

REMODELING & ADDITION

1675 JUAREZ AVE., LOS ALTOS, CA 94024

VICINITY MAP



2105 S. Bascom Ave., Suite #260
Campbell, CA 95008
Tel: (408) 559-8037
www.memarie.com

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Client:

**Mr. Todd Gotham &
Ms. Kassie Porterfield**

1675 Juarez Ave.
Los Altos, CA 94024

Project:

Remodeling & Addition

1675 Juarez Ave.
Los Altos, CA 94024



PLANNING DEPARTMENT DESIGN REVIEW SUBMITTAL BUILDING DEPARTMENT PLAN CHECK SUBMITTAL (NOT FOR CONSTRUCTION) APPROVED FOR CONSTRUCTION

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: Land area covered by all structures that are over 6 feet in height	2,322 square feet (21.52%)	3,004 square feet (27.84%)	3,231 square feet (30.00%)
FLOOR AREA: Measured to the outside of exterior walls.	1st Flr: 2,322 sq ft 2nd Flr: 789 sq ft Total: 3,111 sq ft (28.83%)	1st Flr: 2,959 sq ft 2nd Flr: 786 sq ft Total: 3,745 sq ft (34.71%)	3,776 square feet (35.00%)
SETBACKS:			
Front	272 feet	26.3 feet	25.0 feet
Rear	612 feet	50.2 feet	25.0 feet
Right side (1st/2nd)	10.1 feet/16.6 feet	10.1 feet/21.6 feet	10.0 feet/17.5 feet
Left side (1st/2nd)	10.1 feet/18.1 feet	10.3 feet/21.1 feet	10.0 feet/17.5 feet
HEIGHT:	24.40 feet	25.11 feet	27.00 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: Includes habitable basement area	2,645 square feet	+634 square feet	3,279 square feet
NON-HABITABLE AREA: Does not include covered porches or open structures.	466 square feet	0 square feet	466 square feet

LOT CALCULATIONS

NET LOT AREA:	10,790 square feet
FRONT YARD HARDSCAPE AREA:	632 x 50% + 9 = 325 325 square feet (3.0%)

LANDSCAPE BREAKDOWN:	Total hardscape area (existing and proposed): 3,867 sq ft Existing softscape (undisturbed) area: 5,997 sq ft New softscape area: 926 sq ft Sum of all three should equal the site's net lot area
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SHEET INDEX

- A-0 COVER SHEET
- A-01 NEIGHBORHOOD CONTEXT MAP
- 1 OF 1 BOUNDARY & TOPOGRAPHIC SURVEY
- C1 CIVIL TITLE SHEET
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- C3 EROSION CONTROL DETAILS
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- A-7 NEW SECOND FLOOR PLAN
- A-8 NEW EXTERIOR ELEVATIONS
- A-9 NEW EXTERIOR ELEVATIONS
- A-10 NEW BUILDING SECTIONS
- A-11 NEW BUILDING SECTIONS
- A-12 NEW ROOF PLAN

CONSULTANTS

- 1- OWNER: MR. TODD GOTHAM & MS. KASSIE PORTERFIELD
1675 JUAREZ AVE.
LOS ALTOS, CA 94024
TEL: (408) 718-1625
E-MAIL: tgotham@gmail.com
- 2- ARCHITECTURAL: MEMARIE ASSOCIATES
2105 S. BASCOM AVE.
SUITE #260
CAMPBELL, CA 95008
TEL: (408) 559-8037
E-MAIL: rezan@memarie.com
- 3- LAND SURVEYOR: T. K. M. LAND SURVEYORS
2250 BOHANNON DRIVE
SANTA CLARA, CA 95050
TEL: (408) 615-8855
E-MAIL: tom@tkmlandsurveyors.com
- 3- CIVIL: LC ENGINEERING
1291 OAKLAND ROAD
SAN JOSE, CA 95112
TEL: (408) 806-7187
E-MAIL: nie@lceengineering.net

PROJECT DATA

APN: 318-09-021
ZONING: RI-10
LOT SIZE: 10,790 SQ. FT.
TYPE OF OCCUPANCY: R3/U
TYPE OF CONSTRUCTION: V-B
MAXIMUM LOT COVERAGE FOR TWO STORY BUILDING: 30% 3,231 SQ. FT.
MAXIMUM FLOOR AREA & RATIO: 35% 3,776 SQ. FT.
MAXIMUM BUILDING HEIGHT FROM NATURAL GRADE: 27'-0"
EXISTING LIVING AREA: 1856 + 789 = 2,645 SQ. FT.
EXISTING GARAGE AREA: 466 SQ. FT.
FIRE SPRINKLER: YES, DIFFERED SUBMITTAL

HARDSCAPE AREA:
BUILDING FOOTPRINT: 2,959 SQ. FT.
BACK PORCH (TRELLIS AREA): 308 SQ. FT.
FRONT PORCH: 45 SQ. FT.
WALKWAY: 72 SQ. FT.
DRIVEWAY (PAVER): 632 x 50% = 316 SQ. FT.
EXISTING CONCRETE PAD TO REMAIN: 138 SQ. FT.
AC UNITS CONCRETE PAD: 29 SQ. FT.
TOTAL: 3,867 SQ. FT.

Client Revisions

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
5	Design Front Elevation	05/09/14
6	Client Change-Front Elevation	05/13/14
7	Client Change-Front Elevation	05/22/14
8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12	Client Change - Closets & Ceiling	06/26/14
13	Client Change - Second Floor	12/09/14
14	Client Change - M. Toilet & Bedroom #4	12/12/14

City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
2	Planning Comments	12/18/14
3		
4		
5		
6		
7		
8		

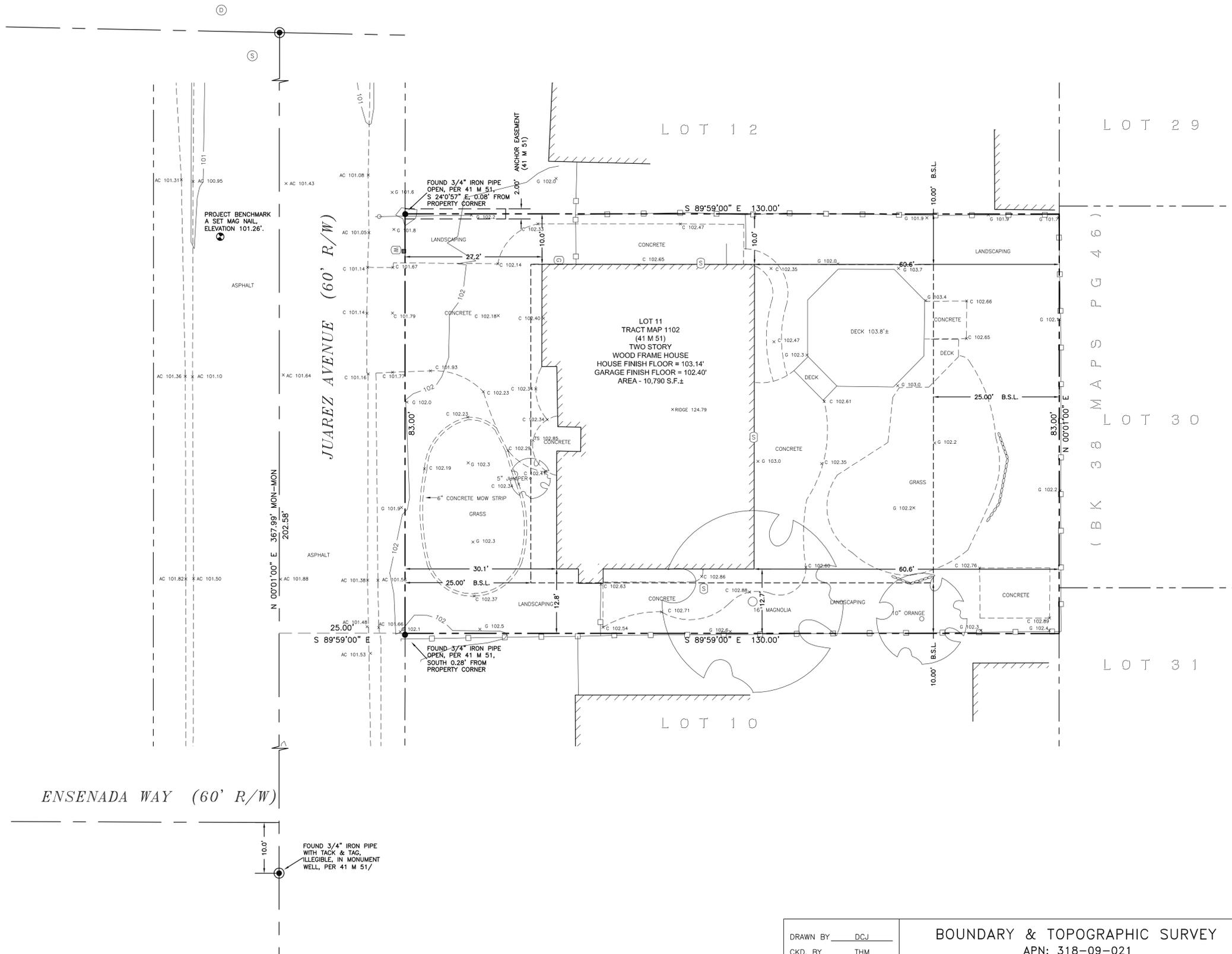
Date: 03/27/14
Scale: N.T.S.
Drawn By: NKF
Checked By: RN
Sheet Title:

Cover Sheet

Sheet No.:

A-0

RICHARDSON AVE (60' R/W)



LEGEND

- BOUNDARY
- PROPERTY LINE
- CENTER LINE
- SETBACK LINE
- EASEMENT LINE
- FACE OF BUILDING LINE
- WOODEN FENCE
- GAS METER
- WATER METER
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- STORMDRAIN MANHOLE
- FOUND IRON PIPE AS NOTED
- FOUND MONUMENT AS NOTED
- JOINT POLE

ABBREVIATIONS

- C CONCRETE
- G GROUND
- AC ASPHALTIC CONCRETE
- TS TOP OF STEP
- B.S.L. BUILDING SETBACK LINE

NOTES

1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. ASSESSOR'S PARCEL NUMBER: 318-09-021
5. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
6. DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON TRACT MAP NO. 1102 RECORDED IN BOOK 41 OF MAPS AT PAGE 51, SANTA CLARA COUNTY RECORDS.

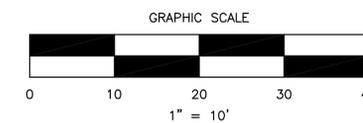
PROJECT BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED DATUM. A MAG NAIL WAS SET IN THE STREET IN FRONT OF THE SITE. ELEVATION 101.26'.

SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

TOM H. MILO DATE
L.S. 6438 EXP. 12-31-2014



ENSENADA WAY (60' R/W)

DRAWN BY <u>DCJ</u> CKD. BY <u>THM</u> DATE <u>04/07/2014</u> SCALE <u>1" = 10'</u>	BOUNDARY & TOPOGRAPHIC SURVEY APN: 318-09-021 1675 JUAREZ AVENUE LOS ALTOS CALIFORNIA	T.K.M. Land Surveyors 2250 Bohannon Drive Santa Clara, CA 95050 408.615.8855 phone 408.615.1556 fax	JOB NO. _____ SHEET <u>1</u> OF <u>1</u> FILE NO. _____
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GRADING AND DRAINAGE IMPROVEMENTS

I. GENERAL NOTES

- ALL GRADING SHALL COMPLY WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING CODE.
- THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
- ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE DESIGNATED BY THE OWNER AND SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTION PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
- EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 1%.
- THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- THE TOPOGRAPHY SURVEY MADE BY T.K.M LAND SURVEYORS ON 04/07/14
- THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY.
- THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS. SEE ARCHITECT PLAN.
- CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 382 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.
- ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
- IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE, CALL : UNDERGROUND SERVICE ALERT (USA) 800-642-2444
- THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.
- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 mm) PLUS 2%. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2010 UNIFORM BUILDING CODE.
- ABS AND PVC EXTENDABLE BACKWATER VALVE MAY BE ORDERED FROM CLEAN CHECK, INC AT (866) 288-2583 OR P.O. BOX 2437, HAYDEN, ID 83835-2437.

