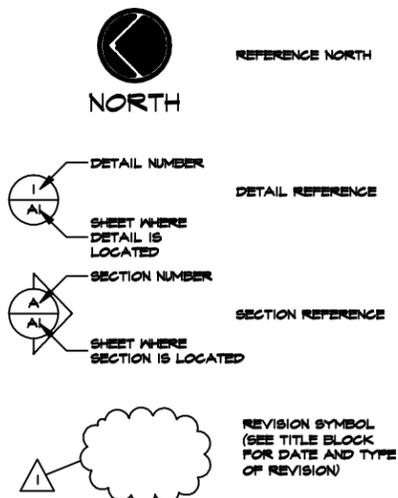


GENERAL PROJECT NOTES

- A. THIS WORK SHALL COMPLY WITH ALL 2015 CBC, CMC, CFC, CEC, CALIFORNIA ENERGY CODE, AND CALIFORNIA RESIDENTIAL CODE, AND ALL OTHER REGULATIONS AS AMENDED TO DATES APPROVED BY THE CITY OF LOS ALTOS
- B. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO, AND DURING, ALL PHASES OF WORK.
- C. IF THE CONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF THE CONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. IF ANY SUBCONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF ANY SUBCONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THAT SUBCONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR, WHO SHALL THEN CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE DIRECTING THE SUBCONTRACTOR TO PROCEED WITH THAT PORTION OF THE WORK.
- D. NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE TO AND/OR FROM THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT OR THE OWNER.
- E. ALL MATERIALS USED SHALL BE EQUAL TO, OR EXCEED, ALL APPLICABLE STATE AND LOCAL CODES AND REQUIREMENTS.
- F. THE CONTRACTOR SHALL PROMPTLY AND LEGALLY REMOVE ALL ACCUMULATED DEBRIS DAILY, SHALL PROTECT ALL EXPOSED PORTIONS OF THE WORK FROM WEATHER ELEMENTS, SHALL AVOID OVER-LOADING THE STRUCTURE WITH CONSTRUCTION MATERIALS, AND SHALL SECURELY STORE ALL ITEMS TO BE USED FOR AND IN THE CONSTRUCTION OF THE WORK.
- G. ALL GLASS IN HAZARDOUS AREAS (INCLUDING TUBS AND/OR SHOWERS), ALL GLASS WITHIN 18" OF THE FINISHED FLOOR, AND ALL GLASS WITHIN 24" OF AN OPERABLE DOOR SHALL BE SAFETY GLASS, AND SHALL BE PERMANENTLY LABELED AS SUCH.
- H. THE CONTRACTOR SHALL MAINTAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE, ALL EXISTING UTILITIES AND CITY SERVICES DURING CONSTRUCTION.
- I. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- J. ALL ELECTRICAL CALCULATIONS AND WIRE SIZES SHALL BE PROVIDED BY A CALIFORNIA-LICENSED ELECTRICAL CONTRACTOR. RECEPTACLE, SWITCH, FIXTURE, AND EQUIPMENT LOCATIONS SHALL BE FOUND ON THE SITE PLAN AND PROPOSED FLOOR PLANS WITHIN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, FIXTURE TYPES, AND EQUIPMENT WITH THE OWNER PRIOR TO PURCHASE AND INSTALLATION.
- K. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- L. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED AS REQUIRED BY CODE AND/OR SOUND CONSTRUCTION PRACTICES.
- M. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORS FOR ALL CEILING- AND WALL-MOUNTED EQUIPMENT, HARDWARE, FIXTURES, AND ACCESSORIES.
- N. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC. SHALL BE RUN IN CONCEALED SPACES, AND ALL FRAMING SHALL BE ADEQUATELY SIZED TO ACCOMPLISH THIS RESULT WITHOUT CAUSING ANY DEFORMATION IN THE WALL PLANE.
- O. INTERIOR DIMENSIONS ARE SHOWN FROM CENTER OF WALL AND EXTERIOR DIMENSIONS ARE SHOWN FROM FACE OF STUD.
- P. EACH BEDROOM SHALL HAVE ONE EXTERIOR EGRESS-COMPLIANT WINDOW OR DOOR THAT IS OPENABLE FROM THE BEDROOM'S INTERIOR WITHOUT THE USE OF A KEY OR SPECIAL TOOLS, KNOWLEDGE, OR EFFORT.
- Q. ALL PRODUCTS LISTED IN THESE DRAWINGS BY ICBO/NER NUMBER SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICBO/NER-APPROVED WRITTEN EVALUATION REPORT AND BE APPROVED AND LISTED BY OTHER NATIONALLY-RECOGNIZED TESTING AGENCIES.
- R. EXTERIOR OPENABLE WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, AND/OR WEATHERSTRIPPED TO LIMIT, OR ELIMINATE, AIR LEAKAGE.
- S. SINK FAUCETS USED FOR PURPOSES OTHER THAN SAFETY SHALL BE EQUIPPED WITH FLOW-CONTROL DEVICES, WITH THE TOTAL FLOW RESTRICTED TO A MAXIMUM OF THREE GALLONS PER MINUTE.
- T. SEE STRUCTURAL SHEETS FOR PROJECT CONSTRUCTION NOTES AND DETAILS.
- U. SEE ATTACHED TITLE 24 FORMS AND/OR CALCULATIONS FOR PROJECT ENERGY EFFICIENCY REQUIREMENTS.

