

**ABBREVIATIONS**

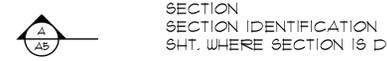
ACOUS. A.D. ADJ. AGGR. AL. APPROX.	ACOUSTICAL AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE	F.O.C. F.O.F. F.O.S. FT. FTG. FURR. FXD.	FACE OF CONCRETE FACE OF FINISH FACE OF STUD FEET OR FOOT FOOTING FURRING FIXED	PL. PLAST. PLYWD. PR. PT. P.T.	PLATE PLASTER PLYWOOD PAIR POINT PRESSURE TREATED
BD. BLDG. BLKG. BM. BOT.	BOARD BUILDING BLOCKING BEAM BOTTOM	GA. G.I. GL. GYP.	GALVANIZED GALVANIZED IRON GLASS GYPSUM	R. RAD. REF. REQ'D RM. R.O.	RISER RADIUS REFRIGERATOR REQUIRED ROOM ROUGH OPENING
CAB. C.I. CLG. CLO. CLR. CONC. CONT. CTR.	CABINET CAST IRON CEILING CLOSET CLEAR CONCRETE CONTINUOUS CENTER	H.B. H.C. HDWD. HDWE. H.M. HR. HT.	HOSE BIB HOLLOW CORE HARDWOOD HARDWARE HOLLOW METAL HOUR HEIGHT	S.C. SCHED. SECT. SH. SHT. SIM. S&P SPEC.	SOLID CORE SCHEDULE SECTION SHELF SHEET SIMILAR SHELF AND POLE SPECIFICATION
DBL. DIA. DIM. DN. DS. DWG.	DOUBLE DIAMETER DIMENSION DOWN DOWNSPOUT DRAWING	INSUL. INT. JT. LT.	INSULATION INTERIOR JOINT LIGHT	SG. STD. STL. STRUCT.	SQUARE STANDARD STEEL STRUCTURAL
EA. E.I. ELEC. EL. EQ. (E) EXP. EXT.	EACH EXPANSION JOINT ELECTRICAL ELEVATION EQUAL EXISTING EXPANSION EXTERIOR	MAT'L MAX MECH. MTL. MFR. MIN. (N) N.I.C. NO. # N.T.S.	MATERIAL MAXIMUM MECHANICAL METAL MANUFACTURER MINIMUM NEW NOT IN CONTRACT NUMBER NOT TO SCALE	THK. TYP. U.O.N. VERT. V.I.F. VCT	THICK TYPICAL UNLESS OTHERWISE NOTED VERTICAL VINYL IN FIELD VINYL COMPOSITION TILE
F.D. F.F. F.G. FIN. FLR. FLOUR.	FLOOR DRAIN FINISH FLOOR FINISH GRADE FINISH FLOOR FLOURESCENT	O.C. O.D. OPNG.	ON CENTER OUTSIDE DIAMETER OPENING	W/ WC WD. W/O W.P. W.R. WT. & AT Ø ø O/	WITH WATER CLOSET WOOD WITHOUT WATERPROOF WATER RESISTANT WEIGHT AND AT DIAMETER OVER



NORTH ARROW



INTERIOR ELEVATIONS  
ELEVATION NUMBER IS  
DRAWN ON SHT NUMBER  
ELEVATIONS ARE TAKEN  
FROM PLAN CLOCKWISE



SECTION  
SECTION IDENTIFICATION  
SHT. WHERE SECTION IS DRAWN



DETAIL:  
DETAIL NUMBER 4 IS  
DRAWN ON SHT. NO. 51A



DOOR NUMBER  
WITH SCHEDULE ONLY



WINDOW LETTER  
WITH SCHEDULE ONLY



REVISION



ELEVATION WORK POINT

**SCOPE OF WORK**

1. DEMO EXISTING 1ST FLOOR KITCHEN, 2ND FLR. SUNROOM AND MASTER BATH.
2. DEMO EXISTING GARAGE ROOF FOR NEW ROOF AS PER ROOF FRAMING PLAN
3. NEW KITCHEN WITH BACK PATIO PORCH TO REPLACE EXISTING
4. NEW 2ND FLOOR MASTER BATH SUITE
5. REPLACE ALL EXTERIOR STUCCO WITH NEW CEDAR SHINGLE SIDING
6. REPLACE EXISTING ROOF WITH NEW PRESIDENTIAL TL COMP. SHINGLE

**PROJECT DATA**

PROJECT DESCRIPTION	193-36-023
ACCESSOR PARCEL NUMBER	R3 / U1
OCCUPANCY GROUP	V/B
TYPE OF CONSTRUCTION	3266 / 622 SQ. FT.
BUILDING AREA - LIVING / GARAGE	(2) TWO
STORIES	N/A
SPRINKLER	

**NOTES TO CONTRACTOR:**

1. "No storage of construction or household materials is permitted in the public right-of-way, this includes storage containers, dumpsters, trailers, etc."
2. Water shall be available on site for dust control during all grading operations.
3. Sanitary facilities - the temporary sanitary facilities shall be places out of views of adjacent neighboring properties. the sanitary facilities may not be located in the public right of way.
4. Clean-up area - when on site cleaning of equipment is required for cement forms and trucks, paint brushes, plastering tools, and such, then a clean-up area must be specified and posted with a sign. this area must not be located beneath any tree's canopy or in any proposed planting area. run off from the clean up area can be contained by providing a temporary base of wood chips or other natural absorbent material to be disposed of off site.
5. The contractor is responsible for ensuring that no dirt or construction debris enters the city storm drain system. To accomplish this, pay close attention to the requirements on the "pollution prevention" it's part of the plan sheet in this plan set. furthermore, if any of the construction will occur during the wet season (october 1 through april 15), then the contractor is also responsible for:
  - Installing the appropriate Best Management Practices (BMP's) to prevent stormwater pollution prior to October 1 or the start of construction
  - Maintaining and adjusting the BMP's as necessary throughout the project
  - BMP's must be removed upon completion of the project
 Substantial fines may be levied by the City and/or the Regional Water Quality Control Board if failure to comply with these requirements results in the release, or the threatened release, of polluted water from the site.

