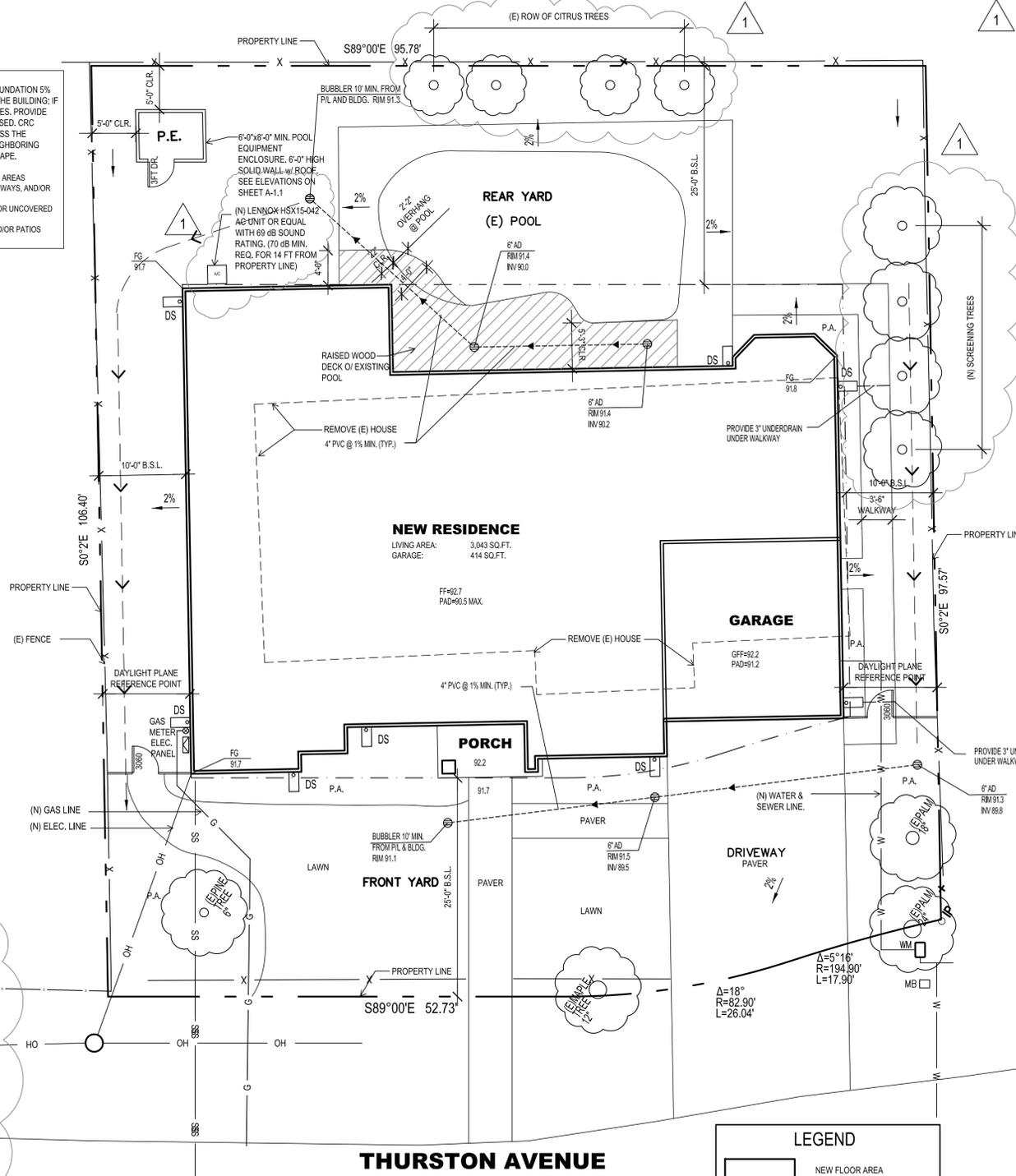


NEW RESIDENCE
LANCE WANG

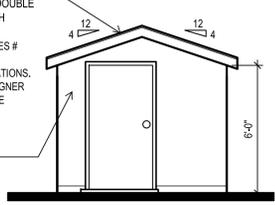
1274 THURSTON AVENUE, LOS ALTOS CA 94024

THIS PROJECT SHALL COMPLY WITH
2013 CALIFORNIA BUILDING CODE (C.B.C.)
2013 CALIFORNIA MECHANICAL CODE (C.M.C.)
2013 CALIFORNIA PLUMBING CODE (C.P.C.)
2013 CALIFORNIA ELECTRICAL CODE (C.E.C.)
2013 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
CALIFORNIA ENERGY CODE
CALIFORNIA GREEN BUILDING CODE
LOCAL CITY ORDINANCE

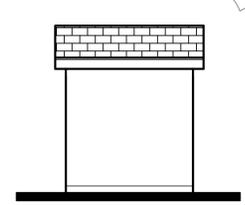
NOTES:
1. GROUND IS TO SLOPE AWAY FROM FOUNDATION 5% FOR A DISTANCE OF 10 FT AWAY FROM THE BUILDING; IF 10 FT. CANNOT BE MET, PROVIDE SWALES. PROVIDE 2% SLOPE IF IMPERVIOUS SURFACE IS USED. CRC R401.3. NO CONCENTRATED FLOW ACROSS THE RIGHT-OF-WAY. NO DRAINAGE ONTO NEIGHBORING PROPERTIES. ALL DRAINAGE TO LANDSCAPE.
2. DIRECT ROOF RUNOFF SHALL BE:
A. DIRECT ROOF RUNOFF ONTO VEGETATED AREAS
B. DIRECT RUNOFF FROM DRIVEWAYS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
C. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
D. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES



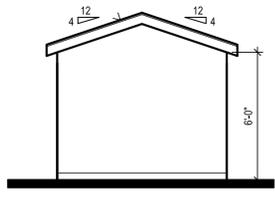
CLASS 'A' EAGLE ROOFING, DOUBLE EAGLE BEL AIR FLAT SMOOTH CONCRETE TILE OR EQUAL. PRODUCT NUMBER: 4687, ICC-ES # ESR-1900. INSTALLATION PER MANUFACTURE RECOMMENDATIONS. VERIFY WITH OWNER OR DESIGNER FOR COLOR OF ROOF TILE. SEE WWW.EAGLEROOFING.COM. CAPISTRANO TILES: 6 PSF.
TO MATCH MAIN HOUSE. 7/8" EXT. CEMENT STUCCO O/ MTL. LATH OVER 2-LAYERS GRADE 'D' PAPER.



