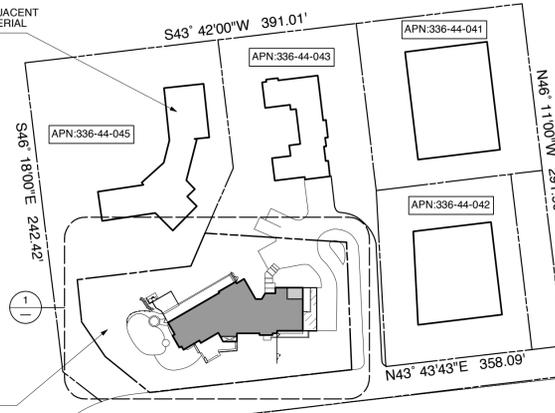
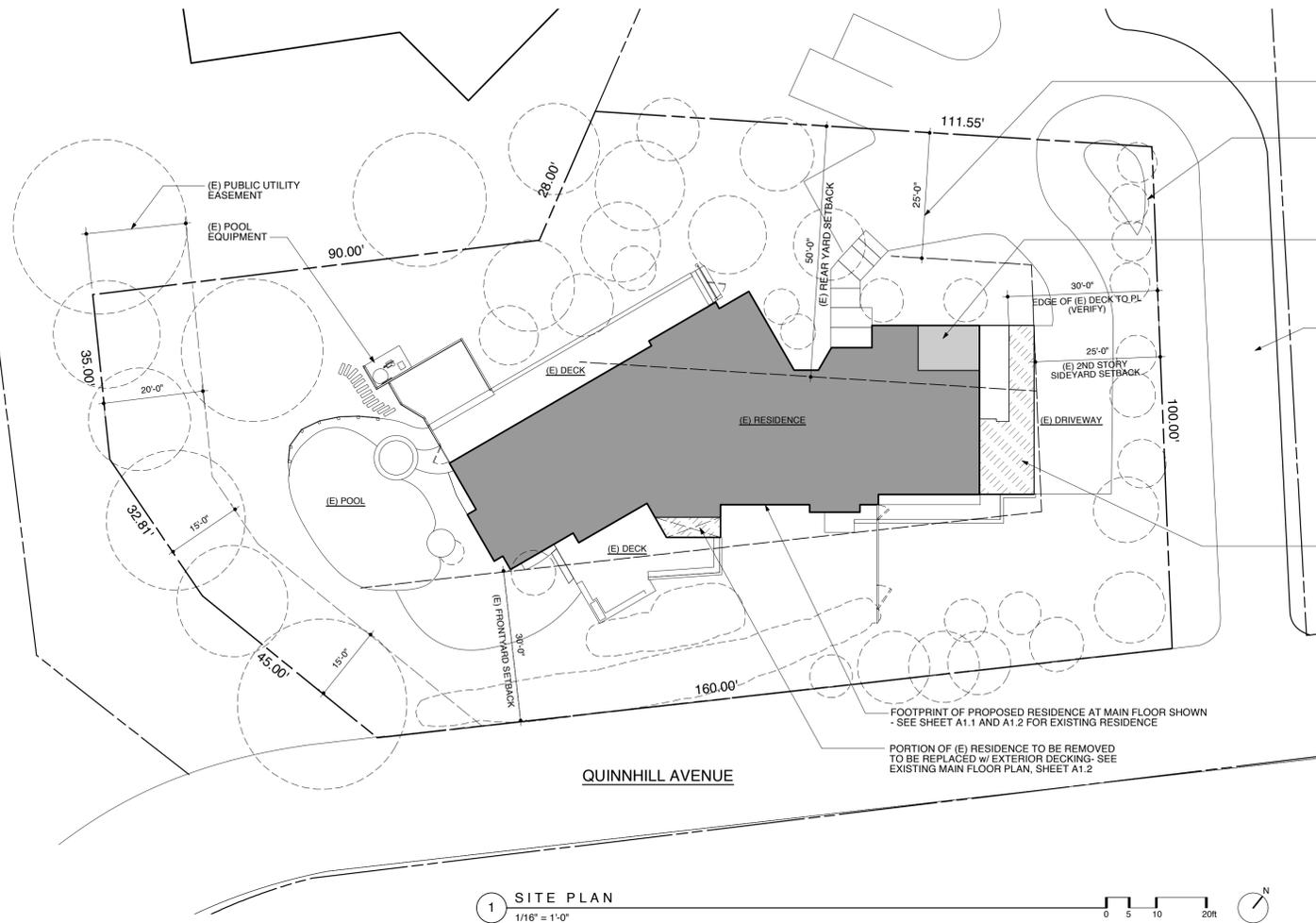


OUTLINE OF BUILDINGS ON ADJACENT LOTS APPROXIMATED FROM AERIAL PHOTOGRAPHS

PROJECT SITE



3 ADJACENT PROPERTY PLAN  
N.T.S.



1 SITE PLAN  
1/16" = 1'-0"

(E) REAR YARD SETBACK FOR DECKS

(E) TREES TO REMAIN, TYP.

OUTLINE OF RESIDENCE AT LOWER FLOOR PLAN - SEE SHEET A2.1

(E) PRIVATE DRIVE

HATCH INDICATES PROPOSED DECK ADDITION - SEE MAIN FLOOR PLAN, SHEET A2.2

**SITE NOTES:**

1. SITE PROPERTY LINES TAKEN FROM ASSESSOR'S PROPERTY MAP INFORMATION. GENERAL CONTRACTOR TO REVIEW EXISTING SITE CONDITIONS AND INFORM ARCHITECT OF ANY MAJOR DISCREPANCIES.
2. EXISTING POOL, POOL EQUIPMENT, DECK AND VEGETATION INFORMATION APPROXIMATED FROM AERIAL PHOTOGRAPH AS WELL AS PHOTOGRAPHS TAKEN BY THE ARCHITECT. VERIFY LOCATION OF EXISTING CONDITIONS AS NECESSARY. NO EXISTING LANDSCAPE OR HARDSCAPE TO BE REMOVED, U.O.N.
3. EXISTING TREES TO REMAIN. APPROXIMATE TREE CANOPY LOCATIONS TAKEN FROM AERIAL PHOTOGRAPH. LOCATION, SIZE AND TYPE OF ALL EXISTING TREES TO BE VERIFIED, AS NECESSARY.
4. PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAN AND FREE OF DEBRIS FOR THE DURATION OF THE PROJECT. GENERAL CONTRACTOR RESPONSIBLE FOR DAILY SWEEPING DAILY.
5. GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF SHUTDOWN AND REMOVAL OF (E) UTILITIES w/ COUNTY OF SANTA CLARA AND ANY ASSOCIATED AGENCIES AS REQUIRED.
6. GENERAL CONTRACTOR RESPONSIBLE FOR PUBLIC AND SITE SAFETY AT ALL TIMES.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING OR OTHER PERMITS AS MAY BE REQUIRED BY LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.
8. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.
9. ALL WORK SHOWN IS TO BE CONSTRUCTED OF NEW MATERIAL U.O.N. INSTALLATION AND/OR MAINTENANCE DIRECTIONS PROVIDED BY THE MANUFACTURER SHALL BE FOLLOWED FOR ALL MATERIALS U.O.N.
10. ALL ITEMS MARKED (E) ARE EXISTING AND (N) ARE NEW.
11. ALL WALLS AND CEILINGS SHALL BE 5/8" GYPSUM WALL BOARD (GWB) UNLESS OTHERWISE NOTED. AT WALLS SEPARATING GARAGE FROM HOUSE AND ENCLOSED USABLE SPACE BENEATH STAIRS SHALL BE ONE-HOUR FIRE RESISTANT 5/8" TYPE 'X' GWB. AT WET AREAS SHALL BE WATER RESISTANT GWB (GREEN BOARD).
12. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES.
13. ALL KNOWN UNDERGROUND CONDITIONS HAVE BEEN SHOWN, THE CONTRACTOR SHOULD EXERCISE CAUTION WHEN EXCAVATING TO AVOID DAMAGE TO (E) UNDERGROUND PIPE, CONDUITS, ETC., WHICH ARE TO REMAIN.