SYMBOL LEGEND

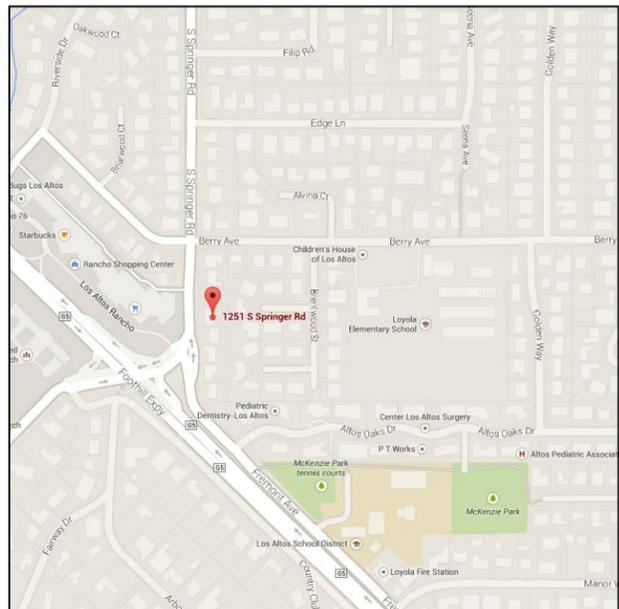


PROJECT INFORMATION	
APN - 184-17-008	
ZONING R-1	
OCCUPANCY R-S & U	
TYPE OF CONSTRUCTION V-B	

SHEET INDEX

- A1 - GENERAL & PROJECT NOTES
- A2 - SITE PLANS - EXISTING & PROPOSED
- A3 - PROPOSED FLOOR PLANS
- A4 - ROOF PLAN
- A5 - EXTERIOR ELEVATION
- A6 - SECTION
- A7 - SECTION
- A8 - STREETSCAPE
- LI - LANDSCAPE PLAN

SCOPE OF WORK



ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED
LOT COVERAGE	4116 sf = 43.8%	2466.5 sf = 26.2%	30%
FLOOR AREA	1st FLR - 1699 2nd FLR - N/A TOTAL 1699 18%	1st FLR - 2131 2nd FLR - 1157 TOTAL - 3288 35%	TOTAL - 3290 35%
SETBACKS			
FRONT	25'-0	25'-0	
REAR	25'-0	36'-0	
RIGHT SIDE(1st/2nd)	8'-0/15'-6	12'-0/18'-6	
LEFT SIDE (1st/2nd)	8'-0/15'-6	10'-5/18'-1	

HEIGHT

SQUARE FOOTAGE BREAKDOWN

	EXISTING	PROPOSED
HABITABLE LIVING AREA	1300 sf	2828.5 sf
NON-HABITABLE AREA	400 sf	440 sf

LOT CALCULATIONS

NET LOT AREA - 9399 sf

FRONT YARD HARDSCAPE AREA - 645 sf/2368 - 27%

LANDSCAPE BREAKDOWN

TOTAL PROPOSED HARDSCAPE -	
RESIDENCE	- 2131
ARBOR	100
DRIVENWAY, WALKWAYS, PATIOS	570
TOTAL	2801.5-29.6%
LANDSCAPE AREA	6617.5 - 70.4%

Steve Benzing
Architect
C-17985

12408 fredericksburg
saratoga california

tel 408 805 1928
email Steve@Benzarch.com
Website: Benzarch.com

OWNERSHIP AND USE OF DRAWINGS
All drawings, specifications and copies thereof furnished by Steve Benzing - Architect are and shall remain his property. They are to be used only with respect to the Project and are not to be used on any other project. Substantiation or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in violation of Steve Benzing - Architect, common law copyright or other reserved rights.