II. DUST CONTROL

- ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
- AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST.
- GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR.
- STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED.
- THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEPED (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

AB	AGGREGATE BASE	FD	FOUND	PUE	PUBLIC UTILITY EASEMENT
AC	ASPHALT CONCRETE	FF	FINISH ELEVATION OF SUBFLOOR	PWMT	PAVEMENT
AD	AREA DRAIN	FG	GROUND FINISH GRADE	PVC	POLYVINYL CHLORIDE
AE	ANCHOR EASEMENT	FL	FIRE HYDRANT	R	RADIUS
BB	BUBBLER BOX	FM	FLOW LINE	R/W	RETAINING WALL
BLDG	BUILDING	G	GARAGE SLAB ELEVATION/GAS LINE	REM	REMOVE
BLK	BLOCK	GPE	RIGHT OF WAY	R/W	RIGHT OF WAY
BSL	BUILDING SETBACK LINE	GSB	GENERAL PUBLIC EASEMENT	SB	SETBACK
BW	BOTTOM OF WALL/BACK OF WALK	GM	GRADING SETBACK	SD	STORM DRAIN EASEMENT
CG	CURB & GUTTER	GM	GAS METER	SDE	SLOPE EASEMENT
C	CENTERLINE	HP	HIGH POINT	SE	SLOPE MAINTENANCE EASEMENT
CLF	CHAIN LINK FENCE	IP	INVERT	SSE	SANITARY SEWER/LATERAL
CO	SANITARY SEWER CLEANOUT	LIP	LIP OF GUTTER	STA	STANDARD CITY DETAIL
COP	CURB OPENING	LS	LANDSCAPED AREA	STD	SIDEWALK
CONC	CONCRETE	LW	LANDSCAPED AREA	SW	TOP OF BANK
CSD	COUNTY STANDARD DETAIL	MAX	MAXIMUM	TC	TOP OF CURB
CVE	CONSERVATION EASEMENT	MH	MANHOLE	TO	TOP OF GRADE
DE	DRAINAGE EMITTER	MIN	MINIMUM	TOC	TOP OF COVER
DI	DRAINAGE INLET	N&S	NAIL AND SHINER	TOE	TOE OF BANK
DS	DOWNSPOUT	NTS	NOT TO SCALE	TP	TYPICAL
DWY	DRIVEWAY	OH	OVERHEAD	TEMP	TEMPORARY
E	EASEMENT	OG	ORIGINAL GROUND	TOE	TOE OF COVER
ELEV	ELEVATION	P	PAVEMENT FINISH GRADE	TOE	TOE OF BANK
EA	ELECTRIC METER	PAF	PAVED ELEVATION	TOE	TOE OF GRADE
E(OH)	ELECTRIC OVERHEAD	PE	PATHWAY EASEMENT	TPF	TREE PROTECTION FENCE
E(LG)	ELECTRIC UNDERGROUND	PEE	PEDESTRIAN EQUESTRIAN EASEMENT	TW	TOP OF WALL
EP	EDGE OF PAVEMENT	PERF	PERFORATED	TYP	TYPICAL
EX	EXISTING	R	PROPERTY LINE	VG	VALLEY GUTTER
EVA	VEHICLE ACCESS EASEMENT	W	WATER	W	WALKWAY
FC	FACE OF CURB	WCE	WIRE CLEARANCE EASEMENT	WM	WATER METER
		PP	POWER POLE	WOE	WIRE OVERHANG EASEMENT
		PROP	PROPOSED	WV	WATER VALVE
		PSE	PUBLIC SERVICE EASEMENT	WV	WATER VALVE
				WV	WATER VALVE
				WV	WATER VALVE

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON TRACT MAP NO. 1102 RECORDED IN BOOK 41 OF MAPS AT PAGE 51, SANTA CLARA COUNTY RECORDS.

PROJECT BENCHMARK

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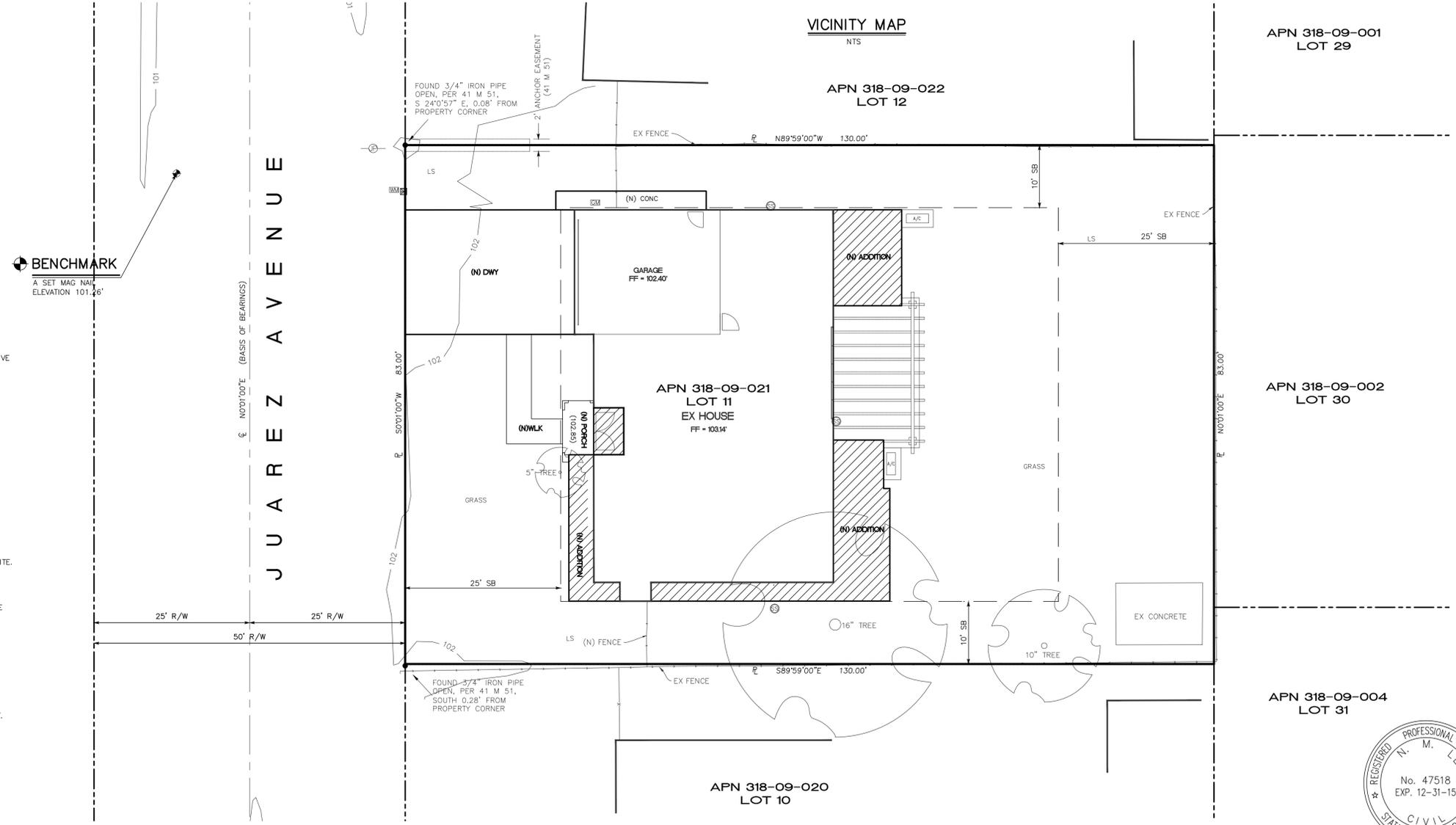
LEGEND & ABBREVIATIONS

⊙	AREA DRAIN	---	EASEMENT LINE	⊕	ELECTRICAL BOX
⊕	BENCHMARK	---	EXISTING ELEVATION	⊕	TELEPHONE BOX
---	BOUNDARY	---	EXISTING FENCE	⊕	TEST PIT
⊕	CATCH BASIN	---	EXISTING TREE TO BE REMOVED	⊕	TOP OF FILL
⊕	COBBLE ROCK ENERGY DISSIPATOR	---	EXISTING TREE TO REMAIN	⊕	TOE OF FILL
⊕	CONCRETE	---	FOUND IRON PIPE AT PROPERTY CORNER	⊕	TOE OF CUT
---	EXISTING CONTOUR AFTER GRADING	---	FIBER ROLLS	⊕	TOE OF CUT
---	DESIGN GRADE	---	GAS METER	⊕	TREE NUMBER
---	DOWNSPOUT WITH SPLASHBLOCK	---	GAS VALVE	⊕	T-Vault
---	DRAINAGE EMITTER	---	GRADE TO DRAIN	---	UTILITY: EXISTING
---	DIVERSION VALVE	---	GUY POLE	---	UTILITY: PROPOSED OR NEW
---	DRAINAGE DIRECTION EXTENDABLE	---	GUY WIRE ANCHOR	---	VERTICAL SHORING
---	BACKWATER VALVE (SEE PROJECT NOTES)	---	HIGH POINT	---	WATER METER
---	DRAINAGE SWALE	---	HYDRANT: EXISTING	---	WATER VALVE
		---	HYDRANT: PROPOSED	---	HEART WATER TANK
		---		---	WELL



SHEET INDEX

SHEET C1	TITLE SHEET
SHEET C2	GRADING, DRAINAGE AND EROSION CONTROL PLAN
SHEET C3	EROSION CONTROL DETAILS
SHEET C4	BLUEPRINT FOR CLEANBAY



SITE PLAN
SCALE 1" = 10'



DESIGNED	DATE	09/25/14
DRAWN	DATE	09/25/14
AS NOTED	SCALE	
CHECKED	DATE	09/25/14

ENGINEERING
1291 Oakland Road
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

California

LANDS OF GOTHAM AND PORTERFIELD
1675 JUAREZ AVENUE
APN 318-09-021

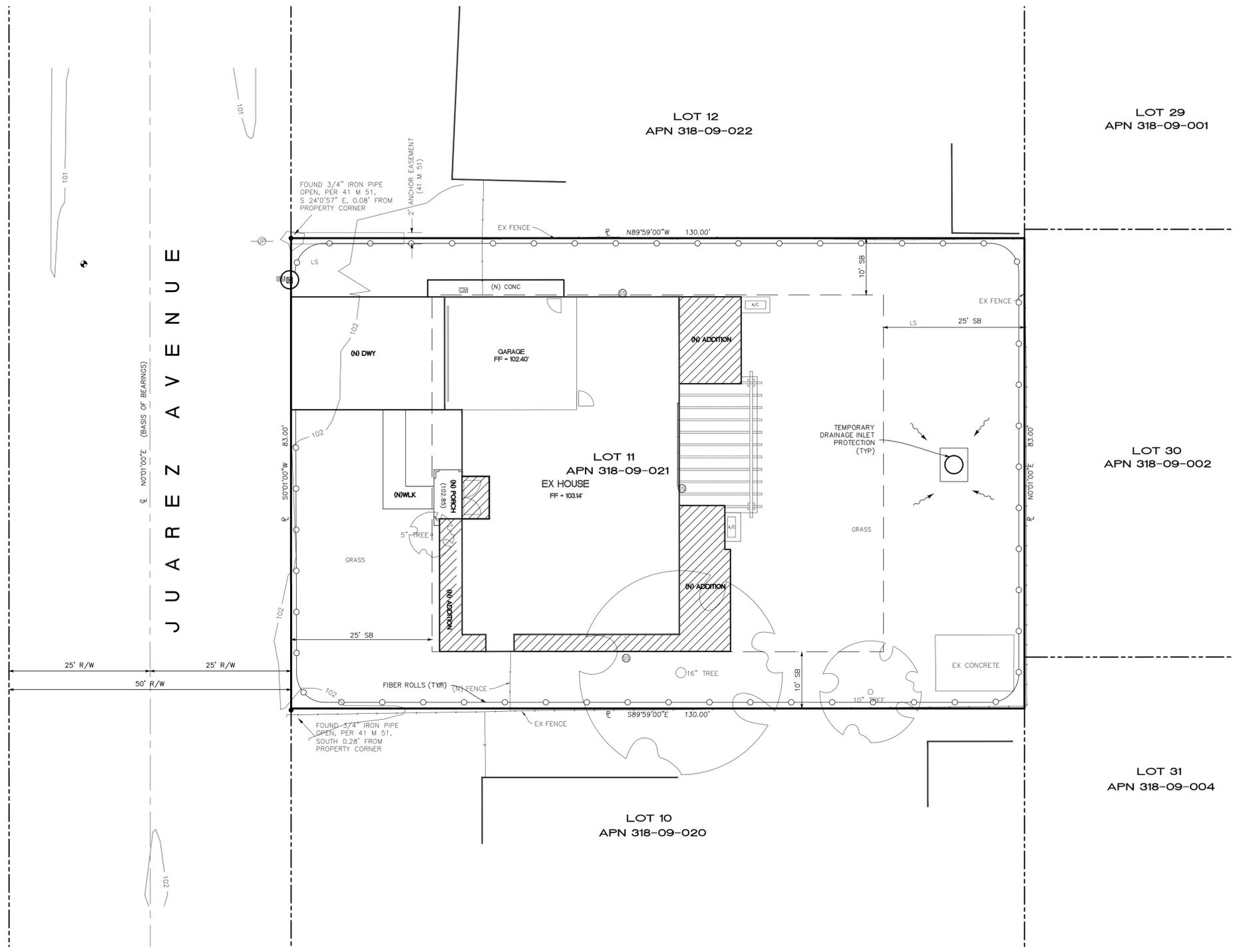
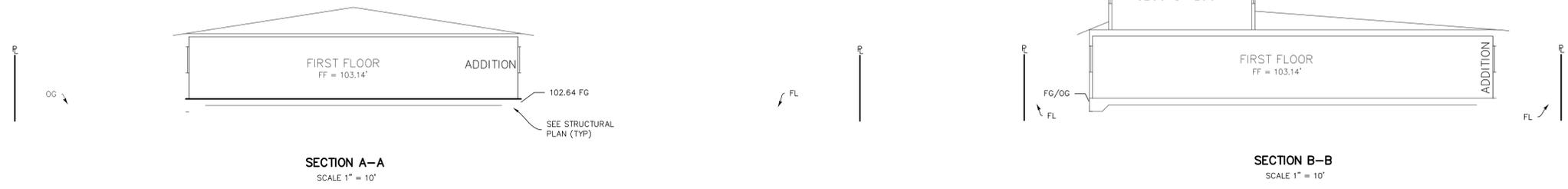
Los Altos

