



ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: Land area covered by all structures that are over 6 feet in height	1737 square feet (17%)	3153 square feet (32%)	3153 square feet (32%)
FLOOR AREA: Measured to the outside surfaces of exterior walls	1st Fl: 1737 sq ft 2nd Fl: 1137 sq ft Total: 3153 sq ft (17%)	1st Fl: 2294 sq ft 2nd Fl: 1429 sq ft Total: 3723 sq ft (35%)	3723 square feet (35%)
SETBACKS:			
Front	25 feet	25 feet	25 feet
Rear	7 feet	5 feet	25 feet
Right side (1st/2nd)	8 feet / 8 feet	8.5 feet / 17 feet	7.2 feet / 14 feet
Left side (1st/2nd)	9 feet / 9 feet	7.5 feet / 12 feet	7.2 feet / 14 feet
HEIGHT:	27 feet	27 feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: Includes habitable basement areas	1231 square feet	2098 square feet	3329 square feet
NON-HABITABLE AREA: Does not include covered porches or open structures	506 square feet	<86> square feet	420 square feet

LOT CALCULATIONS

NET LOT AREA:	10512 square feet
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%	615 square feet (28%)
LANDSCAPING BREAKDOWN:	
Total hardscape area (existing and proposed):	4073 sq ft
Existing softscape (undisturbed) area:	6833 sq ft
New softscape area:	0 sq ft
Sum of all three should equal the site's net lot area	

Air Conditioning Equipment Setback Requirements

Air conditioning equipment must be located to comply with the City's Noise Control Ordinance (LAMC Chapter 6.16). A minimum setback of 25 feet from any property line will generally comply. Air conditioners located in side yard areas generally do not comply with the City's noise regulations.

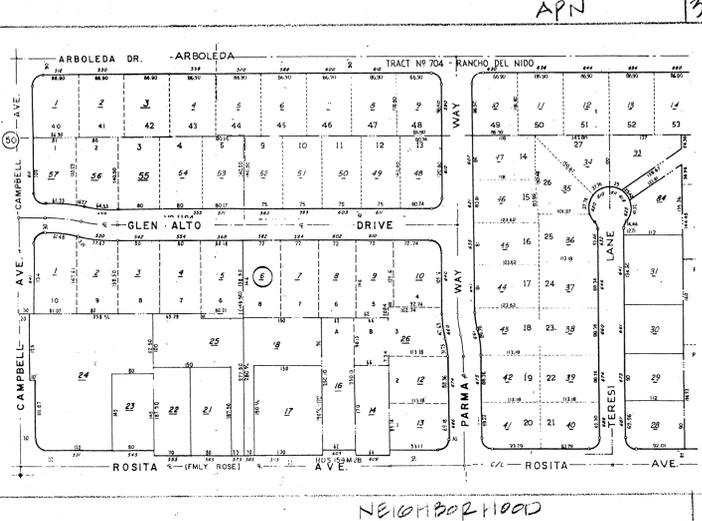
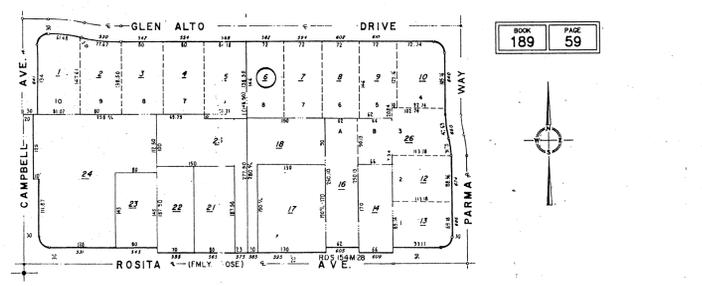


When there are multiple air conditioning units proposed, a greater setback may be required. A setback of less than 25 feet may be approved by the Planning Division upon receipt of a report from an acoustical engineer or by providing detailed information on the noise generated by the air conditioning unit and proposed placement on the property (see table below). In determining the extent of a lesser setback, the Planning Division will take into account not only the acoustical engineer's report but also regular setback requirements. Also, if the unit is visible from the street, appropriate screening is required.

Regardless of where the air conditioning unit is located, the provisions of the Noise Control Ordinance shall apply, and it is the responsibility of the property owner to mitigate any violations. If baffling and/or repairs do not achieve compliance, it may be necessary to either relocate or remove the unit.

Required setbacks per Planning Division calculations for locating air conditioning units in order to meet the Noise Control Ordinance limit of 50 dBA at the property line.

Sound Rating (Decibels)	Distance to Property Line
64	6 feet
66	8 feet
68	11 feet
70	14 feet
72	18 feet
74	22 feet