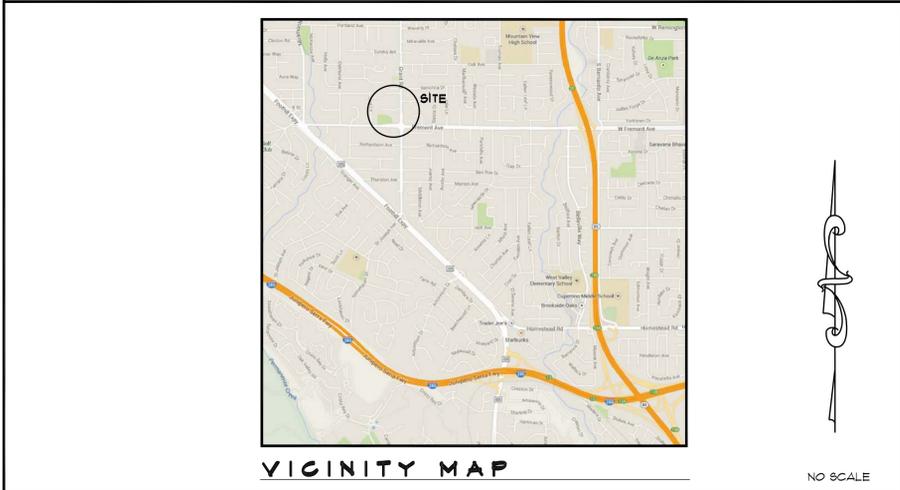
**LIST OF DRAWINGS**

SHT. #	DESCRIPTION
A0	COVER SHEET, PROJECT DESCRIPTION, & PROJECT CONSULTANTS
C1	TOPOGRAPHICAL SURVEY & GRADING AND DRAINAGE PLAN
A1	SITE PLAN, FLOOR AREA DIAGRAM & BUILDING INFORMATION
A2	1ST FLOOR DEMOLITION AND EXISTING FLOOR PLAN & ROOF PLAN
A3	2ND FLOOR DEMOLITION AND EXISTING FLOOR PLANS
A4	FIRST FLOOR PLAN, ROOF PLAN AND WINDOW SCHEDULE
A5	SECOND FLOOR PLAN
A6	FRONT & REAR ELEVATIONS & FRONT COLUMN DETAIL
A7	RIGHT & LEFT SIDE ELEVATIONS AND INTERIOR KITCHEN ELEVATIONS
A8	DAYLIGHT PLANE REFERENCE SECTION AND INT. KITCHEN ELEVATIONS
A9	SECTION A, SECTION D AND INTERIOR MSTR. BATH ELEVATIONS
A10	SECTION B - FOYER / MASTER BATH
A11	SECTION C - GARAGE / FOYER & EXTERIOR RENDERINGS
A12	ARCHITECTURAL DETAILS
EM1	FIRST FLOOR ELECTRICAL PLAN
EM2	SECOND FLOOR ELECTRICAL PLAN
T1	TITLE-24 ENERGY COMPLIANCE CERTIFICATE
T2	TITLE-24 ENERGY COMPLIANCE CERTIFICATE
G1	GENERAL NOTES
S1	RETAINING WALL AND FOUNDATION PLAN
S2	LOWER FLOOR FRAMING AND SHORING PLAN
S3	UPPER FLOOR FRAMING PLAN
S4	ROOF FRAMING PLAN
S5	UPPER SHEAR WALL PLAN
S6	STRUCTURAL DETAILS
NI	CBC NAILING SCHEDULE
GB	GREEN BUILDING CHECKLIST

**CITY NOTES**

- CONDITIONS**  
14-SC-41 - 1265 Estate Drive
1. The approval is based on the plans received on December 4, 2014 and the written application materials provide by the applicant, except as be modified by these conditions.
  2. Obtain an encroachment permit issued from the Engineering Division prior to doing any work within the public street right-of-way.
  3. The applicant/owner agrees to indemnify, defend, protect, and hold City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project.
  4. Prior to building permit submittal, the plans shall include:
    - a. The conditions of approval shall be incorporated into the title page of the plans;
    - b. Verification that all new additions and altered square footage will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from a Qualified Green Building Professional; and
    - c. The measures to comply with the New Development and Construction and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc).
  5. Prior to final inspection:
    - a. All front yard landscaping and privacy screening shall be maintained and/or installed as required by the Planning Division; and
    - b. Submit verification that the addition was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).

**VICINITY MAP**



VICINITY MAP

NO SCALE

**PROJECT NAME \ OWNER**

**AN APPROVED ADDITION WITH A  
MINOR MODIFICATION OF A NEW  
BALCONY FOR:  
CRAIG & BETH MENDEN  
of:  
1265 ESTATE ST.  
LOS ALTOS, CA 94024  
A.P.N. - 193-36-023**

**PROJECT CONSULTANTS**

PROJECT DESIGNER	STRUCTURAL ENGINEER
<b>Design Discoveries</b> RESIDENTIAL BUILDING DESIGN  Christopher J. Anderson 1647 Quail Ct. Livermore, CA 94550 (650) 996-3489 - O (925) 960-1824 - F	<b>Herbert Engineering</b> ENGINEERING DESIGN CONSULTANT  Keith Herbert 320 Clarendon Road Burlingame, CA 94010 (650) 400-1890 - Office (650) 745-2646 - Fax
CONTRACTOR	SOILS ENGINEER
<b>DALE HAMILTON CONSTRUCTION</b> General Contractor Dale Hamilton PO BOX 508 San Martin, CA 95046 (408) 690-8133 builderdale04@gmail.com License # 846604	<b>Alexander &amp; Associates Inc.</b> Surveying - Engineering - Planning  Darryl Alexander, P.L.S. 147 Old Bernal Ave. Ste. 10 Pleasanton, CA 94566 (925) 462-2255 - O (925) 462-8092 - F
TITLE-24 ANALYST	SURVEYOR
<b>WEST COAST ENERGY DESIGN</b> Energy Consultant LANNY DANA 1075 Victorine Road Livermore, CA 94551 925-243-1767 MyTitle24Guy@gmail.com www.WestCoastEnergyDesign.com	

**GENERAL NOTES**

1. All codes, ordinances and regulations - federal, state, and local city ordinances and building codes - take precedence over and part of these drawings which may conflict with these agencies' rules and/or regulations and must be adhered to, before and during construction, including and all fire codes. The plans shall comply with the 2013 CBC, CMC, CFC, CEC and CEES and local ordinances. The California Building Standards Code is based on:
  - 2013 California Building & Fire Codes (Based on the 2012 International Building & Fire Codes)
  - 2013 California Plumbing & Mechanical Codes (Based on the 2012 Uniform Plumbing & Mechanical Codes)
  - 2013 California Electrical Code (Based on the 2011 National Electrical Code)
  - 2013 California Residential Code (Based on the 2012 International Residential Code)
  - 2013 California Green Building Standards Code (California Building Standards Commission)
  - 2013 California Building Energy Efficiency Standards (California Energy Commission)
2. As of January 1, 2014, 8B 407 (2009) requires non-compliant plumbing fixtures to be replaced by water-conserving plumbing fixtures when a property is undergoing alterations or improvements.
3. These plans are intended to provide the basic construction information at site work, concrete work, plumbing, framing, mechanical and all other trades necessary to substantially complete this structure. This means these plans must be verified and checked by the builder or person in authority for the job. Any discrepancy, error or omission, if found, it is to be brought immediately to the attention of the designer before and construction work, or purchase is made.
4. Design layout, all structural elements, including piers, pier footings, retaining walls and shear walls, floor and roof beams, floor and roof trusses, rafters, floor and ceiling joists, stud walls, columns and column footing and concrete floors must be sized and designed by a registered engineer, "DESIGN DISCOVERIES" and/or its affiliates will not be responsible.
5. All dimensions are to be verified by contractor prior to starting the work.
6. Builder, owner to verify location of unit in relation to building and property lines.
7. Any discrepancies between the plans and specifications shall be brought to the attention of the Developer prior to commencement of the work.
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APN - 193-36-023  
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REVISIONS	BY:
Δ MAR 5, 2015 PER PLAN CHK.	CJA