PROJECT NO. _____ CONTRACT NO. _____

DRAWING NO. **C1** SHEET NO. **1** OF **4** FILE NO. _____

PLAN NO. OF SHEET

PLAN NO. _____ OF _____ SHEET _____ OF _____



DRAWING NO. C2		PROJECT NO. _____	
SHEET NO. 2 OF 4		CONTRACT NO. _____	
FILE NO. _____		PROJECT NO. _____	
DESIGNED	DATE	BY	DATE
JT	09/25/14		
DRAWN	DATE	APP'D	DATE
1" = 10'			
SCALE		REVISIONS	
CHECKED	DATE		
NL	09/25/14		

GRADING, DRAINAGE AND EROSION CONTROL PLAN
LANDS OF GOTHAM AND PORTERFIELD
1675 JUAREZ AVENUE
APN 318-09-021

ENGINEERING
 1291 Oakland Road
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

APPLICANT : GOTHAM AND PORTERFIELD

ROAD NAME : JUAREZ AVENUE

CITY FILE NO :

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**Mr. Todd Gotham &
Ms. Kassie Porterfield**

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Los Altos, CA 94024

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Remodeling & Addition

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2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
5	Design Front Elevation	05/09/14
6	Client Change-Front Elevation	05/13/14
7	Client Change-Front Elevation	05/22/14
8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12	Client Change - Closets & Ceiling	06/26/14
13	Client Change - Second Floor	12/09/14
14	Client Change - M. Toilet & Bedroom #4	12/12/14

City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
2	Planning Comments	12/18/14
3		
4		
5		
6		
7		
8		

Date: 03/27/14

Scale: 1"=10'-0"

Drawn By: NKF

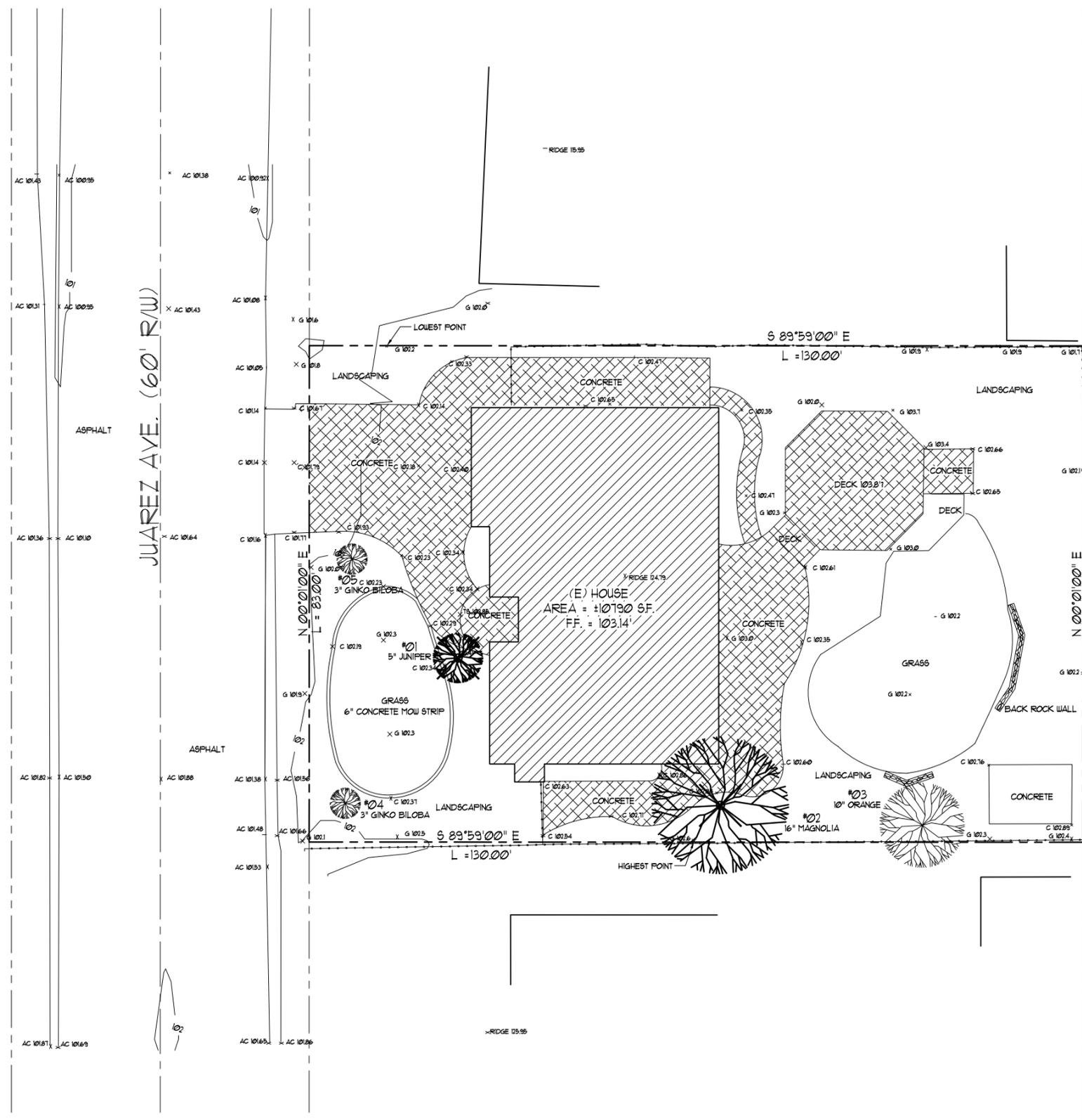
Checked By: RN

Sheet Title:

**Existing
and Demo
Site Plan**

Sheet No.:

A-1



LEGENDS:

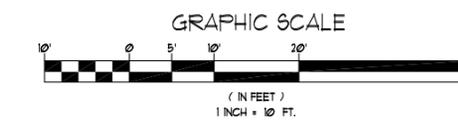
EXISTING BUILDING TO REMAIN:

EXISTING CONC. & DECK AREA TO BE REMOVED:

EXISTING TREE TO BE REMOVED:



EXISTING TREE TABLE			
TREE NO.	TREE NAME	TRUNK DIAMETER	REMARK
#01	JUNIFER	5"	TO BE REMOVED
#02	MAGNOLIA	16"	TO BE REMOVED
#03	ORANGE	10"	TO REMAIN
#04	GINKO BILOBA	3"	TO REMAIN
#05	GINKO BILOBA	3"	TO REMAIN



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Client Revisions

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
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13	Client Change - Second Floor	12/09/14
14	Client Change - M. Toilet & Bedroom #4	12/12/14

City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
2	Planning Comments	12/18/14
3		
4		
5		
6		
7		
8		

Date: 03/27/14

Scale: 1"=10'-0"

Drawn By: NKF

Checked By: RN

Sheet Title:

**New
Site Plan &
Landscape Plan**

Sheet No.:

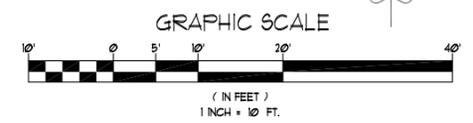
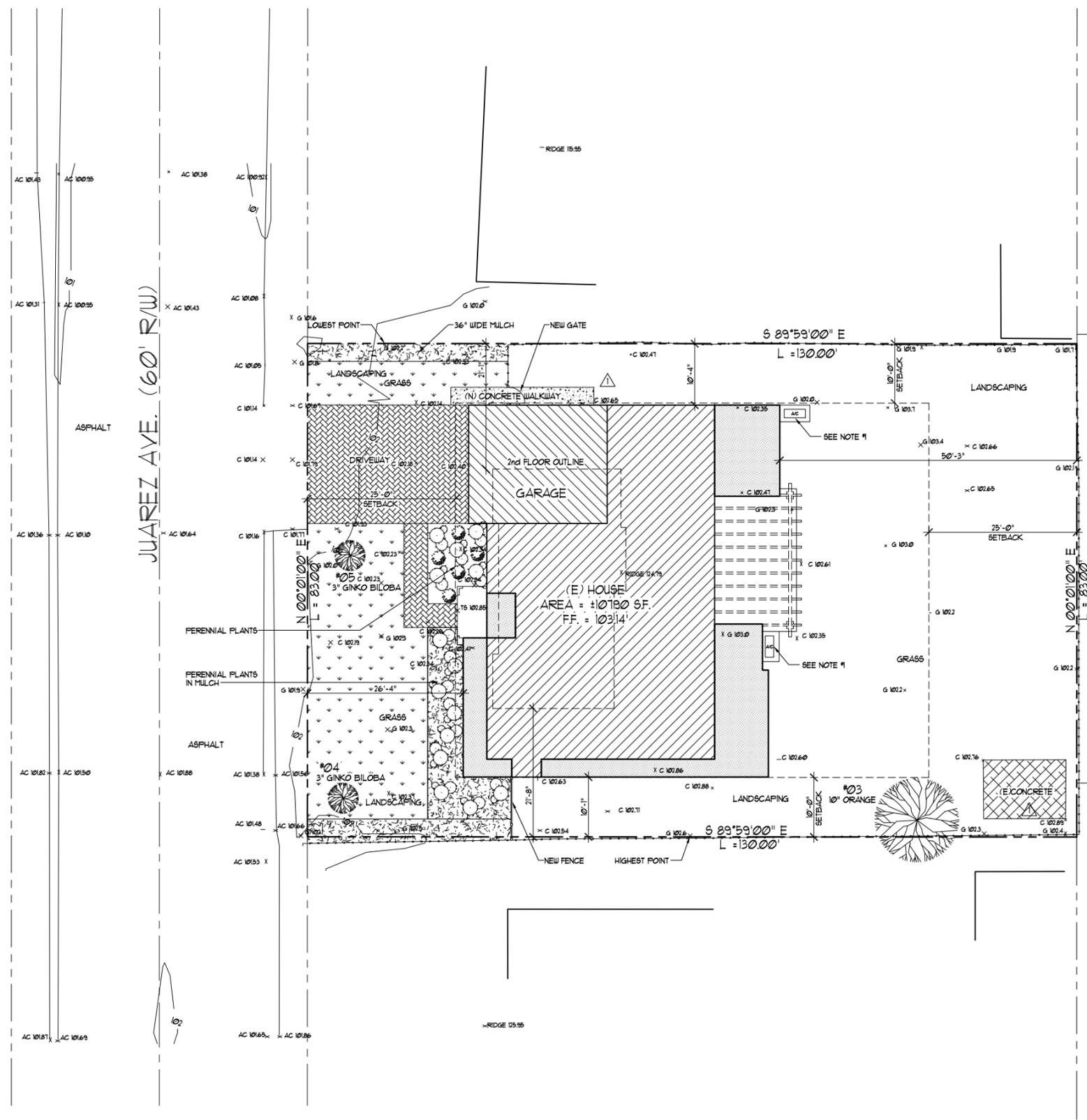
A-2

- LEGENDS:**
- EXISTING BUILDING:
 - EXISTING CONCRETE AREA:
 - ADDITION TO BUILDING AREA:
 - NEW PAVED AREA:

NOTES:
1- THE SOUND RATING OF THE AIR CONDITIONING UNITS ARE 62.00.
GOODMAN AC UNIT #, MODEL # CCAG36DFN3, 13 SEER

EXISTING TREE TABLE

TREE NO.	TREE NAME	TRUNK DIAMETER	REMARK
01	JUNIPER	5"	TO BE REMOVED
02	MAGNOLIA	16"	TO BE REMOVED
03	ORANGE	10"	TO REMAIN
04	GINKO BILOBA	3"	TO REMAIN
05	GINKO BILOBA	3"	TO REMAIN



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14	Client Change - M. Toilet & Bedroom #4	12/12/14

City Revisions

No.	Description	Date
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2	Planning Comments	12/18/14
3		
4		
5		
6		
7		
8		

Date: 03/27/14

Scale: 3/16"=1'-0"