**GENERAL NOTES:**

1. ALL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE. CONTRACTOR SHALL COMPLY WITH ANY OTHER STANDARD OR CODE IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS.
2. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS SHALL BE FOLLOWED. LARGE SCALE DRAWINGS OR DETAILS TAKE PRECEDENCE OVER SMALL SCALE ONES. SPECIFIC NOTES AND DETAILS TAKE PRECEDENCE OVER TYPICAL NOTES AND DETAILS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
3. BEFORE STARTING ANY PORTION OF WORK, THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE AND BE KNOWLEDGABLE OF CONDITIONS THEREIN. ALL EXISTING CONDITIONS THAT HAVE BEARING ON HIS WORK. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS, DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CORRECTING ANY WORK THAT WAS KNOWINGLY COMMENCED WITHOUT FIRST NOTIFYING THE ARCHITECT AND THE OWNER. THEY SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITION REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK.
4. CONTRACTOR SHALL COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, STRUCTURAL AND ARCHITECTURAL WORK. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH WORK. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES.
5. CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS REQUIRED BY COUNTY. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY TEMPORARY BRACING TO INSURE THE SAFETY OF THE WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR CUTTING, FITTING AND PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT TOGETHER PROPERLY.

**PROJECT DATA:**

LOCATION: 305 QUINHILL AVENUE  
LOS ALTOS, CALIFORNIA 94024

OWNER: JAMES AND HEIDI BURKE  
305 QUINHILL AVENUE  
LOS ALTOS, CALIFORNIA 94024

APN: 336-44-044

JURISDICTION: COUNTY OF SANTA CLARA

ZONING DISTRICT: RH-1

OCCUPANCY GROUP: R-3

LOT AREA: 20,460.9 SQ FT

ALLOWABLE LOT COVERAGE: 30% OF 20,460.9 = 6,138.3 SQ FT  
(PER MUNIC CODE 14.06.060B)

**BUILDING CODES:**

2013 CALIFORNIA BUILDING CODE, 2013 CALIFORNIA RESIDENTIAL CODE  
2013 CALIFORNIA ELECTRICAL CODE, 2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA PLUMBING CODE, 2013 CALIFORNIA ENERGY CODE  
2013 CALIFORNIA HISTORICAL BUILDING CODE, 2013 CALIFORNIA FIRE CODE  
2013 CALIFORNIA EXISTING BUILDING CODE, 2013 CALIFORNIA GREEN BUILDING STANDARDS  
2013 CALIFORNIA REFERENCED STANDARDS CODE  
WITH 2013 PORTOLA VALLEY MUNICIPAL CODE AMENDMENTS

**AREA CALCULATION (FROM OUTSIDE FACE OF FRAMING (APPROXIMATE))**

	EXISTING	PROPOSED	TOTAL	REMODEL
GARAGE (3-CAR)	742.2 SQ FT	-9.2 SQ FT	733 SQ FT	—
CRAWL SPACE / MECHANICAL	2,028.4 SQ FT	—	2,028.4 SQ FT	—
BASEMENT	526.0 SQ FT	+9.2 SQ FT	535.2 SQ FT	34.2 SQ FT
MAIN FLOOR	2,856.1 SQ FT	-46.4 SQ FT	2,809.7 SQ FT	1,126.0 SQ FT
<b>TOTAL</b>	<b>6,152.7 SQ FT</b>	<b>-46.4 SQ FT</b>	<b>6,106.3 SQ FT</b>	<b>1,160.2 SQ FT</b>
<b>TOTAL (E) HABITABLE AREA</b>			<b>3,382.1 SQ FT</b>	
<b>TOTAL HABITABLE AREA (REVISED)</b>			<b>3,344.9 SQ FT</b>	

**PROJECT DESCRIPTION**

PARTIAL INTERIOR REMODEL TO AN EXISTING 2-STORY SINGLE FAMILY RESIDENCE WITH 3-CAR GARAGE. PROJECT SCOPE INCLUDES A 247.2 SQ FT DECK ADDITION TO AN EXISTING 223.3 SQ FT NORTHEAST FACING DECK, REMOVAL OF 46.4 SQ FT AT THE MAIN FLOOR, REMOVAL OF AS WELL AS REMOVAL OF THE EXISTING FIREPLACE AND CHIMNEY, NEW OVERHEAD GARAGE DOORS AND EXTERIOR DOORS AND WINDOWS TO REPLACE EXISTING. INTERIOR REMODEL OF EXISTING KITCHEN, LIVING ROOM AND MASTER BEDROOM / BATHROOM ARE A PART OF PROJECT SCOPE. NO NEW GRADING OR ADDITION TO THE EXISTING BUILDING FOOTPRINT IS PROPOSED.

**SHEET INDEX**

**ARCHITECTURAL**

- A0.1 PROJECT DATA, SITE PLAN, SITE NOTES GENERAL NOTES, VICINITY MAP
- A1.1 EXISTING BASEMENT / GARAGE PLAN
- A1.2 EXISTING MAIN FLOOR PLAN
- A1.3 EXISTING EXTERIOR ELEVATIONS
- A1.4 EXISTING EXTERIOR ELEVATIONS
- A2.1 PROPOSED MAIN FLOOR PLAN
- A2.2 PROPOSED BASEMENT / GARAGE PLAN
- A3.1 PROPOSED EXTERIOR ELEVATIONS
- A3.2 PROPOSED EXTERIOR ELEVATIONS
- A4.1 ARCHITECTURAL DETAILS, PROPOSED CROSS SECTIONS - DECK EXTENSION
- A4.2 ARCHITECTURAL DETAILS - INTERIOR STAIR
- A5.1 DOOR SCHEDULE, WINDOW SCHEDULE, SKYLIGHT SCHEDULE

- EM-1 MAIN FLOOR ELECTRICAL / MECHANICAL PLAN, NOTES
- EM-2 LOWER FLOOR ELECTRICAL / MECHANICAL PLAN, ELECTRICAL / MECHANICAL NOTES

- T24.1 ENERGY CALCULATIONS
- T24.2 MANDATORY MEASURES

**STRUCTURAL**

- S01 STRUCTURAL SPECIFICATIONS
- S02 TYPICAL SHEAR WALL DETAILS
- S03 TYPICAL DETAILS
- S04 FOUNDATION PLAN
- S05 MAIN FLOOR PLAN
- S06 UPPER FLOOR SHEAR WALLS
- S07 ROOF PLAN

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T. 707.237.6957  
e. mario@nrgcompliance.com

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GENERAL CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES WITH EXISTING CONDITIONS AND PROJECT DOCUMENTS PRIOR TO COMMENCING WORK.



CLIENT APPROVAL SIGNATURE:

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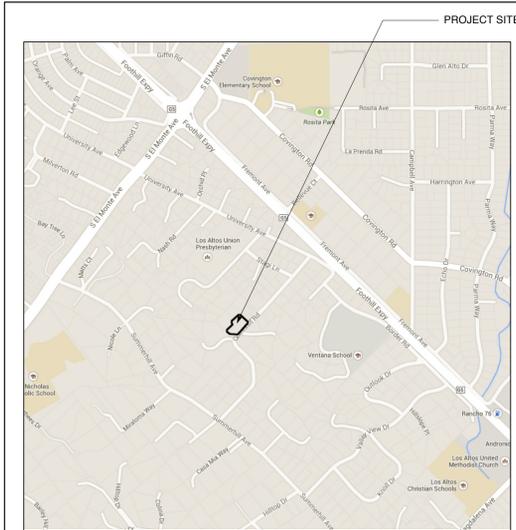
APN: 336-44-044  
PROJECT NUMBER: W-09