SITE PLAN &
GENERAL NOTES

New Residence
at:
1251 S. Springer Ave
Los Altos, Ca

for:
M/M Amir Tekiyeh
1251 S. Springer Ave
Los Altos, Ca

REVISIONS:
12/30/14 - EXTERIOR
REVISIONS
1/20/15 - EXTERIOR
REVISIONS

date: 8/9/14
scale: NOTED
drawn by: SMB
job no. 1442
sheet

Steve Benzing
Architect
C-17985

12403 fredericksburg
saratoga california

tel 408 803 1528
email Steve@Benzarch.com
Website: Benzarch.com

OWNERSHIP AND USE OF DRAWINGS
All drawings, specifications and copies thereof furnished by Steve Benzing - Architect are and shall remain his property. They are to be used only with respect to the Project and are not to be used on any other project. Distribution or alteration to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of Steve Benzing - Architect, common law copyright or other reserved rights.



ROOF PLAN

New Residence
at:
1251 S. Springer Ave
Los Altos, Ca

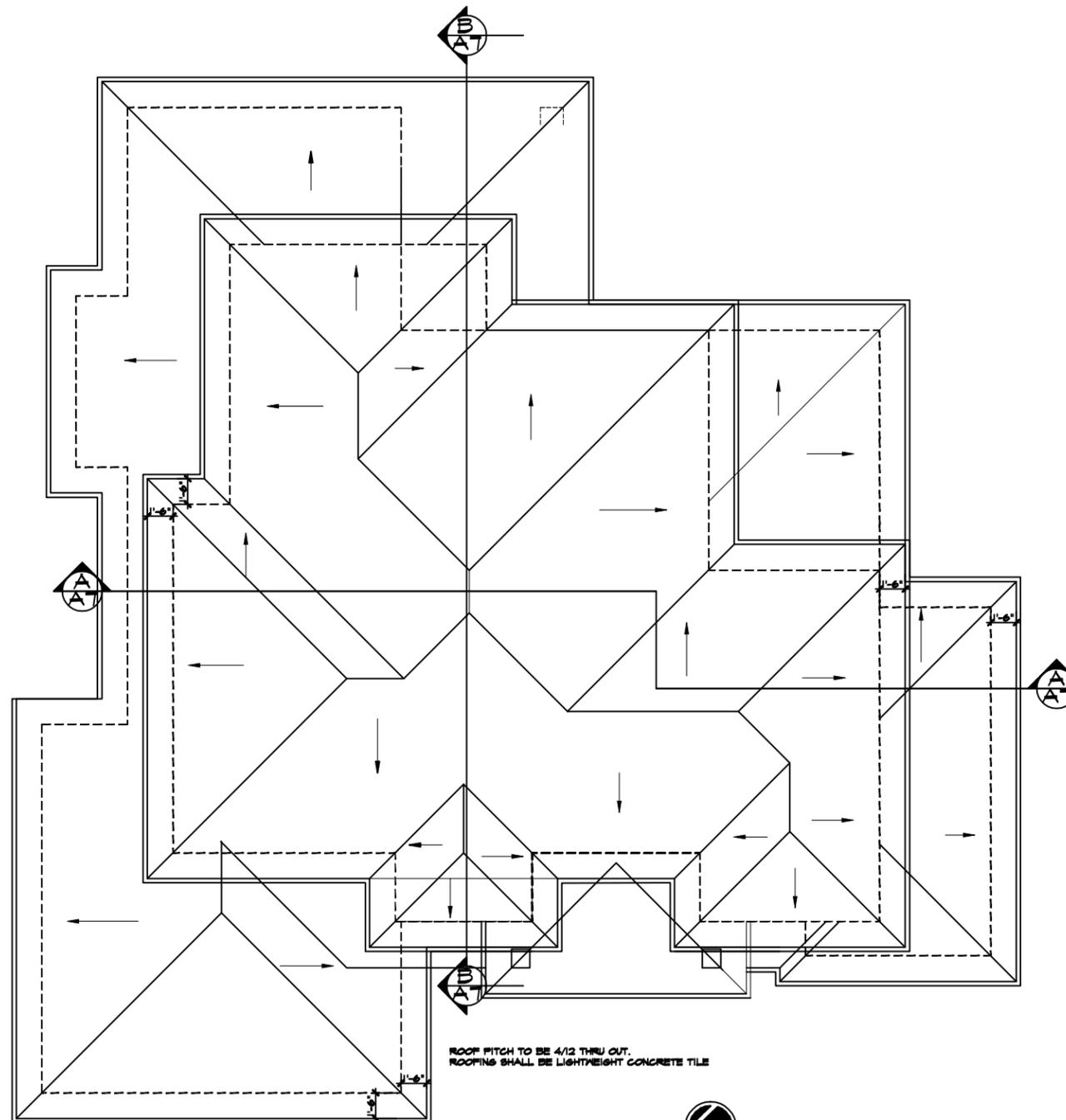
for:
M/M Amir Tekiyeh
1251 S. Springer Ave
Los Altos, Ca