Drawn By: NKF

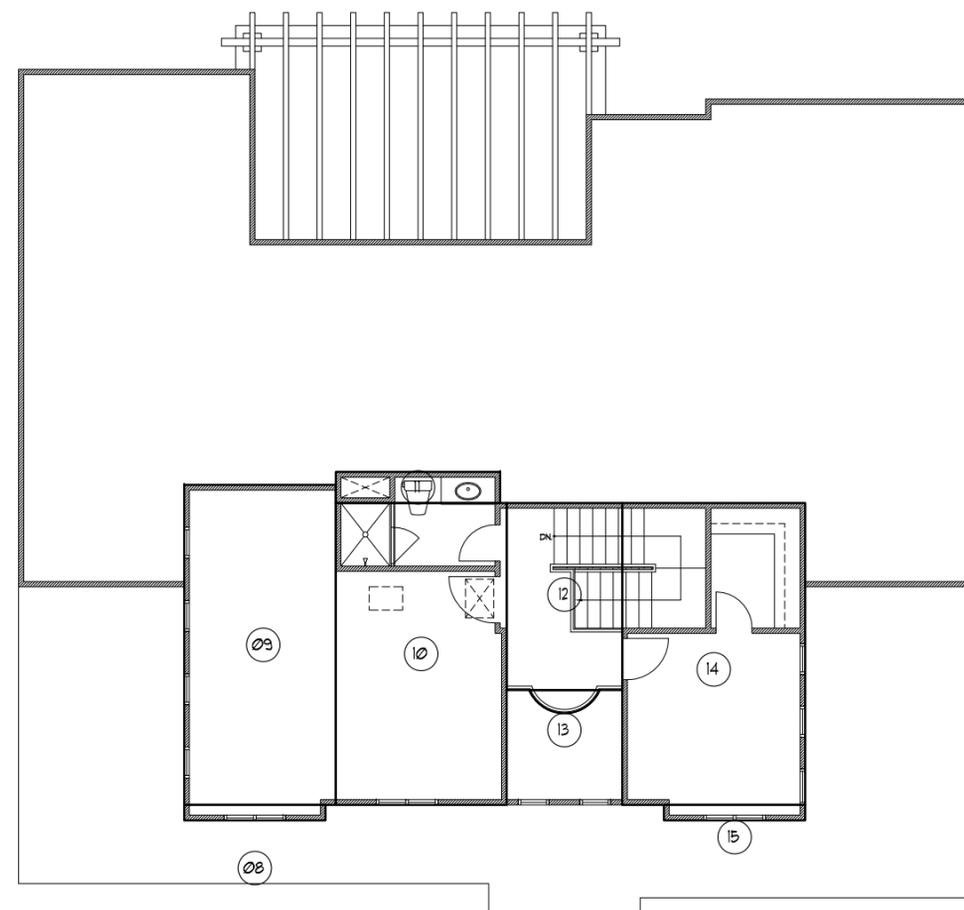
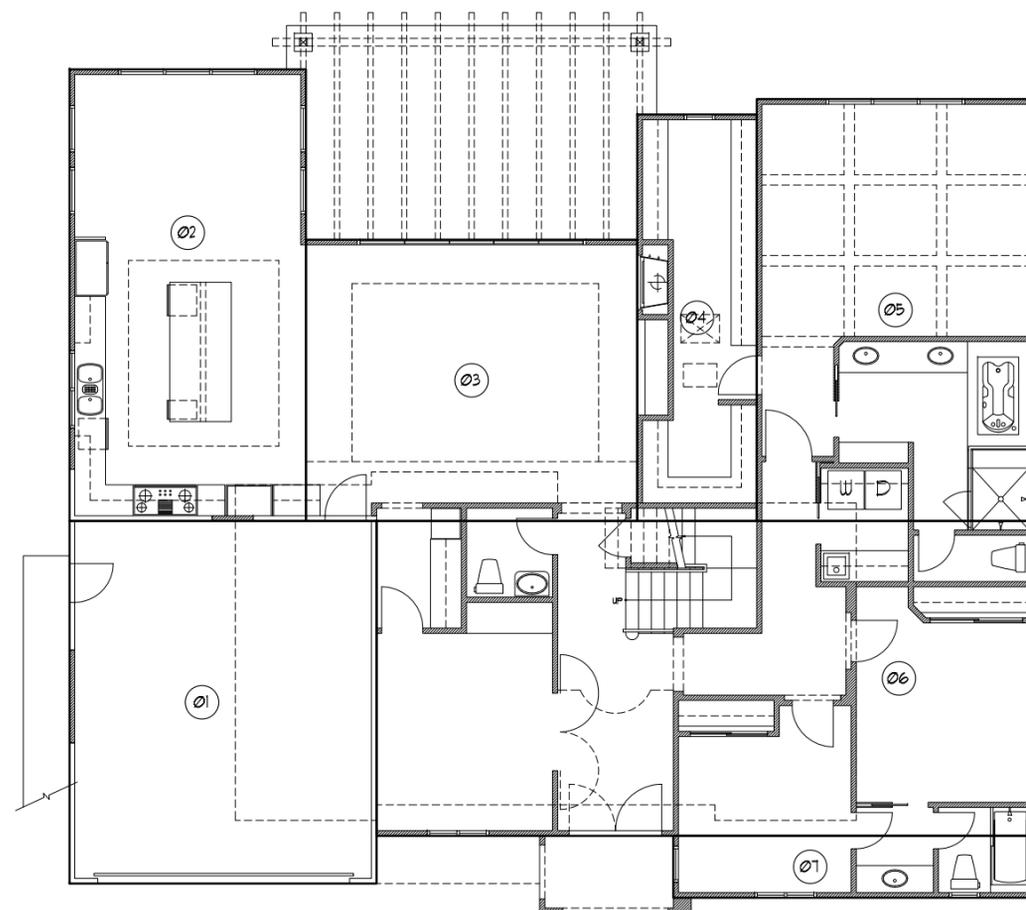
Checked By: RN

Sheet Title:

**Floor Area
Calculation
Plan**

Sheet No.:

A-3



GARAGE FLOOR AREA:

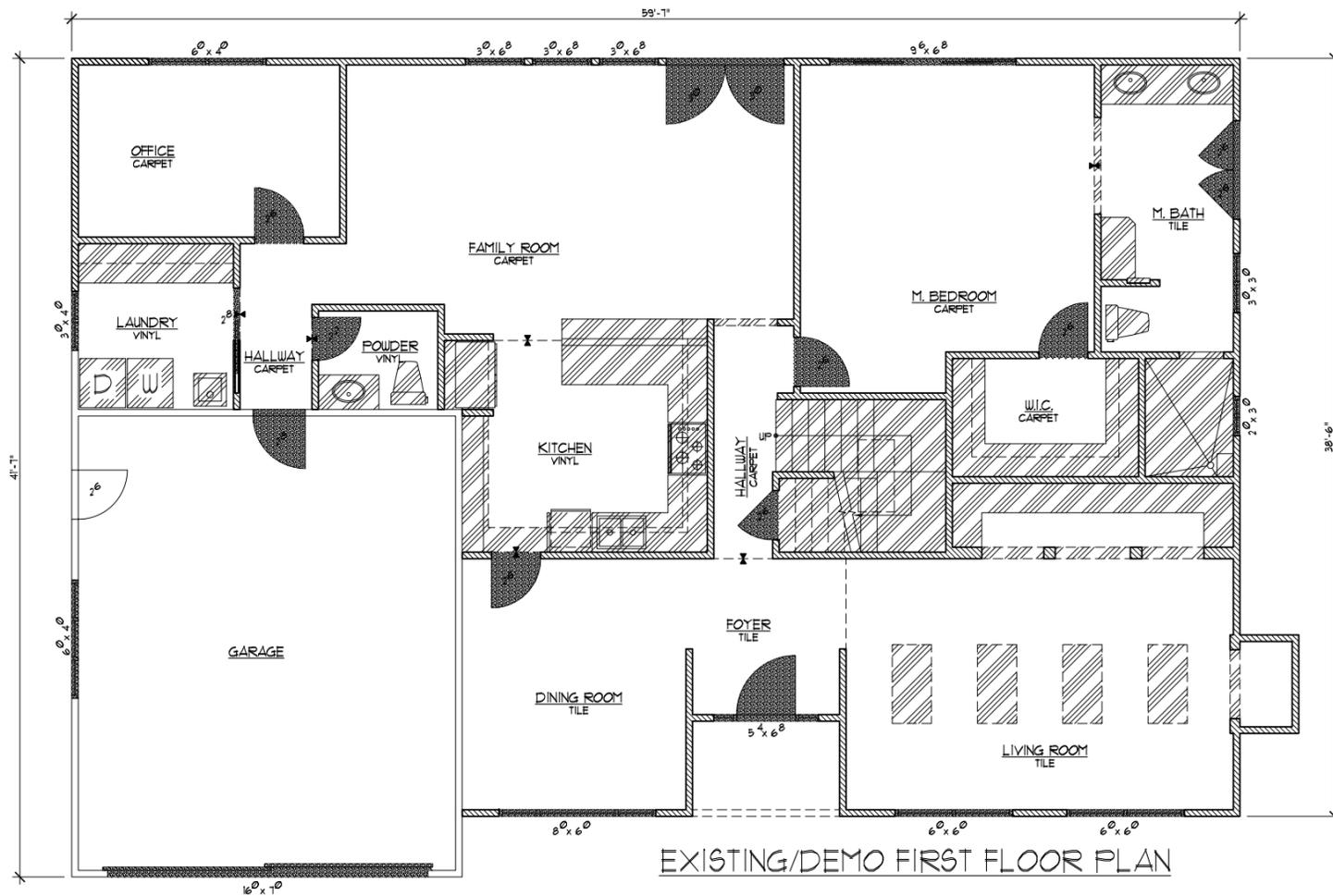
01	(19'-11") x (23'-5") =	466 SQ. FT.
TOTAL:		466 SQ. FT.

FIRST FLOOR AREA:

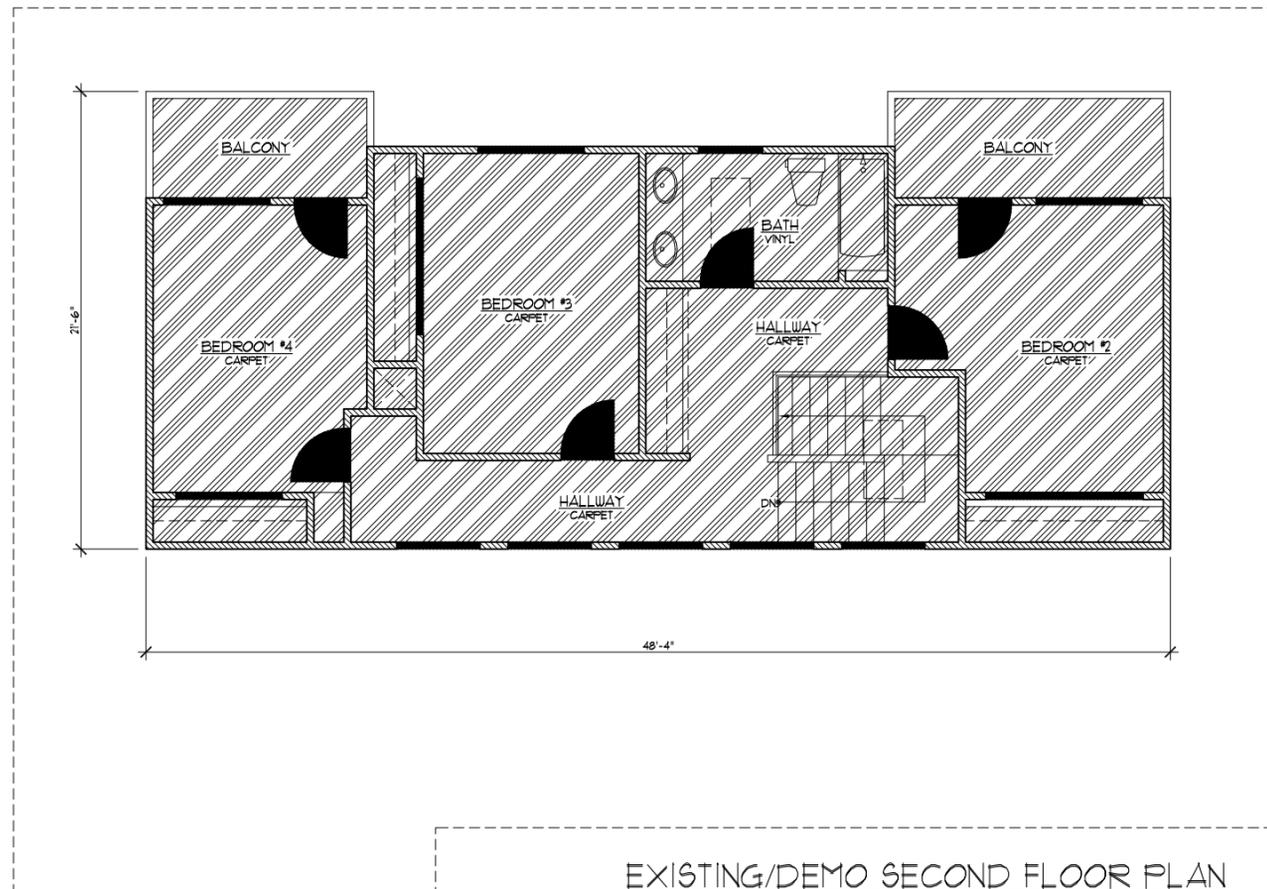
02	(15'-4") x (29'-2") =	441 SQ. FT.
03	(21'-6") x (18'-2") =	391 SQ. FT.
04	(7'-9") x (26'-3") =	203 SQ. FT.
05	(18'-0") x (27'-3") =	490 SQ. FT.
06	(42'-8") x (20'-4") =	868 SQ. FT.
07	(23'-5") x (4'-0") =	94 SQ. FT.
TOTAL:		2,493 SQ. FT.