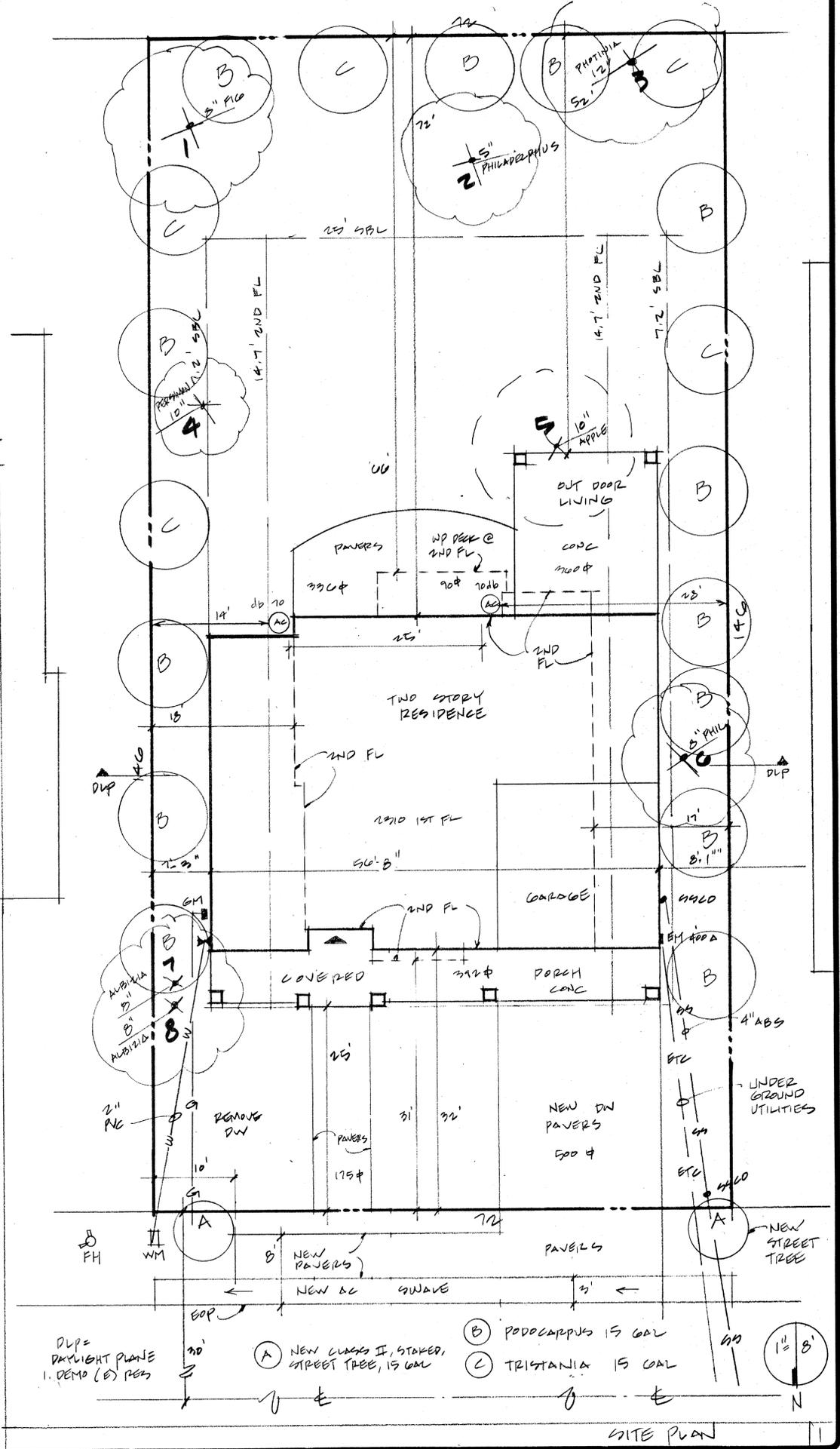


- REMOVED
- 1 8" FIL
 - 2 5" PHILADEL
 - 3 12" PHOTINIA
 - 4 10" PERSIMON
 - 5 10" APPLE
 - 6 8" PHILADEL PHUS
 - 7 8" ALBIZIA
 - 8 8" ALBIZIA

TREES S

- A1 SITE
- A2 GRADING
- A3 FLOOR PLANS
- A4 ELEVATIONS, LANDSCAPE
- A5 ELEVATIONS, AREAS
- A6 ROOF, SECTIONS

INDEX OF PLANS C



REVISIONS

NO.	DATE	BY
1	12.23.14	
2	1.5.15	

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APN 189-51-006

KANSKY RESIDENCE
582 GLEN ALTO DR.

SITE PLAN

DRAWN

CHECKED

DATE
11.14

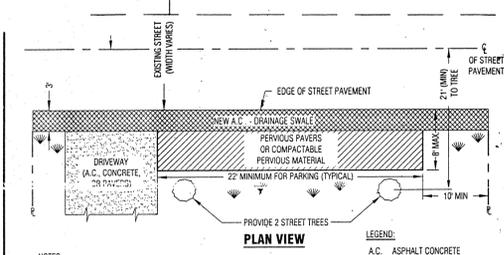
SCALE
1"=8'

JOB NO.
GLEN ALTO

SHEET
A1

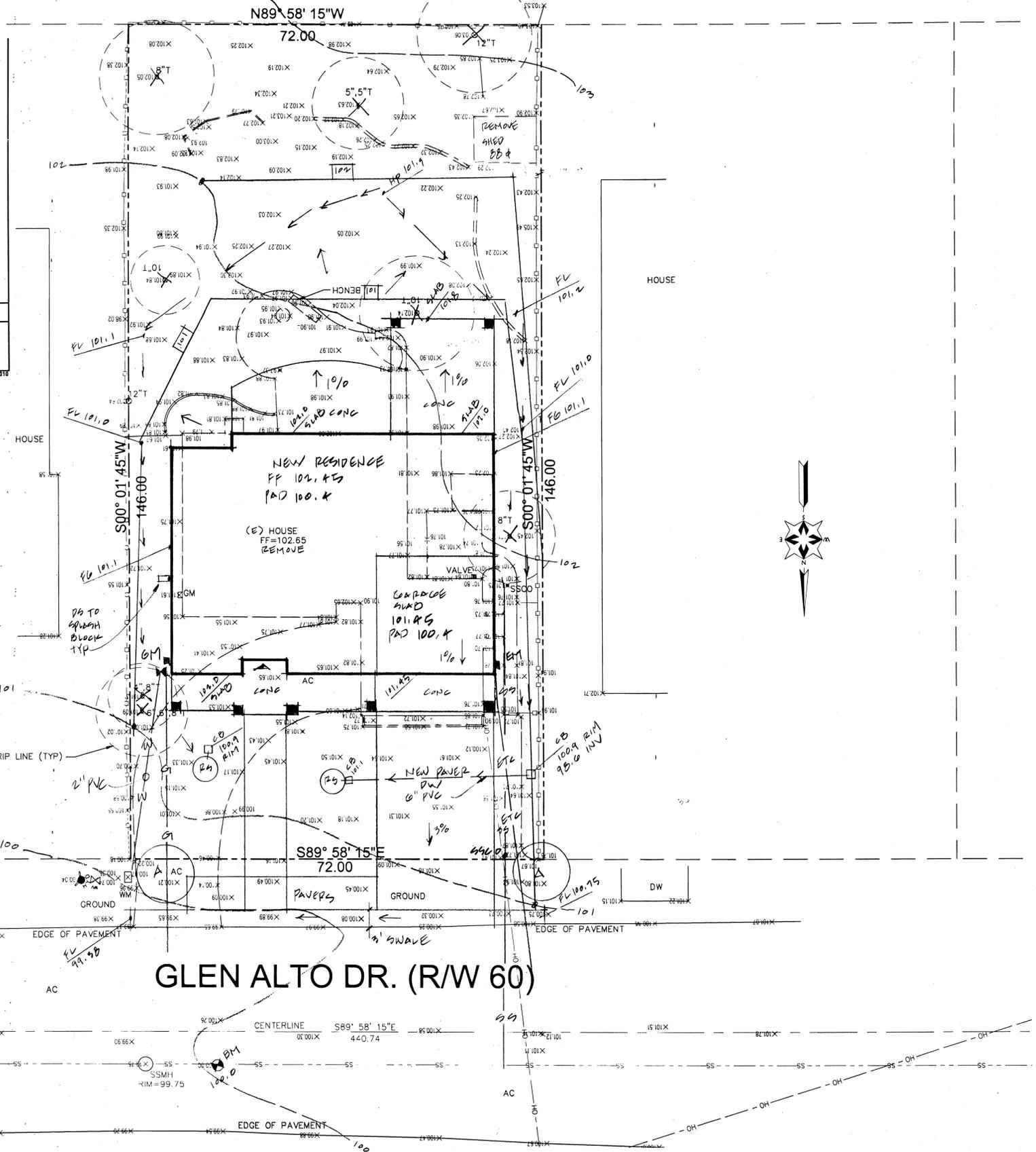
OF SHEETS

12.23.14
1.5.15



NOTES:
 1. IF THE STREET PAVEMENT WIDTH IS 30 FEET OR GREATER, NO SHOULDER IMPROVEMENTS ARE PERMITTED WITH THE EXCEPTION OF LANDSCAPING AND IRRIGATION.
 2. POLICY DOES NOT APPLY FOR REPAIRS, RESEALING, AND REPAVING IN KIND OF EXISTING SHOULDER, NOR DOES IT REQUIRE THAT SHOULDER BE PAVED.
 3. THE SHOULDER OF A NEWLY CONSTRUCTED OR 50% OR GREATER SQUARE FOOTAGE REMODELED RESIDENCE IS REQUIRED TO BE BROUGHT INTO COMPLIANCE WITH THIS POLICY.