REVISIONS:
12/30/14 - EXTERIOR
REVISIONS
1/20/15 - EXTERIOR
REVISIONS

date: 8/9/14
scale: NOTED
drawn by: SMB
job no. 1442
sheet



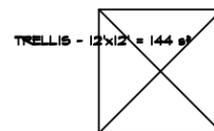
of 7 shts



PROPOSED ROOF PLAN

NORTH

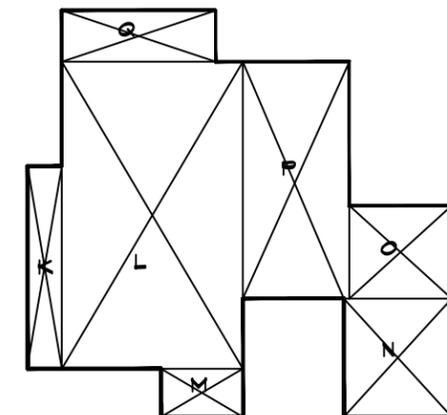
SCALE 1/4" = 1'-0"



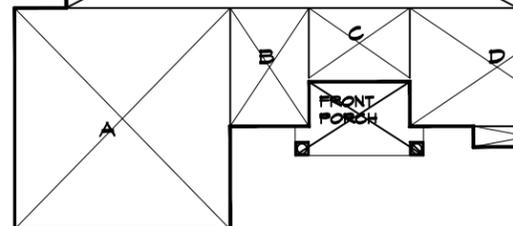
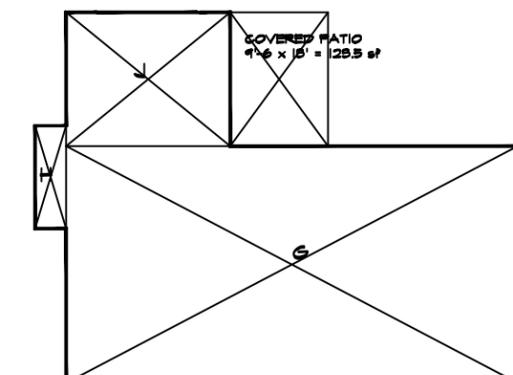
FLOOR AREA CALCULATIONS
A - 21'-0" x 21'-6" = 451.5
B - 7'-8" x 11'-6" = 88.2
C - 9'-10" x 7'-0" = 69
D - 17'-0" x 11'-6" = 195.5
E - 10'-10" x 2'-0" = 22
F - 6'-6" x 6'-10" = 44.4
G - 44'-0" x 23'-0" = 1012
H - 3'-0" x 10'-0" = 30
J - 16'-0" x 13'-0" = 208
1st floor subtotal = 2120.6
K - 3'-4" x 19'-4" = 64.6
L - 17'-8" x 29'-10" = 531
M - 8'-0" x 4'-8" = 37.4
N - 10'-6" x 11'-6" = 120.8
O - 10'-0" x 9'-0" = 90
P - 10'-4" x 23'-0" = 237.8
Q - 15'-0" x 5'-0" = 75
2nd floor subtotal = 1156.6

TOTAL FLOOR AREA
1st - 2121
2nd - 1157
TOTAL - 3278

LOT COVERAGE
RESIDENCE - 2121
COY PATIO - 123.5
TRELLIS - 144
FRONT PORCH - 78
TOTAL 2466.5



COVERED PATIO
4'-6" x 15' = 123.5 sq'



FLOOR AREA CALCULATIONS

SCALE 1/8" = 1'-0"

Steve Benzing
Architect
C-17485

12405 fredericksburg
saratoga california

tel 408 805 1828
email Steve@Benzarch.com
Website: Benzarch.com

OWNERSHIP AND USE OF DRAWINGS
All drawings, specifications and copies thereof furnished by Steve Benzing - Architect are and shall remain the property. They are to be used only with respect to the Project and are not to be used on any other project, substitute or distribution in need of final regulatory requirements or for other purposes in connection with the Project is not to be construed as permission to derogation of Steve Benzing - Architect, common law copyright or other reserved rights.