DRAWING:  
PROJECT DATA, SITE PLAN,  
GENERAL NOTES, VICINITY MAP

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**A0.1**

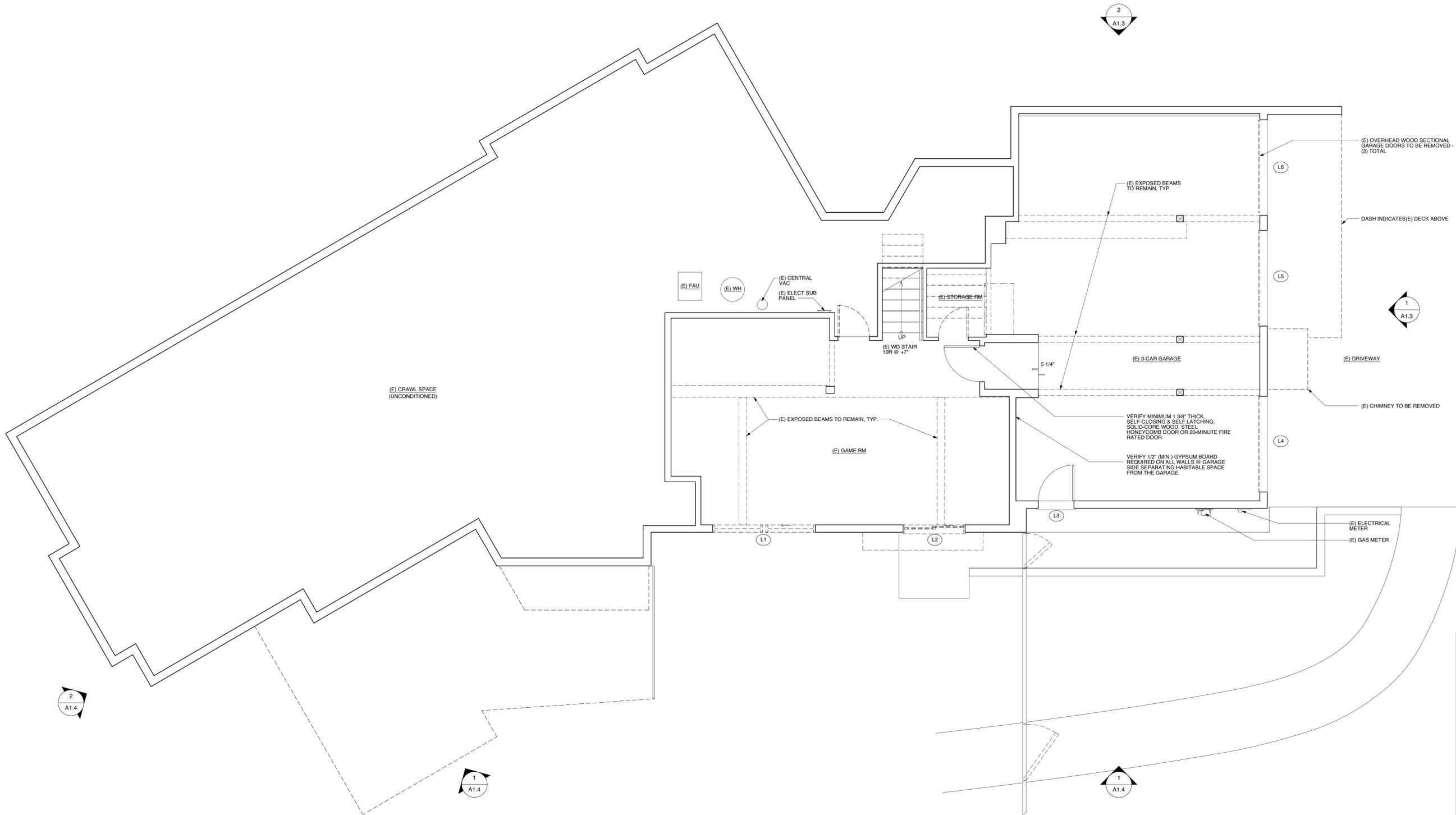


3 VICINITY MAP  
N.T.S.

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- ACTUAL ELEVATION HEIGHTS OF ADJACENT GRADES AND FINISH FLOORS TO BE VERIFIED, TYP.



**1 EXISTING LOWER FLOOR / GARAGE PLAN**  
1/4" = 1'-0"

--- (E) CONSTRUCTION - TO BE REMOVED  
 ——— (E) CONSTRUCTION - TO REMAIN



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 APN: 336-44-044  
 PROJECT NUMBER: W-09

DRAWING:  
 EXISTING LOWER FLOOR / GARAGE PLAN

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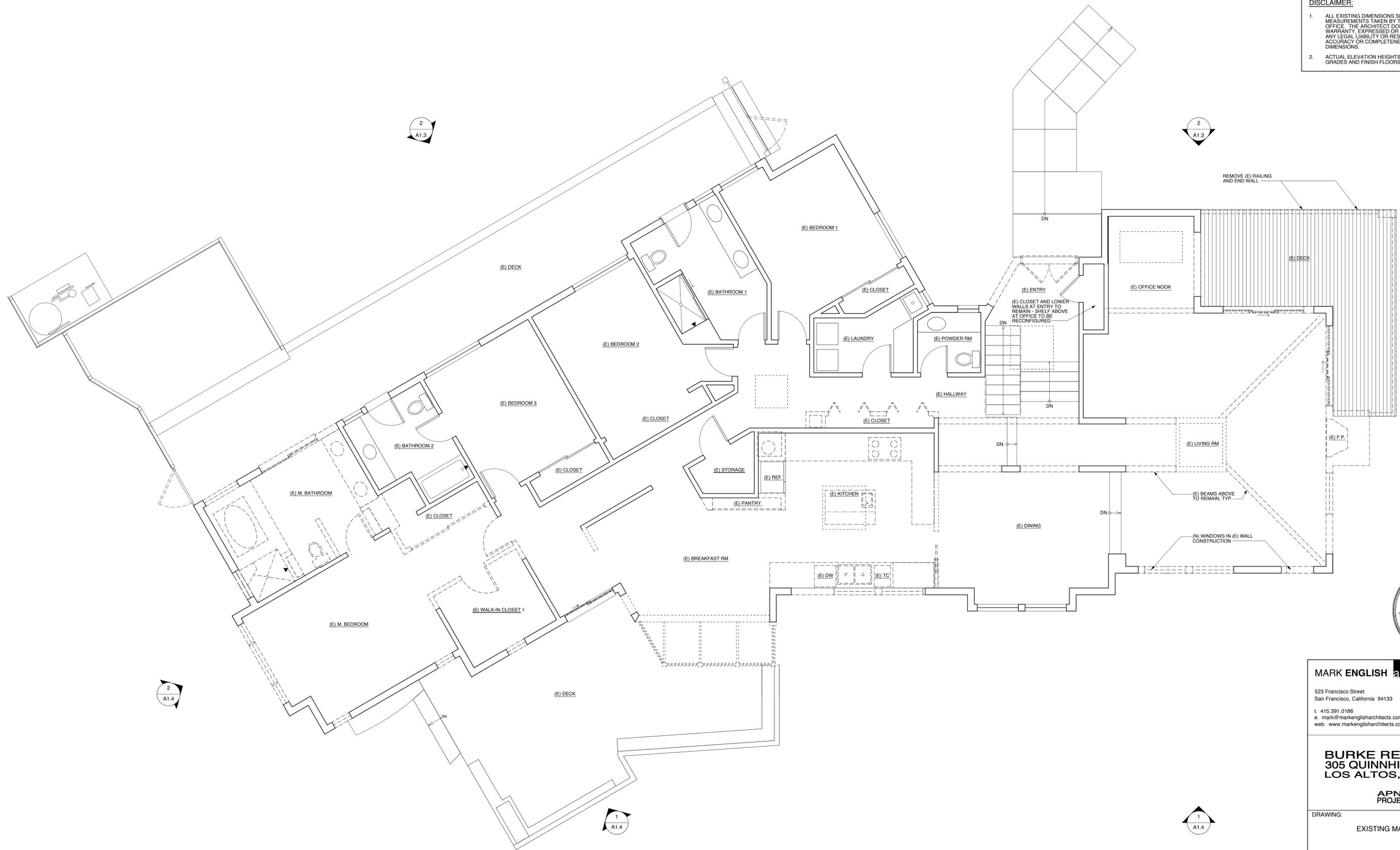
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DRAWING:  
 EXISTING MAIN FLOOR