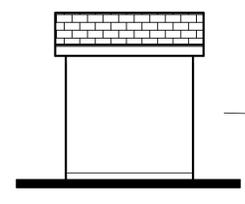
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEGEND

NEW FLOOR AREA
SWALE SLOPE

SCALE: 1/8" = 1'-0"

PROJECT DATA

ASSESSOR'S PARCEL NUMBER: 318-04-008
PROJECT ADDRESS: 1274 THURSTON AVE.
LOS ALTOS, CALIF. 94024
OWNER: MR. & MRS. ZHICHENG WANG
1274 THURSTON AVE.
LOS ALTOS, CA. 94024
408-242-9388
EXISTING ZONING: R-1-10
TYPE OF CONSTRUCTION: VB-SPRINKLERED
OCCUPANCY GROUP: R-3U
EXISTING USE: ONE STORY SINGLE FAMILY RESIDENCE
PROPOSED USE: ONE STORY SINGLE FAMILY RESIDENCE

PROJECT SUMMARY TABLE

ZONING COMPLIANCE	EXISTING	PROPOSED	ALLOWED/REQUIRED	3,511 SQ.FT.	3,514 SQ.FT.
EXISTING LOT COVERAGE:	2,724 SQ.FT.	3,511 SQ.FT.	(35%)	(35%)	(35%)
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT:	2,100 SQ.FT.	3,457 SQ.FT.	(21%)	(34%)	(26.86%)
FLOOR AREA:	2,100 SQ.FT.	3,457 SQ.FT.	(21%)	(34%)	(26.86%)
SETBACKS:					
FRONT	33 FT.	25 FT.	25 FT.	25 FT.	25 FT.
REAR	35 FT.	25 FT.	25 FT.	25 FT.	25 FT.
RIGHT SIDE	25 FT.	10.7 FT.	10 FT.	10 FT.	10 FT.
LEFT SIDE	18 FT.	10 FT.	10 FT.	10 FT.	10 FT.
HEIGHT:	15 FT.	19.6 FT.	20 FT.	20 FT.	20 FT.
SQUARE FOOTAGE BREAKDOWN:					
HABITABLE LIVING AREA (INCLUDING HABITABLE BASEMENT AREA):	1,720 SQ.FT.	1,324 SQ.FT.	3,043 SQ.FT.	3,043 SQ.FT.	3,043 SQ.FT.
NON-HABITABLE AREA:	1,004 SQ.FT.	536 SQ.FT.	488 SQ.FT.	488 SQ.FT.	488 SQ.FT.
LOT CALCULATIONS:					
NET LOT AREA:	10,041 SQ.FT. (23 AC.)	850 SQ.FT. (26%)	10,041 SQ.FT. (23 AC.)	10,041 SQ.FT. (23 AC.)	10,041 SQ.FT. (23 AC.)
FRONT YARD HARDSCAPE AREA:	5,082 SQ.FT.	5,082 SQ.FT.	5,082 SQ.FT.	5,082 SQ.FT.	5,082 SQ.FT.
LANDSCAPING BREAKDOWN:					
EXISTING SOFTSCAPE (UNDISTURBED) AREA:	1,831 SQ.FT.	1,831 SQ.FT.	1,831 SQ.FT.	1,831 SQ.FT.	1,831 SQ.FT.
NEW SOFTSCAPE AREA:	1,831 SQ.FT.	1,831 SQ.FT.	1,831 SQ.FT.	1,831 SQ.FT.	1,831 SQ.FT.
NET LOT AREA:	10,041 SQ.FT.	10,041 SQ.FT.	10,041 SQ.FT.	10,041 SQ.FT.	10,041 SQ.FT.

CONSULTANTS LIST

DESIGNER
TDH DESIGN
19034 BONNET WAY
SARATOGA, CA 95070
408.829.6083
TDHDESIGN@HOTMAIL.COM

STRUCTURAL ENGINEER
WESLEY LIU ENGINEERING
7246 SHARON DRIVE #0
SAN JOSE, CA 95129
408.973.1839
WESLEYLIU@YAHOO.COM

ENERGY CONSULTANT
CARSTAIRS ENERGY CALC.
904 EVERETT COURT
PASO ROBLES, CA 93446
805.904.9048
TIMMYCARSTAIRS@YAHOO.COM

CIVIL ENGINEER
RW ENGINEERING, INC.
505 ALTAMONT DRIVE
MILPITAS, CA 95035
408-420-6283
RWENGINEERING@GMAIL.COM

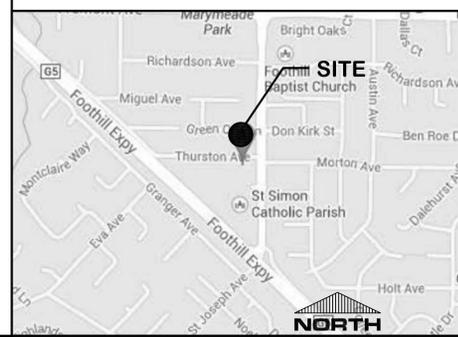
GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF TDH DESIGN PRIOR TO COMMENCING.
- VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION BIDDING.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- GROUND IS TO SLOPE AWAY FROM FOUNDATION 5% FOR A DISTANCE OF 10 FT AWAY FROM THE BUILDING; IF 10 FT. CANNOT BE MET, PROVIDE SWALES. PROVIDE 2% SLOPE IF IMPERVIOUS SURFACE IS USED. SECTION R 401.3 OF 2010 CRC.
- SEPARATE PERMITS ARE REQUIRED FOR OCCUPANCY AND ALL FUTURE TENANT IMPROVEMENTS. SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL & PLUMBING WORK.
- ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHER STRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS BUT FORTH BY THE EXECUTIVE DIRECTOR.
- IF ITEMS TO BE DEFERRED, PROVIDE A LIST OF DEFERRED ITEMS ON THE COVER SHEET OF YOUR PLANS AS REQUIRED BY SECTION 104.11 CRC. THE DEFERRED ITEMS ARE NOT ALLOWED TO BE CONSTRUCTED OR INSTALLED UNTIL THESE ITEMS ARE REVIEWED AND APPROVED.