3D FRONT ELEVATION



FRONT ELEVATION - WEST

SCALE 1/4" = 1'-0"

EXTERIOR MATERIALS -

- SIDING - OLD WORLD FINISH STUCCO - BEIGE COLOR
- STONE - CULTURED STONE "LEDGESTONE" - COLOR CHARDONNAY
- OVERHANG TRIM - WHITE w/ DARK CORBELS
- ROOFING - MONIER LITENGT 15" TILE - COLOR BRONZE
- WINDOWS - ALUM GLAD WOOD CASIMENTS - BRONZE
- w/ 4" CAST STONE CASING, SILL & APRON - OFF WHITE
- COLUMNS - ENDURA STONE TUSCAN FIBERGLASS - WHITE
- GARAGE DOOR - CLOPAY - CRAFTSMAN SERIES - DARK STAINED WOOD
- STONE TRIM AROUND GARAGE DOOR
- FRONT DOOR - SIMPSON AURORA SERIES - FIBERGLASS FAUX WOOD - STAINED DARK



3D REAR ELEVATION



REAR ELEVATION - EAST

SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION

New Residence
at:
1251 S. Springer Ave
Los Altos, Ca

For:
M/M Amir Tekiyeh
1251 S. Springer Ave
Los Altos, Ca

REVISIONS:
12/30/14 - EXTERIOR REVISIONS
1/20/15 - EXTERIOR REVISIONS

date: 8/9/14
scale: NOTED
drawn by: SMB
job no. 1442
sheet

A5



3D NORTH SIDE ELEVATION

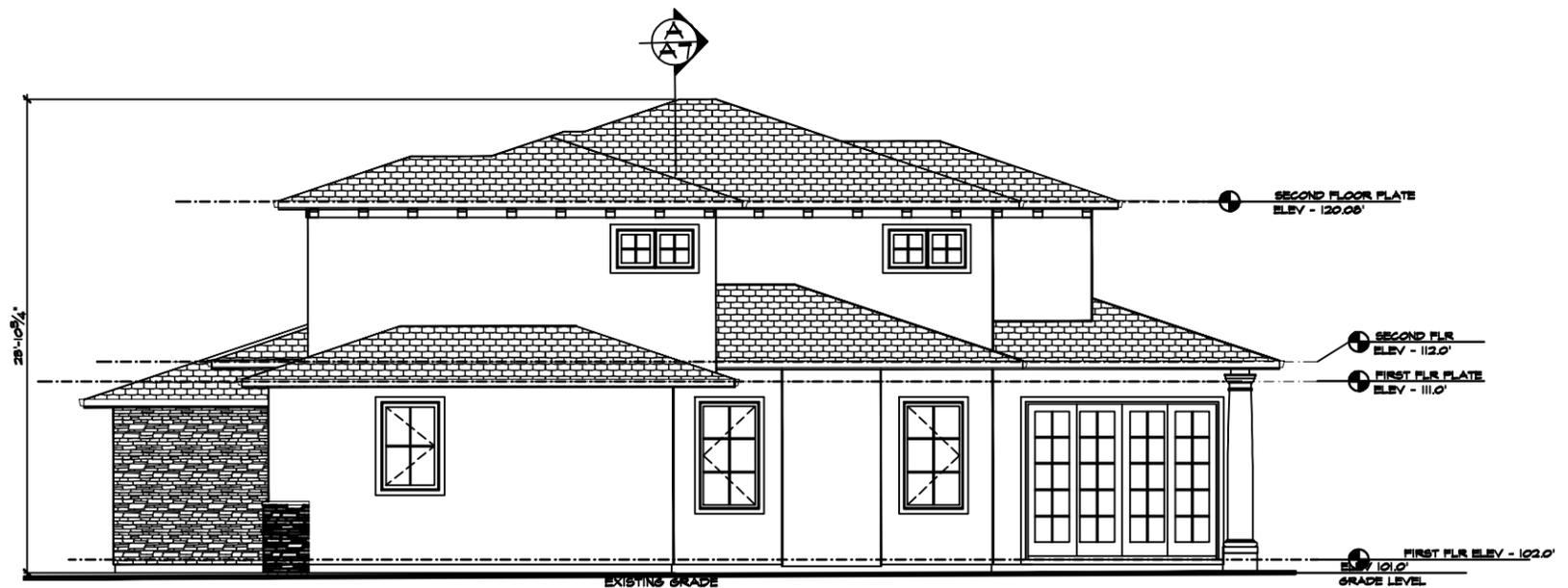


NORTH SIDE ELEVATION

SCALE 1/4" = 1'-0"