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**A1.2**

**NOTE:**  
 SEE SITE PLAN SHEET A0.1, FOR ADDITIONAL SITE INFORMATION.

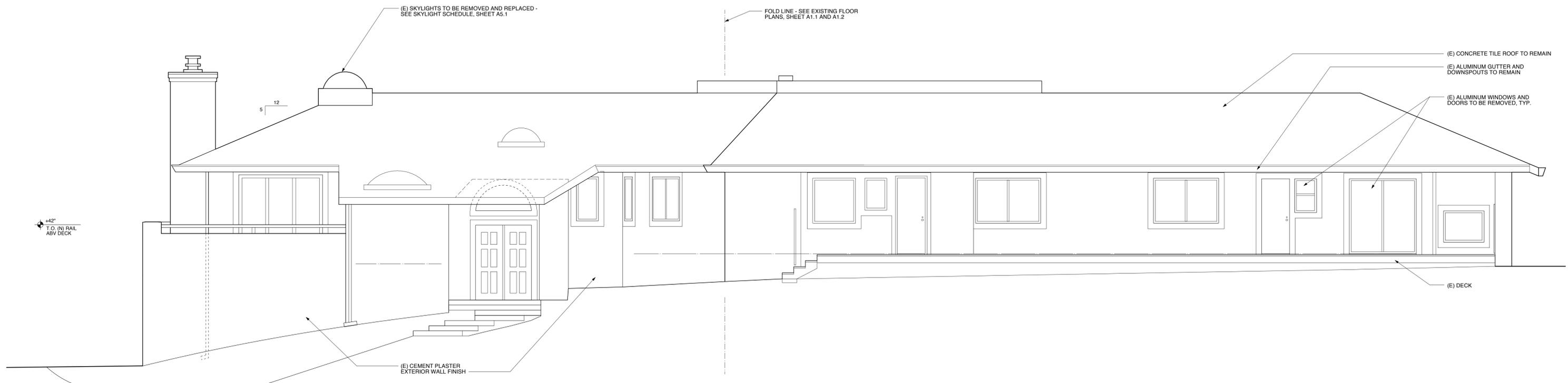
**1 EXISTING MAIN PLAN**  
 1/4" = 1'-0"

- (E) CONSTRUCTION - TO BE REMOVED
- (E) CONSTRUCTION - TO REMAIN

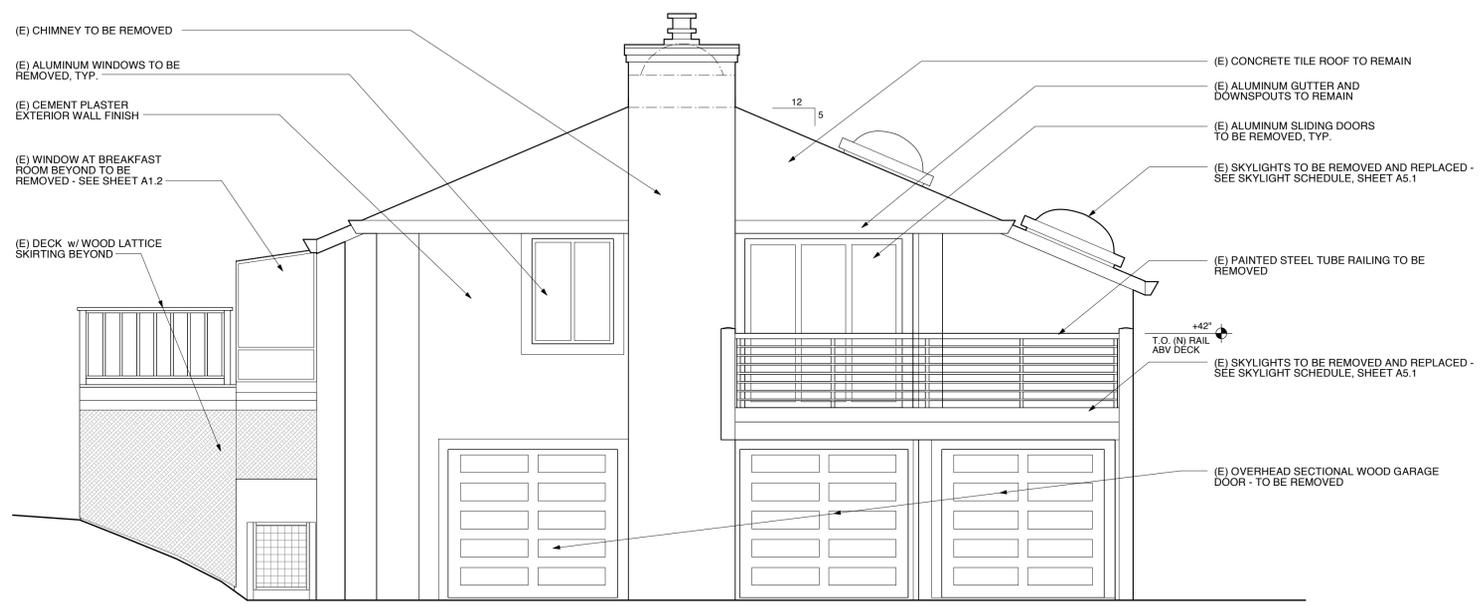


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2. ACTUAL ELEVATION HEIGHTS OF ADJACENT GRADES AND FINISH FLOORS TO BE VERIFIED, TYP.



2 EXISTING PARTIAL SOUTHEAST ELEVATION  
1/4" = 1'-0"



1 EXISTING NORTHEAST ELEVATION  
1/4" = 1'-0"



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DRAWING:  
 EXISTING EXTERIOR ELEVATIONS

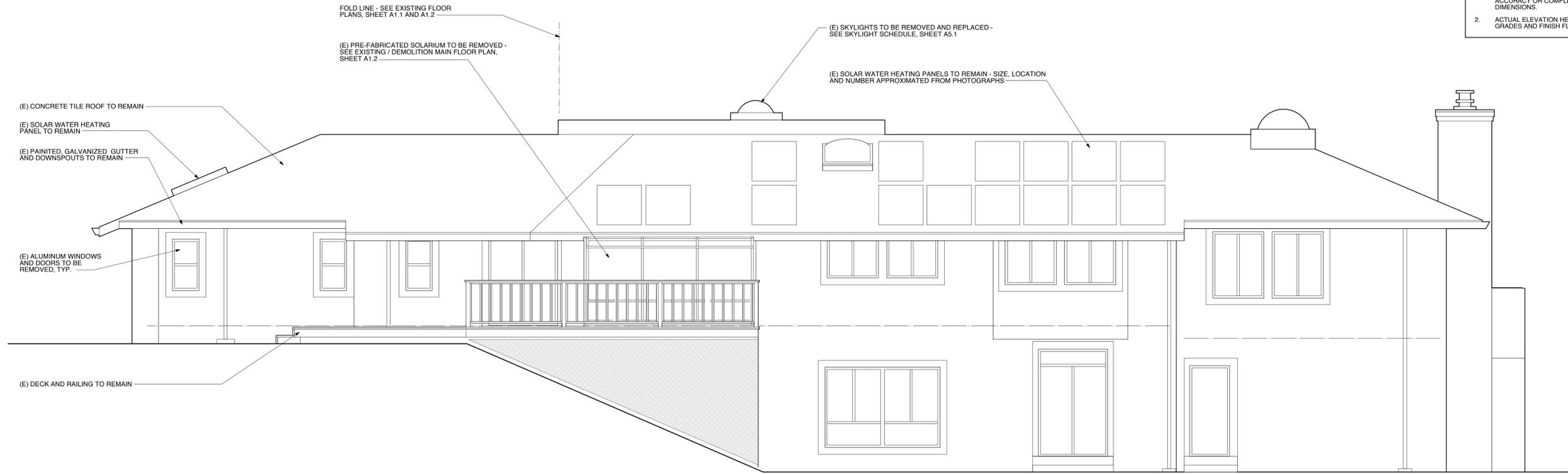
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**A1.3**