SHEET INDEX

- ARCHITECTURAL
- A-1.1 TITLE SHEET, & SITE PLAN
 - A-1.2 EXISTING FLOOR PLANS W/ DEMOLITION & FLOOR AREA CALCULATION DIAGRAM, EXISTING ELEVATION & STREETScape.
 - A-1.3 LANDSCAPE PLAN
 - A-2 FLOOR PLAN
 - A-3.1 ELEVATIONS
 - A-3.2 ELEVATIONS
 - A-4 ROOF PLAN
 - A-5 SECTIONS & DETAILS
 - C SURVEY PLAN
 - C-1 GRADING PLAN

VICINITY MAP



REVISIONS	BY
03.02.14	P.D.

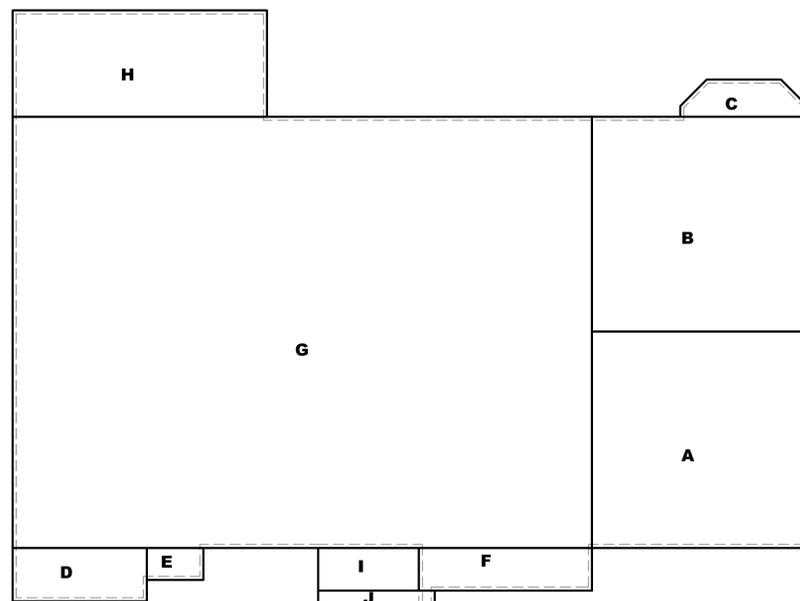
SITE PLAN

NEW RESIDENCE
LANCE WANG
1274 THURSTON AVENUE, LOS ALTOS CA 94024
ARCH 318-04-008

FINE CUSTOM HOME
DESIGN
(408) 829-6083
19034 BONNET WAY • SARATOGA, CA. 95070

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TRI HONG
DATE
DECEMBER, 2013
SCALE
AS SHOWN
JOB
051-174-13
SHEET

A-1.1



SECTION	DIMENSIONS	AREA
A	20'-4" X 20'-4"	413.44 SQ.FT.
GARAGE AREA: 413.44 SQ.FT.		
B	20'-4" X 20'-2"	410.06 SQ.FT.
C	(12'-0" X 3'-0") + 6.25'	35.75 SQ.FT.
D	12'-8" X 5'-0"	63.33 SQ.FT.
E	5'-4" X 3'-0"	16.80 SQ.FT.
F	16'-0" X 4'-0"	64.00 SQ.FT.
G	54'-8" X 40'-6"	2,214 SQ.FT.
H	24'-0" X 10'-0"	240.00 SQ.FT.
LIVING AREA: 3043.14 SQ.FT.		
I	9'-6" X 4'-0"	38.00 SQ.FT.
J	11'-0" X 1'-0"	16.50 SQ.FT.
PORCH AREA: 54.50 SQ.FT.		
LIVING AREA: 3,043.14 SQ.FT.		
GARAGE: 413.44 SQ.FT.		
FRONT PORCH: 54.50 SQ.FT.		
LOT COVERAGE: 3511.08 SQ.FT.		

FLOOR AREA CALCULATION DIAGRAM

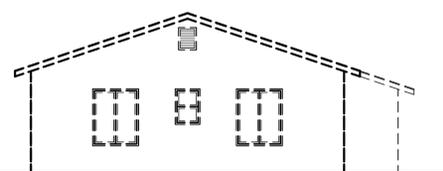
SCALE: 1/8"=1'-0"



NOTE: EXISTING ELEVATION TO BE REMOVED

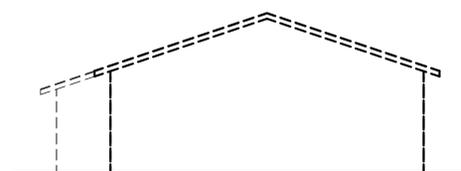
EXISTING FRONT ELEVATION

SCALE: 1/8"=1'-0"



