

project title

NEW RESIDENCE

1325 OAKHURST AVENUE, LOS ALTOS

project contacts

architect
Tektive Design
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DMMDW3, LLC
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Los Altos Hills, CA 94022
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civil engineer
Lea & Braze Engineering
2495 Industrial Parkway West
Hayward, CA 94545
510.887.4086
contact: Peter Carlingo

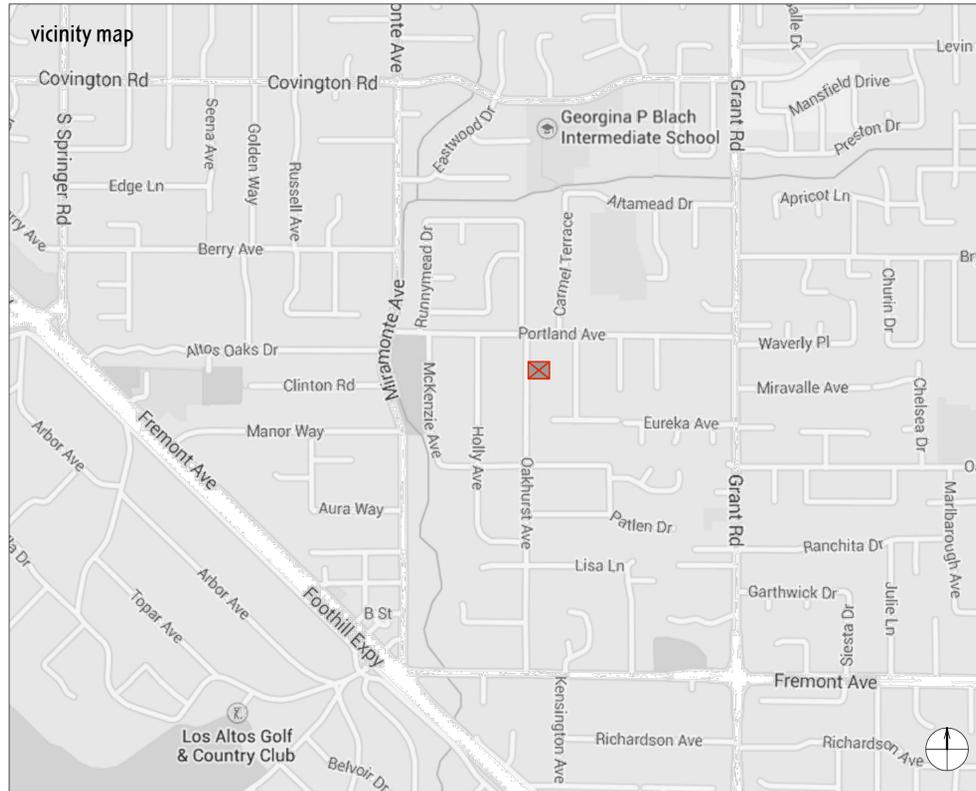
landscape architect
HMH
1570 Oakland Road
San Jose, CA 95131
408.487.2200
contact: William Sowa



tektive design

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vicinity map



zoning compliance table

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	1,955 square feet (11%)	3,168 square feet (18%)	5,147 square feet (30%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1,955 square feet (11%)	4,463 square feet (26%)	4,466 square feet (26%)
SETBACKS:			
Front	48 feet	32 feet	25 feet
Rear	93 feet	73 feet	25 feet
Right side (1 st /2 nd)	19.5 feet / 14 feet	16 feet / 21 feet	10 feet / 12.5 feet
Left side (1 st /2 nd)	14 feet / 14 feet	17 feet / 23 feet	10 feet / 12.5 feet
HEIGHT:	+14 feet	25.5 feet	27 feet

SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	1,314 square feet	2,687 square feet	4,001 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	641 square feet	-179 square feet	462 square feet

LOT CALCULATIONS			
NET LOT AREA:	17,158 square feet		
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	650 square feet (3.8%)		
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 4,758 sq ft Existing softscape (undisturbed) area: 0 sq ft New softscape area: 12,400 sq ft <i>Sum of all three should equal the site's net lot area</i>		

project description

- Construct (n) 4,465 sf two-story single-family residence.
- Install NFPA-13D fire sprinkler system throughout residence and cottage, under a separate permit.

project information

A.P.N.: 19339036
 occupancy: R-3/U
 construction type: V-B
 zone: RI-10

project areas

site area: 17,158 sf

A. 2nd floor habitable area: 1,615 sf
 B. 1st floor habitable area: 2,386 sf
 C. non-habitable garage: 462 sf
total floor area (A+B+C): 4,463 sf

D. covered porches: 520 sf
total lot coverage (B+C+D): 3,168 sf

code compliance

2015 California Building Code
 2015 California Residential Code
 2015 California Plumbing Code
 2015 California Mechanical Code
 2015 California Electrical Code
 2015 California Energy Code
 2015 California Green Building Standards
 2015 California Fire Code
 All other state and local laws, ordinances and regulations.

sheet index

- A0.1 cover
- SUI topographic survey
- C-1.0 civil title sheet
- C-2.0 grading & drainage plan
- LI conceptual landscape plan
- A1.1 site plan & arborist report
- A2.1 first floor plan
- A2.2 second floor plan
- A2.3 roof plan
- A2.4 floor area breakout plan
- A3.1 front & side exterior elevations
- A3.2 rear & side exterior elevations
- A4.1 building sections

proposed front elevation

scale: 1/4" = 1'-0"



general notes

- These drawings are copyright Tektive Design, Inc. and shall not be used on any other project without written consent.
- Contractor shall not scale dimensions off drawings. Follow written dimensions only. The general contractor shall verify all dimensions, site and grade conditions prior to commencement of work. Contractor shall notify the design professional immediately of any discrepancy on these plans and specifications.
- Should an error appear in the drawings or specifications, or in work done by others affecting this work, notify the design professional at once. If the contractor proceeds with work affected without instructions from the design professional, the contractor shall make good any resulting damage or defect.
- The general contractor, in accordance with generally accepted construction practices, shall assume responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. The contractor and subcontractors shall maintain the job site in a clean, orderly condition, free of debris and litter. Operations shall be confined to the site areas permitted by permit & law.
- No portion of the work requiring a shop drawing or sample submission (per the request of the owner or design professional) may be commenced until the submission has been reviewed and approved. All such portions of the work shall be in accordance with the approved shop drawings & samples.

a new residence at

1325 OAKHURST AVENUE
LOS ALTOS, CA 94024

revisions

title

cover

version

design review

scale

n.t.s.

job

1423

date

2015.03.06

sheet

A0.1

PROPOSED PLANT PALETTE

	PLANNING SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	HXW	WATER USE CLASSIFICATION
TREES		ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	15 GALLON	10' X 10'	M
		ACER RUBRUM 'RED SUNSET'	RED MAPLE	24" BOX	30'X20'	M
		BETULA PENDULA	BIRCH TREE	15 GALLON	30' X 10'	H
		FRUIT TREES	ASSORTED STONE FRUIT	BARE ROOT	20' X 15'	L
		ROBINIA 'PURPLE ROBE'	LOCUST TREE	15 GALLON	30'X20'	L
SHRUBS		ANIGOZANTHOS 'BUSH EMERALD'	KANGAROO PAW	1 GALLON	2' X 2'	L
		BUXUS JAPONICA	BOXWOOD	1 GALLON	3' X 2'	M
		ERIGERON KARVINSKIANUS	MEXICAN DAISY	1 GALLON	3' X 2'	L
		PHOTINIA X FRASERI	FRASER PHOTINIA	5 GALLON	5' X 3'	L
		RHAPHIOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN	5 GALLON	4' X 4'	L
		ROSA CALIFORNICA	FLOWERING WILD ROSE	1 GALLON	3' X 2'	L

GROUND COVERS

	DWARF FESCUE BLEND	BOLERO OR EQUAL	SOD	M
	3" LAYER BARK MULCH	ALL PLANTING AREAS		

PLANTING NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.

A SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO THE CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. THE SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE (WEL) OR LOCAL AGENCY ADOPTED WEL. CONTRACTOR SHALL OBTAIN A SOILS MANAGEMENT REPORT AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES.

TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

ALL PLANTING AREAS TO RECEIVE 3" THICK BARK MULCH LAYER. IN THE EVENT THAT BARK MULCH EXISTS ON SITE, CONTRACTOR SHALL PROVIDE SAMPLE OF EXISTING AND PROPOSED MATCHING BARK MULCH FOR APPROVAL. OTHERWISE, BARK MULCH SHALL BE LYNOSO SMALL FIR BARK (3/4" TO 1-1/2") OR APPROVED EQUAL.

ALL PLANT MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1)

FOR STANDARD FORM TREES, CALIPER SIZE SHALL BE MEASURED 6" ABOVE THE SOIL LINE FOR CALIPERS EQUAL TO OR LESS THAN 4" FOR CALIPERS GREATER THAN 4", CALIPER SHALL BE MEASURES 12" ABOVE THE SOIL LINE. FOR MULTI-TRUNK TREES THE CALIPER SHALL BE ESTABLISHED BY TAKING THE AVERAGE OF THE CALIPER OF THE TWO LARGEST TRUNKS.

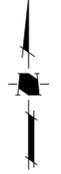
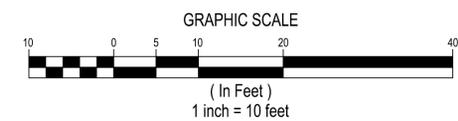
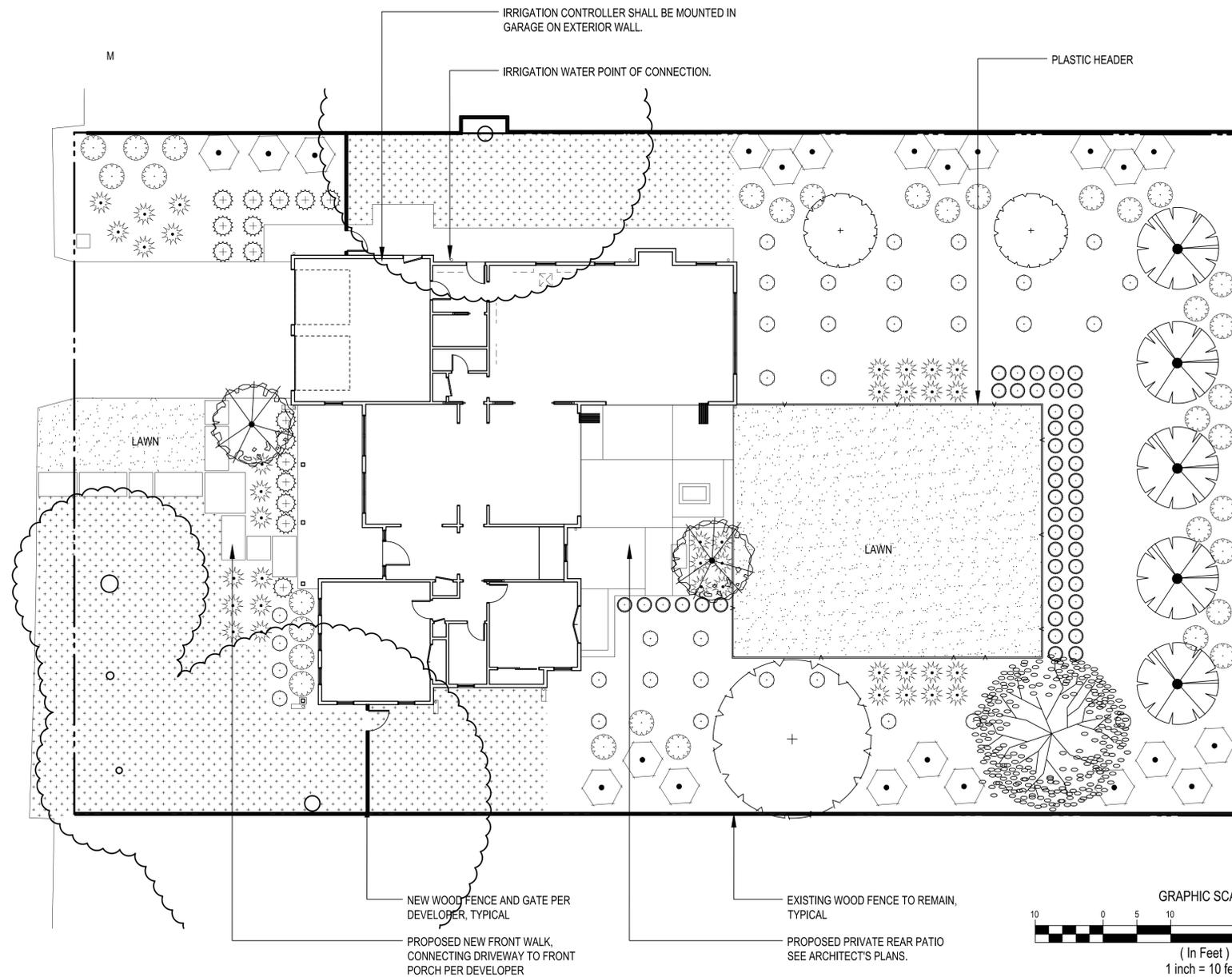
CALIPER IS MEASURED 6" ABOVE ORIGIN POINT OF THE SECOND LARGEST TRUNK OR 6" ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL.

CALIPER SIZES STANDARDS:

15 GALLON:	0.75-1.25"
24" BOX:	1.25-2"
36" BOX:	2-3.5"
48" BOX:	3.5-5"
60" BOX:	4-6"

WATER NEEDS CATEGORY BASED ON WUCOLS IV (JANUARY 2014) LANDSCAPE COEFFICIENT METHOD:

CATEGORY	PERCENTAGE OF E _{t0}
(H) HIGH:	0.7-0.9
(M) MEDIUM:	0.4-0.6
(L) LOW:	0.1-0.3
(VL) VERY LOW:	<0.1



1325 OAKHURST AVE.
LOS ALTOS, CA 94024
DMMDW3, LLC.

NO	DATE	DESCRIPTION
PROJECT NO:		4610.00
CAD DWG FILE:		461000CL.DWG
DESIGNED BY:		BG
DRAWN BY:		BG
CHECKED BY:		BG
DATE:		FEBRUARY 3, 2015
SCALE:		1" = 10'
© HMH		

CONCEPTUAL LANDSCAPE PLAN

S:\PROJECTS\461000\LAND PLANNING\461000CL.DWG

January 14, 2015

Mr. Dennis Wilkinson
 26304 Esperanza
 Los Altos, CA 94022

Site: 1325 Oakhurst Los Altos

Dear Mr. Wilkinson

As requested on Monday, January 12, 2015, I visited the above site for the purpose of inspecting and commenting on the trees. A new home and landscape is planned for this site and your concern as to the future health and safety of existing trees has prompted this visit.