REVISION		ENGINEERING DIVISION	
Description	Date	SHOULDER PAVING POLICY	SU-20
		STANDARD DETAILS MAY 2010	



LEGEND:

---	PROPERTY LINE	AC	ASPHALT
- - -	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	C&G	CURB AND GUTTER
---	SANITARY SEWER LINE	CB	CATCH BASIN
---	EDGE OF PAVEMENT	DW	DRIVEWAY
---	STORM DRAIN LINE	EB	ELECTRIC BOX
---	OVERHEAD POWER LINE	EP	EDGE OF PAVEMENT
---	WOOD FENCE	FH	FIRE HYDRANT
---	WATER VALVE	GM	GAS METER
---	POWER POLE	GV	GAS VALVE
---	FIRE HYDRANT	P.U.E.	PUBLIC UTILITY EASEMENT
---	SURVEY MONUMENT	PP	POWER POLE
---	STREET TREE	S.D.E.	STORM DRAINAGE EASEMENT
---	ROCK SUMP	SDMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		CO	CLEAN OUT
		VG	VALLEY GUTTER
		WM	WATER METER

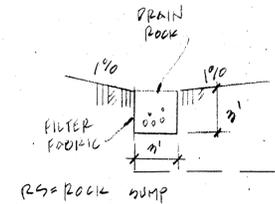
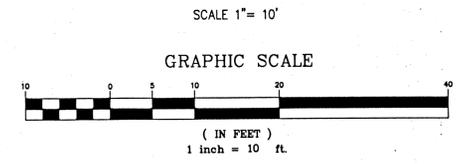
DISCLAIMER:
 SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:
 THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
 FOUND SURVEY MONUMENTS ALONG THE CENTER LINE OF ROSITA AVE. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK: 33 PAGE: 29 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

SITE BENCHMARK:
 SURVEY CONTROL SET MAG NAIL ELEVATION=100.00'

- NOTES:**
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 - THE GROSS AREA OF LAND OF RECORD IS 10,512 SQ. FT. ±.
 - THE SURVEY WAS BASED ON A PRELIMINARY TITLE REPORT OR # 4316-4724270 BY FIRST AMERICAN TITLE CO. DATED SEP. 4, 2014, RECORDED IN SANTA CLARA COUNTY.
 - ALL EXISTING BUILDINGS ARE WOOD.
 - FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
 - THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



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 CIVIL ENGINEERS—LAND SURVEYORS
 1534 Carob Lane Los Altos, CA 94024
 Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 10'
 Prepared by: J.N.
 Checked by: S.R.
 Date: 10/23/2014
 Project No: 214143

TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

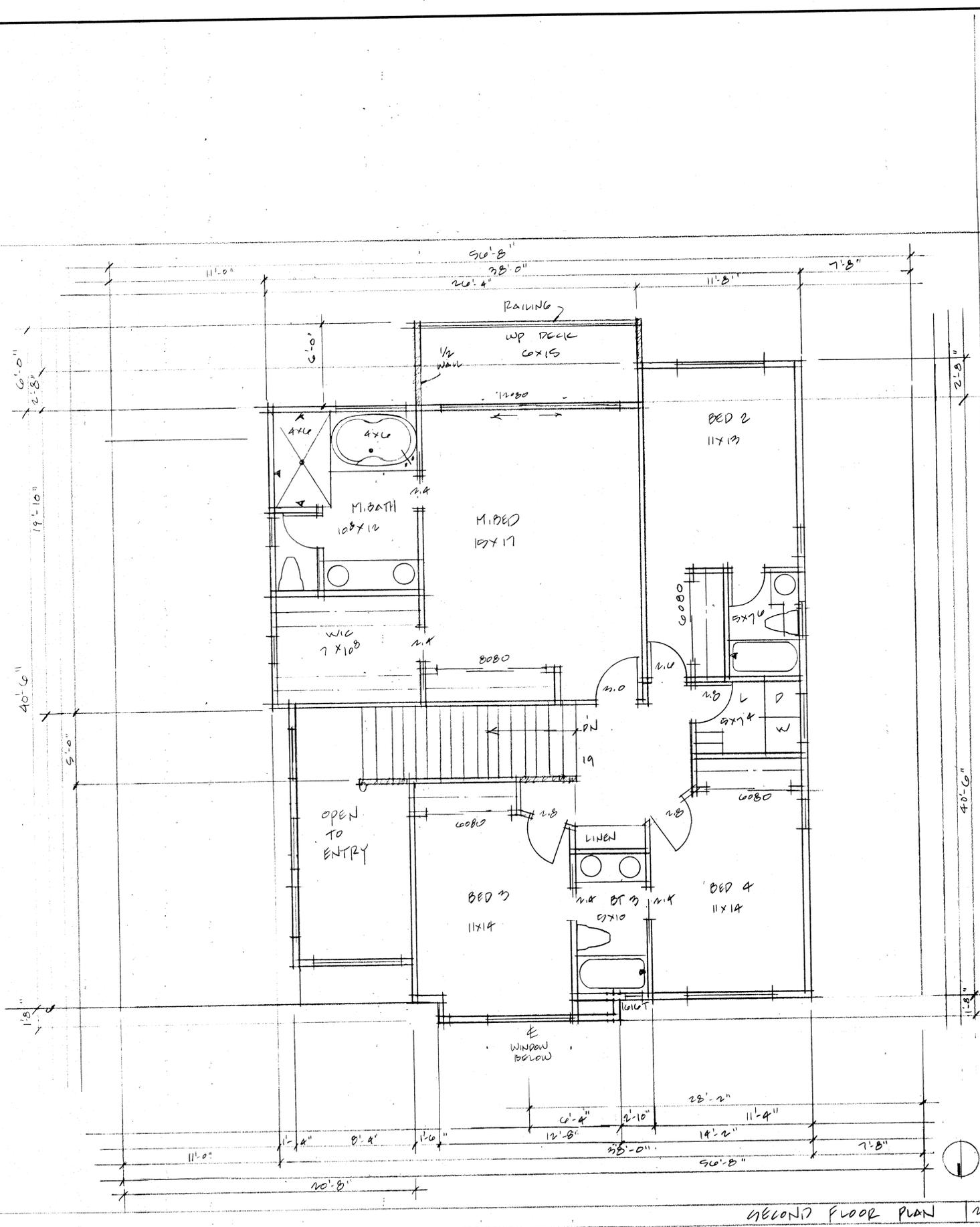
CITY OF LOS ALTOS

KANSKY

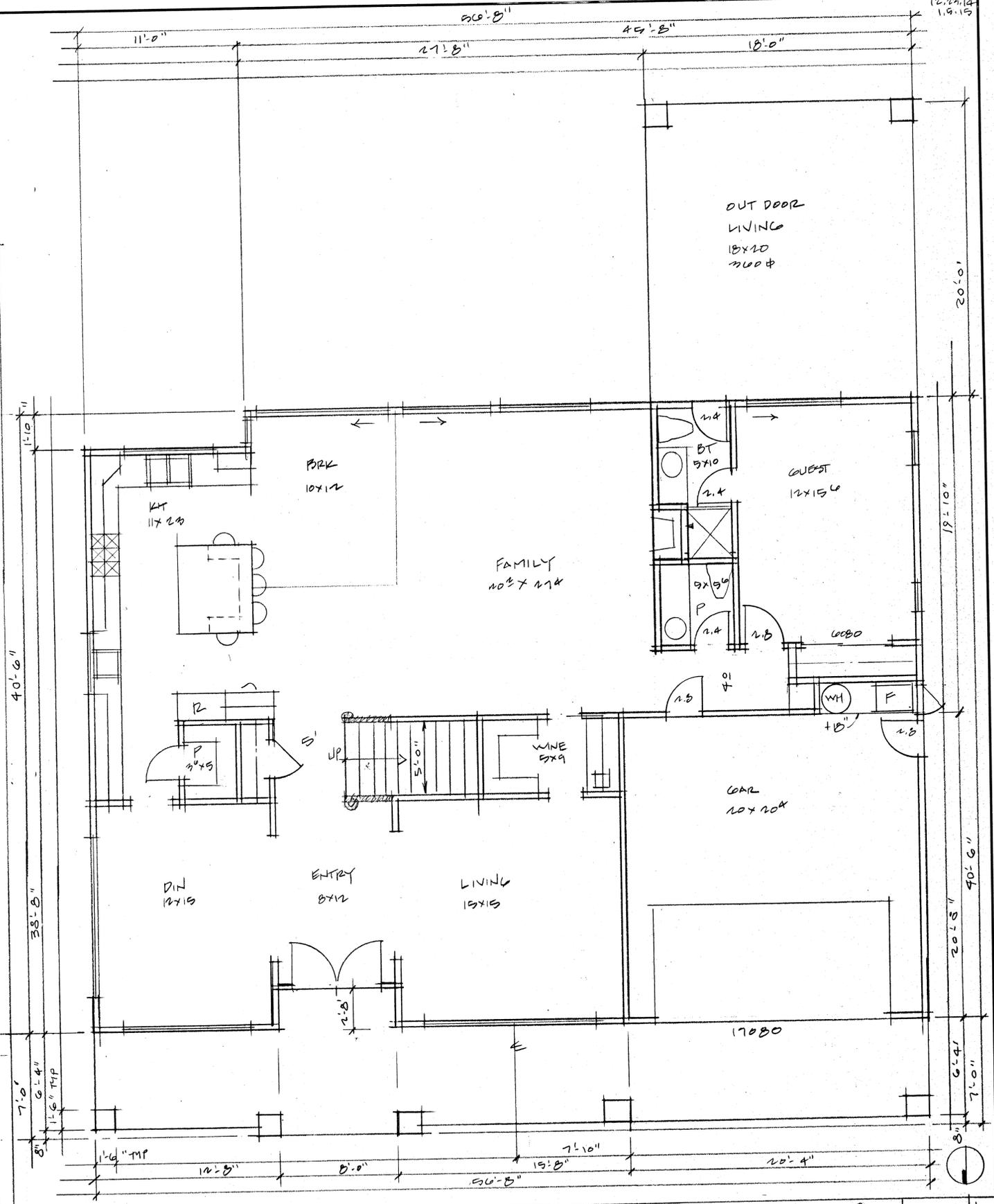
582 GLEN ALTO

11.1.14 1" = 10'