SECOND FLOOR AREA:

08	(9'-2") x (1'-0") =	9 SQ. FT.
09	(9'-10") x (20'-8") =	203 SQ. FT.
10	(11'-1") x (19'-6") =	216 SQ. FT.
11	(10'-8") x (2'-0") =	21 SQ. FT.
12	(7'-6") x (12'-1") =	91 SQ. FT.
13		5 SQ. FT.
14	(11'-10") x (19'-6") =	232 SQ. FT.
15	(9'-2") x (1'-0") =	9 SQ. FT.
TOTAL:		786 SQ. FT.



EXISTING/DEMO FIRST FLOOR PLAN



EXISTING/DEMO SECOND FLOOR PLAN

LEGEND:

- EXISTING WALLS TO REMAIN:
- EXISTING WALLS TO BE REMOVED:
- EXISTING WINDOW TO BE REMOVED:
- EXISTING DOOR TO BE REMOVED:
- EXISTING MISC. TO BE REMOVED:

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City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
2	Planning Comments	12/18/14
3		
4		
5		
6		
7		
8		

Date: 03/27/14

Scale: 1/4"=1'-0"

Drawn By: NKF

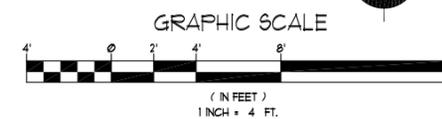
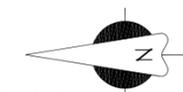
Checked By: RN

Sheet Title:

**Existing & Demo
First & Second
Floor Plans**

Sheet No.:

A-4

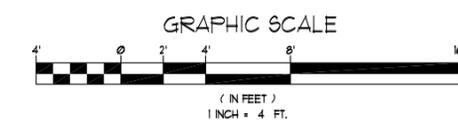
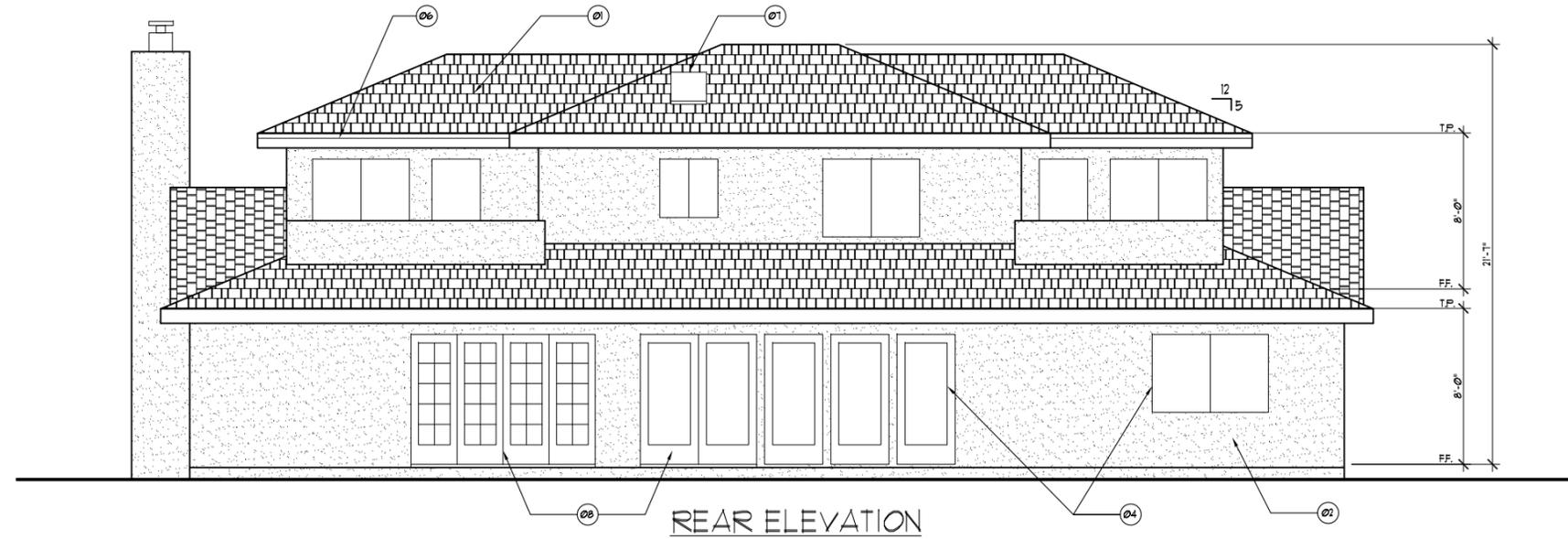
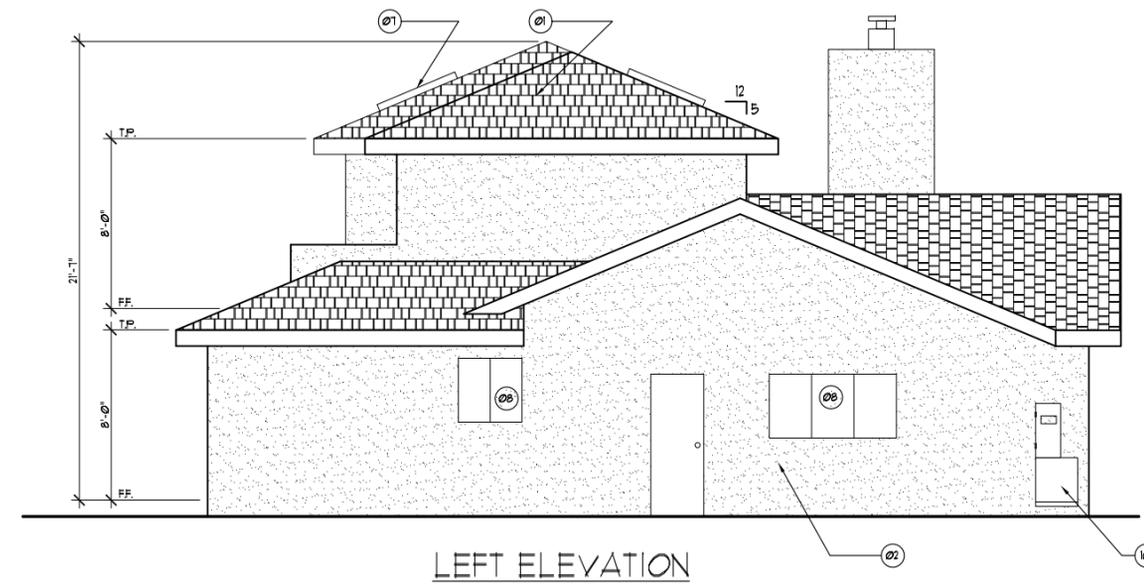
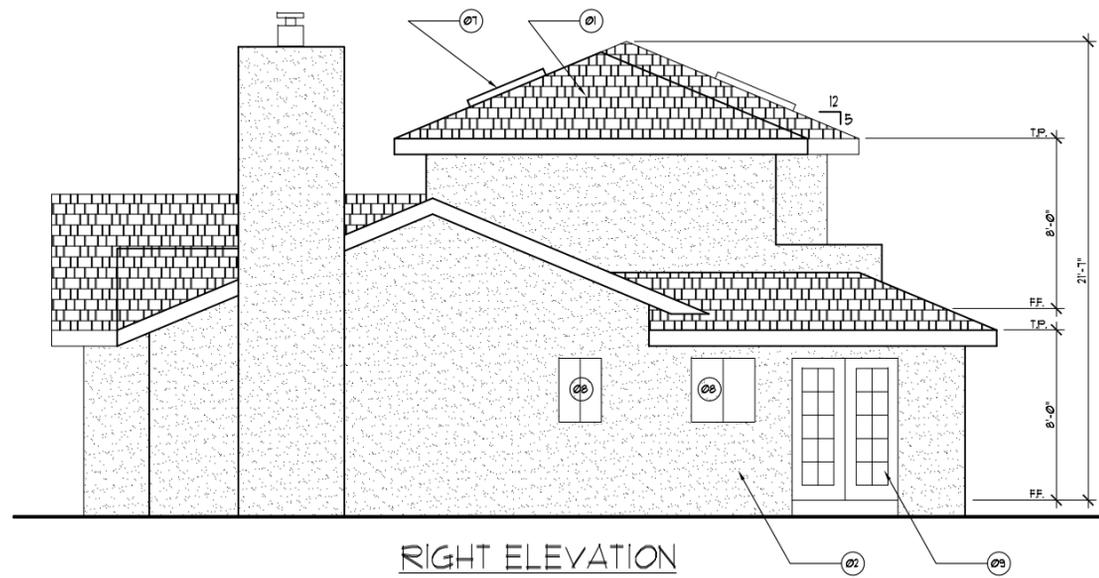
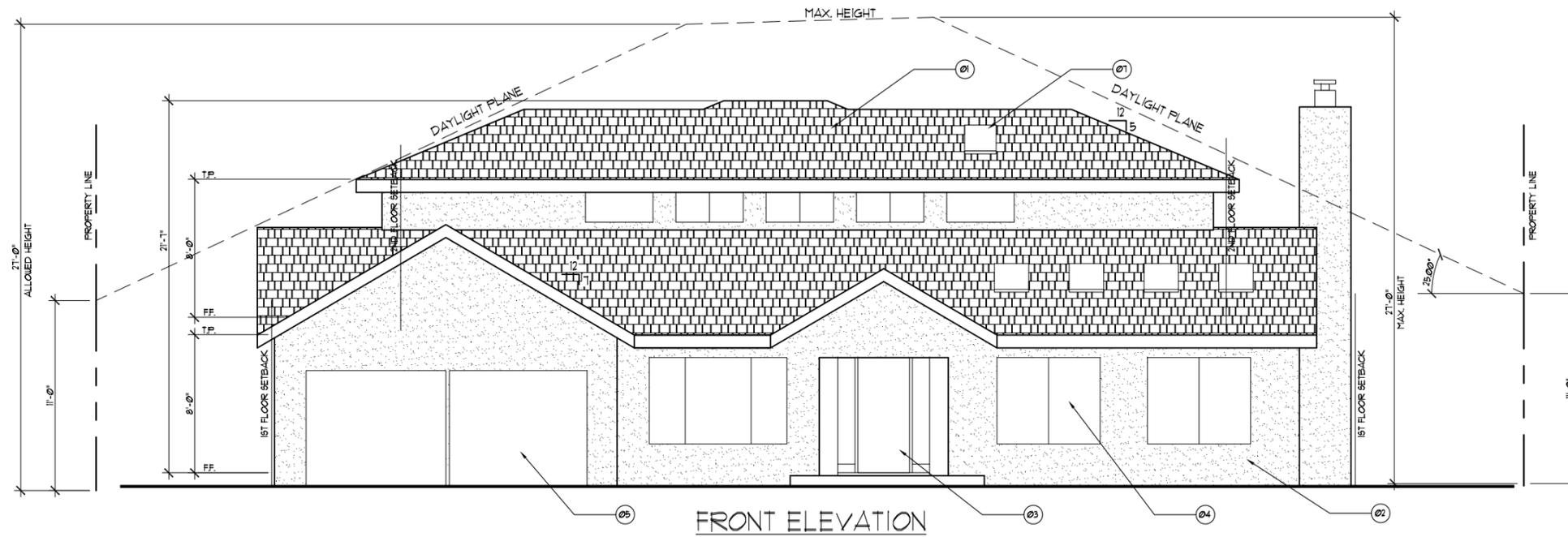


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Los Altos, CA 94024

Project:
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1675 Juarez Ave.
Los Altos, CA 94024

- KEY NOTES:**
- 01. WOOD SHINGLE ROOF
 - 02. STUCCO
 - 03. WOOD DOOR WITH SIDE LIGHT
 - 04. VINYLE WINDOW, TYP.
 - 05. OVERHEAD WOOD GARAGE DOOR
 - 06. PAINTED METAL GUTTER (2ND. FLOOR ROOF)
 - 07. METAL FRAME SKYLIGHT, TYP.
 - 08. SINGLE LAYER METAL WINDOW
 - 09. VINYLE DOOR, TYP.
 - 10. ELECTRICAL 4 GAS METERS.