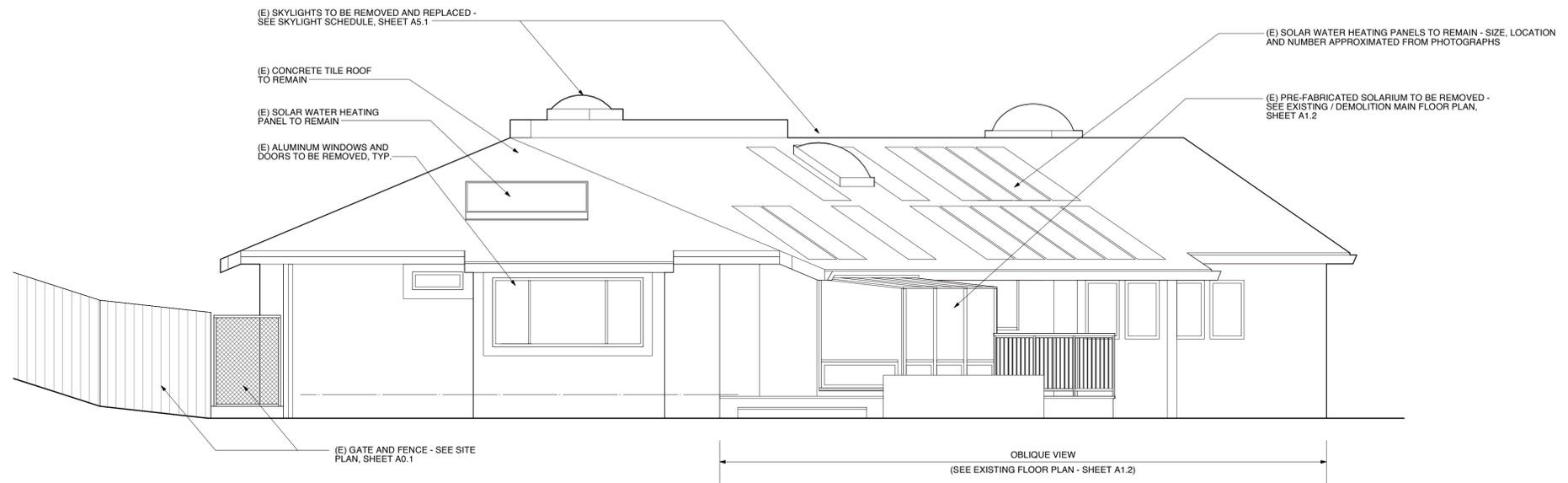
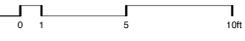
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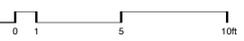


+42"  
T.O. IN RAIL  
ABV DECK

1 EXISTING NORTHWEST ELEVATION  
1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION  
1/4" = 1'-0"



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PROJECT NUMBER: W-09

DRAWING:  
EXISTING EXTERIOR ELEVATIONS

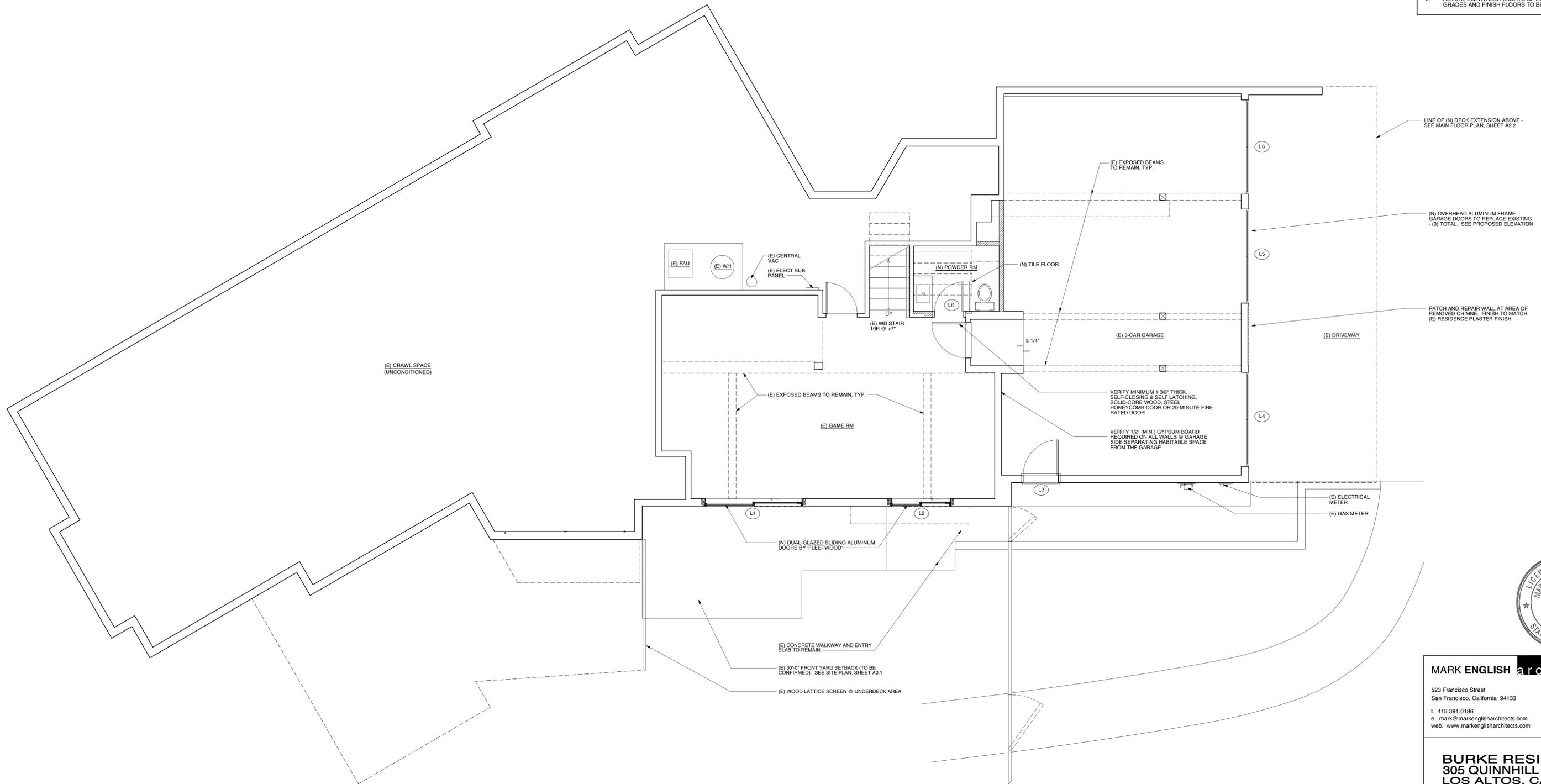
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**A1.4**

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**1 PROPOSED LOWER FLOOR / GARAGE PLAN**  
 1/4" = 1'-0"  
 (E) WALL CONSTRUCTION TO REMAIN  
 (N) WALL CONSTRUCTION



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DRAWING:  
 PROPOSED BASEMENT FLOOR PLAN