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Custom Homes • Remodels • Additions • Kitchens • Bathrooms  
1647 Quail Court • Livermore, CA 94550  
(650) • 996 • 3489 cell / AntArch@Mc.com

Christopher J. Anderson

**A RESIDENTIAL ADDITION FOR:  
CRAIG AND BETH MENDEN  
1265 ESTATE DR.  
LOS ALTOS CA. 94024**

C. DRAWN  
CJA CHECKED  
DATE MAY 5, 2015  
SCALE AS SHOWN  
JOB NO. M21514.LA  
SHEET

**AO**

1ST FLR LIVING		
23.50' x 21.00'	=	619.50
33.50' x 18.50'	=	730.75
18.50' x 19.50'	=	362.25
6.50' x 5.00'	=	32.50
12.50' x 4.00'	=	50.00
28.00' x 19.00'	=	532.00
18.00' x 3.00'	=	54.00
2.00' x 9.00'	=	18.00
6.00' x 2.50'	=	15.00
6.00' x 2.50'	=	15.00
2.00' x 9.00'	=	18.00

1ST FLOOR SUBTOTAL = 2445 SF.

2ND FLR LIVING		
16.1' x 9.00'	=	15.00
30.83' x 13.61'	=	421.39
15.0' x 9.00'	=	12.00
22.83' x 9.83'	=	224.94
18.50' x 22.00'	=	407.00
6.50' x 7.11'	=	46.58
16.83' x 12.83'	=	216.03
8.11' x 2.11'	=	17.69
1.33' x 8.00'	=	10.67
7.50' x 9.50'	=	71.25

2ND FLOOR SUBTOTAL = 1443 SF.

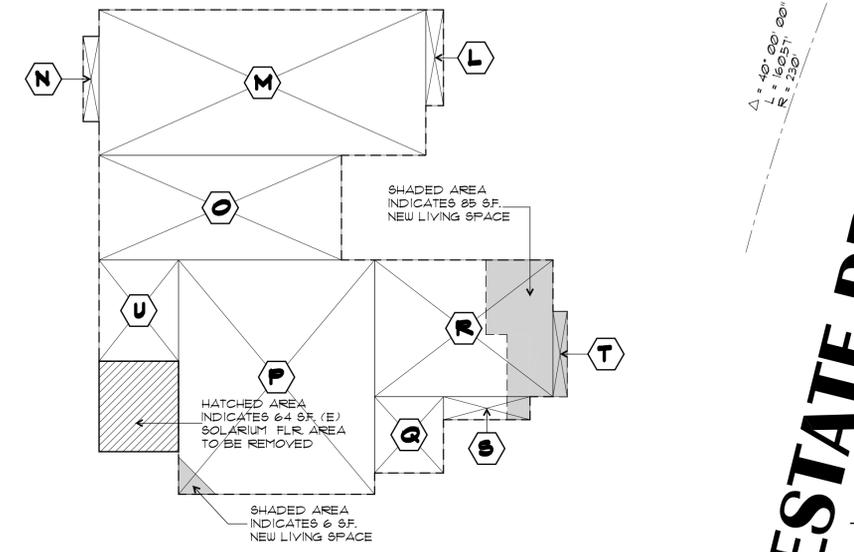
TOTAL FLOOR AREA 3888 SF.

COVERED PORCH - NOT IN F.A.R.

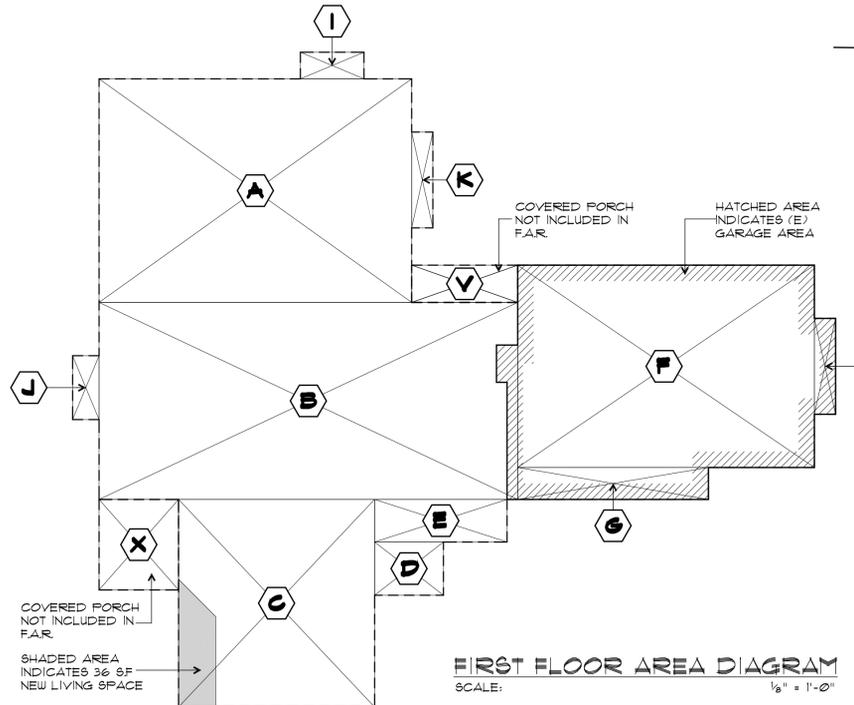
✓ 10.00' x 3.50'	=	35.00
✗ 7.50' x 8.50'	=	63.75

COVERED PORCH AREA = 98.75 SF.

TOTAL LOT COVERAGE 1244 SF.