Client Revisions

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11	Client Change - Ceiling Height	06/14/14
12	Client Change - Closets & Ceiling	06/26/14
13	Client Change - Second Floor	12/09/14
14	Client Change - M. Toilet & Bedroom #4	12/12/14

City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
2	Planning Comments	12/18/14
3		
4		
5		
6		
7		
8		

Date: 03/27/14
Scale: 1/4"=1'-0"
Drawn By: NKF
Checked By: RN

Sheet Title:
Existing Exterior Elevations

Sheet No.:
A-5

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12	Client Change - Closets & Ceiling	06/26/14
13	Client Change - Second Floor	12/09/14
14	Client Change - M. Toilet & Bedroom #4	12/12/14

City Revisions

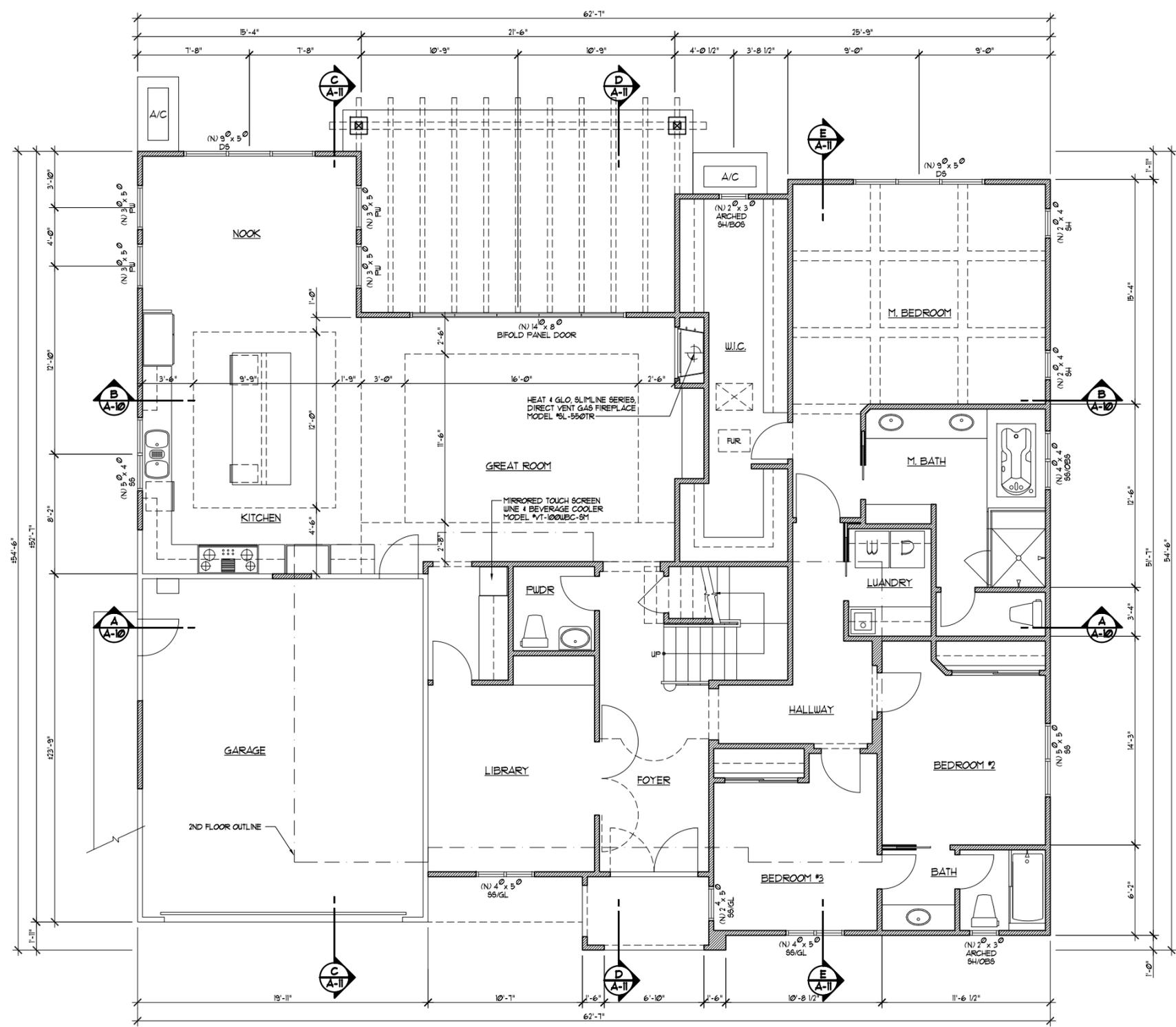
No.	Description	Date
1	Planning Comments	11/17/14
2	Planning Comments	12/18/14
3		
4		
5		
6		
7		
8		

Date: 03/27/14
Scale: 1/4"=1'-0"
Drawn By: NKF
Checked By: RN

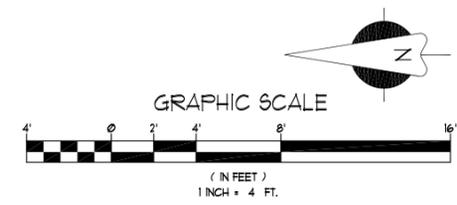
Sheet Title:
**New
First Floor
Plan**

Sheet No.:
A-6

File: J:Juarez Ave/Planning/12-18-14 Job: Juarez Ave



LEGEND:
EXISTING WALLS TO REMAIN:
NEW WALLS:



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13	Client Change - Second Floor	12/09/14
14	Client Change - M. Toilet & Bedroom #4	12/12/14

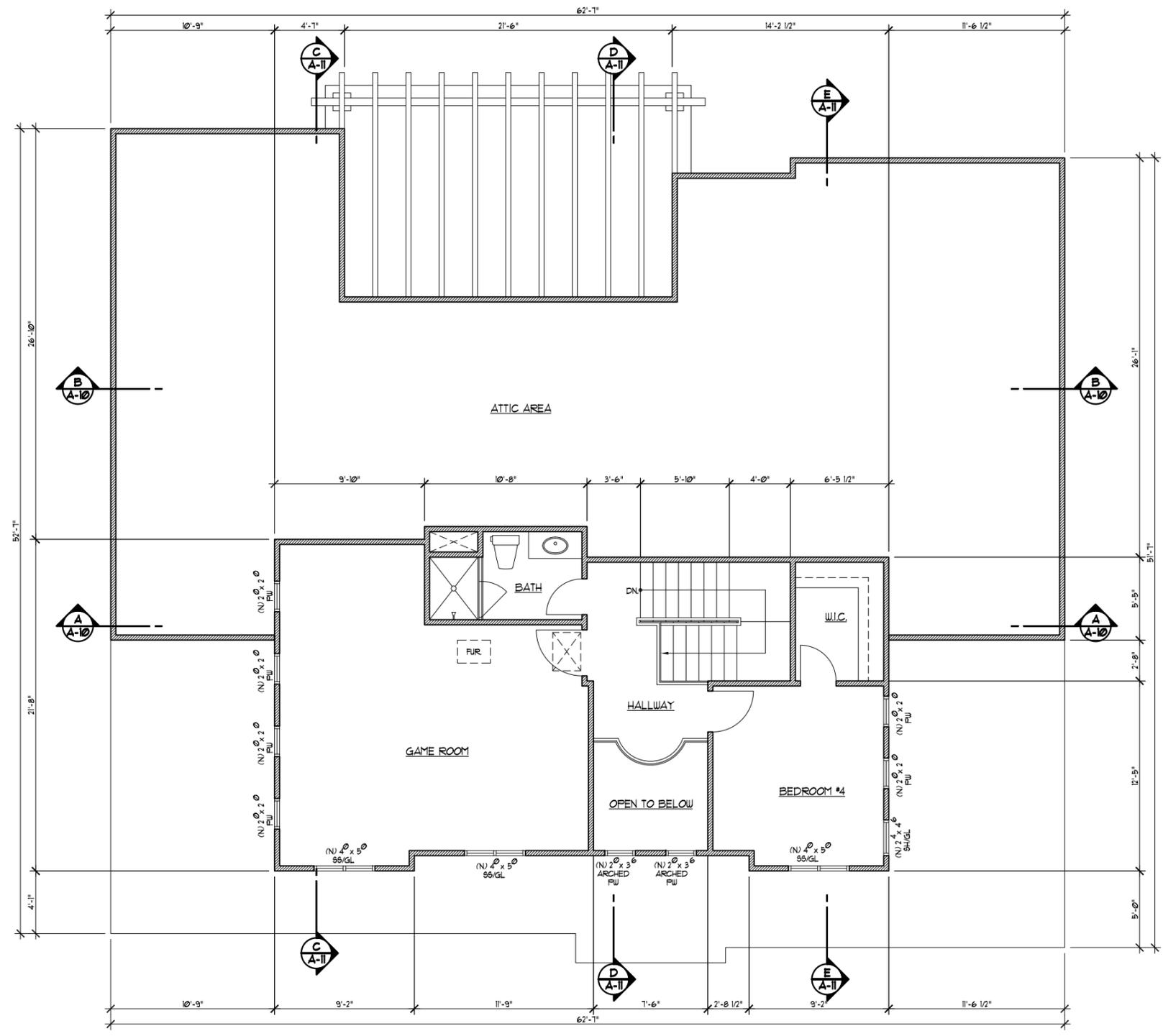
City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
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3		
4		
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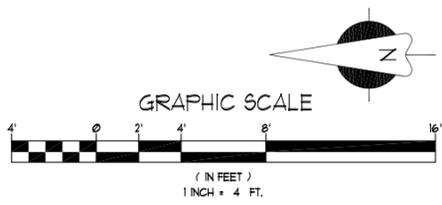
Date: 03/27/14
Scale: 1/4"=1'-0"
Drawn By: NKF
Checked By: RN

Sheet Title:
**New
Second Floor
Plan**

Sheet No.:
A-7



LEGEND:
NEW WALLS:



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Client Revisions		
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14	Client Change - M. Toilet & Bedroom #4	12/12/14

City Revisions		
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7		
8		

Date:	03/27/14
Scale:	1/4"=1'-0"
Drawn By:	NKF
Checked By:	RN

Sheet Title:
New Exterior Elevations

Sheet No.:
A-8



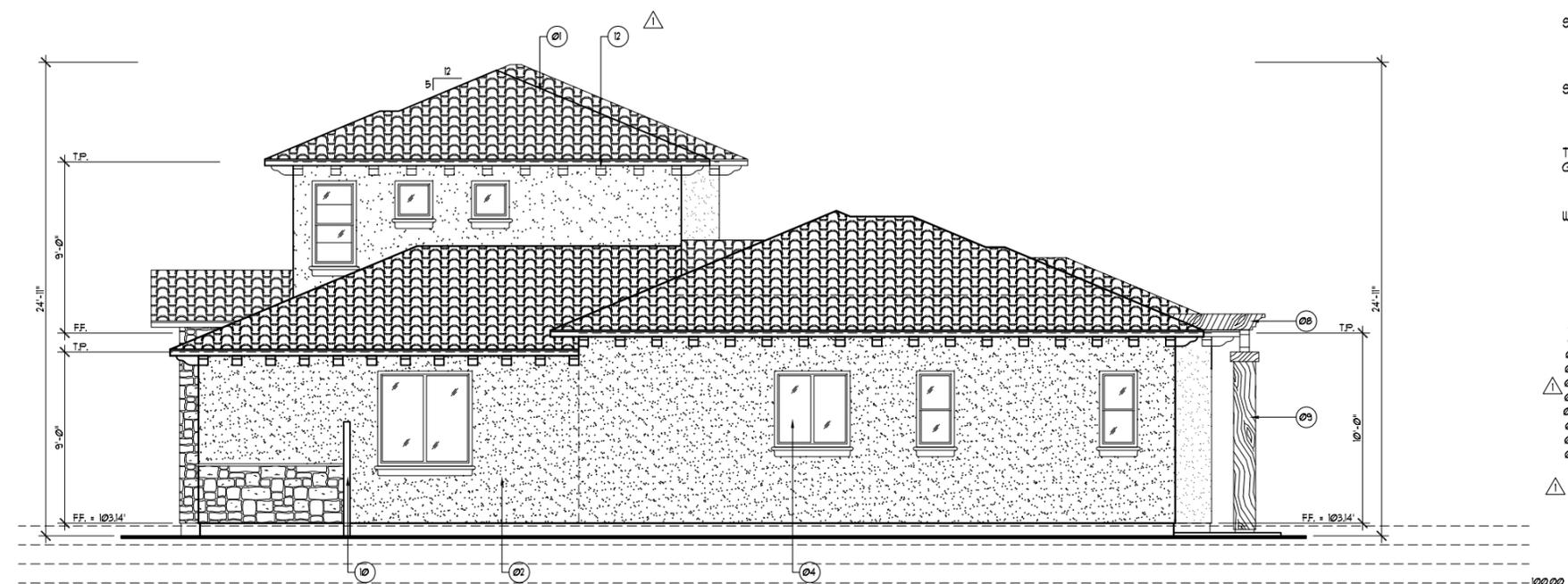
FRONT ELEVATION

COLOR & MATERIAL SPECIFICATION:

- ROOF MATERIAL: CONCRETE TILE ROOF CLASS "A" 'EAGLE ROOFING PRODUCT' CAPISTRANO SMC 8401 - SAN MIGUEL BLEND
- STUCCO: 'KELLY-MOORE PAINT' KM5704 BLUFF STONE
- STONE VENEER: 'NATURAL STONE VENEER INT.' TUSCAN COLLECTION - SYDNEY
- TRIM, DOWNSPOT, GUTTER, GARAGE DOOR, CORBELS: CHOCOLATE MATCH WINDOW COLOR
- WINDOWS: 'MILGARD - STYLE LINE SERIES' CHOCOLATE

KEY NOTES:

- 01. CONCRETE TILE ROOF, CLASS "A", SEE ROOF PLAN
- 02. STUCCO, (SMOOTH FINISH)
- 03. WOOD ENTRY DOOR
- 04. VINYL WINDOW
- 05. PVC WINDOW TRIM
- 06. OVERHEAD STEEL GARAGE DOOR
- 07. STONE VENEER
- 08. WOOD TRELLIS
- 09. WOOD COLUMN
- 10. 6' HIGH WOOD FENCE
- 11. WOOD GATE
- 12. PVC EAVE CORBEL