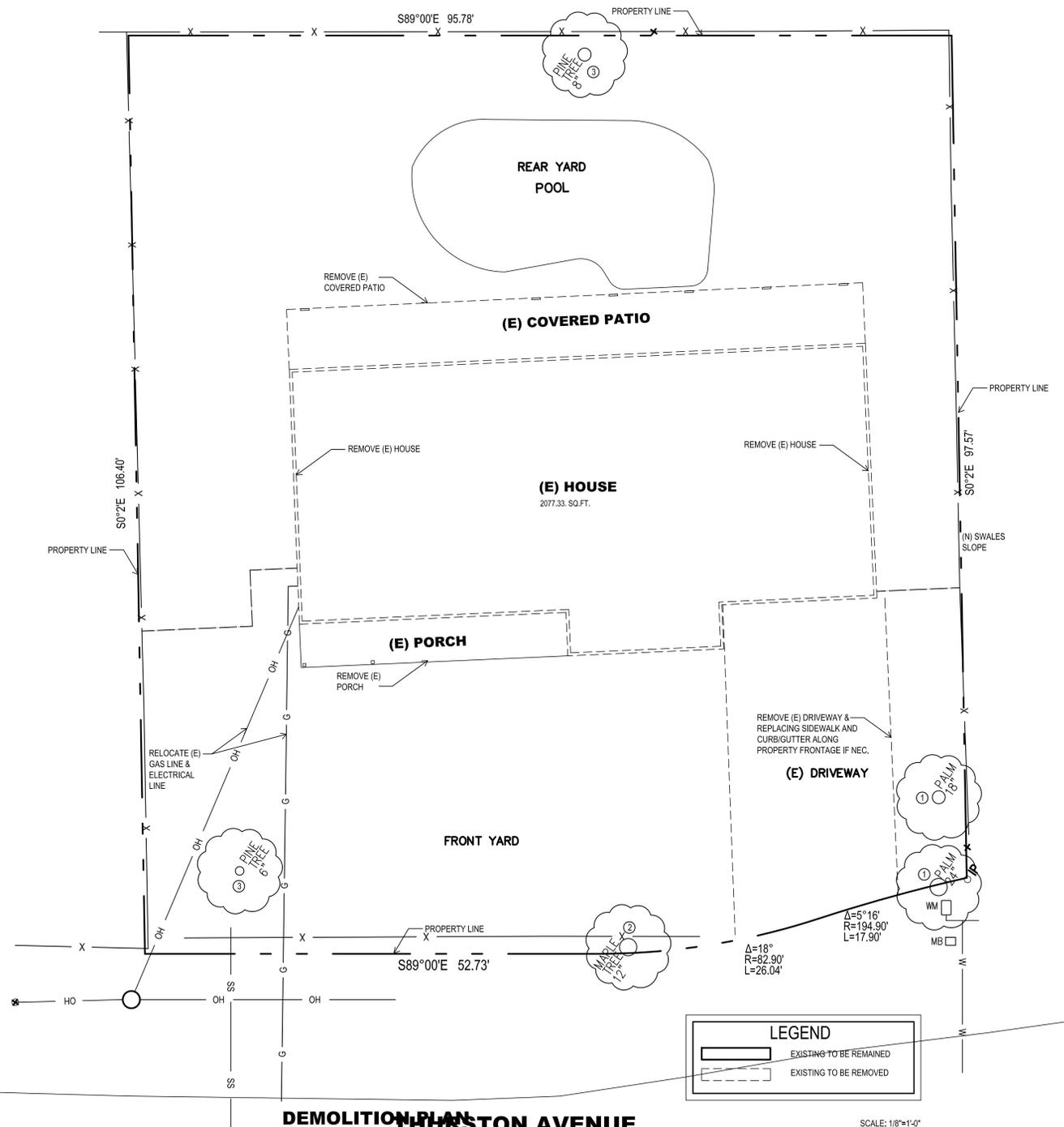
(E) LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"



(E) RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



DEMOLITION PLAN

SCALE: 1/8"=1'-0"

SCOPE OF WORK:
DEMOLITION OF EXISTING BUILDING IS UNDER A SEPARATE PERMIT. PLEASE SEE SHEET A-1 GENERAL NOTE # 9.



1274

STREET ELEVATION A

SCALE: N.T.S.



STREET ELEVATION B

SCALE: N.T.S.

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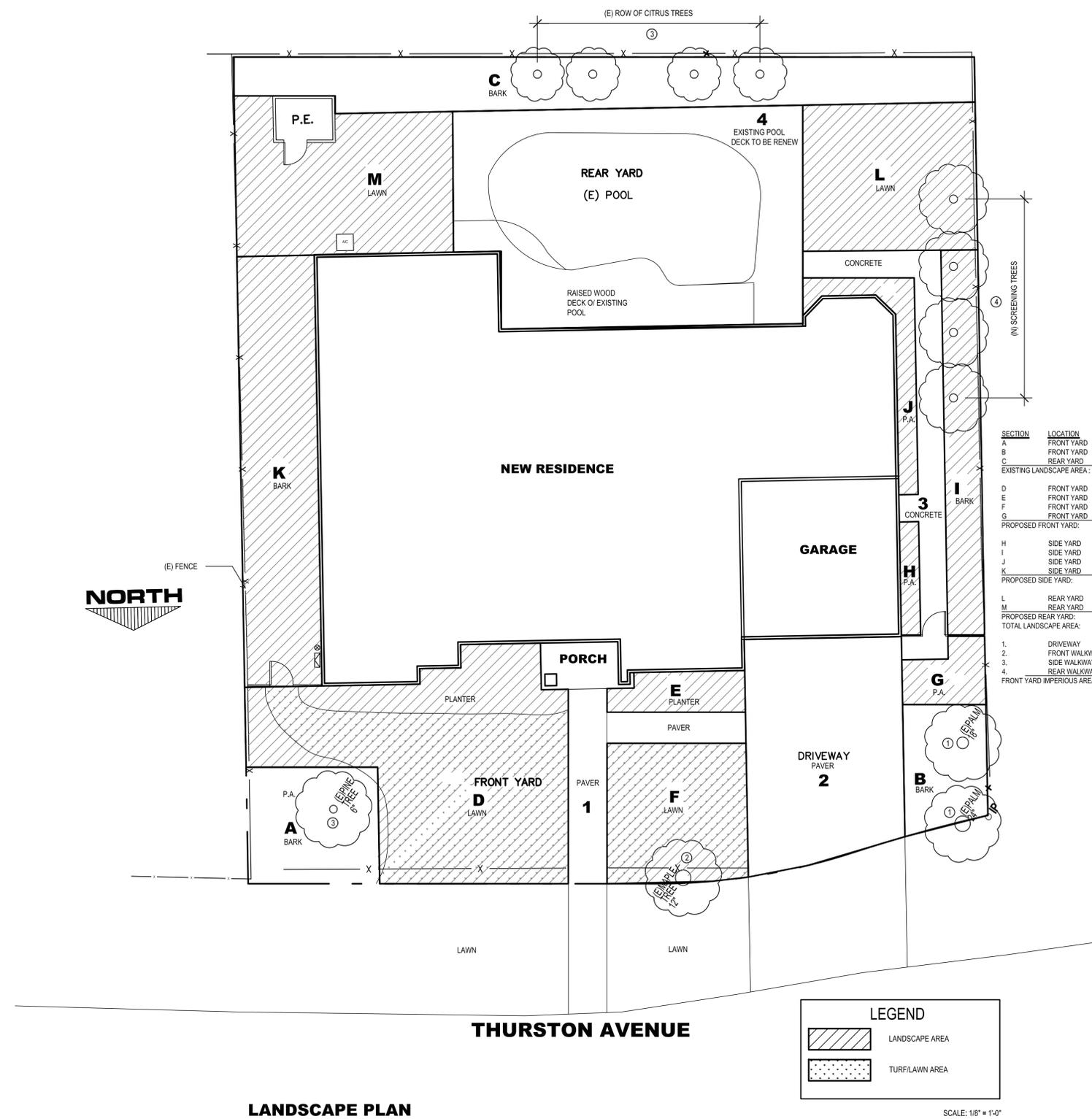
EXISTING SITE PLAN w/ DEMOLITION, FLOOR AREA CALC., EXISTING ELEV. & STREETVIEW

NEW RESIDENCE
LANCE WANG
1274 THURSTON AVENUE, LOS ANGELES CA 90024
AP#W 210-04-008

FINE CUSTOM HOME
DESIGN
(408) 829-6083
19034 BONNET WAY • SARATOGA, CA. 95070

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DATE DECEMBER, 2013
SCALE AS SHOWN
JOB 051-174-13
SHEET

A-1.2



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

TREE PROTECTION DURING CONSTRUCTION.