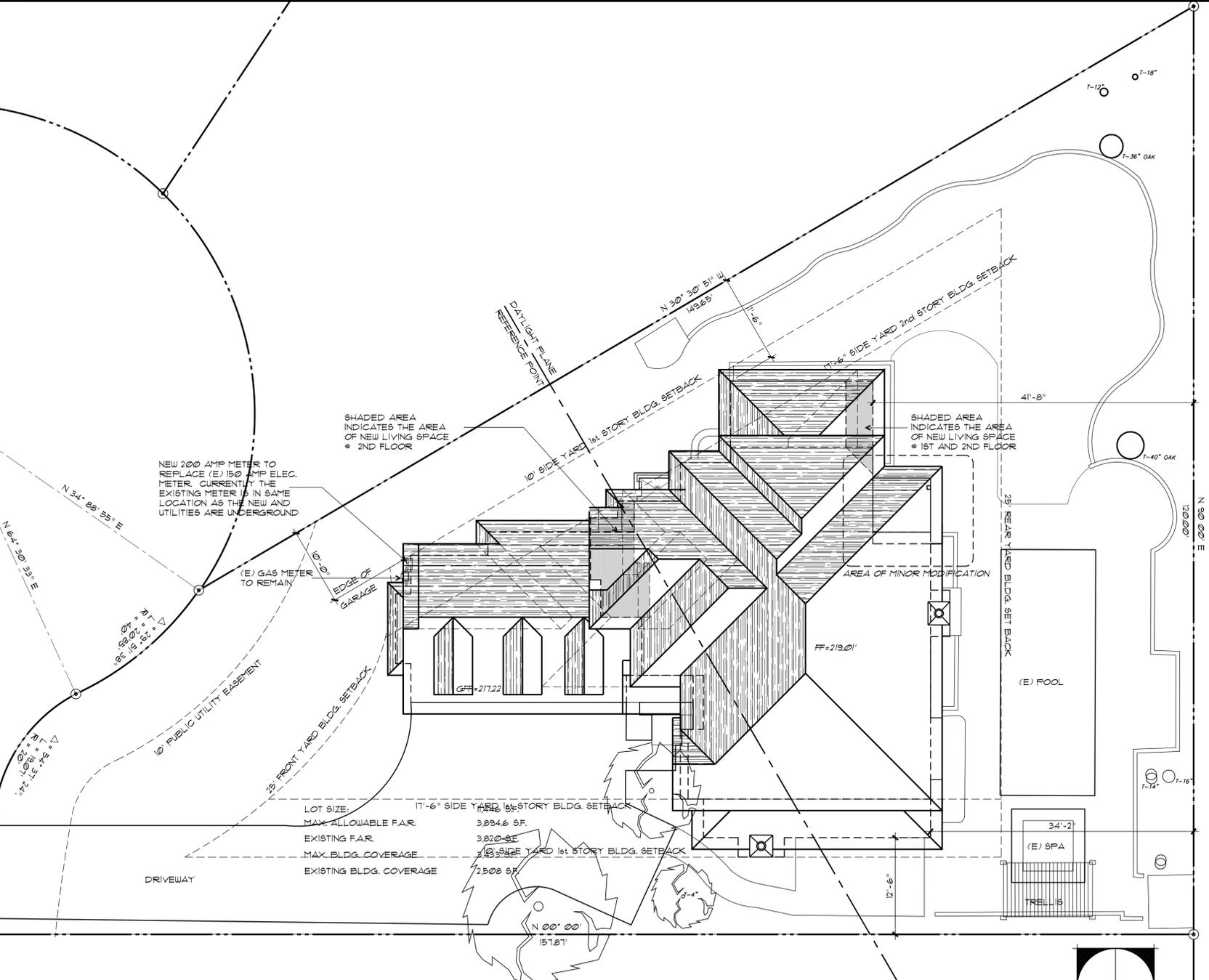


SECOND FLOOR AREA DIAGRAM  
SCALE: 1/8" = 1'-0"



FIRST FLOOR AREA DIAGRAM  
SCALE: 1/8" = 1'-0"

**ESTATE DR.**



SITE PLAN  
SCALE: 1/8" = 1'-0"

**ZONING COMPLIANCE**

	EXISTING	PROPOSED	ALLOWED/REQ'D
LOT COVERAGE	2501 SF. (22 %)	2544 SF. (22 %)	3443 SF. (31 %)
FLOOR AREA:	3807 SF. (33 %)	3888 SF. (34 %)	3895 SF. (34 %)
SETBACKS			
FRONT	25'-10"	25'-10"	25'
REAR	34'-2"	34'-0"	25'
RIGHT SIDE	12'-6"	12'-6"	10'
LEFT SIDE	10'-0" / 11'-6"	10'-0" / 11'-6"	10'
HEIGHT	26'-8"	26'-8"	21'-0"

**SQUARE FOOTAGE BREAKDOWN**

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	3185 SF.	81 SF.	3266 SF.
NON-HABITABLE LIVING AREA:	622 SF.	0	622 SF.

**LOT CALCULATIONS**

NET LOT AREA:	11446
FRONT YARD HARDSCAPE AREA	668 SF. ( 3% )
LANDSCAPING BREAKDOWN	TOTAL HARDSCAPING AREA 6103 EXISTING SOFTSCAPE 6260 NEW SOFTSCAPE 1256

**OWNER:**  
CRAIG AND BETH MENDEN  
1265 ESTATE DR.  
LOS ALTOS, CA 94024

**APN:** 183-36-023  
**ZONING:** RI-10

**PROJECT DESCRIPTION:**  
OCCUPANCY GROUP: R3 / U  
TYPE OF CONSTRUCTION: V/B  
BUILDING AREA: 3738 / 512 SQ. FT.  
STORIES: (2) TWO  
SPRINKLER: N/A

**BUILDING AREA:** 3888 SF.  
**NET LOT AREA:** 11,446 SF.

**NET LOT AREA:**  
MAX ALLOWABLE F.A.R. 3850 + (10 (11446-11000)) = 3895  
EXISTING FLOOR AREA 3807 SF.  
MAX BLDG. COVERAGE 30% 3433 SF.

**EXISTING FLOOR AREA:**  
LIVING AREA 1788 SF.  
1ST FLOOR 1397 SF.  
2ND FLOOR 622 SF.  
GARAGE 99 SF.  
COVERED PORCH 99 SF.

**TOTAL EXISTING BLDG. COVERAGE:** 2501 < 3433  
**TOTAL (E) FLOOR AREA RATIO:** 3807 / 3895

**PROPOSED FLOOR AREA:**  
LIVING AREA 1823 SF.  
1ST FLOOR 1443 SF.  
2ND FLOOR 622 SF.  
GARAGE 99 SF.  
COVERED PORCH 99 SF.

**TOTAL (N) BLDG. COVERAGE:** 2544 < 3433  
**TOTAL (N) FLOOR AREA:** 3888 < 3895

REVISIONS	BY:

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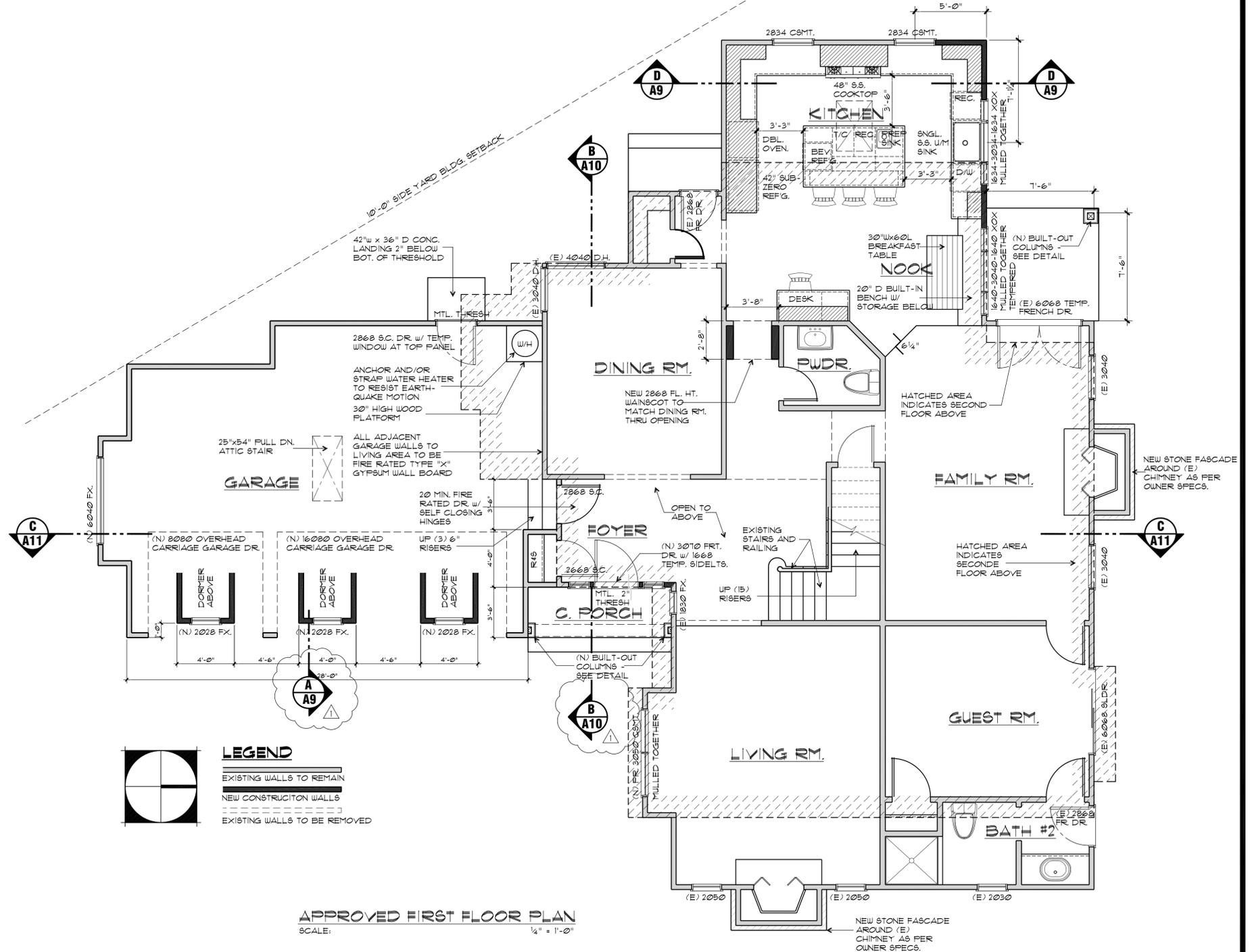
**Christopher J. Anderson**

**A RESIDENTIAL ADDITION FOR:  
CRAIG AND BETH MENDEN  
1265 ESTATE DR.  
LOS ALTOS CA. 94024**

DRAWN: C. ANDERSON  
CHECKED: CJA  
DATE: MAY 5, 2015  
SCALE: 1/8" = 1'-0"  
JOB NO: M21514.LA  
SHEET: **A1**

**GENERAL FLOOR PLAN NOTES**

- COORDINATION:** The General Contractor and each Subcontractor shall be responsible for verification of all field conditions and dimensions prior to commencement of any work. The Contractor shall bring any discrepancies to the Designer and Owner's attention prior to commencing any work. In the event work has been commenced with a failure to notify both the Project Designer, and Owner, the Contractor is solely responsible for any and all corrective measures or errors.
- All interior wall with 1/2" thick Gypsum board shall be nailed with 6d cooler nail @ 6" o.c. at all edges and 12" o.c. at all intermediate support.
- All vertical joints of gypsum board or plywood shall occur over studs.
- Contractor shall install all insulation as required by A.B. 163 and Title 24:  
 Floor Insulation: R-19 Batt by Design  
 Wall Insulation: R-13 Batt @ 2x4 Walls and R-15 @ 2x6 Walls  
 Attic Insulation: R-30 Batt, R-30 "Optimum" @ 2x8 Vaulted Ceiling  
 Pipe Insulation: R-1 wrapped @ Hot Water Only  
 Duct Insulation: R-1 wrapped  
 Weather Stripping: At all exterior doors and windows  
 Caulking: At all exterior openings and fenestration @ exposed areas during remodel only.
- Contractor shall complete A.B. 163, Form 4 Insulation Installation Certificate and provide the Owner with all manufacturers manuals for equipment, specifically detailing efficient operation and maintenance requirements.
- Set all new exterior wall sole plates on continuous duct insulation strip.
- Contractor shall coordinate specific design of all mill work and cabinetry with Project Designer and/or Owner. Shop drawings may be required by the Project Designer prior to fabrication.
- All new construction shall match existing in finish, texture and detailing, unless specifically noted or detailed on drawings.
- Contractor shall patch all exterior stucco walls as required to match adjoining wall areas.
- Any new dryer ducts shall terminate at the exterior 3 ft. from any openings into the building and be provided with a backdraft damper.
- All exterior walls of new construction shall have 1/2" plywood sheathing (U.O.N. APA, rated, Exposure 1 blocked with edge nailing to be 8d nails @ 6" o.c. and field nailing to be 8d nails @ 12" o.c. (U.O.N. on structural drawings).
- All existing construction and finishes as may be damaged during construction shall be patched and repaired to match existing adjacent finishes. Verify all conditions in field prior to commencement of work.
- All door hardware shall match existing or shall be selected by Project Designer and/or Owner. This does not include hardware of cabinets. Cabinet hardware shall be selected by Project Designer and/or Owner.
- All windows shall be Dual-glazed "Low-E" (U.O.N.). All windows shall meet CA States Energy Standards for control of air infiltration; fully caulked, sealed and weather stripped. All systems shall be certified and labeled indicating conformance with standards. All operable windows shall be equipped with an auxiliary security locking devices that meet the approval of the local Police Department.
- All hardware exposed to the weather shall be installed with corrosion resistant protection as appropriate.
- Finished stucco application shall meet C.B.C. requirements, of 3/8" min. (three coat) application thickness per Title No. 29F. Exterior caulking paper, wire lath, and drip use screed shall be installed to meet C.B.C. Section 29I2 requirements to two layer minimum of grade "D" paper, wire lath and a 26 GA. corrosion-resistant weep screed with a vertical attachment flange of 3-1/2" shall be provided at or below the foundation plate line on all exterior stud walls. The screed shall be placed a minimum of 4" above the earth or 2" above a paved surface.
- All glazing adjacent at hazardous locations (i.e. sliding glass doors, mirrored wardrobe closed doors, shower and bath enclosures, etc.) shall be tempered glass, meeting min. requirements of 2007 C.B.C.
- All stud walls over 8'-0" in height shall have fire blocking at midspan typical. Fire blocking to be provided as per C.B.C.
- Contractor shall install waterproof gypsum board at all "WET" locations. All Green Gypsum Board walls shall be nailed with 6d cooler nails at 1" o.c. at all edges and 12" o.c. at all intermediate supports. All vertical joints of Green Board shall occur over studs. All horizontal joints shall occur over 2x4 plates.
- The following notes of (N) or remodeling bath work:  
 All faucets and shower heads shall be low flow type as certified by C.E.C. at 2-1/2 GPM, and all water closets shall be 1.6 gallon flush tank capacity or water waiver type. All fixtures and faucets shall be selected by Owner. Contractor to coordinate.
- Shower shall have hot mopped underlayment or equivalent for tile floor. Installed per recommended practice of the Handbook for Ceramic Tile Installation, Tile Council of America, latest edition. Shower pan and curb shall be field constructed. Shower walls to have a smooth, hard, nonabsorbent surface (e.g. ceramic tile or fiberglass) over moisture resistant underlayment (e.g. water resistant gyp. board) to height of 70" min. above drain inlet. Base material beneath shower pan sloped to drain as per UPC Section 410.5
- Shower heads at showers shall be install at +6'-6" above finished floor. (U.O.N.)
- All new plumbing shall be flexible polybutylene with cast iron wastes and vents (as conforming to local codes).
- Showers and tub/shower combinations shall be provided with individual control valves at the pressure balance or thermostat mixing types.
- Provide 2x blocking at walls in bathrooms for towel bars, toilet paper holders, etc. Coordinate with Owner.
- Minimum 3/8" landings outside all exterior doors per C.R.C. with landings not more than 1" below bottom of threshold at inward swinging or sliding doors. (1" at outward swinging doors) per C.B.C. 1008.
- Provide new ducting to all new habitable space.
- Contractor shall remove all abandoned duct work exposed during the course of the construction.
- Refer to Title-24 Mandatory Measures Checklist for additional notes and requirements.
- Replace all (e) galvanized iron plumbing lined exposed during construction with copper lines.
- Roof windows shall conform to all applicable requirement of the C.R.C. R302.6
- Submit I.C.B.O. approval number of skylights to the Building department prior to installation.
- Provide under-floor ventilation @ 1 s.f. (Net) per 150 s.f. of under-floor area per C.R.C. R402.2. All existing vents that may be blocked during new construction shall be compensated elsewhere to accommodate required ventilation.
- Fireblocking shall be provided in concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of studs or staggered studs vertically at floor and ceiling levels, horizontally at intervals not to exceed 10'. (R302.11)