RIGHT ELEVATION

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12	Client Change - Closets & Ceiling	06/26/14
13	Client Change - Second Floor	12/09/14
14	Client Change - M. Toilet & Bedroom #4	12/12/14

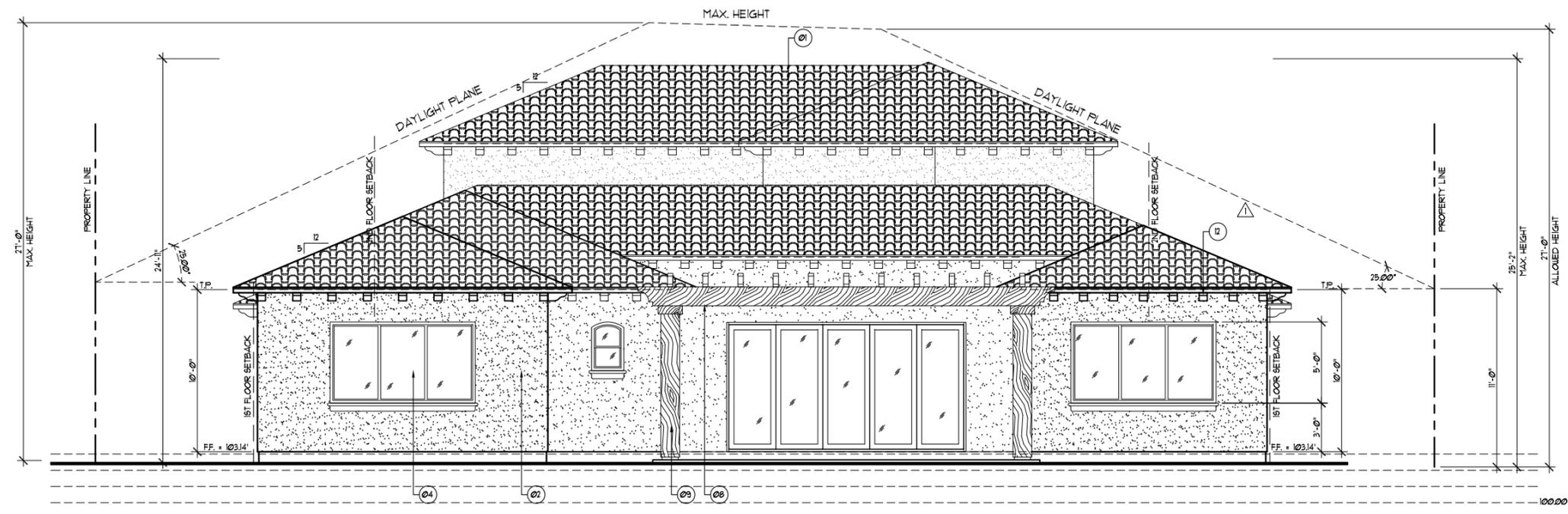
City Revisions		
No.	Description	Date
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City Revisions		
No.	Description	Date
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5		
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7		
8		

Date: 03/27/14
Scale: 1/4"=1'-0"
Drawn By: NKF
Checked By: RN

Sheet Title:
New Exterior Elevations

Sheet No.:
A-9



REAR ELEVATION

COLOR & MATERIAL SPECIFICATION:

ROOF MATERIAL: CONCRETE TILE ROOF CLASS "A" 'EAGLE ROOFING PRODUCT' CAPISTRANO SMC 8401 - SAN MIGUEL BLEND

STUCCO: 'KELLY-MOORE PAINT' KM5704 BLUFF STONE

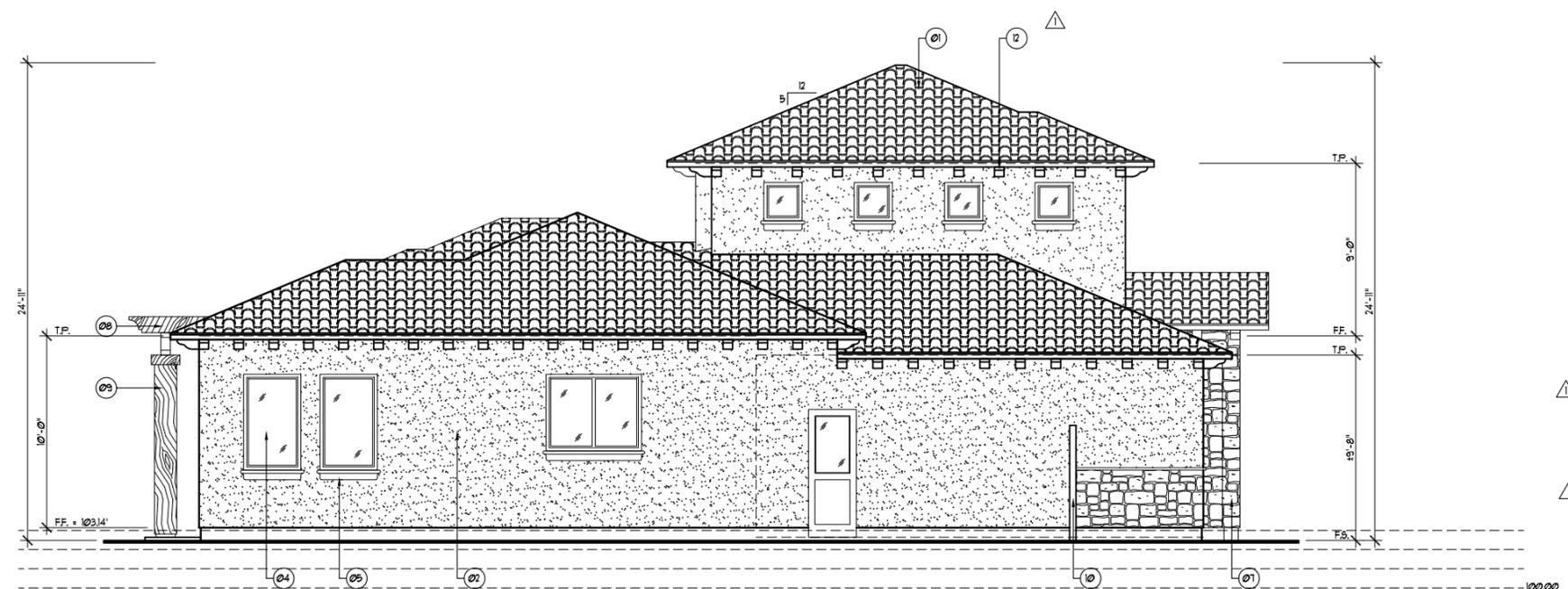
STONE VENEER: 'NATURAL STONE VENEER INT.' TUSCAN COLLECTION - SYDNEY

TRIM, DOWNSPOT, GUTTER, GARAGE DOOR, CORBELS: CHOCOLATE MATCH WINDOW COLOR

WINDOWS: 'MILGARD - STYLE LINE SERIES' CHOCOLATE

KEY NOTES:

- 01. CONCRETE TILE ROOF, CLASS "A", SEE ROOF PLAN
- 02. STUCCO, (SMOOTH FINISH)
- 03. WOOD ENTRY DOOR
- 04. VINYL WINDOW
- 05. PVC WINDOW TRIM
- 06. OVERHEAD STEEL GARAGE DOOR
- 07. STONE VENEER
- 08. WOOD TRELLIS
- 09. WOOD COLUMN
- 10. 6" HIGH WOOD FENCE
- 11. WOOD GATE
- 12. PVC EAVE CORBEL



LEFT ELEVATION

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Remodeling & Addition
1675 Juarez Ave.
Los Altos, CA 94024

Client Revisions

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Clinet Change	04/25/14
4	Clinet Change	04/28/14
5	Design Front Elevation	05/09/14
6	Client Change-Front Elevation	05/13/14
7	Client Change-Front Elevation	05/22/14
8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12	Client Change - Closets & Ceiling	06/26/14
13	Client Change - Second Floor	12/09/14
14	Client Change - M. Toilet & Bedroom #4	12/12/14

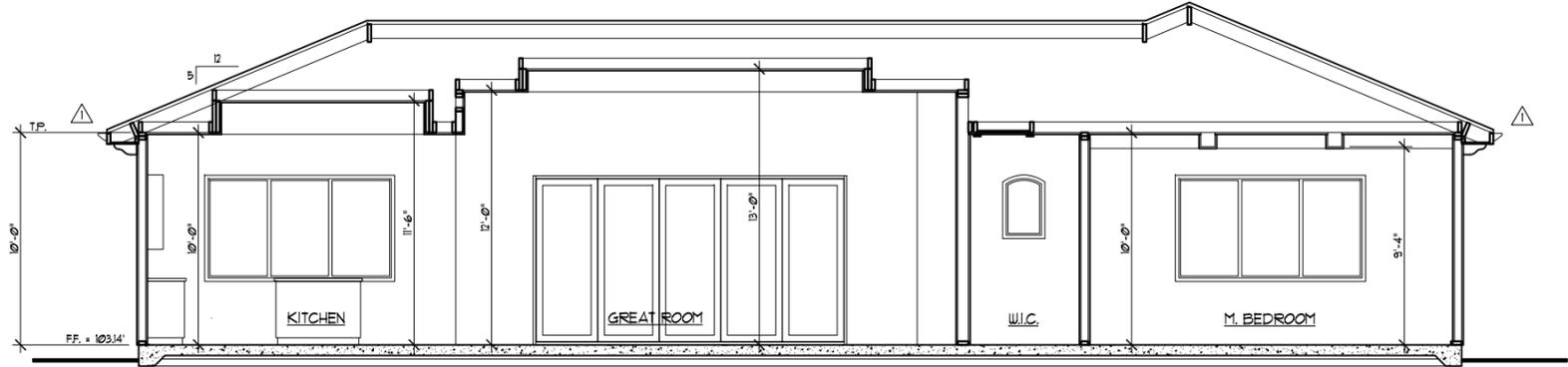
City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
2	Planning Comments	12/18/14
3		
4		
5		
6		
7		
8		

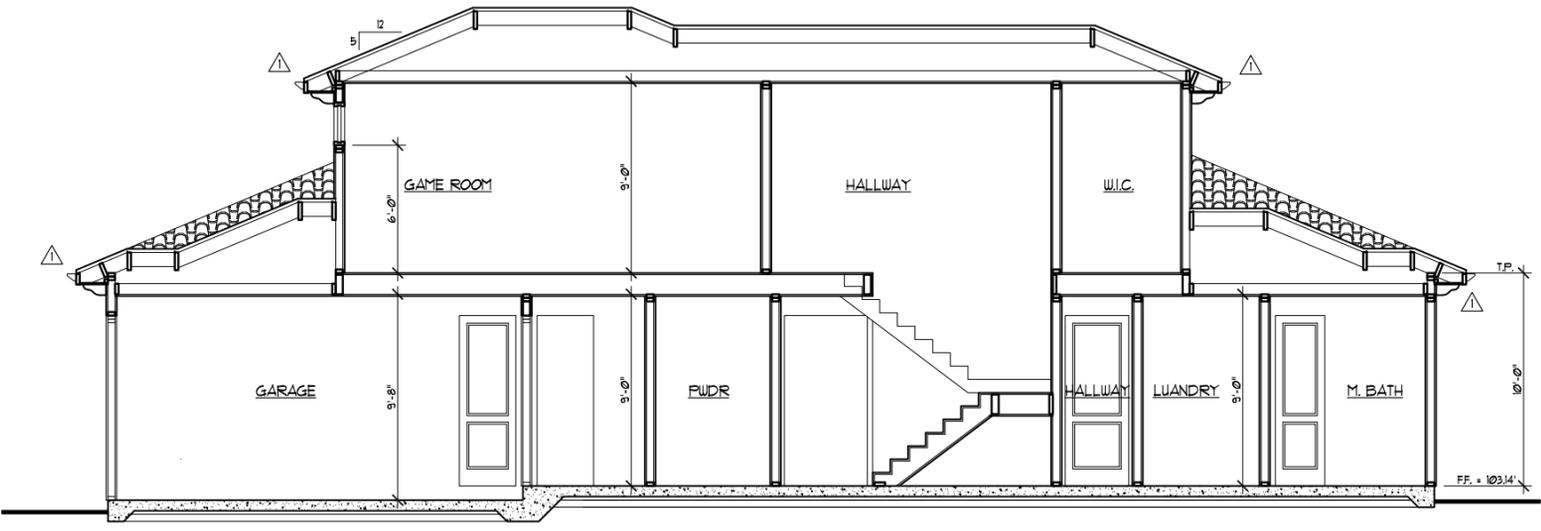
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Drawn By: NKF
Checked By: RN