- PROTECTED TREES DESIGNATED FOR PRESERVATION SHALL BE PROTECTED DURING DEVELOPMENT OF A PROPERTY BY COMPLIANCE WITH THE FOLLOWING, WHICH MAY BE MODIFIED BY THE PLANNING DIRECTOR:
- A. PROTECTIVE FENCING SHALL BE INSTALLED NO CLOSER TO THE TRUNK THAN THE DRUPLINE, AND FAR ENOUGH FROM THE TRUNK TO PROTECT THE INTEGRITY OF THE TREE. THE FENCE SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT AND SHALL BE SET SECURELY IN PLACE. THE FENCE SHALL BE OF A STURDY BUT OPEN MATERIAL (I.E., CHAINLINK), TO ALLOW VISIBILITY TO THE TRUNK FOR INSPECTIONS AND SAFETY. THERE SHALL BE NO STORAGE OF ANY KIND WITHIN THE PROTECTIVE FENCING.
 - B. THE EXISTING GRADE LEVEL AROUND A TREE SHALL NORMALLY BE MAINTAINED OUT TO THE DRUPLINE OF THE TREE. ALTERNATE GRADE LEVELS MAY BE APPROVED BY THE PLANNING DIRECTOR.
 - C. DRAIN WELLS SHALL BE INSTALLED WHENEVER IMPERVIOUS SURFACES WILL BE PLACED OVER THE ROOT SYSTEM OF A TREE (THE ROOT SYSTEM GENERALLY EXTENDS TO THE OUTERMOST EDGES OF THE BRANCHES).
 - D. TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORICULTURE METHODS.
 - E. NO SIGNS, WIRES, OR ANY OTHER OBJECT SHALL BE ATTACHED TO THE TREE.
 - F. PLEASE SEE ADDITION ADDITIONAL TREE PROTECTION 11.08 OF MUNICIPAL CODE IF NEC.

TREE LEGEND

EXISTING PLANT TO BE REMAIN	SIZE	QUANTITY
1. PALM TREE	18" & 24"	2
2. MAPLE TREE	12"	1
3. CITRUS TREES		4
NEW PLANT	SIZE	QUANTITY
4. SCREENING TREE		4

NOTES

- 2" THICK LAYERS OF BARK MULCH WILL BE PLACED IN ALL SHRUB & GROUND COVER AREAS.
- LAWN TO BE DWARF TALL FESCUE MIX SOD.
- WATER CONSERVING AUTOMATIC IRRIGATION SYSTEM FOR ALL PLANTING AREAS.

PLANTING NOTES

1. THE PLANTING IS DIAGRAMMATIC ONLY. THE EXACT LOCATION OF PLANT MATERIAL SHALL BE DETERMINED IN THE FIELD.
2. THE CONTRACTOR SHALL VERIFY THAT THE SOIL TO BE PLANTED IS NATIVE, AND FREE FROM ANY FOREIGN MATERIALS OR SUBSTANCES.
3. TILL ALL NEW PLANTING AREAS TO A DEPTH OF 8" AND REMOVE ALL WEEDS, STICKS, STONES OVER 2" DIAMETER, AND ANY OTHER MATERIAL WHICH WOULD BE HARMFUL TO PLANT GROWTH.
4. ALL NEW PLANTING AREAS SHALL RECEIVE A 2" LAYER OF NITROGEN FORTIFIED WOOD RESIDUAL, TILL IN TO A DEPTH OF 6" AND FINE GRADE.
5. ALL PLANT MATERIAL SHALL RECEIVE "AGRIFORM" FERTILIZER TABLETS AT THE TIME OF PLANTING. INSERTED IN THE BACKFILL MIX AT HALF THE DEPTH OF THE ROOTBALL. TABLET QUANTITIES AND SIZE AS INDICATED ON THE PLANTING DETAILS.
6. AFTER FINE GRADING, AND PLANTING, (PRIOR TO TOP DRESSING WITH MULCH) A PRE-EMERGENT HERBICIDE SHALL BE APPLIED AT A RATE AND METHOD RECOMMENDED BY THE PRODUCT MANUFACTURER SPREAD AS A TOP DRESSING. A 2" LAYER OF NITROGEN FORTIFIED BARK (LARGE), IN ALL PLANTING AREAS FOR ADDITIONAL WEED CONTROL AND WATER RETENTION, SUBMIT A SAMPLE FOR APPROVAL.
7. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNERS OR THE LANDSCAPE ARCHITECT.
8. ALL PLANTING DETAILS SHALL BE CLOSELY FOLLOWED, AND ALL LOCAL GOVERNING CODES SHALL BE MET.
9. ALL LAWN TO BE SOD "DOUBLE DWARF CHAMPION" BY THE GRASS FARM IN MORGAN HILL.
10. LAWN HEADERS SHALL BE 1" THICK PLASTIC COMP, STAKE AND SPLICE TO ACHIEVE SMOOTH ARCS.
11. ALL PLANT MATERIALS SHALL BE IN A HEALTHY, VIGOROUS, AND DISEASE FREE CONDITION, THE PLAN SIZE SPECIFIED. PLANTS NOT MEETING THESE REQUIREMENTS WILL BE REFUSED, EVEN IF PLANTED.
12. BOULDERS SHALL BE SET WITH 1/2 OF THE BOULDER BURIED.

IRRIGATION NOTES

1. METHOD OF IRRIGATION SYSTEM AND THE CONTROLS SHALL COMPLY WITH SECTION 4.304.1 OF 2010 GREEN BUILDING CODE.
2. IRRIGATION SYSTEM SHALL BE WEATHER BASED CONTROLS WITH RAIN SENSORS.
3. DRIP METHOD SHALL BE USED AT ALL PLANTERS & TREES.
4. ROTOR-POP UP SHALL BE USED AT FRONT LAWN.
5. REMOTE CONTROL VALVES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND SHOULD BE INSTALLED IN PLANTING AREAS ONLY.
6. WHERE PIPE PASSES UNDER DRIVING SURFACES, PROVIDE PVC SLEEVES AS NOTED ON PLANS.
7. CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGES CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO EXTRA COST TO THE OWNER.