Method:
 All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

1325 Oakhurst/1/14/15 (2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1*	Coast live oak (<i>Quercus agrifolia</i>)	28.2	60	45/50	Good vigor, fair form tree shared neighbor.
2*	Redwood (<i>Sequoia sempervirens</i>)	24	80	50/25	Good vigor, good form, neighbors tree, 5 feet from fence line.
3	Coast live oak (<i>Quercus agrifolia</i>)	28.8	55	40/50	Good vigor, poor-fair form, multi leader at 18 feet with poor crotch formations.
4	Colorado blue spruce (<i>Picea pungens</i>)	12.2	50	35/25	Poor-fair vigor, poor form, suppressed, leans south west.
5	Redwood (<i>Sequoia sempervirens</i>)	14.6	60	50/35	Fair vigor, fair form, slightly suppressed by number 6.
6	Redwood (<i>Sequoia sempervirens</i>)	30.5	65	60/35	Fair vigor, fair form.

* (neighbors tree or shared tree)

Summary:
 The property at 1325 Oakhurst has a mix of native and imported trees. The trees are all planted close to the property line making this lot an ideal space to build. The trees are all in good health and structure except for the spruce. The spruce is being suppressed by the neighboring redwoods, which has caused it to lean in search for better sunlight. Also the vigor on the spruce is poor and because of these reasons I am recommending removal of the tree. The owner will replace the tree at the time of landscaping, thus improving the overall existing landscape and outward appearance of the property.

Protecting the remaining trees during the construction of this project should be fairly easy because of the placement of existing trees. The following tree protection plan will help insure the health of the existing trees to be retained.

1325 Oakhurst/1/14/15 (3)

Tree Protection Plan:
 Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. Tree protection for the trees on the perimeter where construction will not affect the trees can be of orange plastic fencing supported by metal stakes.

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below on beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

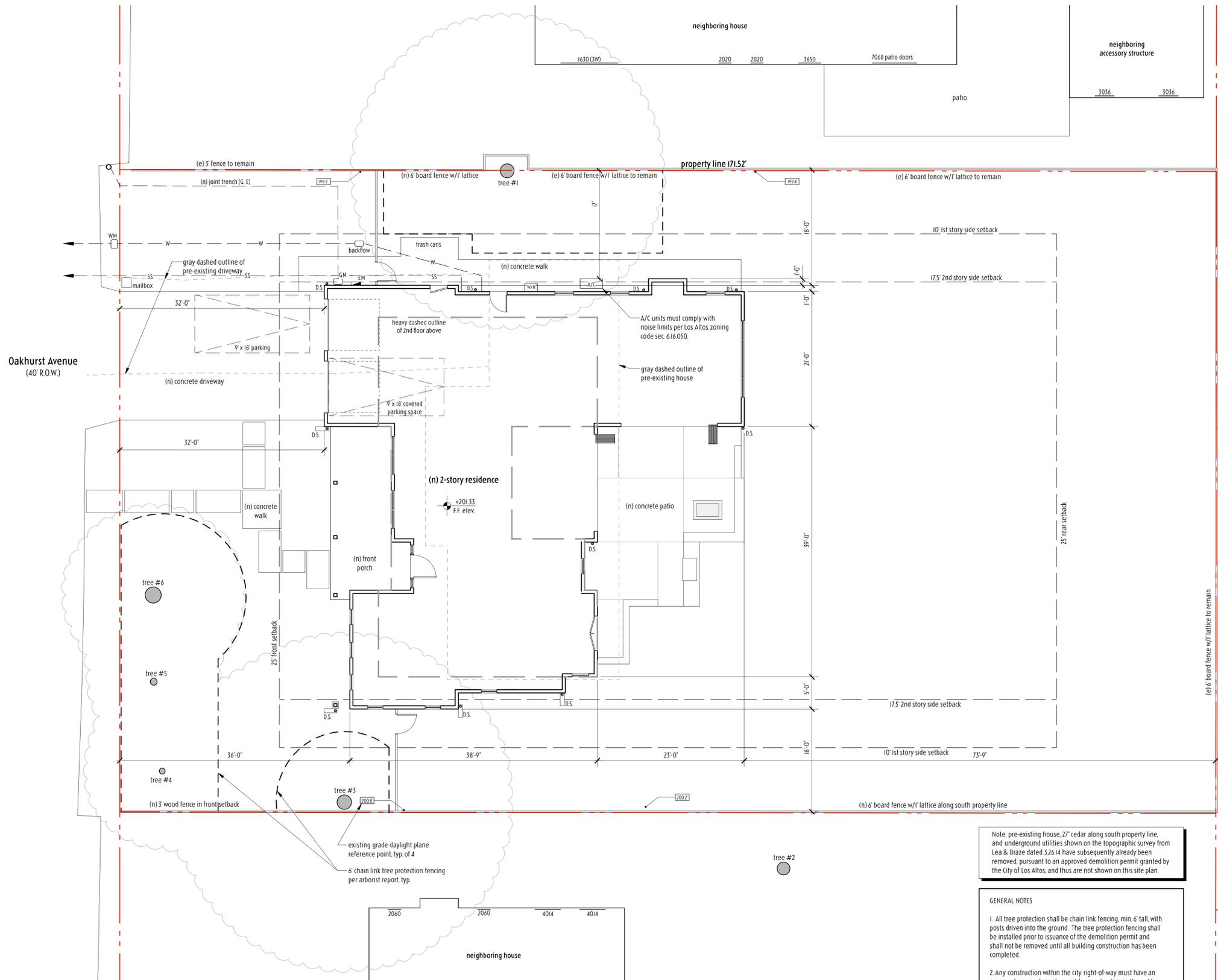
Sincerely

Kevin R. Kiely
 Certified Arborist WE#0476A



tree plan

#	species	size (dia.)	removed/retained
1	Coast live oak	28.2	retained
2	Redwood	24	retained
3	Coast live oak	28.8	retained
4	Colorado blue spruce	12.2	retained
5	Redwood	14.6	retained
6	Redwood	30.5	retained



Note: pre-existing house, 27' cedar along south property line, and underground utilities shown on the topographic survey from Lea & Braze dated 3/26/14 have subsequently already been removed, pursuant to an approved demolition permit granted by the City of Los Altos, and thus are not shown on this site plan.

GENERAL NOTES

- All tree protection shall be chain link fencing, min. 6' tall, with posts driven into the ground. The tree protection fencing shall be installed prior to issuance of the demolition permit and shall not be removed until all building construction has been completed.
- Any construction within the city right-of-way must have an approved encroachment permit for construction in the public street from the Public Works department prior to the start of the work.
- Contractor shall be responsible for locating all utilities prior to demolition.
- Contractor to dispose of all debris at an approved dump / recycling site per all city, county, state and federal regulations.
- Contractor must notify the Bay Area Air Quality Management District of the demolition and report the existence and abatement of asbestos before the start of demolition.