Sheet Title:
New Building Sections

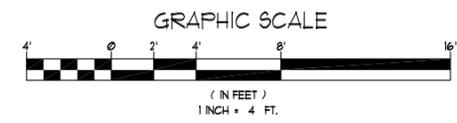
Sheet No.:
A-10



SECTION B-B



SECTION A-A



The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:
**Mr. Todd Gotham &
Ms. Kassie Porterfield**
1675 Juarez Ave.
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Project:
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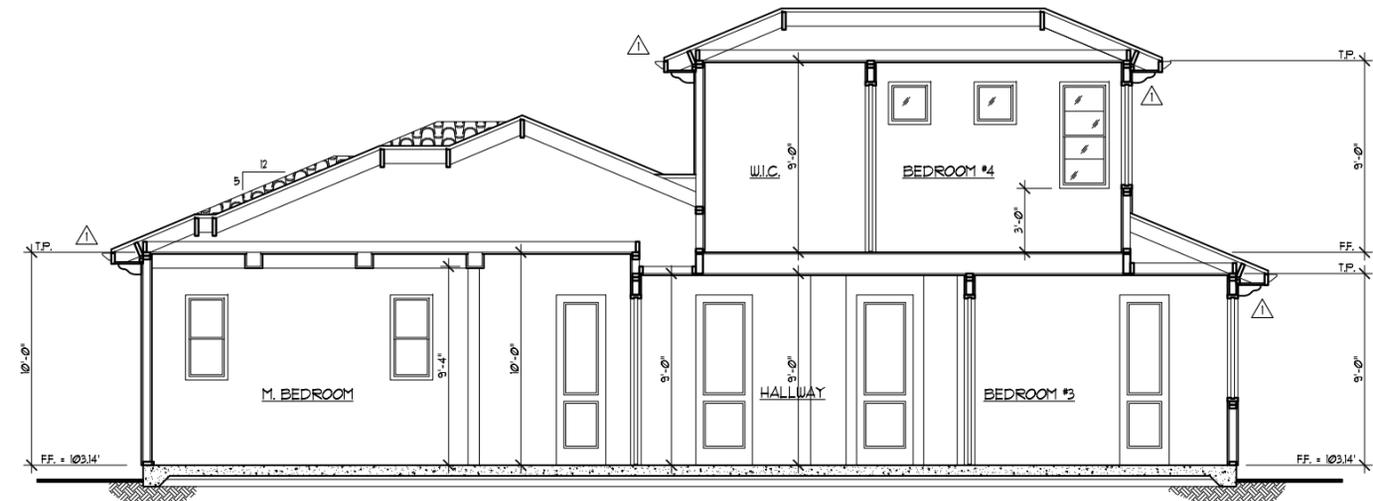
City Revisions

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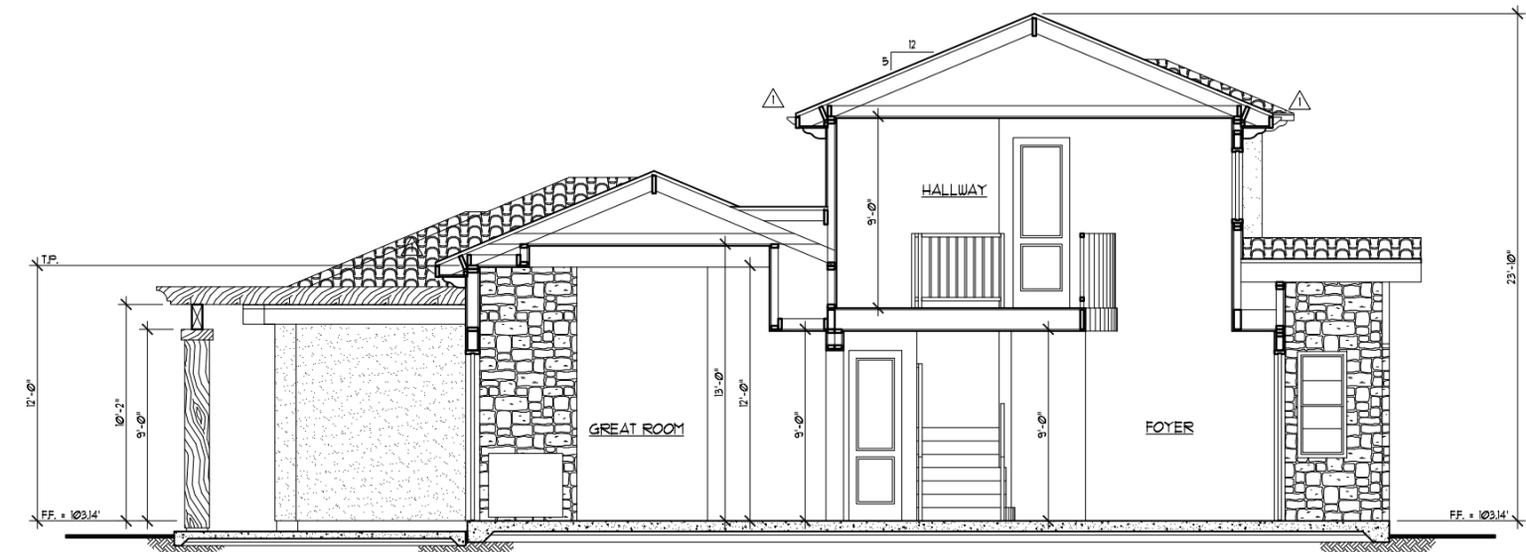
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Scale: 1/4"=1'-0"
Drawn By: NKF
Checked By: RN

Sheet Title:
New Building Sections

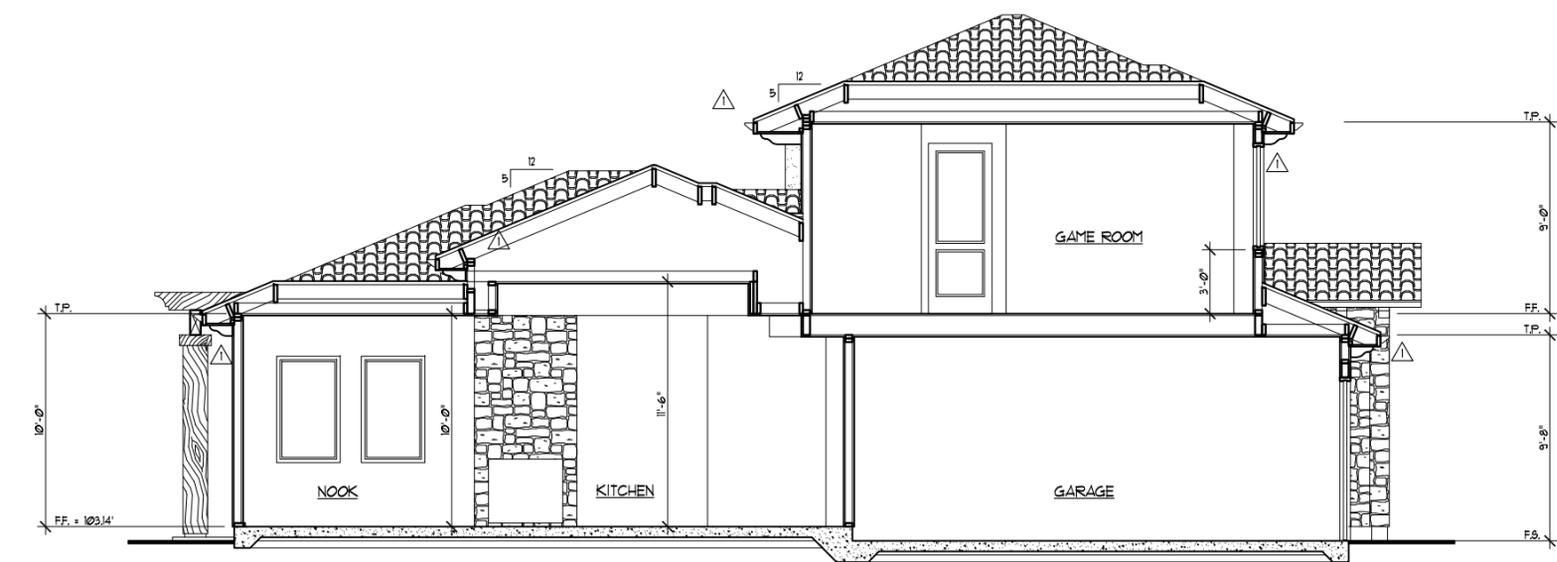
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A-11



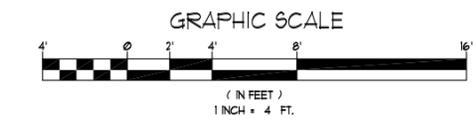
SECTION E-E

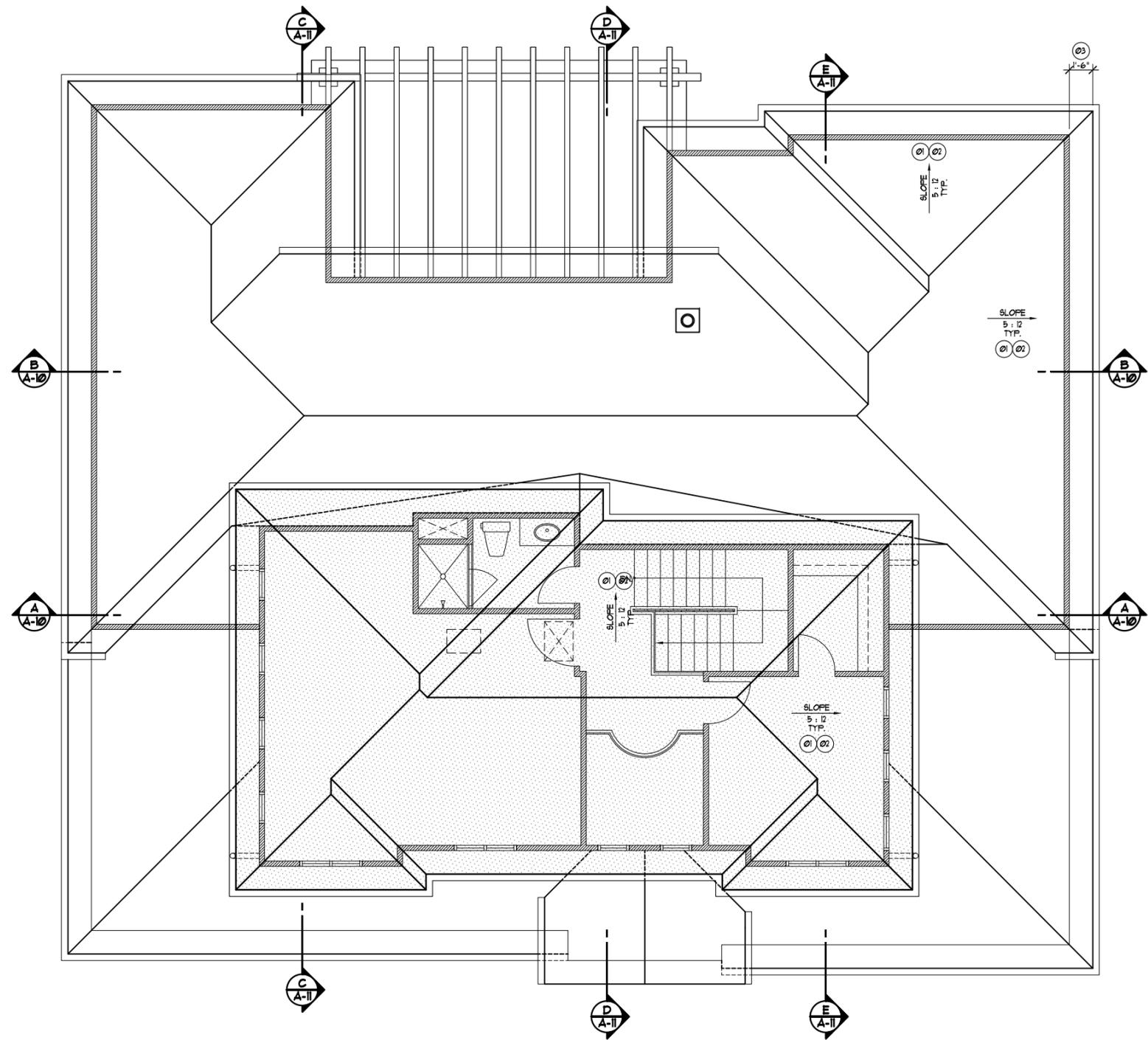


SECTION D-D



SECTION C-C





KEY NOTES:

- Ø1. ROOF SLOPES :
- Ø2. ROOF MATERIAL:
SLOPED ROOF: EAGLE ROOFING PRODUCT CAPISTRANO SMC 8401 - SAN MIGUEL BLEND
- Ø3. ALL EAVES AND RAKES SHALL BE 18" O.H.
- Ø4. PROVIDE 26 GA. G.I. VALLEY FLASHING AT ALL ROOF VALLEYS. (PAINT TO MATCH THE ROOF COLOR)
- Ø5. ROOF OVERHANG
- Ø6. OUTLINE OF STRUCTURE
- Ø7. 16" SUNTUNNEL SKYLIGHT
- Ø8. 5" PAINTED METAL GUTTER
- Ø9. 3" PAINTED METAL DOWN SPOUT

LEGEND:

- H HIP
- R RIDGE
- V VALLEY
- [Hatched Box] 2ND FLOOR ROOF

2105 S. Bascom Ave., Suite #260
Campbell, CA 95008
Tel: (408) 559-8037
www.memarie.com

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Date: 03/27/14
Scale: 1/4"=1'-0"
Drawn By: NKF
Checked By: RN

Sheet Title:
New Roof Plan

Sheet No.:
A-12