WHEREVER FEASIBLE, TRANSFORMERS SHOULD BE LOCATED BEHIND THE FRONT SETBACK LINE OR BELOW GRADE. ALL PAD MOUNTED TRANSFORMERS SHALL BE SCREENED WITH LANDSCAPING, FENCING AND/OR WALLS. SCREENING SHALL MEET THE FOLLOWING REQUIREMENTS FOR ACCESSIBILITY TO TRANSFORMERS:

SCREENING MATERIAL	SCREENING REQUIREMENTS	
	DISTANCE FROM TRANSFORMER ENCASEMENT OR PAD (FRONT)	DISTANCE FROM TRANSFORMER ENCASEMENT OR PAD (SIDES AND REAR)
LANDSCAPING	0' FROM TRANSFORMER PAD	8' FROM TRANSFORMER PAD
FENCING, WALL OR OTHER PERMANENT SCREENING	2' FROM TRANSFORMER ENCASEMENT	8' FROM TRANSFORMER ENCASEMENT
FENCING OR WALL w/ GATE	2' FROM TRANSFORMER ENCASEMENT	0' FROM TRANSFORMER PAD

LANDSCAPING MAY BE PLANTED AS CLOSE AS THE EDGE OF THE PAD, IN NEW RESIDENTIAL DEVELOPMENTS, THE PADS ARE ANTICIPATED TO BE 12' OR LESS BEYOND THE ENCASEMENT OF THE TRANSFORMER. PERMANENT SCREENING, SUCH AS FENCING, LODGE POLES, RETAINING WALLS, ETC. MUST BE A MINIMUM OF TWO FEET AWAY FROM THE ENCASEMENT. THE FRONT OF THE TRANSFORMER MUST HAVE A CLEAR SPACE OF AT LEAST EIGHT FEET FOR ACCESSIBILITY PURPOSES. IN MOST CASES THE FRONT OF THE TRANSFORMER WILL BE FACING THE STREET. FENCING MAY BE USED FOR SCREENING IF IT HAS A GATE WHICH CAN BE OPENED FOR MAINTENANCE.

REVISIONS	BY

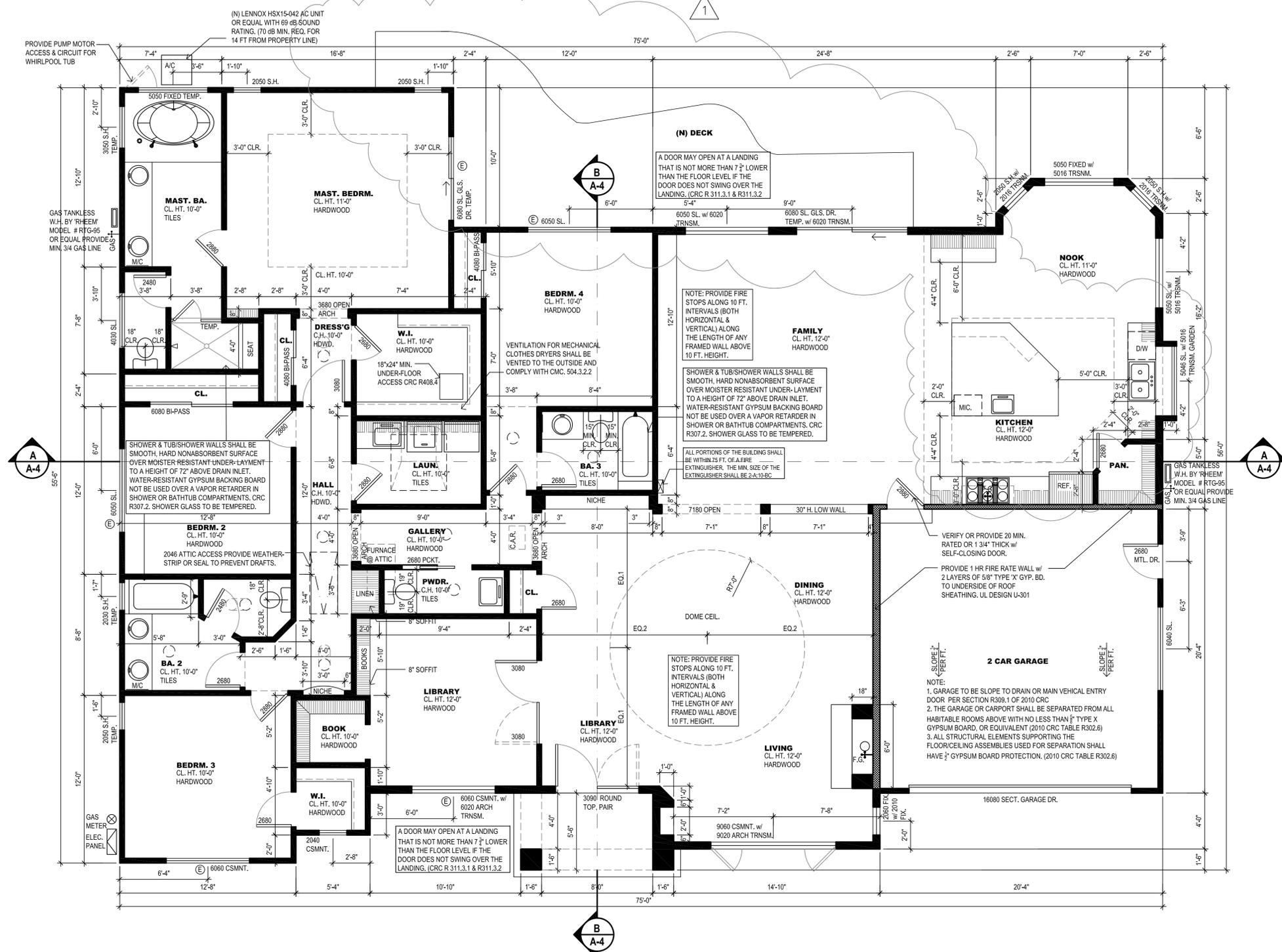
LANDSCAPE PLAN

NEW RESIDENCE
LANCE WANG
 1274 THURSTON AVENUE, LOS ALTOS CA 94024
 AP#W 210-04-008

FINE CUSTOM HOME
DESIGN
 (408) 829-6083
 19034 BONNET WAY • SARATOGA, CA. 95070

DRAWN LOC HUA
CHECKED TRI HONG
DATE DECEMBER, 2013
SCALE AS SHOWN
JOB 051-174-13
SHEET

A-1.3



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

LEGEND	
⊕	ESCAPE WINDOW OR DOOR IS PROVIDED AT EACH BEDROOM MEETING ALL OF THE FOLLOWING: 1. 20-IN MIN. CLEAR WIDTH 2. 24-IN MIN. CLEAR HEIGHT 3. 5.7 SQ. FT. MIN. OPENABLE AREA 4. 5 SQ. FT. MIN. OPEN AREA FOR GRADE-FLOOR OPENINGS. 5. OPENING IS TO BE MEASURED 44 INCHES ABOVE FINISHED FLOOR. CBC 1026.2 & 1026.3