**APPROVED FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

REVISIONS	BY:
△ MAR 5, 2015 PER PLAN CHK.	C.A.

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 1265 ESTATE DR.  
 LOS ALTOS CA. 94024

DRAWN  
**C. ANDERSON**  
 CHECKED  
 CJA  
 DATE  
 MAY 5, 2015  
 SCALE  
 AS SHOWN  
 JOB NO.  
 M21514.LA  
 SHEET

**A4**

REVISIONS	BY:

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**DESIGN DISCOVERIES**  
Residential Building Design

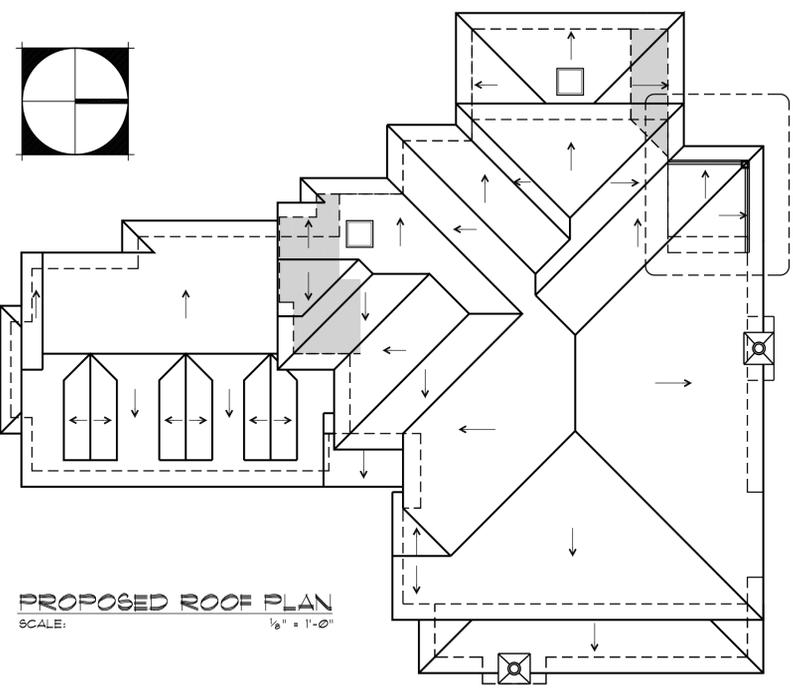
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(650) • 996 • 5489 cell AntArch@Mac.com

**Christopher J. Anderson**

**A RESIDENTIAL ADDITION FOR:  
CRAIG AND BETH MENDEN**  
1265 ESTATE DR.  
LOS ALTOS CA. 94024

DRAWN <b>C. ANDERSON</b>
CHECKED <b>CJA</b>
DATE <b>MAY 5, 2015</b>
SCALE <b>1/4" = 1'-0"</b>
JOB NO. <b>M21514.LA</b>
SHEET

**A5**



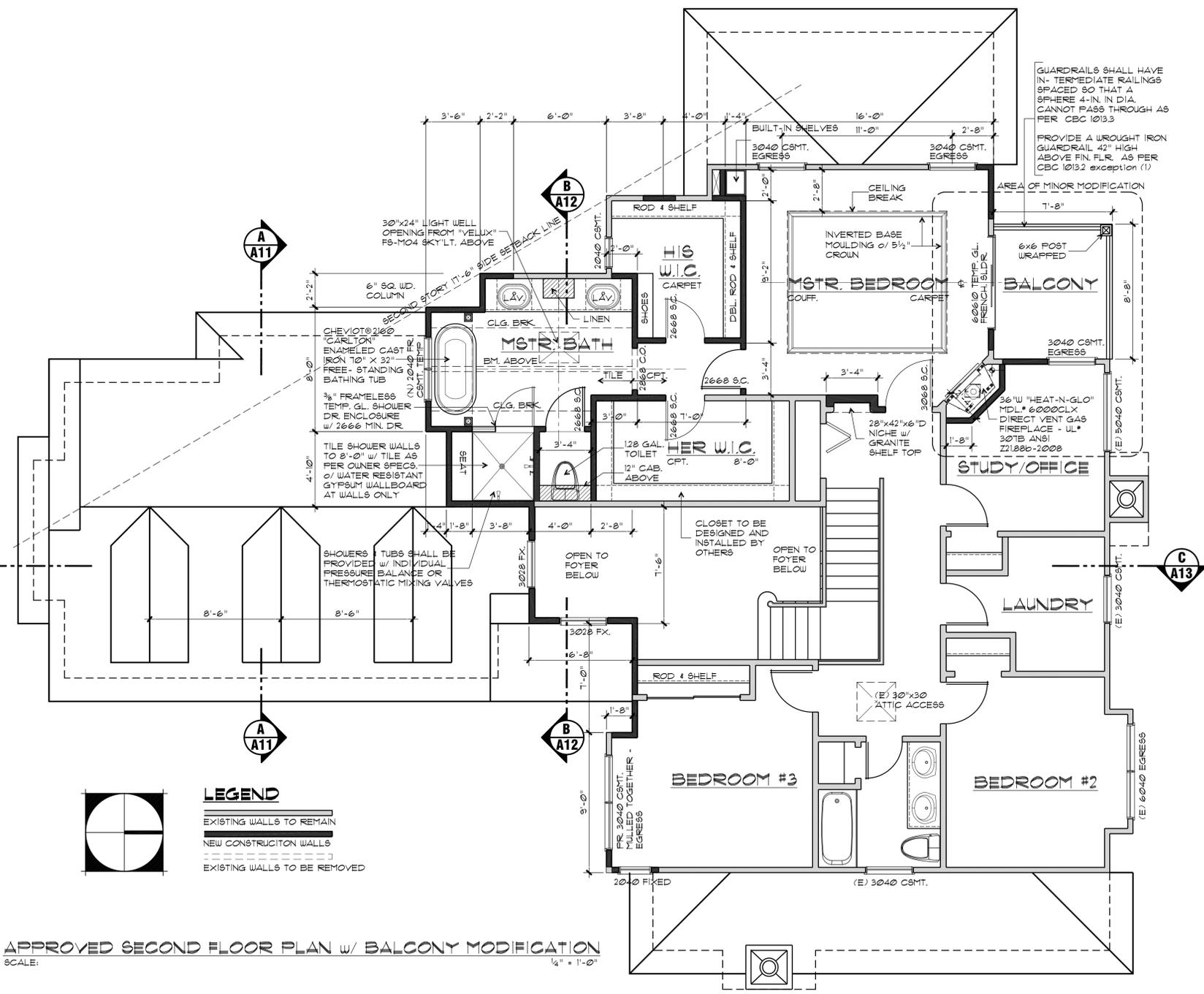
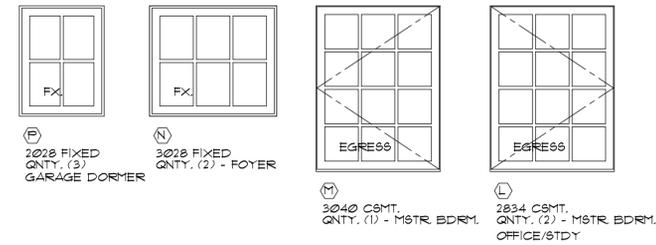
**PROPOSED ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**ROOF NOTES**