A2



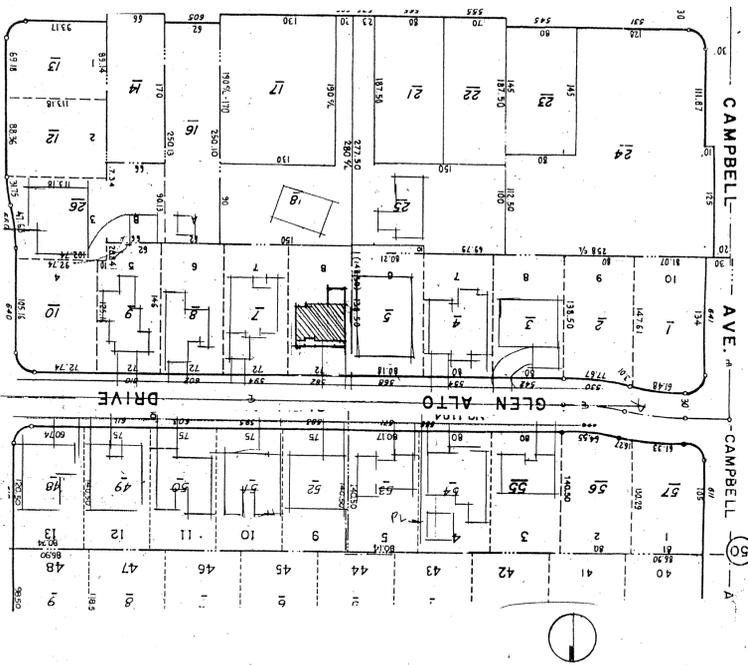
SECOND FLOOR PLAN 2



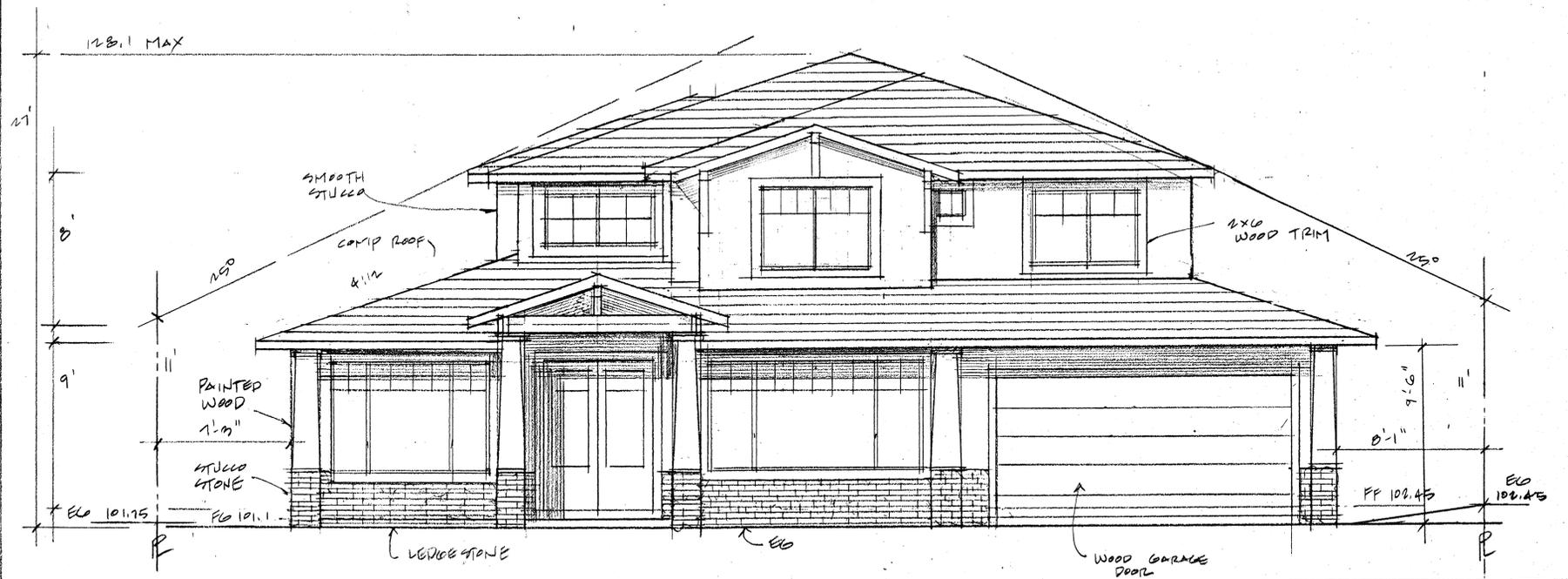
FIRST FLOOR PLAN 1

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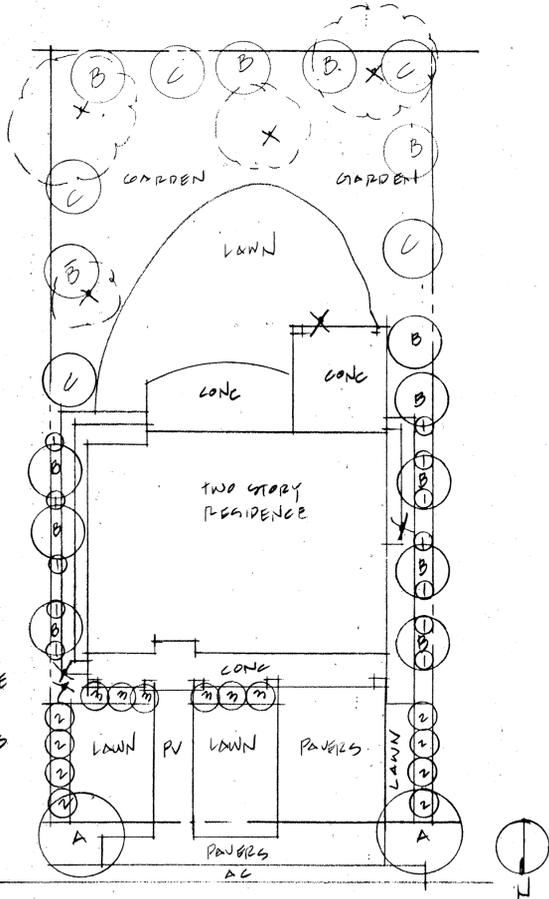
SCALE 1/8" = 1'-0"		APPROVED BY	DRAWN BY
DATE 11.1.14		REVIS	REVISED
FLOOR PLANS			DRAWING NUMBER
GLEN ALTO			A3