3D SOUTH SIDE ELEVATION



SOUTH SIDE ELEVATION

SCALE 1/4" = 1'-0"

Steve Benzing
Architect
C-17985

12403 Fredericksburg
Saratoga California

tel 408 805 1528
email Steve@Benzarch.com
Website: Benzarch.com

OWNERSHIP AND USE OF DRAWINGS
All drawings, specifications and copies thereof furnished by Steve Benzing - Architect are and shall remain his property. They are to be used only with respect to the Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of Steve Benzing - Architect, common law copyright or other reserved rights.



EXTERIOR ELEVATION

New Residence
at:
1251 S. Springer Ave
Los Altos, Ca

for:
M/M Amir Tekiyeh
1251 S. Springer Ave
Los Altos, Ca

REVISIONS:
12/30/14 - EXTERIOR
REVISIONS
1/20/15 - EXTERIOR
REVISIONS

date: 8/9/14
scale: NOTED
drawn by: SMB
job no. 1442
sheet

A6

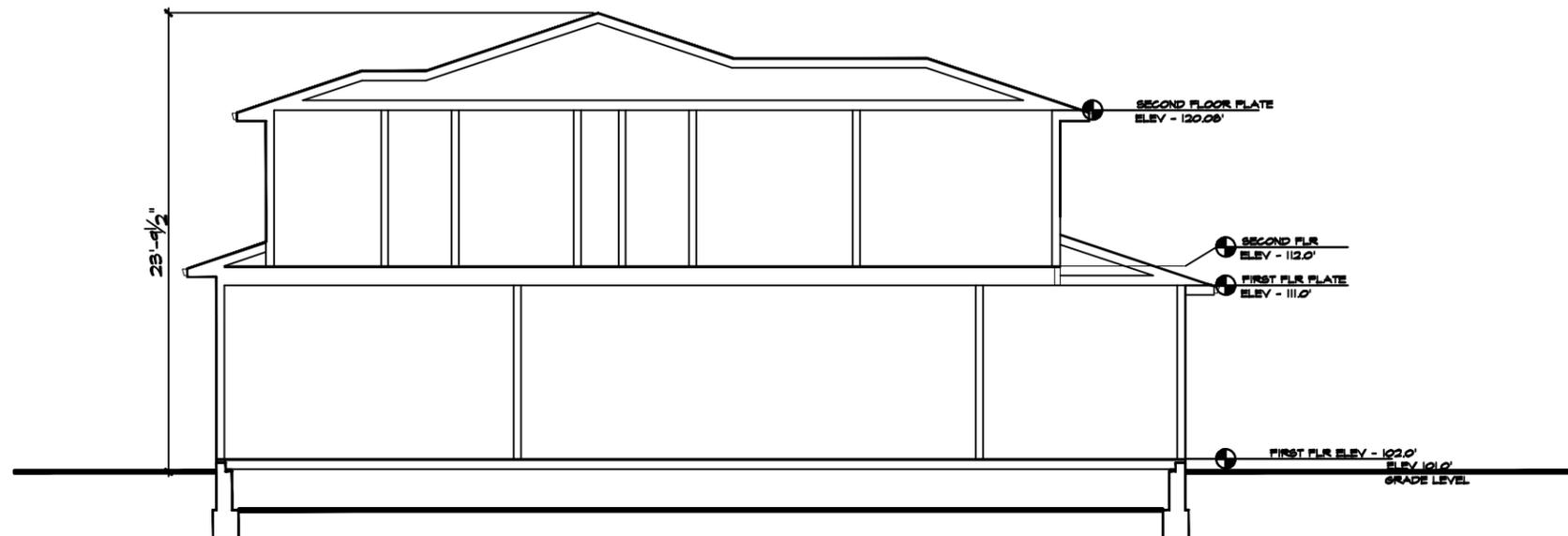
of 7 shts

Steve Benzing
Architect
C-17985

12403 Fredericksburg
Saratoga California

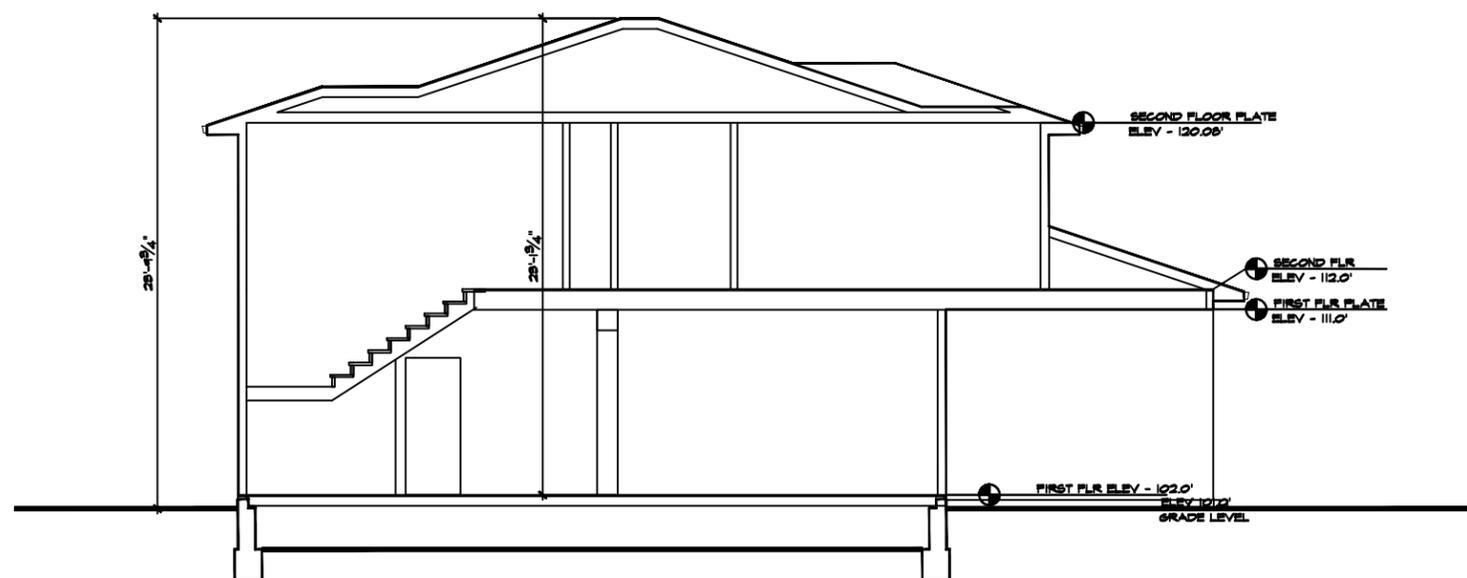
tel 408 805 1525
email Steve@Benzarch.com
Website: Benzarch.com

OWNERSHIP AND USE OF DRAWINGS
All drawings, specifications and reports prepared by Steve Benzing - Architect are and shall remain his property. They are to be used only with respect to the Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of Steve Benzing - Architect, common law copyright or other reserved rights.



SECTION - A

SCALE 1/4" = 1'-0"



SECTION - B

SCALE 1/4" = 1'-0"