STATE LAW REQUIRES A FIRE RATING OF CLASS "C" OR BETTER - ACTUAL ROOF TO BE CLASS "B" FIRE TREATED CEDAR SHINGLES

ALL GUTTERS AND DOWNSPOUTS TO BE COPPER AND ARE TO DRAIN ONTO SPLASH BLOCKS AS REQUIRED BY LOCAL CODES - SEE CIVIL DRAWINGS

GEORGIA-PACIFIC THERMOSTAT® PLYWOOD RADIANT BARRIER SHEATHING SHALL BE REQUIRED AT ALL ROOF AREAS



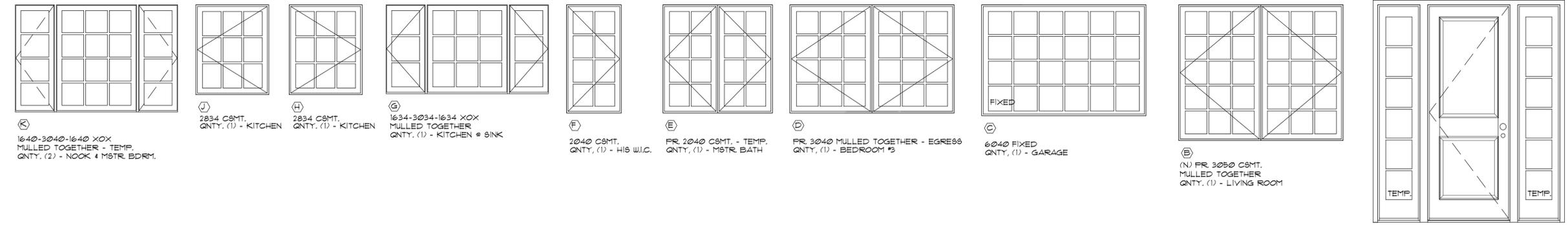
**APPROVED SECOND FLOOR PLAN w/ BALCONY MODIFICATION**  
SCALE: 1/4" = 1'-0"