REVISIONS	BY
1	P.D.

FLOOR PLAN

NEW RESIDENCE
LANCE WANG
1274 THURSTON AVENUE, LOS ALTOS CA 94024
APN# 918-04-008

FINE CUSTOM HOME
DESIGN
(408) 829-6083
19034 BONNET WAY • SARATOGA, CA. 95070

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DATE DECEMBER, 2013
SCALE AS SHOWN
JOB 051-174-13
SHEET

A-2



FRONT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR MATERIALS & COLOR

1. SLATE CONCRETE TILE ROOF
EAGLE BERRY SLATE RANGE (COMMERCIAL RANGE)
2. STUCCO EXTERIOR (MAIN BODY)
DEER RUN EDC45-1P (BEHR)
3. STUCCO of TRIM w/ KEYSTONE & SILL
CANYON CLIFFS EDC45-2U (BEHR)
4. MILGARD VINYL WINDOWS & DOORS
TAN VINYL
5. STEEL CARRIAGE GARAGE DOOR
CLIPPER GARAGE DOORS
6. DECORATIVE WROUGHT IRON FRONT ENTRY DOORS
SP 132 NINA GRAY (DUNN-EDWARDS)
7. CULTURED STONE VENEER
CHOC COBBLEFIELD 2031-2088
8. METAL CHIMNEY CAP, EAVE TRIM, GUTTER & DOWNSPOUT
CANYON CLIFFS EDC45-2U (BEHR)
9. DRIVEWAY & FRONT WALK
QUARRY CALICO RIDGE (CALSTONE PAVER)

UNDERFLOOR VENTS CALCULATION:

PROPOSED GARAGE AREA = 413.44 SQ.FT.
TOTAL VENT AREA: 413.44 SQ.IN. (MIN REQUIRED)
TOTAL VENT AREA PROVIDED:
6 - 5" X 14" VENTS (MIN REQUIRED)
TOTAL = 6 VENTS PROVIDED

PROPOSED LIVING AREA = 3,043.14 SQ.FT.
TOTAL VENT AREA: 3,043.14 SQ.IN. (MIN REQUIRED)
TOTAL VENT AREA PROVIDED:
44 - 5" X 14" VENTS (MIN REQUIRED)
TOTAL = 48 VENTS PROVIDED

- FOUNDATION VENTS: 5" X 14" W/ 1/4" S.S. WIRE MESH
VENTS BOTTOM OF ALL VENTS MAX. 12" ABOVE EXTERIOR
ADJ. GRADE. SEE EXTERIOR ELEVATIONS FOR LOCATION

REVISIONS	BY

ELEVATIONS

NEW RESIDENCE
LANCE WANG
1274 THURSTON AVENUE, LOS ANGELES CA 90024
ARCH 316-04-008

FINE CUSTOM HOME

DESIGN

(408) 829-6083

19034 BONNET WAY • SARATOGA, CA. 95070

DRAWN LOC HUA
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SCALE AS SHOWN
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SHEET

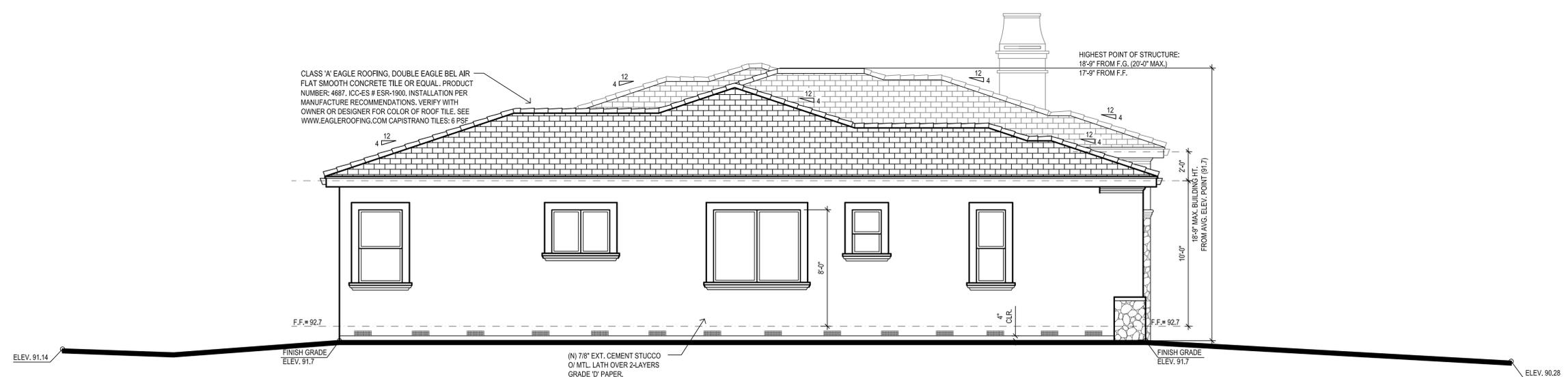
A-3.1

REVISIONS	BY
△	03.02.14 P.D.