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a new residence at:
1325 OAKHURST AVENUE
 LOS ALTOS, CA 94024

revisions

title
 site plan

version
 design review

scale
 1/8" = 1'-0"

job
 1423

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sheet
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revisions

title

first floor plan

version

design review

scale

1/4" = 1'-0"

job

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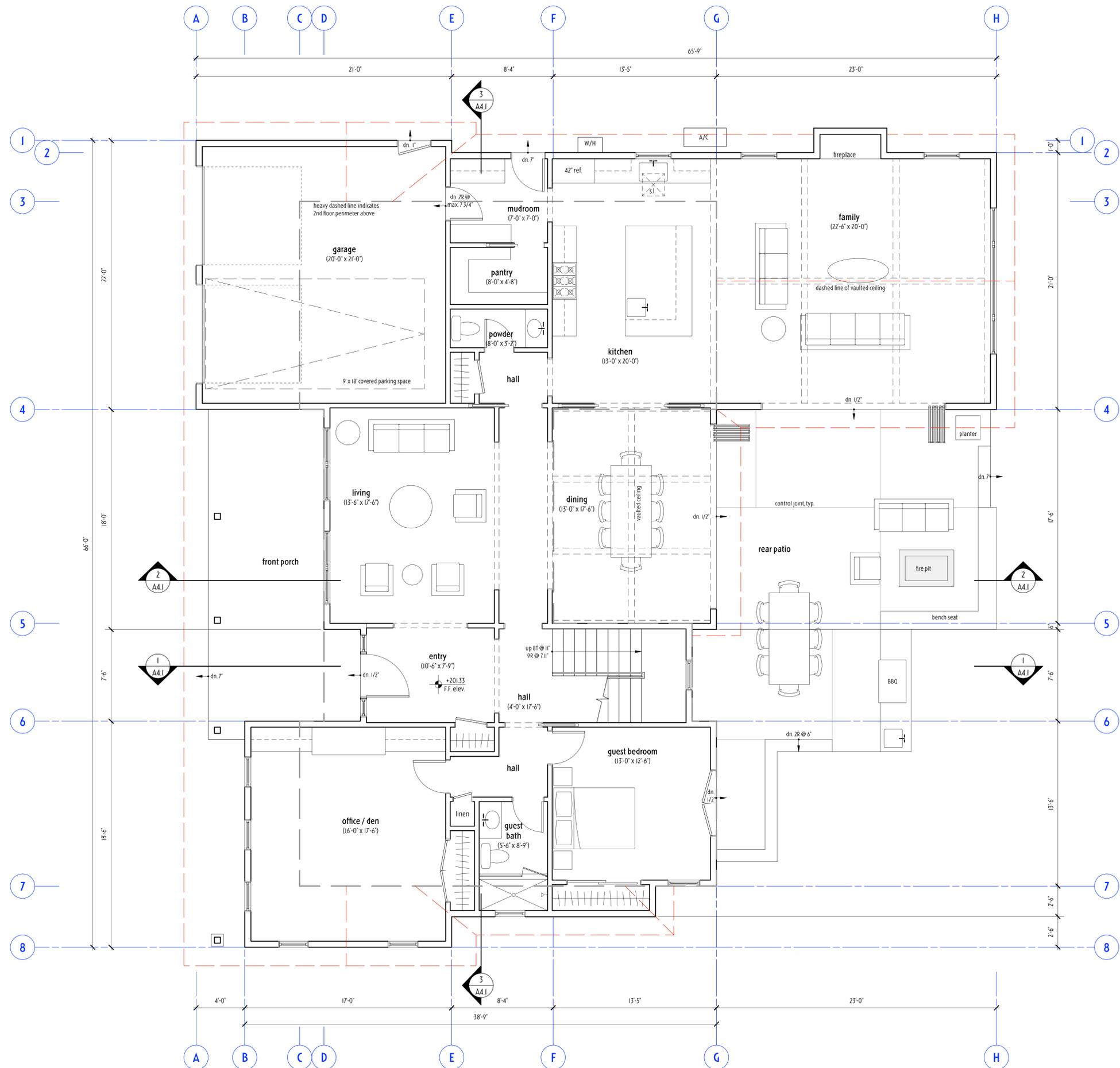
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a new residence at
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revisions

title

second floor plan

version

design review

scale

1/4" = 1'-0"

job

1423

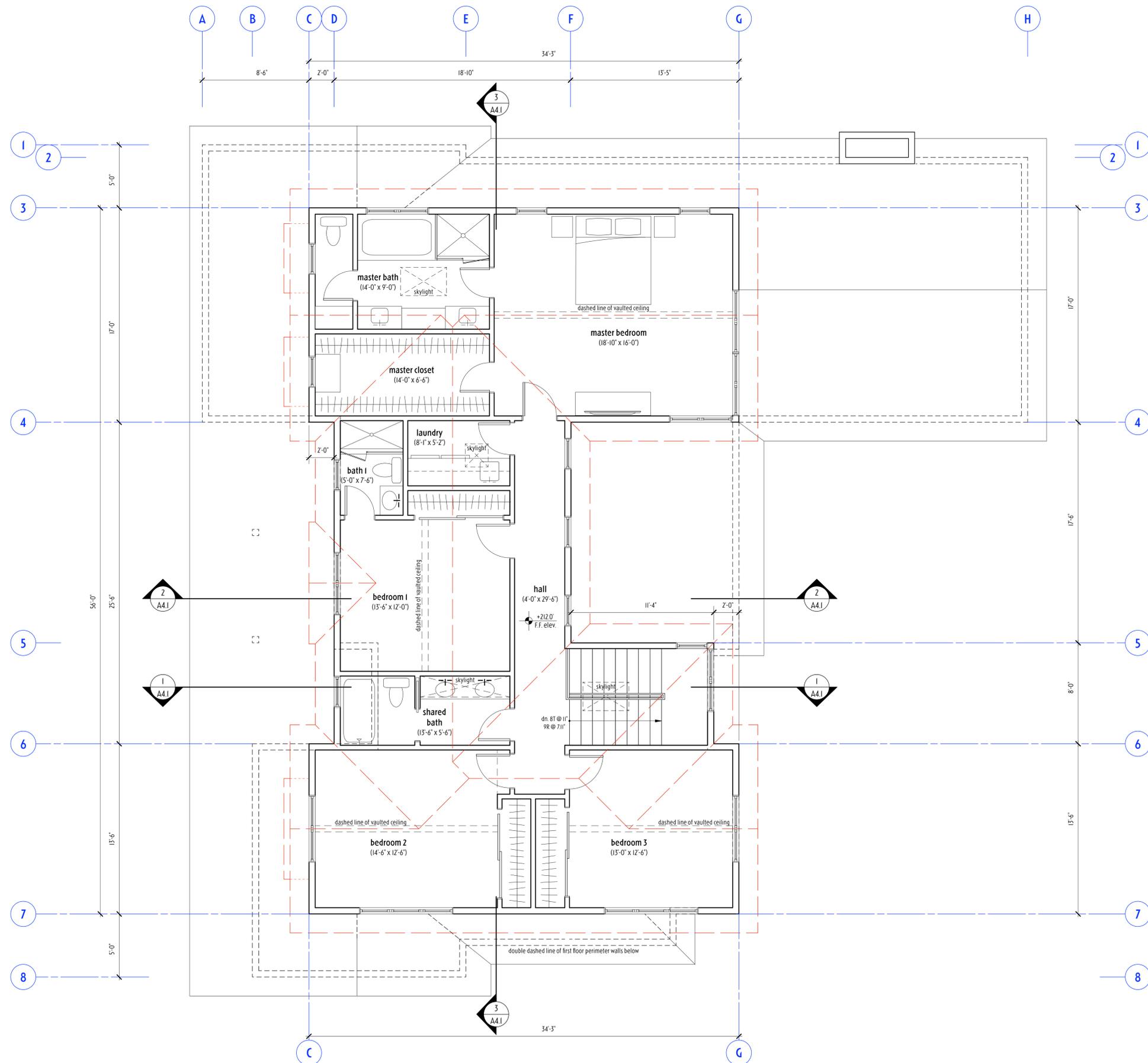
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LOS ALTOS, CA 94024**