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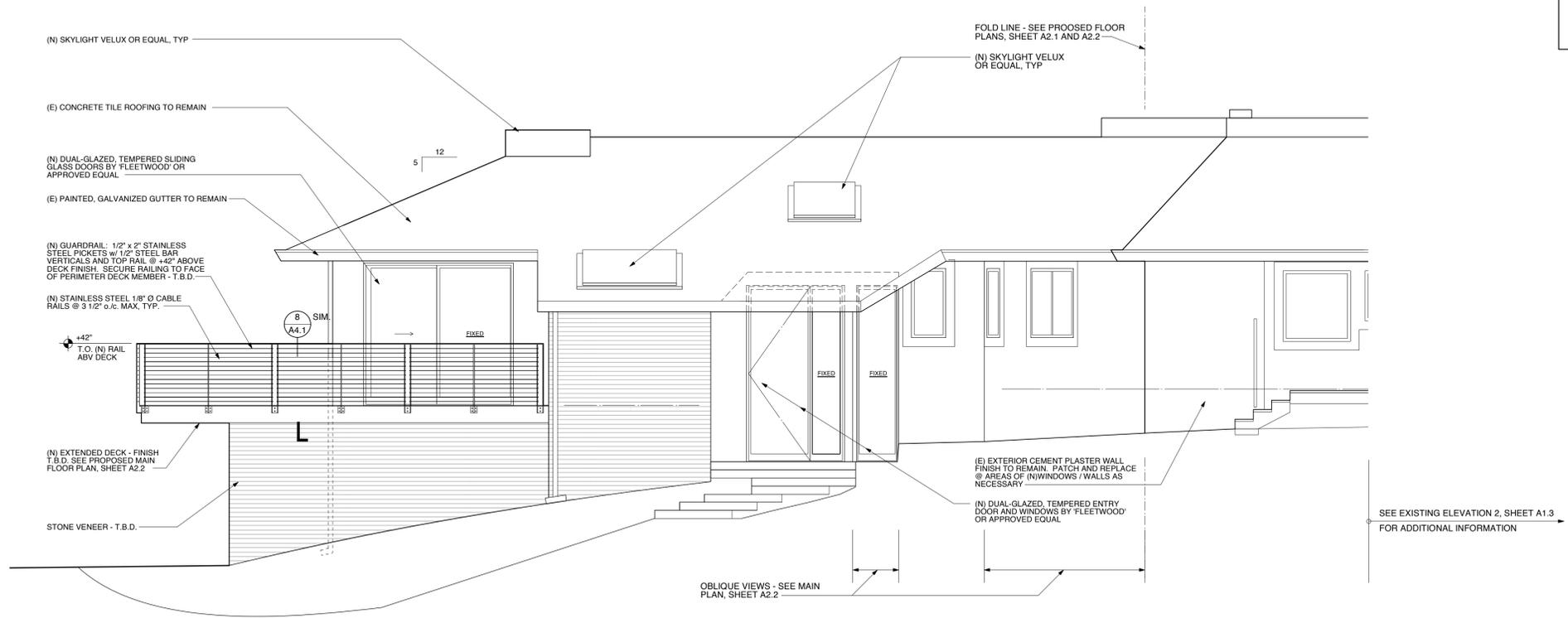
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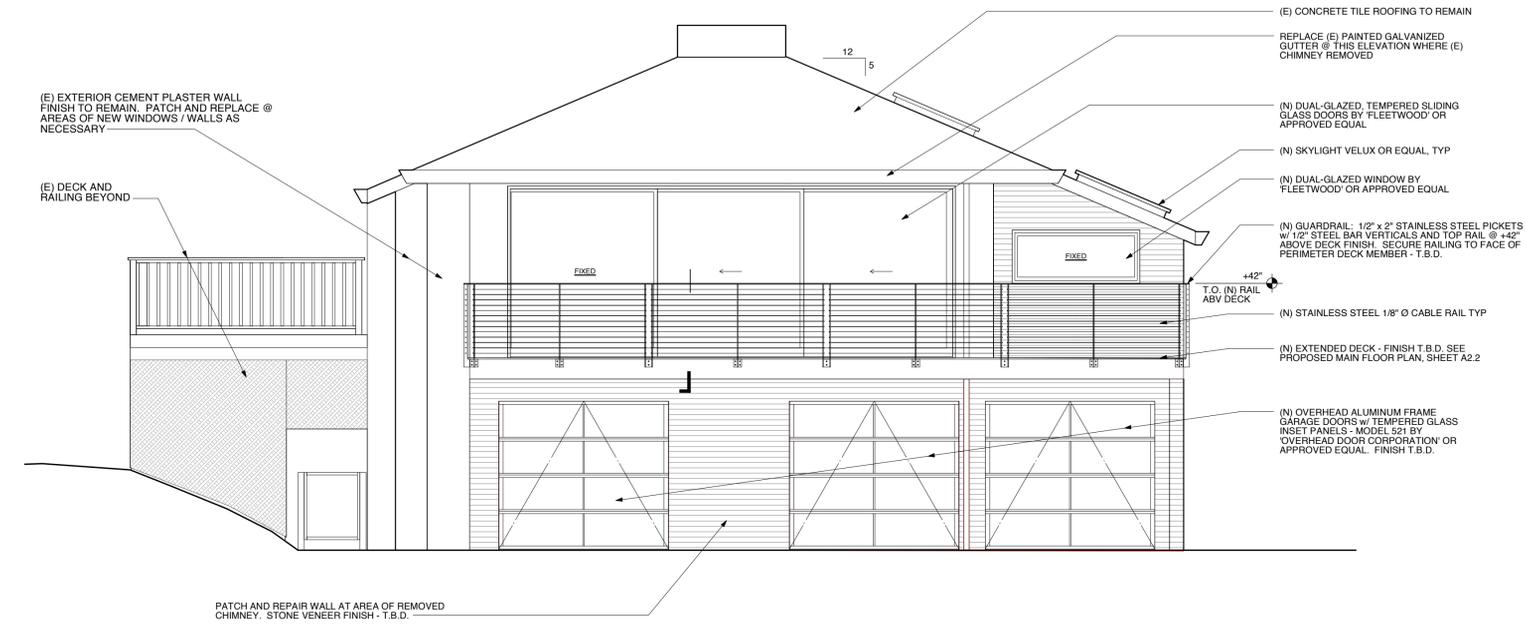
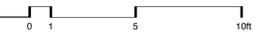


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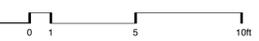
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2. ACTUAL ELEVATION HEIGHTS OF ADJACENT GRADES AND FINISH FLOORS TO BE VERIFIED. TYP.



**2 PROPOSED PARTIAL SOUTHEAST ELEVATION**  
1/4" = 1'-0"



**1 PROPOSED NORTHEAST ELEVATION**  
1/4" = 1'-0"



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APN: 336-44-044  
PROJECT NUMBER: W-09

DRAWING:  
PROPOSED EXTERIOR ELEVATIONS

DRAFTED BY: ML/gjc/jk CHECKED BY:

PRINT DATE: 05.05.15 SCALE: 1/4"=1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION
1	05.05.15	PLANNING SUBMITTAL

**A3.1**

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2. ACTUAL ELEVATION HEIGHTS OF ADJACENT GRADES AND FINISH FLOORS TO BE VERIFIED, TYP.



1 PROPOSED PARTIAL NORTHWEST ELEVATION  
1/4" = 1'-0"



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**APN: 336-44-044**  
**PROJECT NUMBER: W-09**

DRAWING:  
PROPOSED EXTERIOR ELEVATION

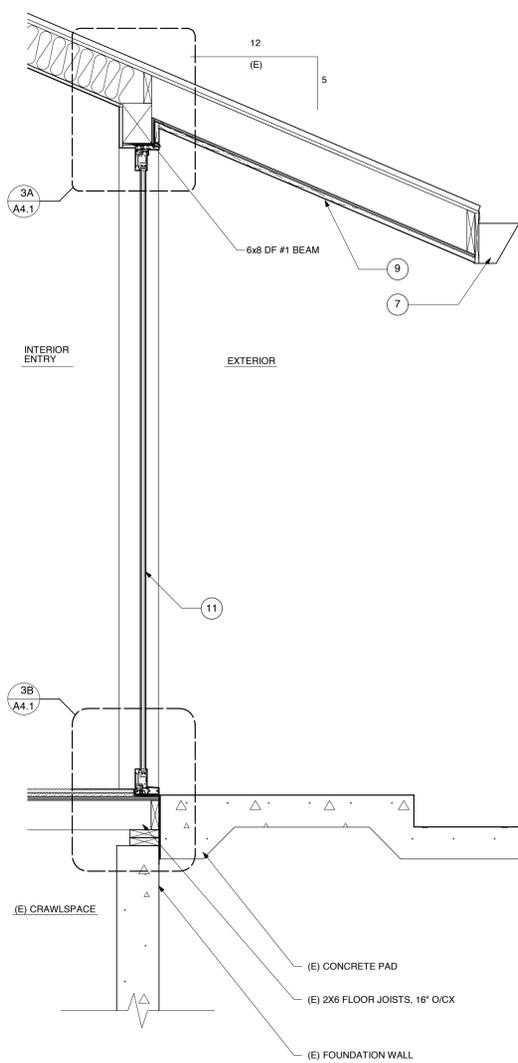
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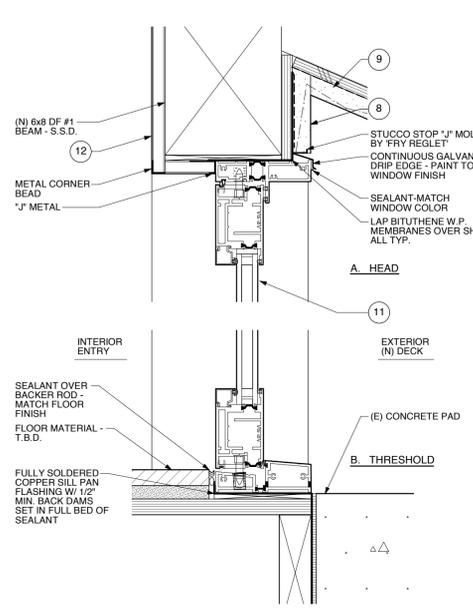
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NO. DATE DESCRIPTION