SECTION

New Residence
at:
1251 S. Springer Ave
Los Altos, Ca

for:
M/M Amir Tekiyeh
1251 S. Springer Ave
Los Altos, Ca

REVISIONS:
12/30/14 - EXTERIOR
REVISIONS
1/20/15 - EXTERIOR
REVISIONS

date: 2/22/14
scale: NOTED
drawn by: SMB
job no. 1442
sheet

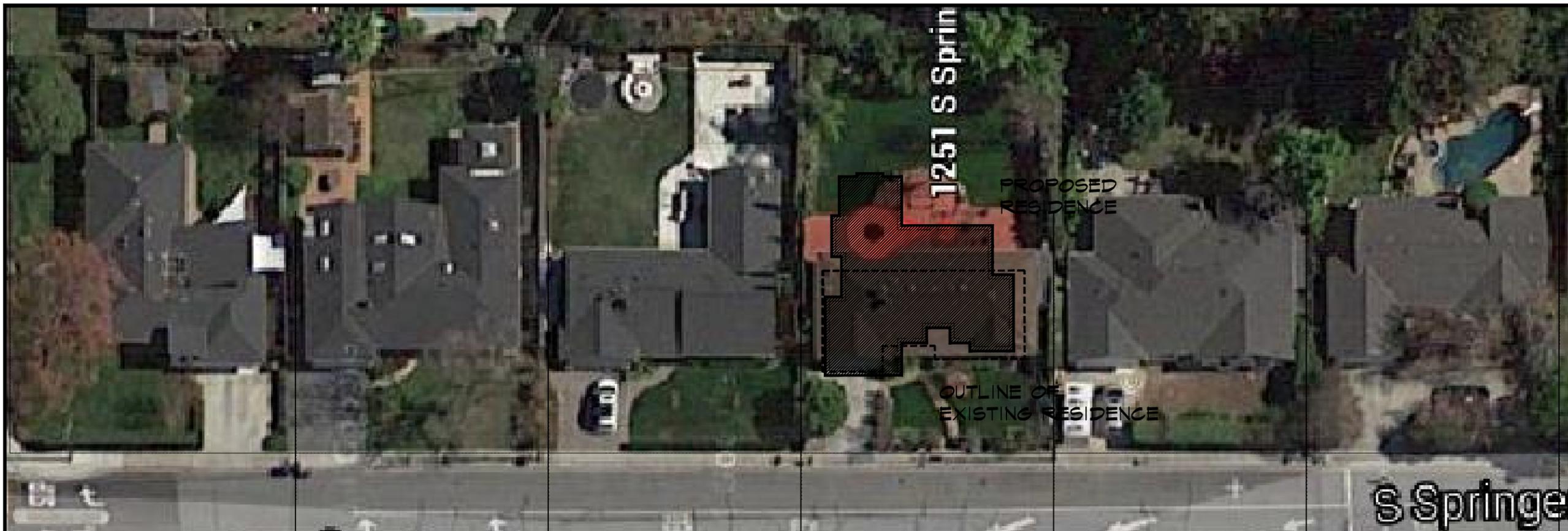


Steve Benzing
Architect
C-17985

12403 Fredericksburg
Saratoga California

tel 408 805 1528
email Steve@Benzarch.com
Website: Benzarch.com

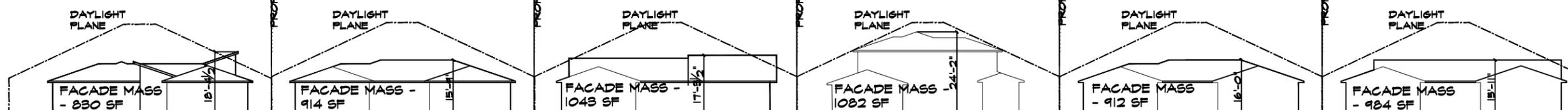
OWNERSHIP AND USE OF DRAWINGS
All drawings, specifications and copies thereof furnished by Steve Benzing - Architect are and shall remain his property. They are to be used only with respect to the Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of Steve Benzing - Architect, without his consent or other reserved rights.



PROPOSED RESIDENCE

OUTLINE OF EXISTING RESIDENCE

S Springer



STREETSCAPE

710 BERRY
CALIF RANCH W/ ADDITIONS - WHITE STUCCO SIDING & DARK GREY COMPOSITION ROOF, LARGE TALL HEDGE SHIELDS RESIDENCE FROM STREET

1225 S. SPRINGER
CALIF RANCH - GREY BOARD & BATT SIDING, BRICK MAINSCOT & DARK GREY COMPOSITION ROOF.

1242 S. SPRINGER
CALIF RANCH - LIGHT GREY VERTICAL BOARD ON BOARD SIDING, BRICK MAINSCOT & SHUTTERS & DARK GREY COMPOSITION ROOF.

MEDITERRANEAN STYLE - STUCCO SIDING, ARCHES, COLUMNS & SPANISH TILE ROOF.

1261 S. SPRINGER
TRADITIONAL SINGLE STORY - WHITE HORIZ SHIPLAP SIDING & DARK GREY COMPOSITION ROOF, LARGE TALL HEDGE SHIELDS RESIDENCE FROM STREET

1267 S. SPRINGER
TRADITIONAL SINGLE STORY - GREY HORIZ SHIPLAP SIDING & DARK GREY COMPOSITION ROOF, LARGE TALL SHUBBERY SHIELDS RESIDENCE FROM STREET

New Residence at:
1251 S. Springer Ave
Los Altos, Ca

for:
M/M Amir Tekiyeh
1251 S. Springer Ave
Los Altos, Ca

STREETSCAPE ALONG SPRINGER



REVISIONS:
12/30/14 - EXTERIOR REVISIONS
1/20/15 - EXTERIOR REVISIONS



1165 S. SPRINGER
MEDITERRANEAN STYLE - STUCCO SIDING, ARCHES, COLUMNS & SPANISH TILE ROOF, LARGE TREES SHIELDS RESIDENCE FROM STREET



TWO STORY HOMES DIRECTLY BEHIND THE SUBJECT PROPERTY.

date: 2/22/14
scale: NOTED
drawn by: SMB
job no. 1442
sheet

A8

of 8 sheets