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title

roof plan

version

design review

scale

1/4" = 1'-0"

job

1423

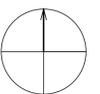
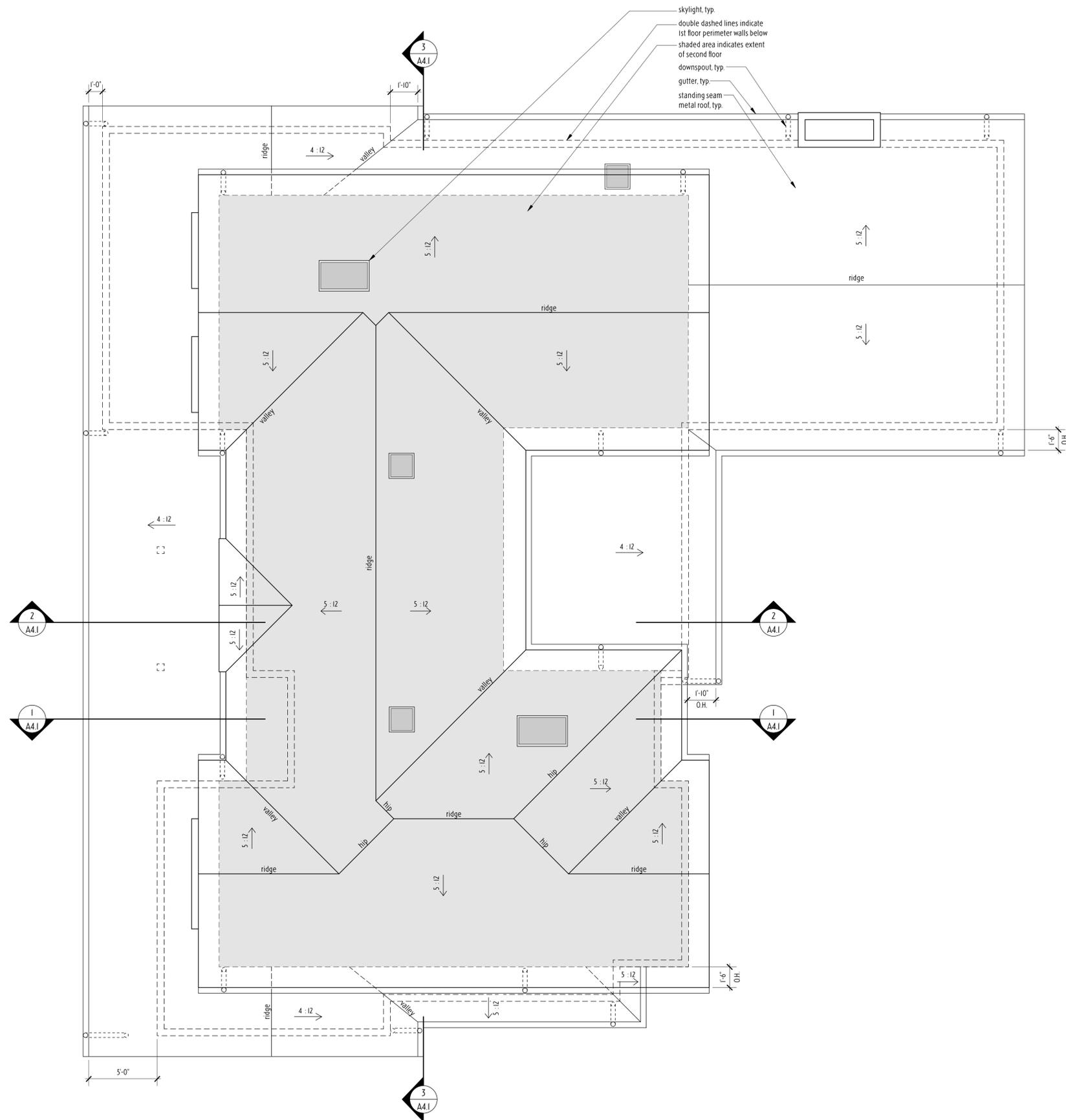
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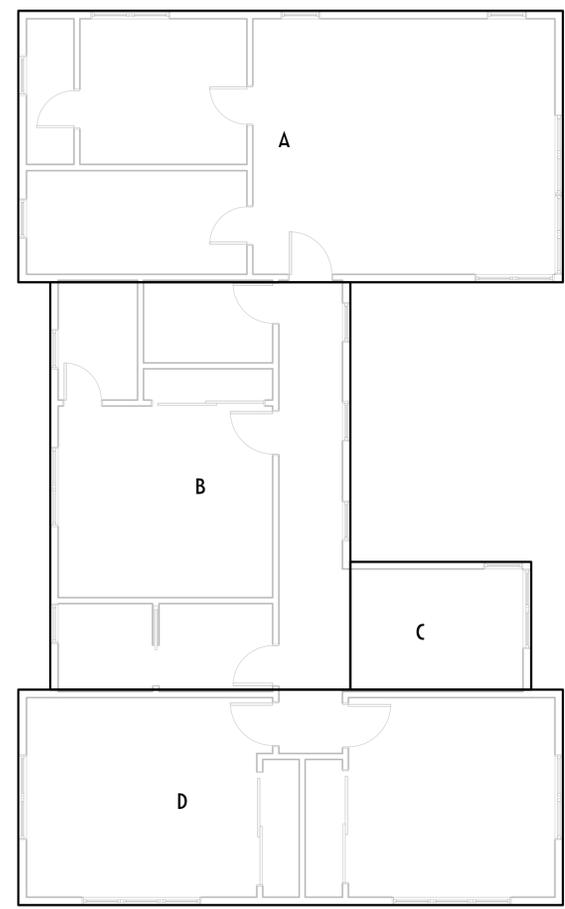
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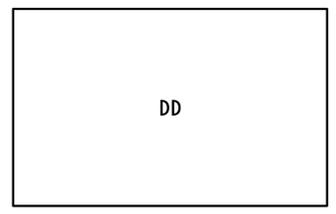