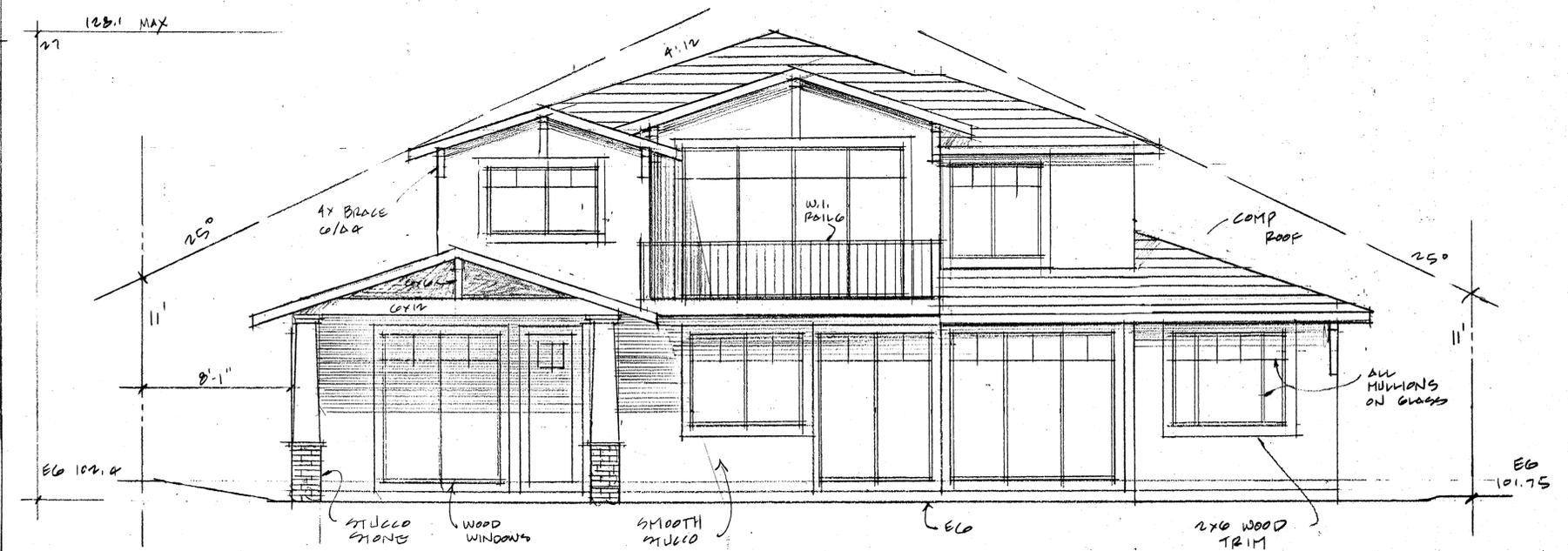
NEIGHBORHOOD M&P



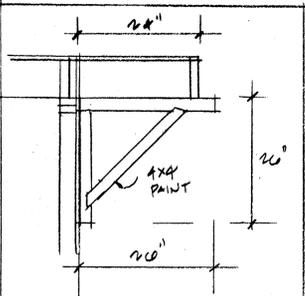
FRONT ELEVATION



LANDSCAPE PLAN



REAR ELEVATION



BRACKET

REVISIONS	BY
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1.5.15	

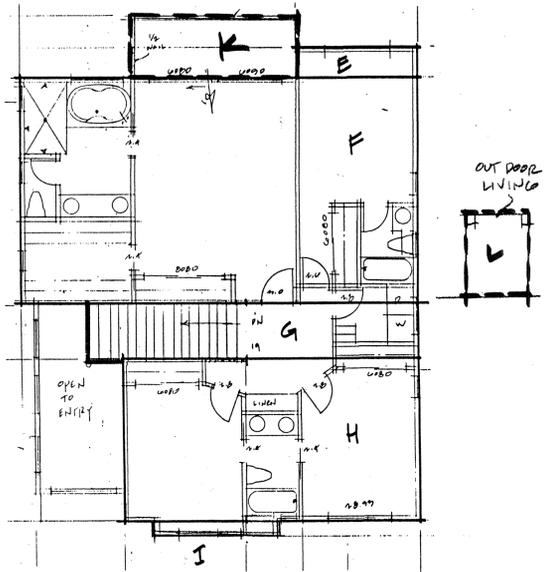
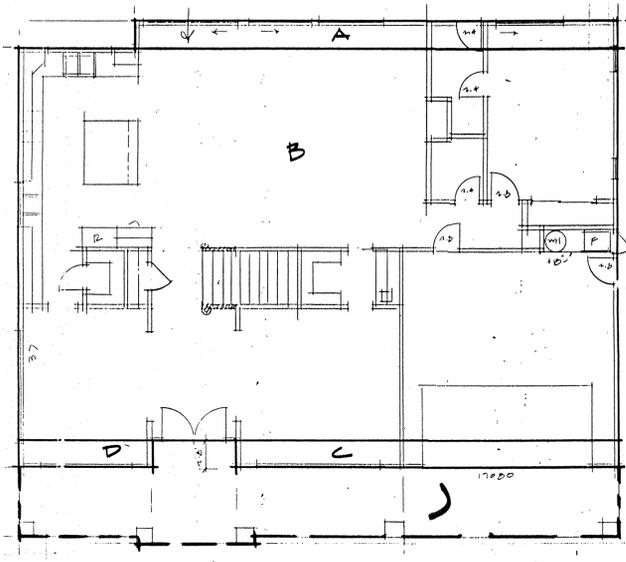
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KANSKY
 GLEN ALTO

ELEVATIONS

DRAWN
CHECKED
DATE 11.1.14
SCALE 1/4"
JOB NO. GLEN ALTO
SHEET A4
OF SHEETS

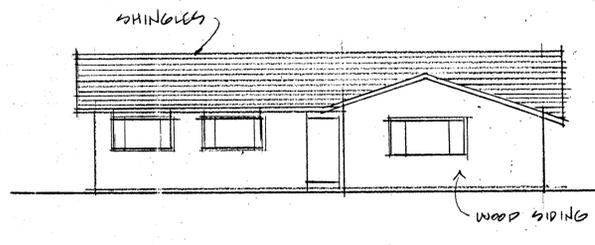
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FLOOR AREA CALL

A	45.60 x 11.83	34	UNFINISHED	20.00 x 20.00 = 400
B	30.00 x 50.00	2040	HABITABLE	2010 - 410 = 1890 (LN)
C	21.00 x 33.00	90		1369 (ND)
D	21.00 x 12.00	34	TOTAL HEATED	3259 sq
		2294	COVERAGES ONLY	
E	21.00 x 11.00	21		20.00 x 6.33 x 1.00 x 8 x 2 x 20.00 = 335
F	19.83 x 38	754		K 4 x 15 = 90
G	21.5 x 5.33	108		L 18 x 10 = 180
H	15.33 x 28.33	434		895 sq TOTAL
I	14.00 x 11.00	35		

LOT AREA = 72 x 146 = 10,512
X .95 = 3079 MAX



EXISTING RESIDENCE

Get a copy from your Cultured Stone® dealer, go to our Web site or call 1-800-255-1727. Cultured Stone® veneer can be used on most structurally sound wall surfaces. Its light weight and quick adhesion allow for fast, easy installation without additional footings or wall ties.

Each piece of Cultured Stone® manufactured stone veneer is applied individually with Type N mortar and attaches permanently to the wall surface.

STUCCO STONES ARE LIGHT WEIGHT FAUX STONES MORTARED TO 2ND LAYER OF STUCCO.

TYPICAL INSTALLATIONS:

WOOD FRAME

In sequence: (1) sheathing, (2) weather-resistant barrier, (3) galvanized metal lath, (4) mortar, (5) Cultured Stone® veneer, (6) mortar joint.

MASONRY OR CONCRETE

In sequence: (1) mortar applied directly to untreated, unpainted masonry, concrete or stucco, (2) Cultured Stone® veneer, (3) mortar joint.

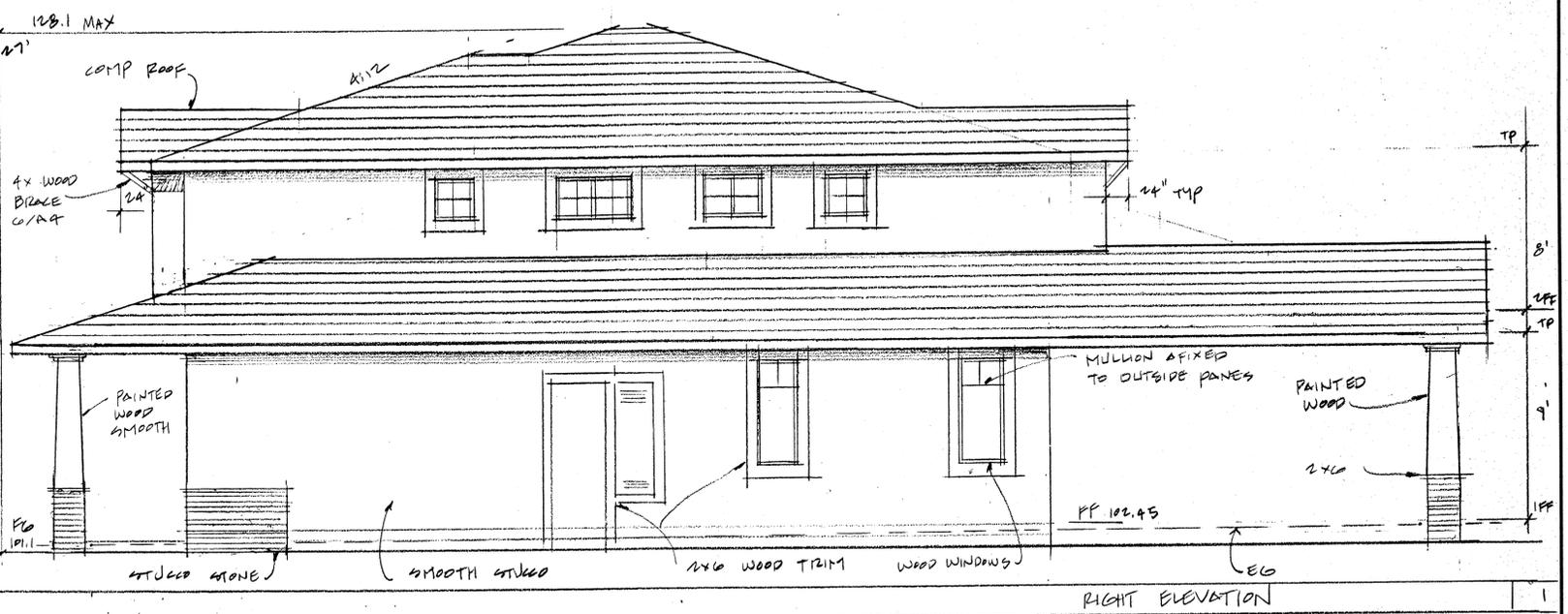
RIGID FOAM INSULATION

In sequence: (1) rigid foam insulation, (2) weather-resistant barrier, (3) galvanized metal lath, (4) mortar, (5) mortar setting bed, (6) Cultured Stone® veneer, (7) mortar joint.