05.05.15 PLANNING SUBMITTAL

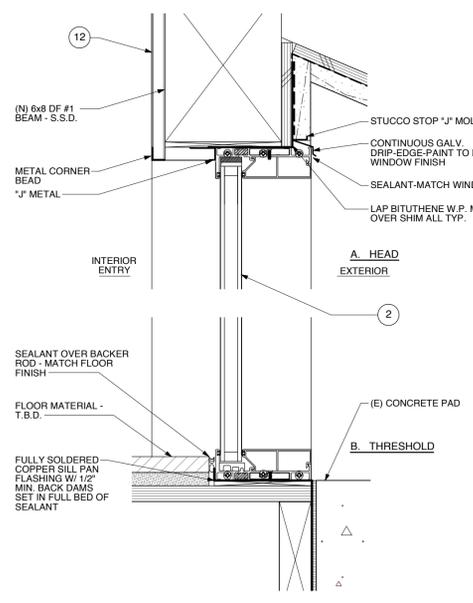
**A3.2**



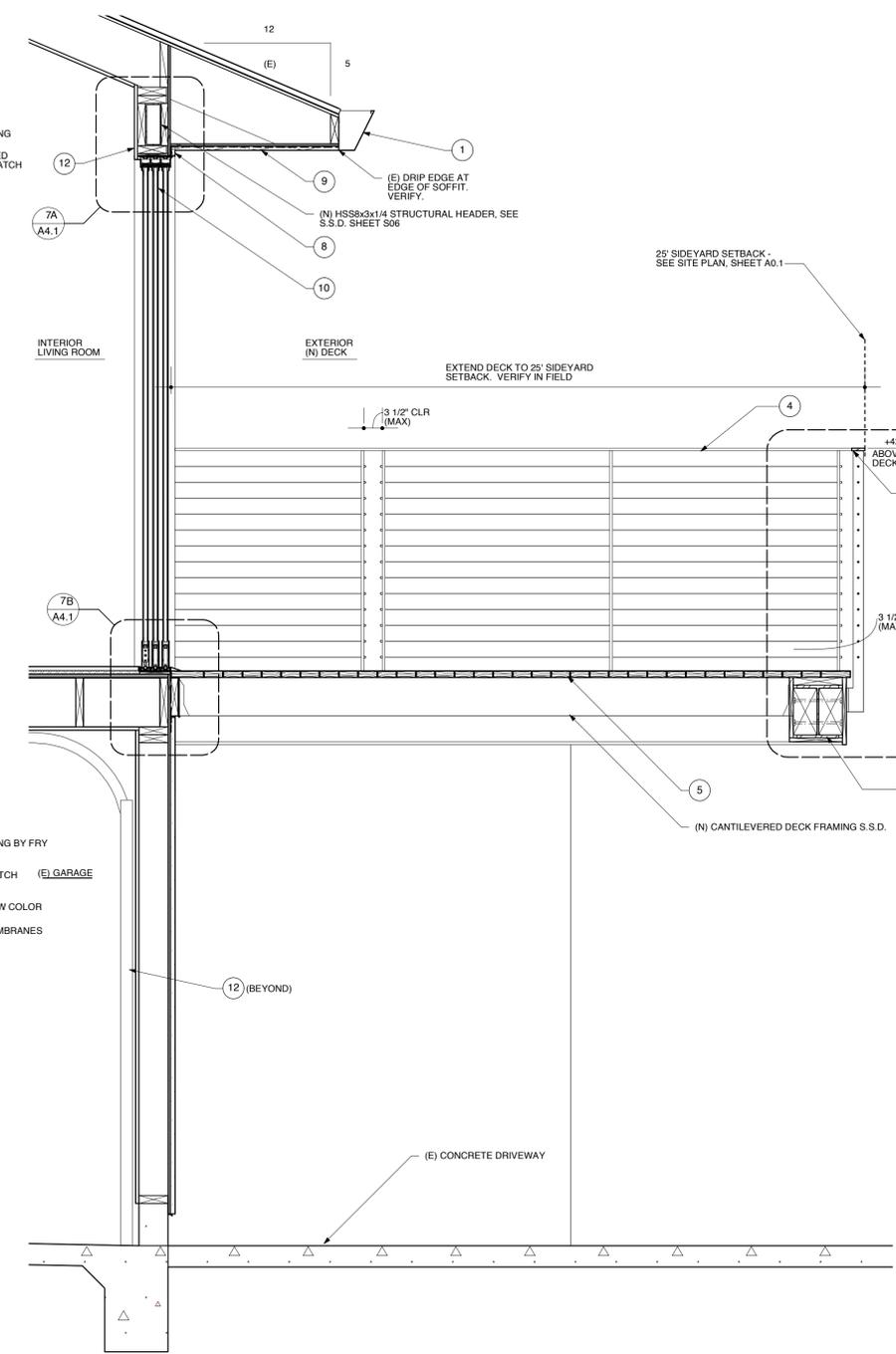
1 WALL SECTION - FRONT ENTRY  
3/4" = 1'-0"



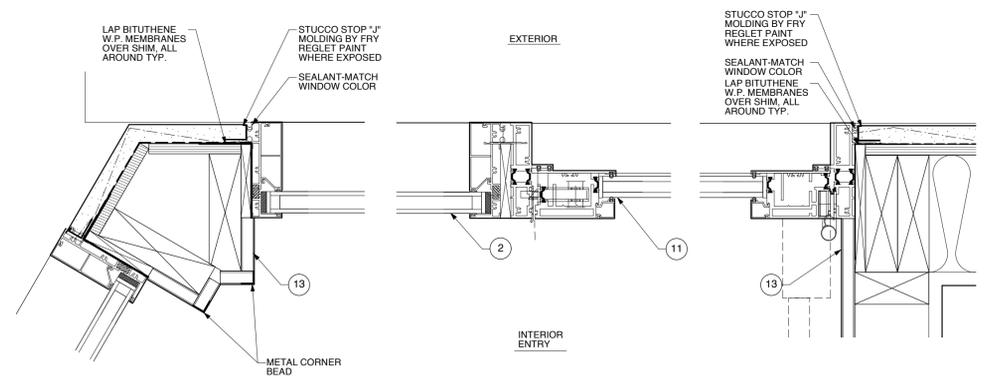
3 HEAD / SILL DETAIL - ENTRY DOOR  
3" = 1'-0"



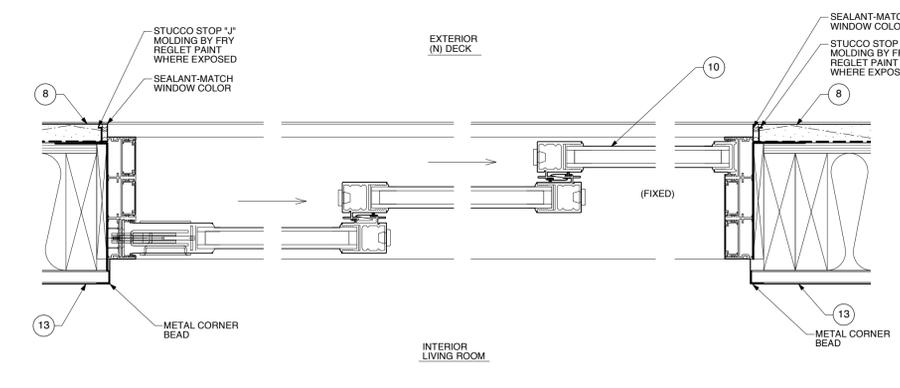
4 HEAD / SILL DETAIL - ENTRY SIDE LITE  
3" = 1'-0"