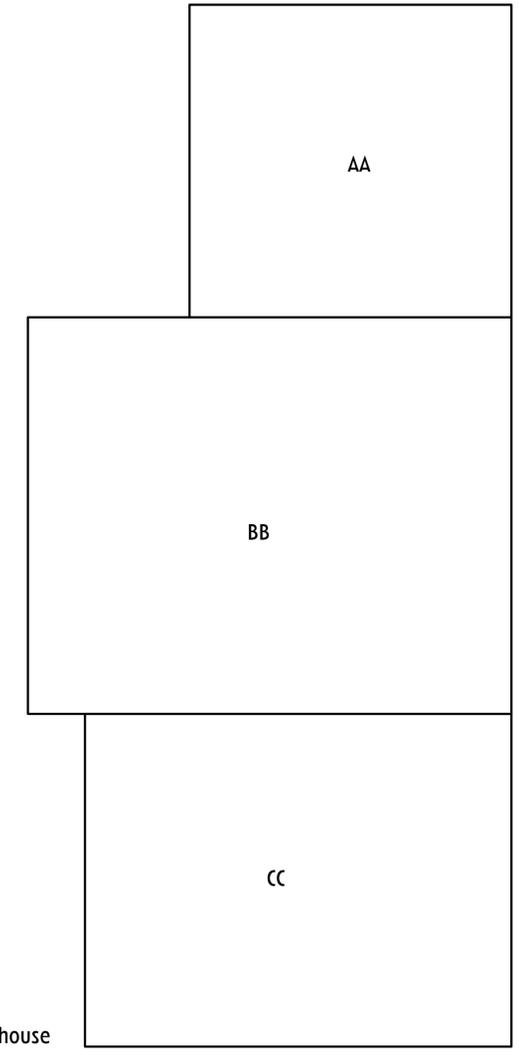
(n) first floor



(n) second floor



(e) detached structure



(e) house

floor area tabulation		
region	dimensions	area
A	34'-5" x 17'-0"	582 SF
B	18'-10" x 25'-6"	480 SF
C	8'-0" x 11'-4"	91 SF
D	34'-5" x 13'-6"	462 SF
E	17'-0" x 18'-6"	315 SF
F	16'-9" x 16'-0"	268 SF
G	5'-0" x 13'-6"	67 SF
H	27'-3" x 7'-6"	204 SF
J	32'-3" x 18'-0"	580 SF
K	44'-9" x 21'-0"	940 SF
L	6'-0" x 2'-0"	12 SF
M	21'-0" x 22'-0"	462 SF
P1	9'-6" x 25'-6"	242 SF
P2	3'-0" x 7'-6"	23 SF
P3	3'-0" x 18'-6"	55 SF
subtotal 2nd floor (A-D)		1,615 SF
subtotal 1st floor (E-L)		2,386 SF
garage (M)		462 SF
total floor area		4,463 SF
covered porches (P1-P3)		320 SF
total lot coverage		3,168 SF
pre-existing structures		
AA (garage)	20'-3" x 19'-7"	397 SF
BB	30'-5" x 24'-10"	755 SF
CC	26'-10" x 20'-10"	559 SF
DD (detached)	19'-9" x 12'-4"	244 SF
(e) floor area / lot coverage (AA-DD)		1,955 SF



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revisions

title
**floor area
blockout plan**

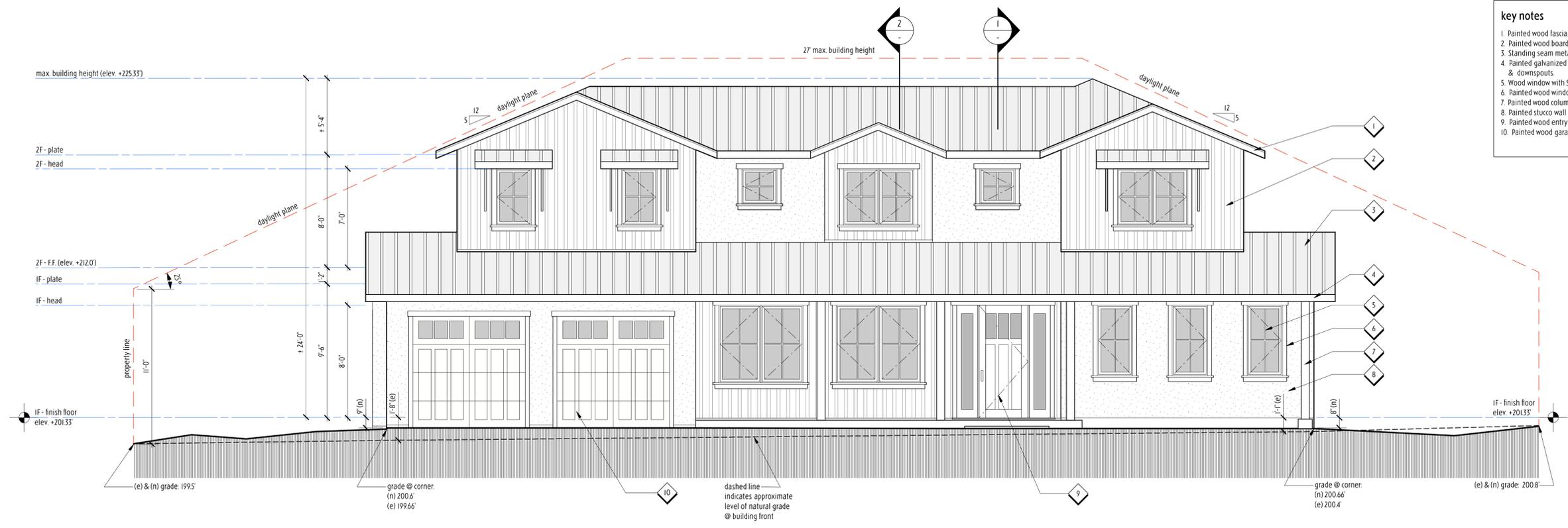
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scale
3/16" = 1'-0"

job
1423

date
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- key notes**
1. Painted wood fascia.
 2. Painted wood board & batten siding.
 3. Standing seam metal roof.
 4. Painted galvanized sheet metal gutters & downspouts.
 5. Wood window with SDL mullions.
 6. Painted wood window & door trim.
 7. Painted wood column.
 8. Painted stucco wall finish.
 9. Painted wood entry door & sidelites.
 10. Painted wood garage doors.

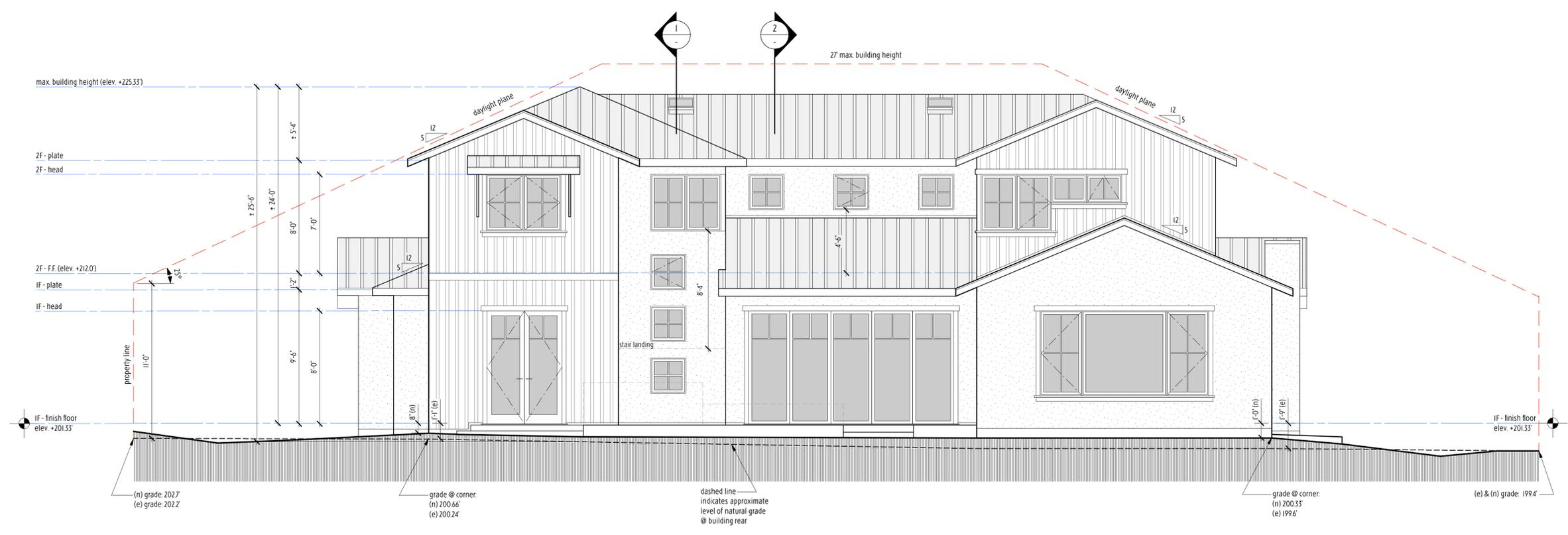
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a new residence at