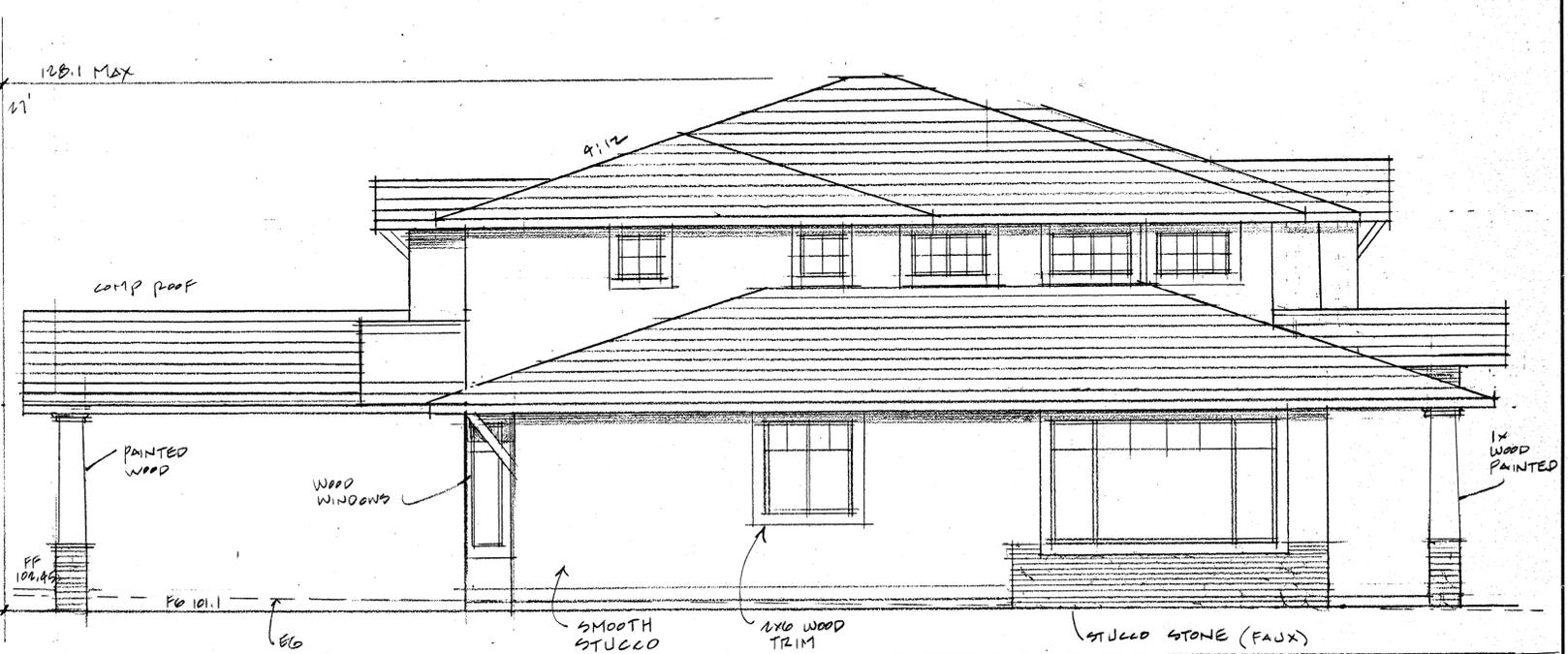
CORNER PREPARATION

Weather-resistant barrier and galvanized metal lath must continuously lap a minimum of 16" beyond outside and inside corners to next framing member. Lap weather-resistant barrier 2" at horizontal and 6" at vertical joints. Lap and install galvanized metal lath per local building code requirements. In sequence: (1) wall substrate, (2) weather-resistant barrier, (3) metal lath.

"STUCCO STONE" = "CULTURED STONE"