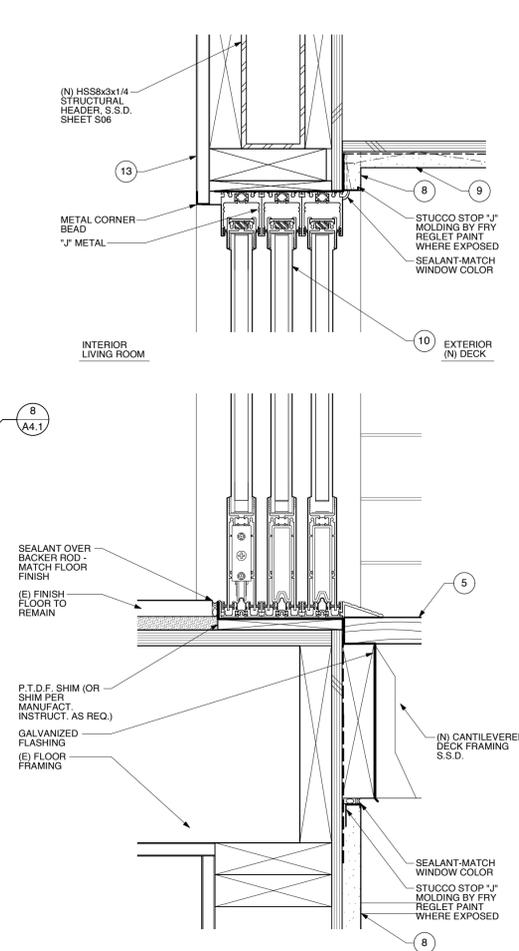
5 WALL SECTION - DECK EXTENSION  
3/4" = 1'-0"



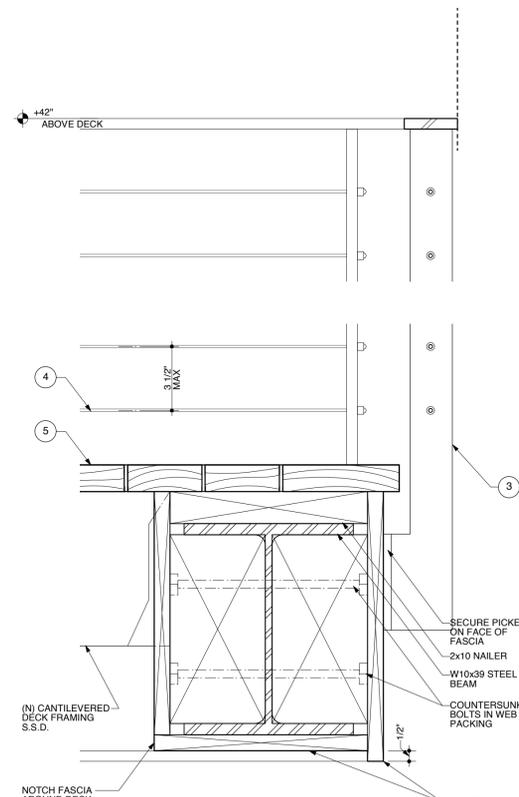
2 JAMB DETAILS - FRONT ENTRY DOOR + SIDE LITE  
3" = 1'-0"



6 FRONT ENTRY WALL SECTION  
3" = 1'-0"



7 SECTION DETAIL  
3" = 1'-0"



8 EDGE OF DECK / RAILING DETAIL  
3" = 1'-0"

**DISCLAIMER:**

- ALL EXISTING DIMENSIONS SHOWN ARE FIELD MEASUREMENTS TAKEN BY THE ARCHITECTS OFFICE. THE ARCHITECT DOES NOT MAKE ANY WARRANTY, EXPRESSED OR IMPLIED OR ASSUME ANY LEGAL LIABILITY OR RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING DIMENSIONS.
- ACTUAL ELEVATION HEIGHTS OF ADJACENT GRADES AND FINISH FLOORS TO BE VERIFIED, TYP.

- NOTE LEGEND:**
- REPLACE (E) GUTTER @ THIS ELEVATION WHERE (E) CHIMNEY REMOVED
  - (N) DUAL-GLAZED TEMPERED ALUMINUM FRAME SIDELIGHT BY 'FLEETWOOD' OR APPROVED EQUAL
  - (N) GUARDRAIL: 1/2" x 2" STAINLESS STEEL PICKETS W/ 1/2" STEEL BAR VERTICALS AND TOP RAIL @ +42" ABOVE DECK FINISH. SECURE RAILING TO FACE OF PERIMETER DECK MEMBER T.B.D.
  - (N) STAINLESS STEEL 1/8" DIA CABLE RAIL TYP.
  - DECKING: (N) 5/4 x 4 (1" x 3 1/2" NET) IPE OVER (N) FRAMING - S.S.D. PERIMETER DECK 5/4 x 6 (1" x 5 1/2" NET) IPE W/ MITERED CORNERS. FASTENED WITH STAINLESS STEEL SCREWS. FINISH T.B.D. SEE PROPOSED MAIN FLOOR PLAN, SHEET A2.2
  - (N) W10x39 STEEL BEAM W/ WEB PACKING AND COUNTER SUNK BOLTS. FASCIA WRAPPED. FINISH T.B.D. - S.S.D.
  - (E) OR (N) GUTTER W/ DOWNSPOUT LOCATIONS TO BE VERIFIED / DETERMINED
  - (N) EXTERIOR CEMENT PLASTER FINISH TO MATCH (E) - (3) COATS MINIMUM W/ SMOOTH TROWELLED FINISH OVER METAL LATH OVER WATER-RESISTIVE BARRIER OVER HYDROGAP DRAINABLE HOUSE WRAP OVER 1/2" EXTERIOR PLYWOOD OVER 2x WALL CONSTRUCTION. PROVIDE 'ECOBATT' INSULATION BY KNAFF OR APPROVED EQUAL.
  - (E) EXTERIOR WALL CONSTRUCTION W/ CEMENT PLASTER FINISH. BUILDER TO INSPECT CONDITION OF EXISTING FINISH AND PATCH AND REPAINT AREAS AS NECESSARY. BUILDER TO DISCUSS W/ OWNER AND ARCHITECT AREAS OF REFINISHING PRIOR TO COMMENCING WORK.
  - (N) DUAL-GLAZED TEMPERED ALUMINUM FRAME SLIDING DOOR UNITS BY 'FLEETWOOD' OR APPROVED EQUAL.
  - (N) DUAL-GLAZED TEMPERED ALUMINUM INSWING FRENCH DOOR BY 'FLEETWOOD' OR APPROVED EQUAL - FINISH T.B.D.
  - (N) OVERHEAD ALUMINUM FRAME GARAGE DOOR W/ TEMPERED GLASS INSET PANELS - MODEL 521 BY 'OVERHEAD DOOR CORPORATION' OR APPROVED EQUAL. FINISH T.B.D.
  - (N) 5/8" GWB W/ NO. 5 FINISH OVER (N) OR (E) 2x WALL CONSTRUCTION - SEE PROPOSED MAIN FLOOR PLAN SHEET A2.2



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APN: 336-44-044  
PROJECT NUMBER: W-09

DRAWING:  
ARCHITECTURAL DETAILS,  
WALL SECTIONS

DRAFTED BY: ML/gjc/rk  
CHECKED BY:  
PRINT DATE: 05.05.15  
SCALE: AS NOTED

REVISIONS:

NO.	DATE	DESCRIPTION
05.05.15	PLANNING SUBMITTAL	

**A4.1**

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