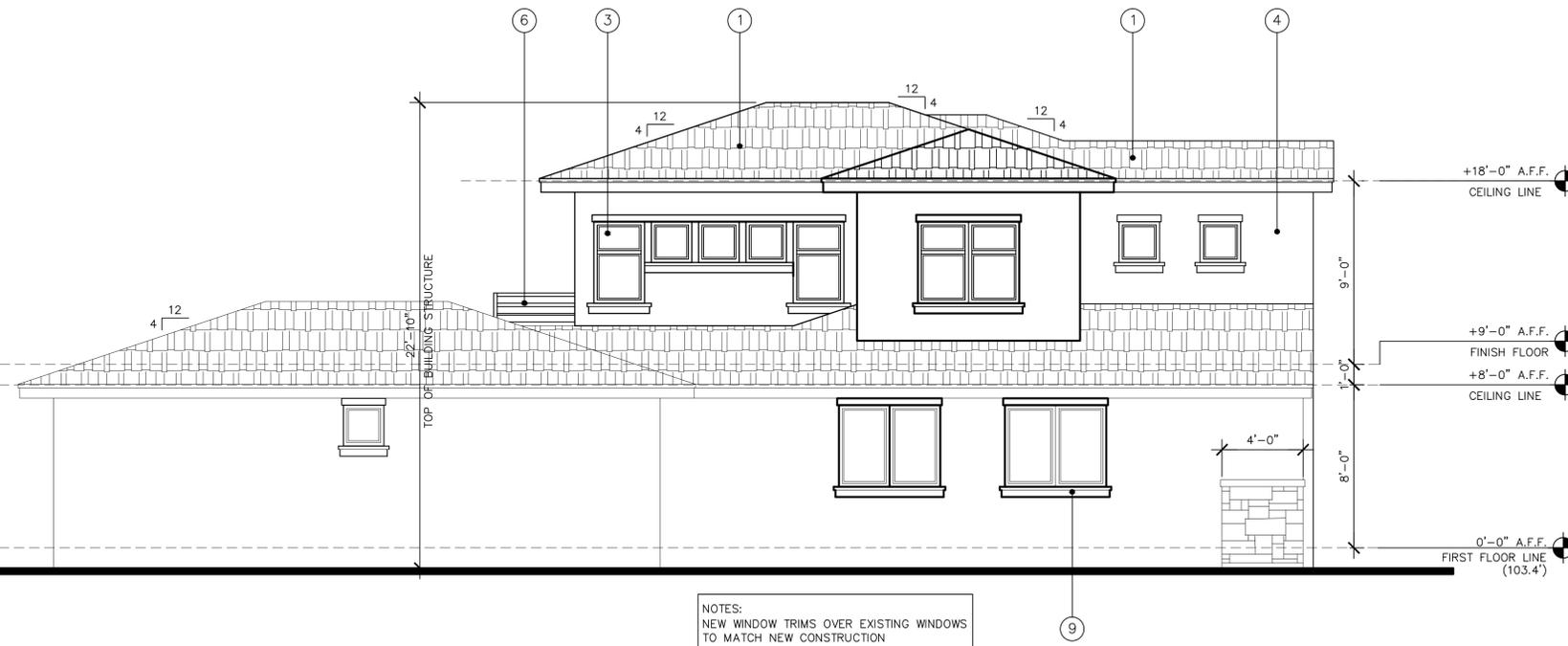
DATE 04-25-15

SCALE AS SHOWN

JOB 1510

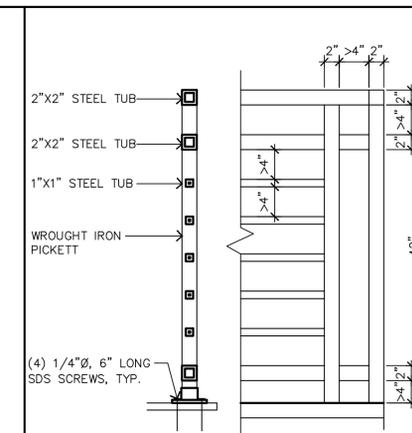
SHEET

A-3.2

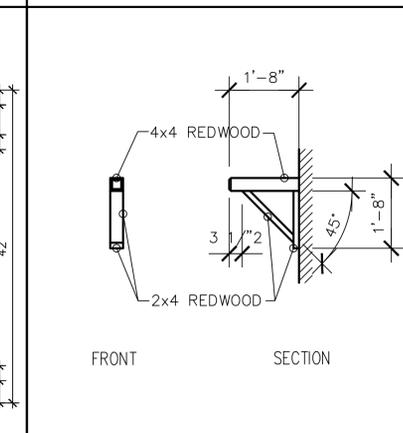


LEFT ELEVATION

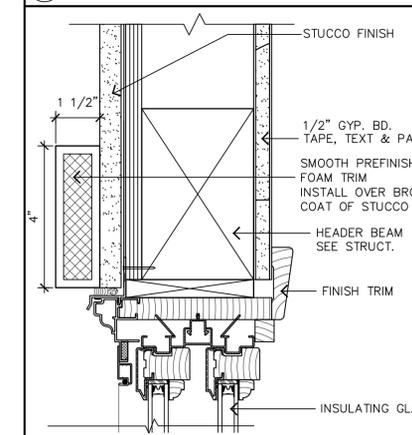
SCALE: 1/4" = 1'-0"