**1375 OAKHURST AVENUE
LOS ALTOS, CA 94024**

1 west (front) elevation
scale: 1/4" = 1'-0"



2 east (rear) elevation
scale: 1/4" = 1'-0"

revisions

title

front & rear elevations

version

design review

scale

1/4" = 1'-0"

job

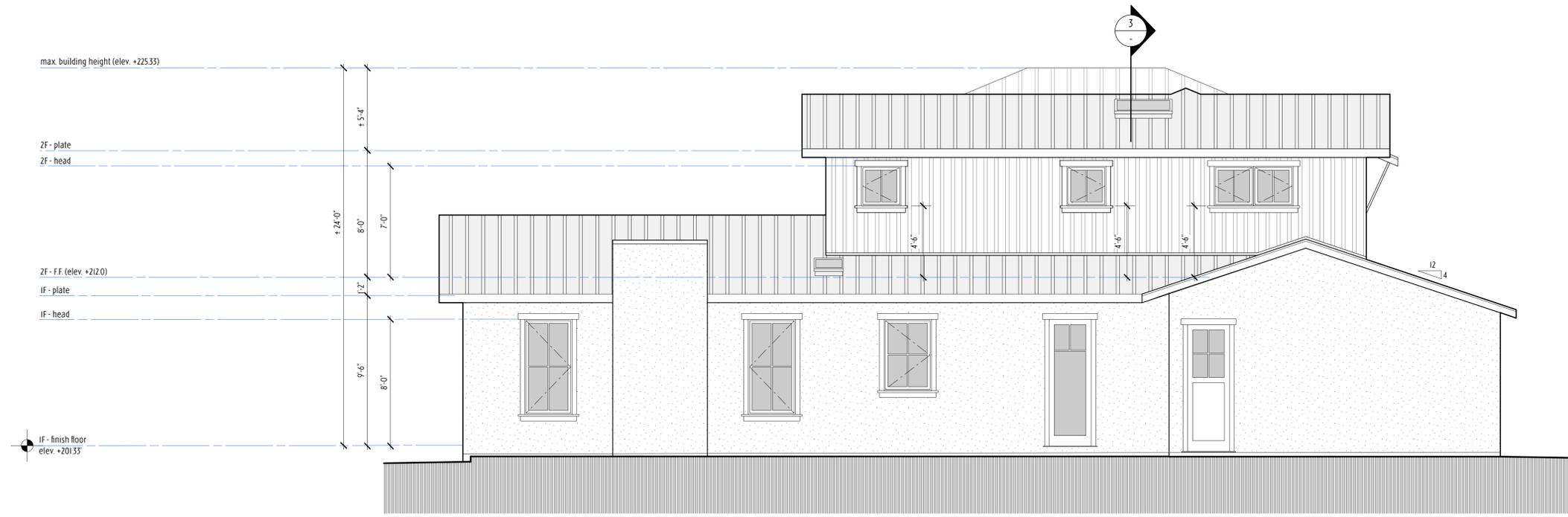
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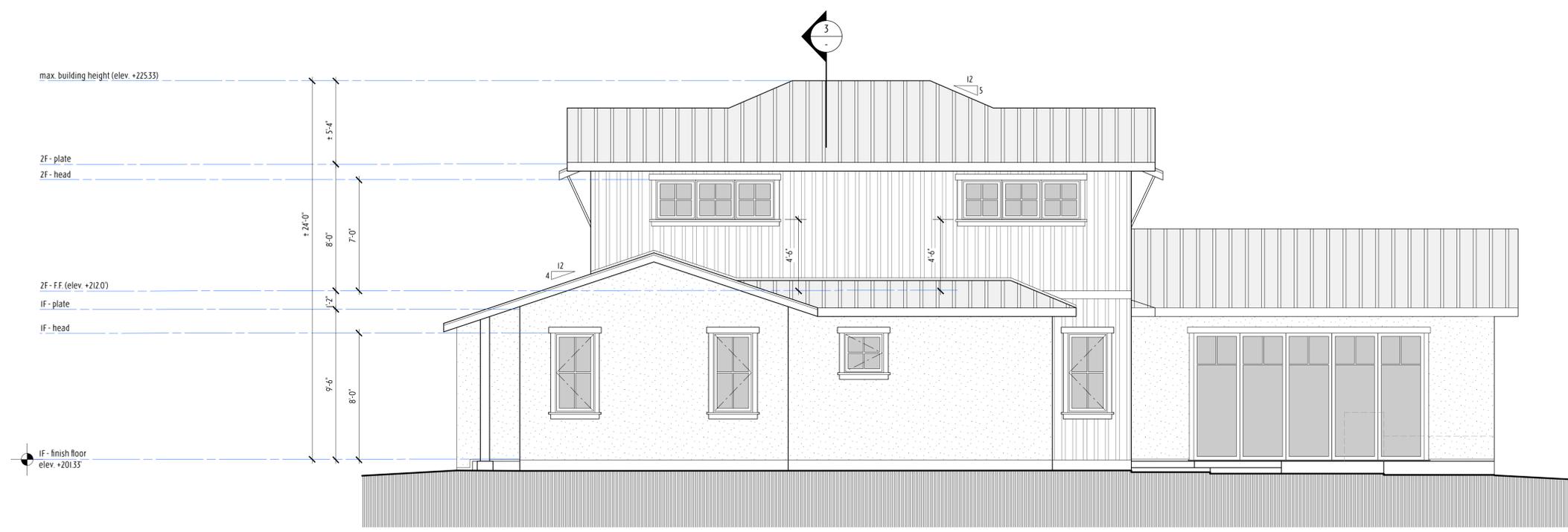
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1 north (side) elevation
scale: 1/4" = 1'-0"



2 south (side) elevation
scale: 1/4" = 1'-0"