**LEGEND**

EXISTING WALLS TO REMAIN

NEW CONSTRUCTION WALLS

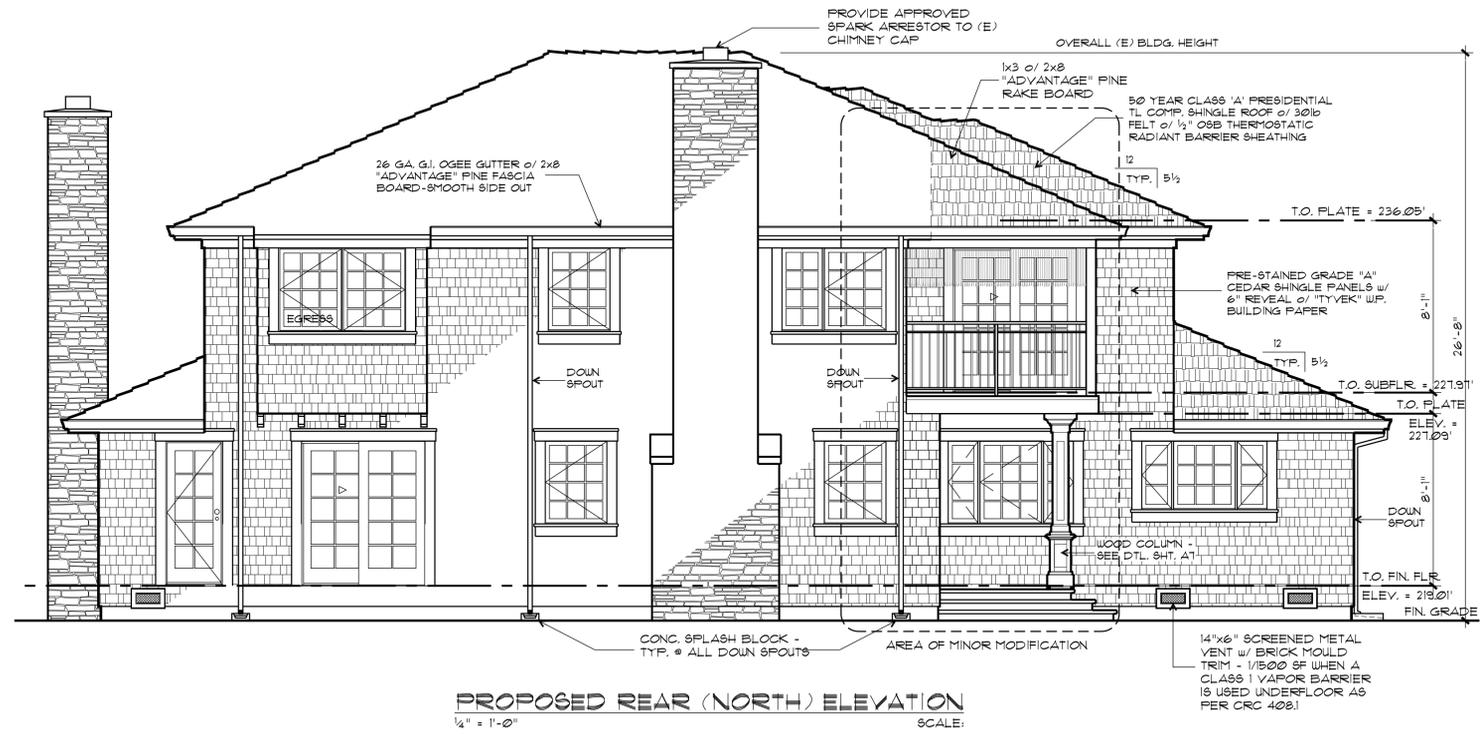
EXISTING WALLS TO BE REMOVED



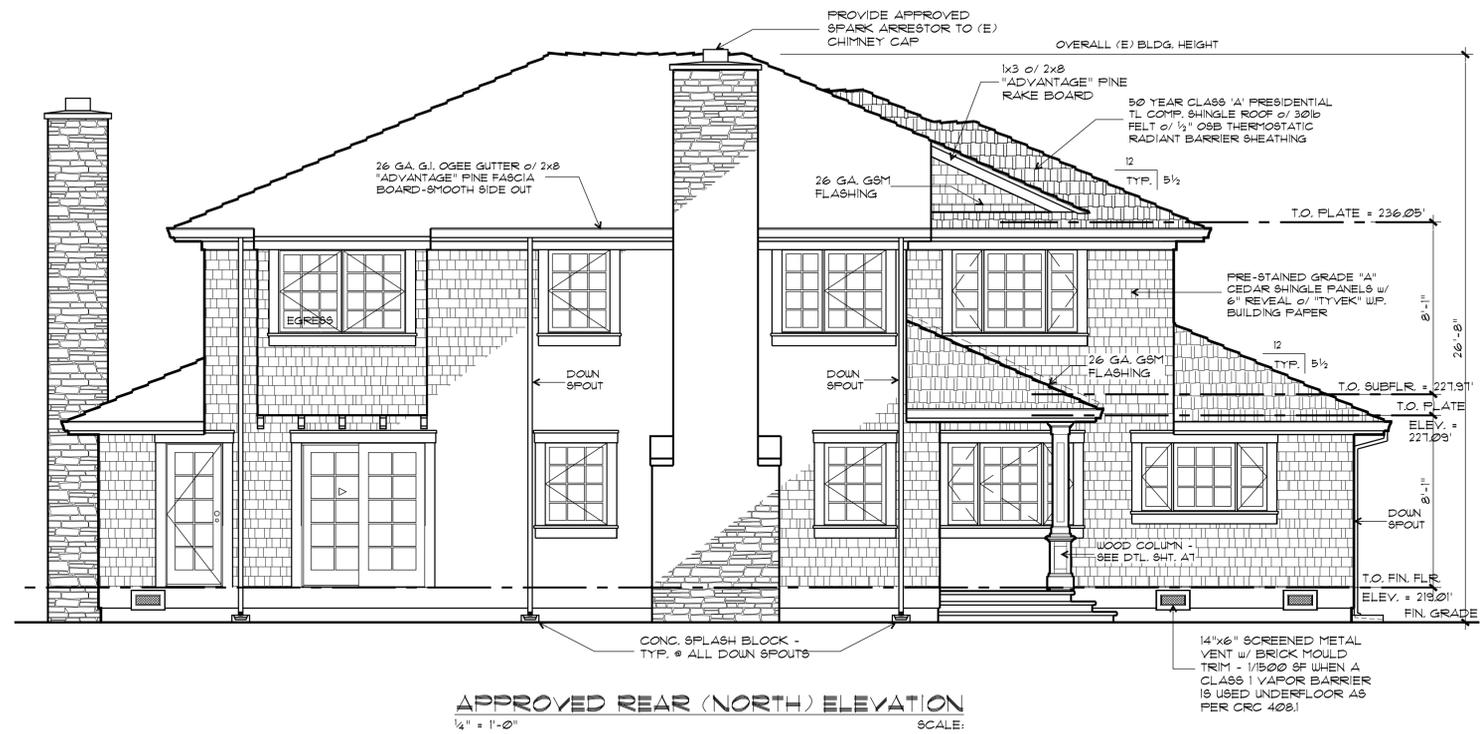
(N) 3070 FRT. DR. w/ 1668 TEMP. SIDELTS.



PROPOSED RENDERING



APPROVED RENDERING



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**Christopher J. Anderson**

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LOS ALTOS CA. 94024**

DRAWN	C. ANDERSON
CHECKED	CJA
DATE	MAY 5, 2015
SCALE	1/4" = 1'-0"
JOB NO.	M21514_LA
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**A6**

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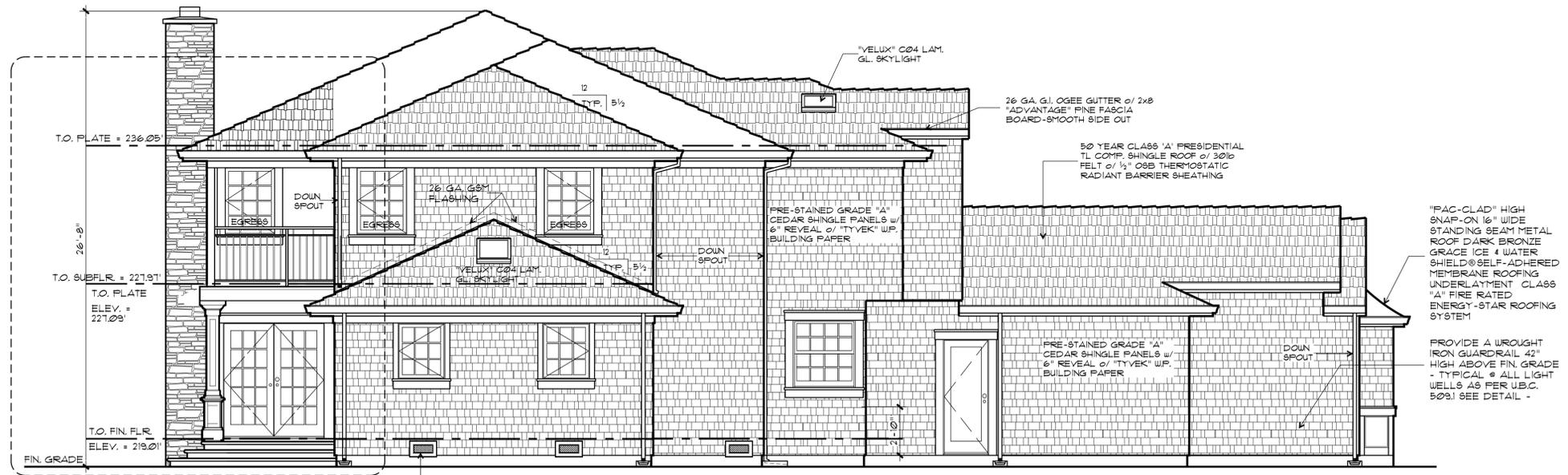
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**Christopher J. Anderson**



**APPROVED EXISTING RIGHT SIDE (EAST) ENTRY ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED LEFT SIDE (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"

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DRAWN	C. ANDERSON
CHECKED	CJA
DATE	MAY 5, 2015
SCALE	1/4" = 1'-0"
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SHEET	

**A7**