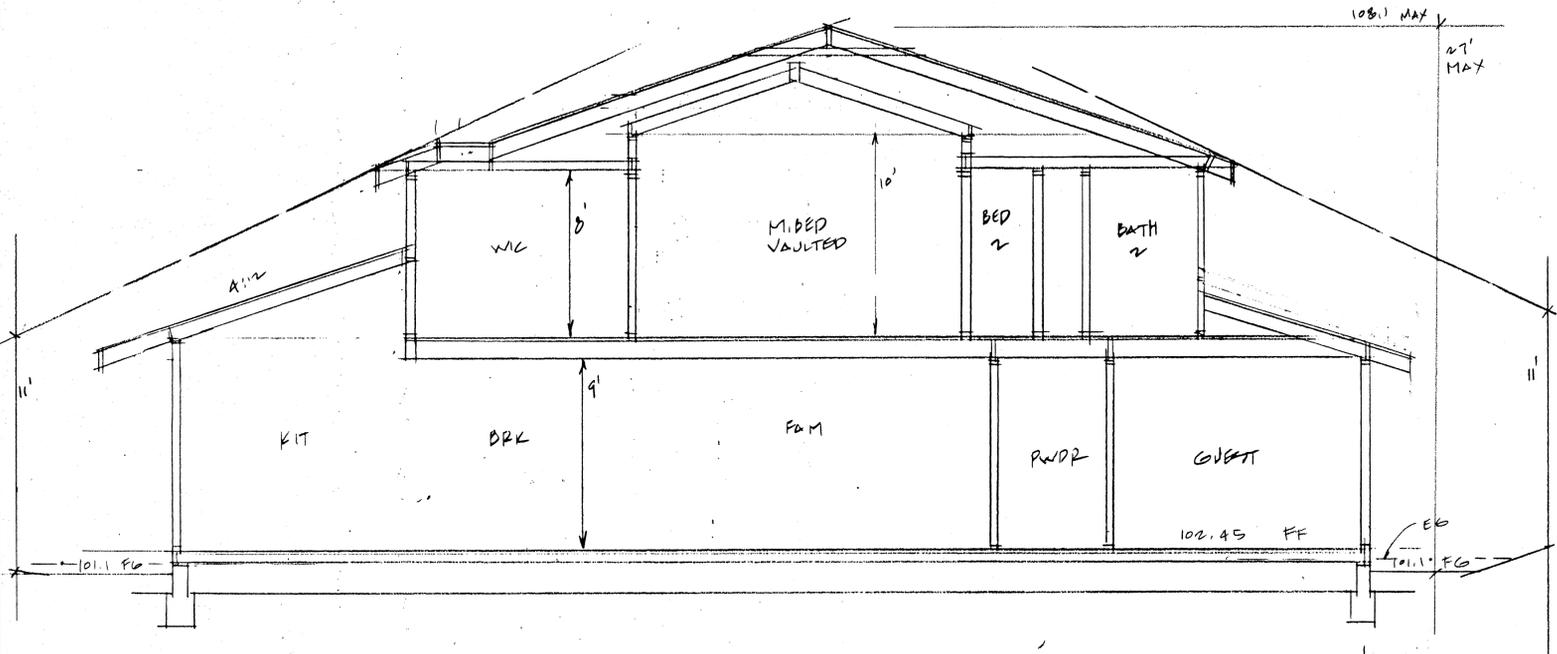
RIGHT ELEVATION



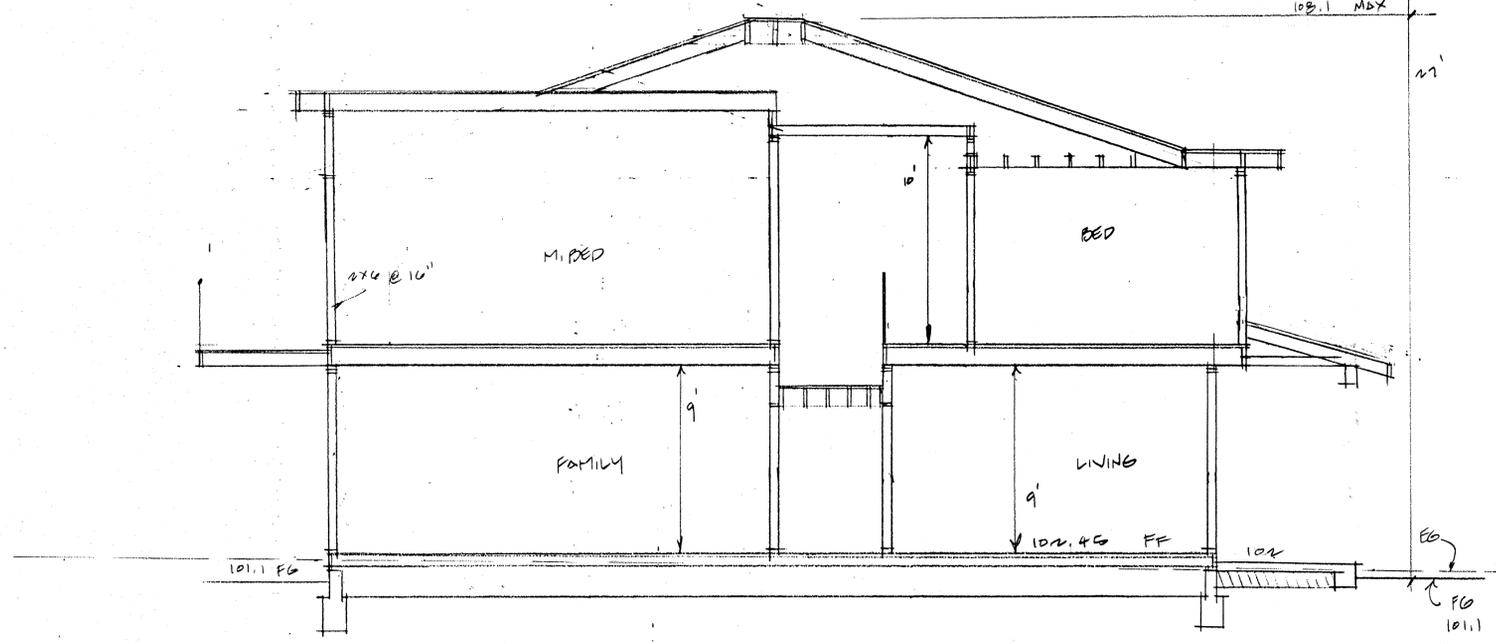
LEFT ELEVATION

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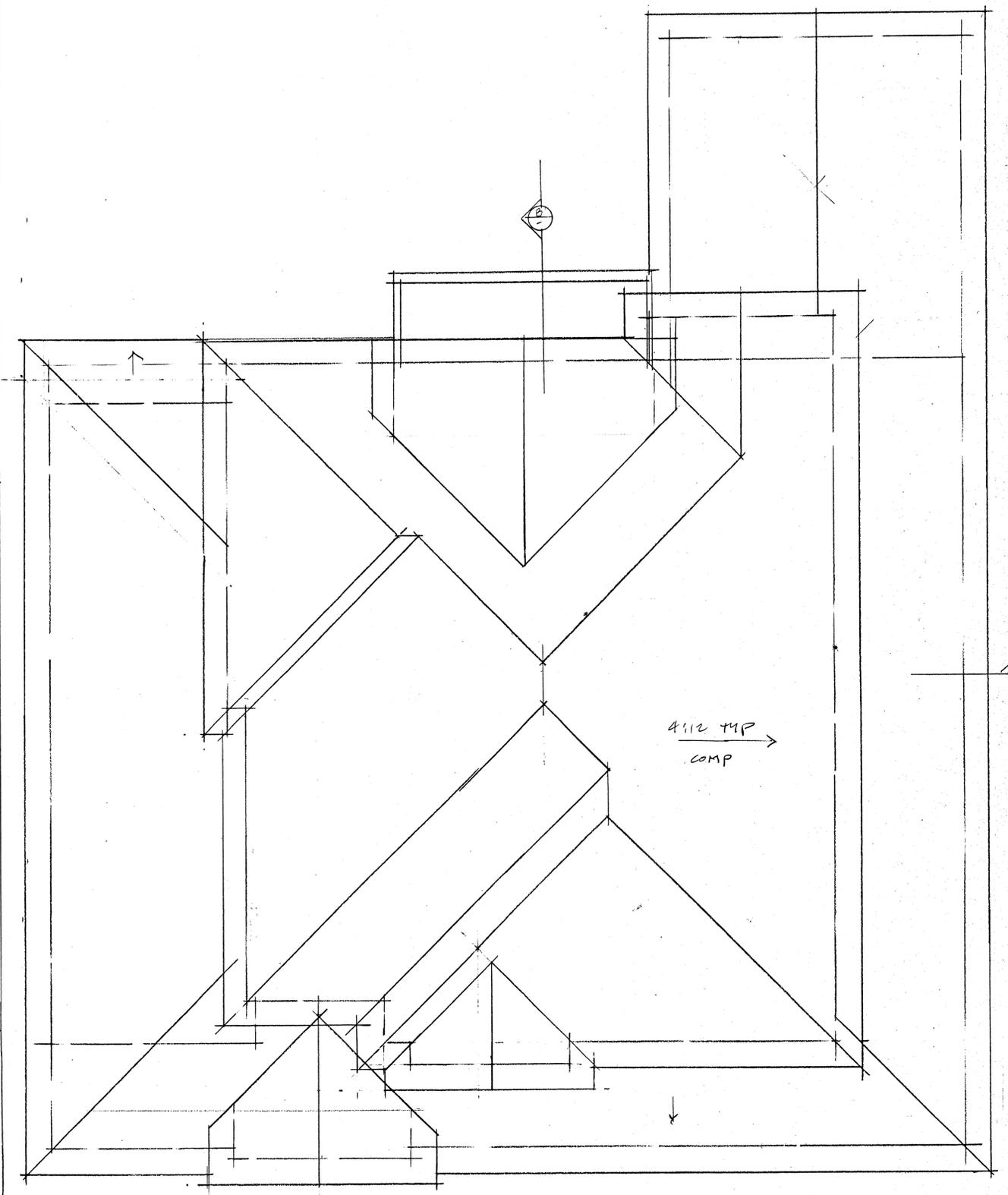
KANSKY 582 GLEN ALTO		
SCALE 1/8"	APPROVED BY	DRAWN BY
DATE 11.1.14		REVISED
		DRAWING NUMBER A5



SECTION A



SECTION B



4 1/2 TYP
COMP

ROOF PLAN

KANSKY RESIDENCE
GEN AUTO

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SCALE 1/4"	APPROVED BY	DRAWN BY
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ROOF PLAN		DRAWING NUMBER
		AC