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title
**side
elevations**

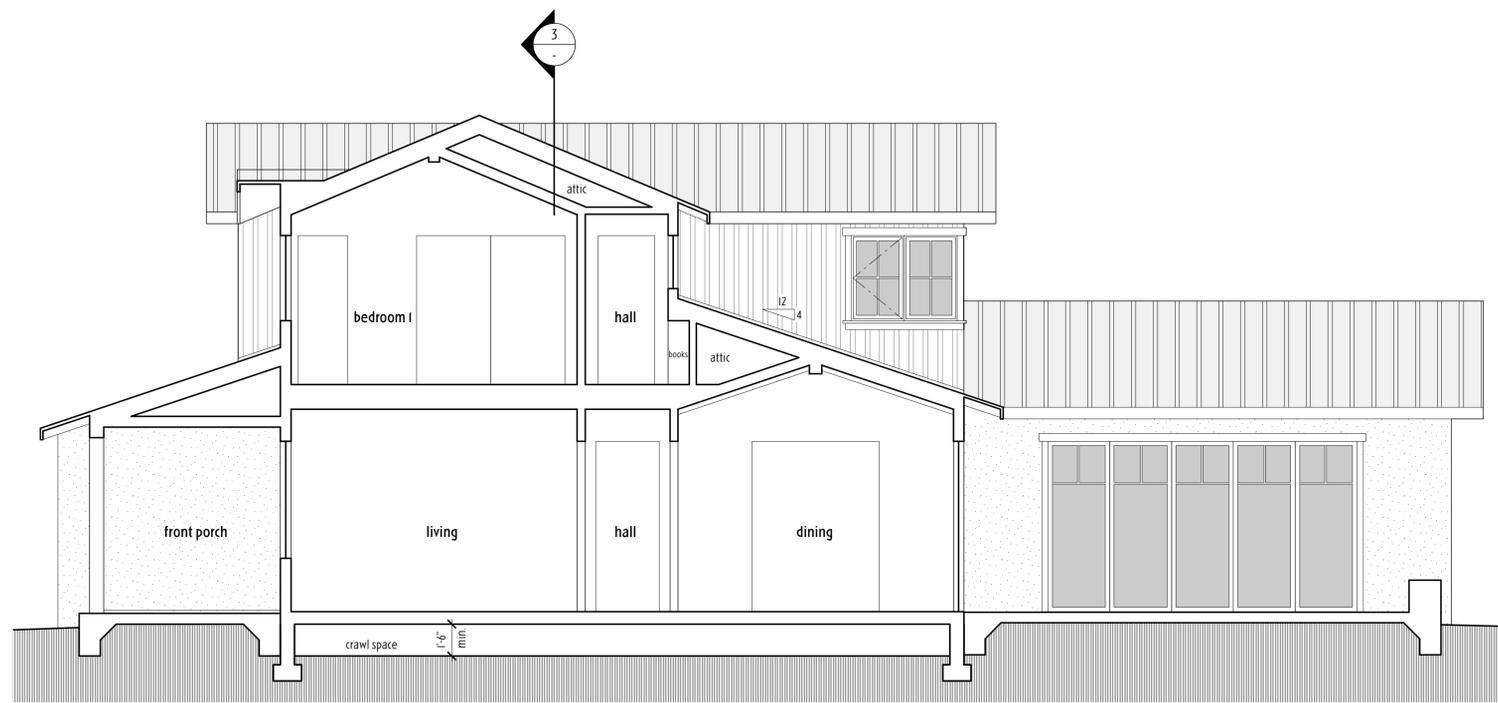
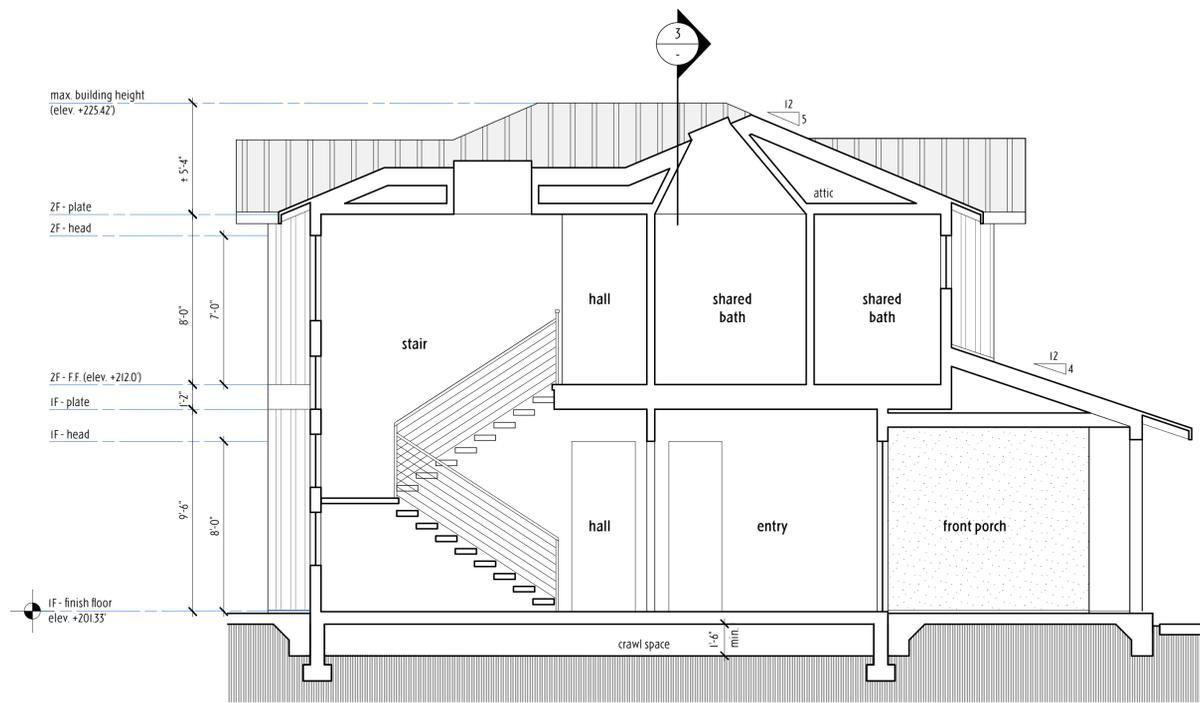
version
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scale
1/4" = 1'-0"

job
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date
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sheet
A3.2

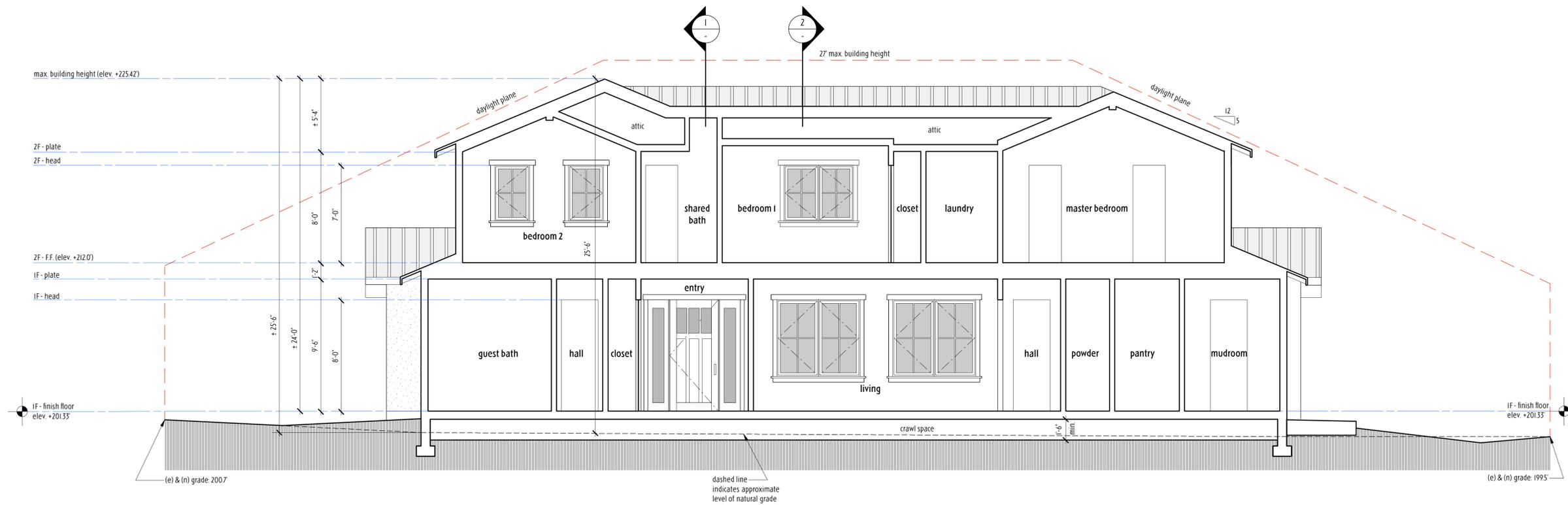


1 east-west building section

scale: 1/4" = 1'-0"

2 east-west building section

scale: 1/4" = 1'-0"



3 north-south building section

scale: 1/4" = 1'-0"



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a new residence at
1375 OAKHURST AVENUE
LOS ALTOS, CA 94024

revisions

title

building sections

version

design review

scale

1/4" = 1'-0"

job

1423

date

2015.03.06

sheet

A4.1