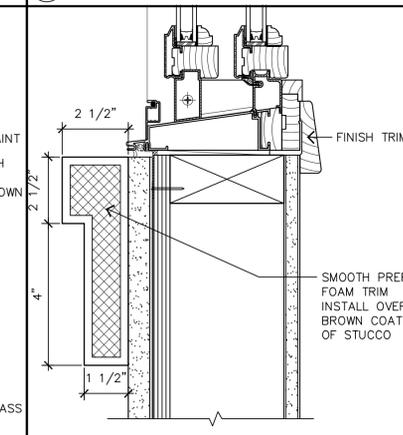
① RAILING DETAIL



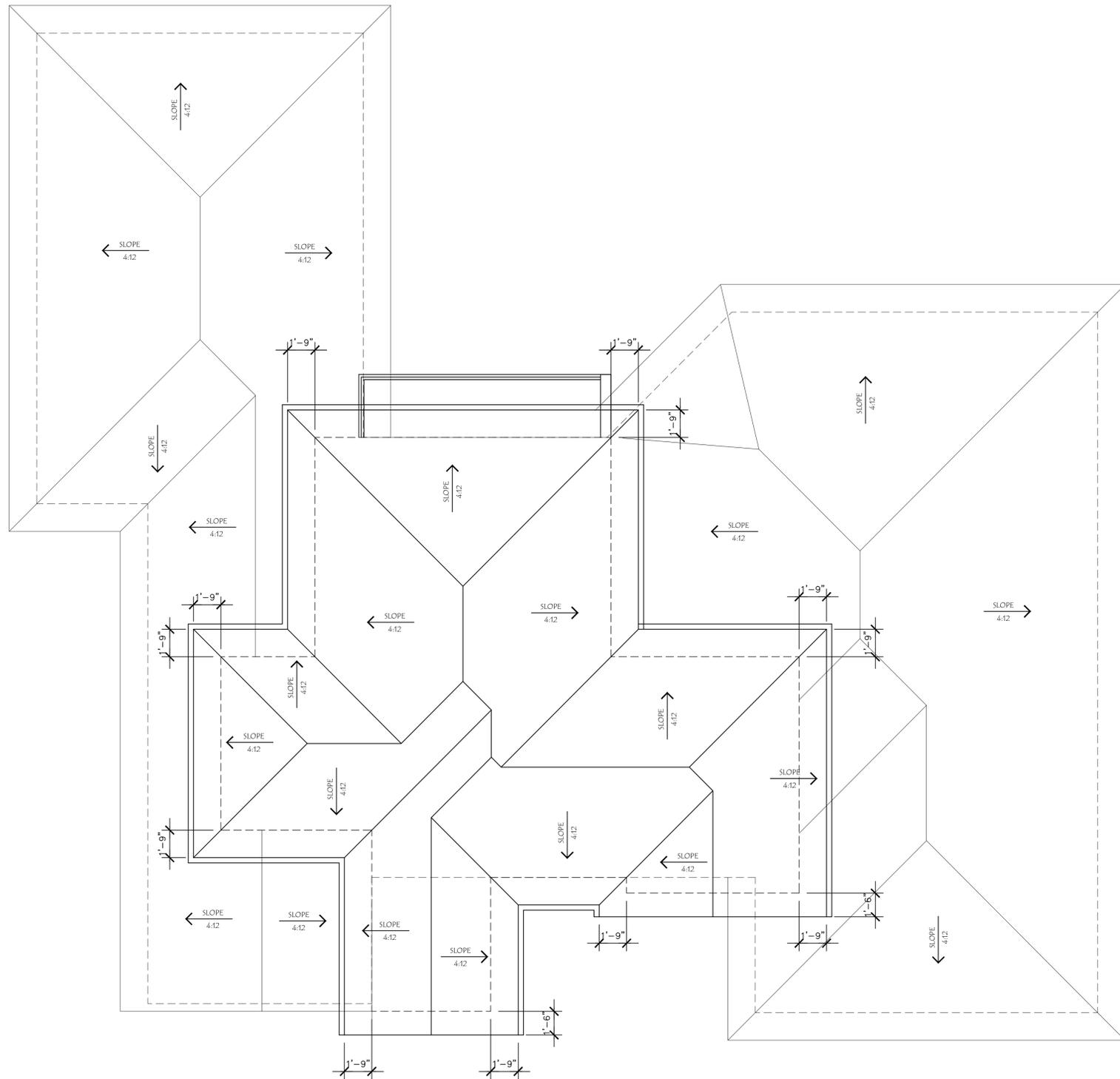
② WOOD BRACKET DETAIL



③ WINDOW TRIM - HEADER



④ WINDOW TRIM - SILL



ATTIC VENT CALCULATION

ATTIC SPACE	ATTIC AREA	$\times \frac{1}{150} =$ REQ'D. FREE VENT	ATTIC VENT VENT=2 SF.	ATTIC VENT VENT=1.25 SF.	24X9 ATTIC EYEBROW VENT AREA= .75 SF.	1" HOLE VENT 3 @ EA. BLKG 1-1/2" DIA. = .0123 SF.
(A)	1,290 S.F.	8.6 S.F.	2 = 4 S.F.	2 = 2.5 S.F.	4 = 3 S.F.	180 = 2.2 SF
(B)	437 S.F.	2.9 S.F.			4 = 3 S.F.	120 = 1.45 SF

SUMMARY:
 AREA A: AREA VENT PROVIDE: 4 + 2.5 + 3 + 2.2 = 11.7 SF. > 8.6 SF.
 AREA B: AREA VENT PROVIDE: 3 + 1.45 = 4.45 SF. > 2.9 SF.

ROOF PLAN NOTES

- | BUILDING ROOF ITEMS | | (E=EXISTING, N=NEW) |
|--|---|---------------------------|
| (1) FLOOR LINE | (11) SILL/ RAIL LINE | (21) DOWN SPOUT |
| (2) FASCIA | (12) RIDGE LINE | (22) DRAIN |
| (3) GUTTER | (13) ROOF EDGE/ FASCIA | (23) DECKING |
| (4) BUILDING LINE BELOW | (14) VALLEY LINE | (24) PURLINS |
| (5) HIP LINE | (15) ATTIC VENT | (25) ACCESS LADDER |
| (6) CRICKET | (16) CHIMNEY | (26) MECHANICAL EQUIPMENT |
| (7) FLAT ROOF AREA - 1/2" PER FT. GAL. MIL. FLASHING | (17) RIDGE VENT | (27) DECK COATING |
| (8) WOOD TRELLIS | (18) SMART STRIP VENT (FOR VAULTED CEILING) | (28) LATTICE PANEL |
| (9) 2'X2' SKYLIGHT | (19) EXPOSED WOOD RAFTERS | (29) EXPOSED BEAMS |
| (10) 2'X4' SKYLIGHT | | (30) DORMER |

NOTES

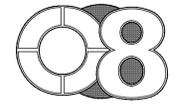
MANUFACTURE: SKYLINE METAL ROOFING
 TYPE: STANDING SEAM
 INSTALLATION PER MANUFACTURE RECOMMEDATIONS.
 WEIGHT: 3 PSF

ATTIC ACCESS: ON SECOND FLOOR HALLWAY

ROOF VENT: GALVANIZE ROOF VENT

GUTTER AND DOWN SPOUT: GALVANIZE GUTTER AND DOWN SPOUT, PAINTED FINISH

PLUMBING NOTE :PLUMBING VENTS TO BE MINIMUM 3 FEET ABOVE OR 10 FEET AWAY FROM ALL OPERABLE SKYLIGHTS



DESIGN STUDIO

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PROJECT

REMODEL AND ADDITION

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444 ARBOLEDA DR.
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SHEET CONTENTS

ROOF PLAN

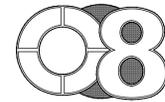
DATE 04-25-15

SCALE AS SHOWN

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SHEET

A-4.0



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SHEET CONTENTS

SECTIONS

DATE 04-25-15

SCALE AS SHOWN

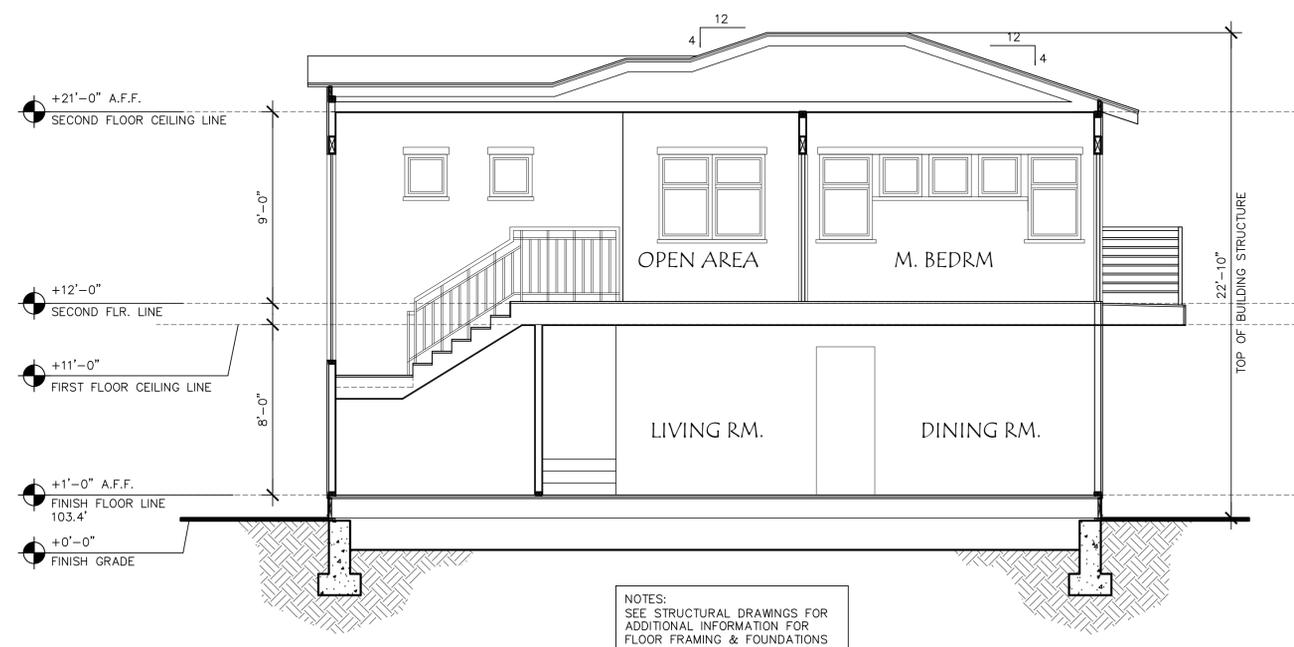
JOB 1510

SHEET

A-5.0

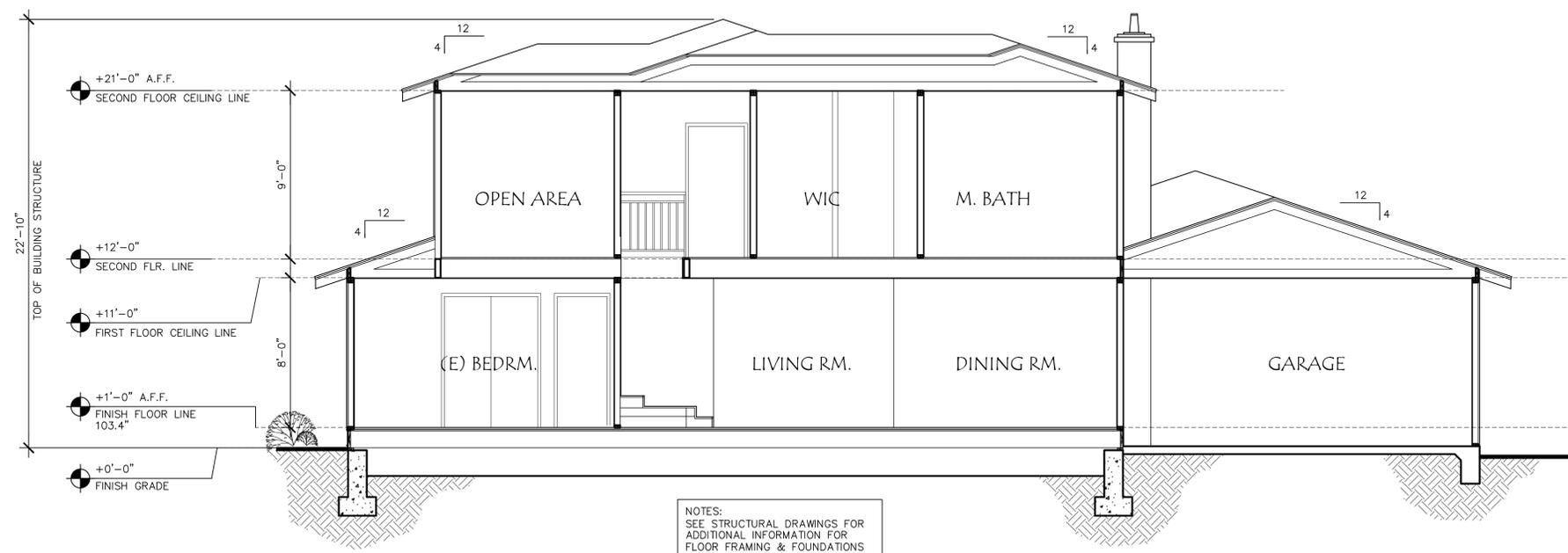
SECTION NOTES

- A. GUARDRAIL TO BE MINIMUM 42" HIGH
- B. INTERMEDIATE RAILING AT GUARDS TO BE SPACED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH



SECTION A-A

SCALE: 1/4" = 1'-0"



SECTION B-B

SCALE: 1/4" = 1'-0"

NOTES