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR MATERIALS & COLOR

- SLATE CONCRETE TILE ROOF
EAGLE BERRY SLATE RANGE (DWARCOAL RANGE)
- STUCCO EXTERIOR (MAIN BODY)
DEER RUN ECC45-1P (BEHR)
- STUCCO of TRIM w/ KEYSTONE & SILL
CANYON CLIFFS ECC45-2U (BEHR)
- MILGARD VINYL WINDOWS & DOORS
TAN VINYL
- STEEL CARRIAGE GARAGE DOOR
CLIPPER (GARAGE DOORS)
- DECORATIVE WROUGHT IRON FRONT ENTRY DOORS
- CULTURED STONE VENEER
CHOC-CORSEFIELD (2020-2088)
- METAL CHIMNEY CAP, EAVE TRIM, GUTTER & DOWNSPOUT
CANYON CLIFFS ECC45-2U (BEHR)
- DRIVEWAY & FRONT WALK
QUARRY CALICO RIDGE (CALSTONE PAVER)

UNDERFLOOR VENTS CALCULATION:

PROPOSED GARAGE AREA = 413.44 SQ.FT.
TOTAL VENT AREA: 413.44 SQ.IN. (MIN REQUIRED)
TOTAL VENT AREA PROVIDED:
6 - 5" X 14" VENTS (MIN REQUIRED)
TOTAL = 6 VENTS PROVIDED

PROPOSED LIVING AREA = 3,043.14 SQ.FT.
TOTAL VENT AREA: 3,043.14 SQ.IN. (MIN REQUIRED)
TOTAL VENT AREA PROVIDED:
44 - 5" X 14" VENTS (MIN REQUIRED)
TOTAL = 48 VENTS PROVIDED

FOUNDATION VENTS: 5" X 14" W/ 1/4" S.S. WIRE MESH
VENTS BOTTOM OF ALL VENTS MAX. 12" ABOVE EXTERIOR
ADJ. GRADE. SEE EXTERIOR ELEVATIONS FOR LOCATION

ELEVATIONS

NEW RESIDENCE
LANCE WANG
1274 THURSTON AVENUE, LOS ALTOS CA 94024
ARCH 210-644-6088

FINE CUSTOM HOME

DESIGN

(408) 829-6083
19034 BONNET WAY • SARATOGA, CA. 95070

DRAWN LOC HUA
CHECKED TRI HONG
DATE DECEMBER, 2013
SCALE AS SHOWN
JOB 051-174-13
SHEET

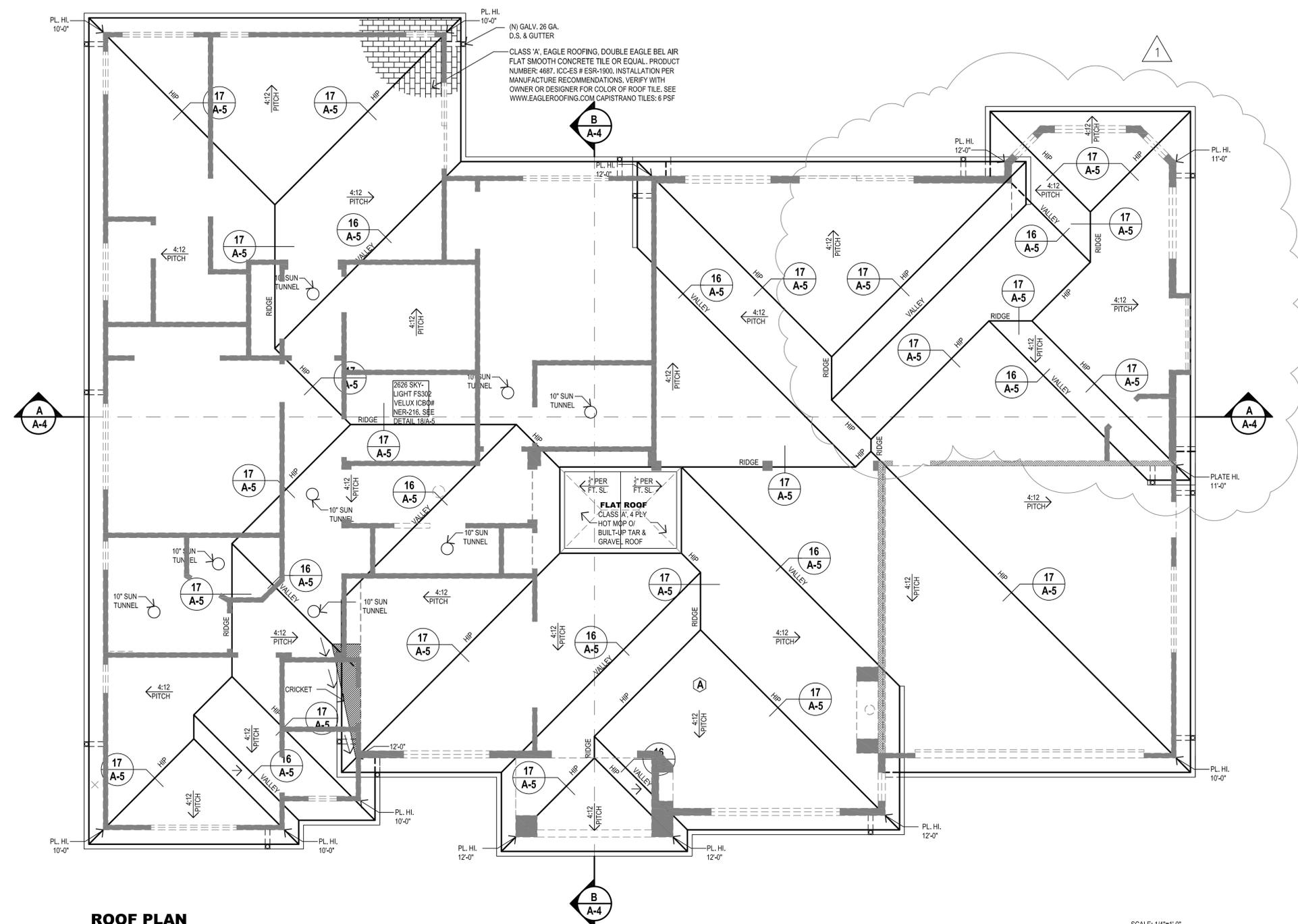
A-3.2

REVISIONS	BY
1	03.02.14 P.D.

ROOF PLAN

NEW RESIDENCE
LANCE WANG
 1274 THURSTON AVENUE, LOS ALTOS CA 94024
 AP#W 210-04-008

FINE CUSTOM HOME
DESIGN
 (408) 829-6083
 19034 BONNET WAY • SARATOGA, CA. 95070



ROOF PLAN

SCALE: 1/4"=1'-0"

ATTIC VENT CALCULATION				
ATTIC SPACE	ATTIC AREA	X X_{10} = REQ. FREE VENT	12"x16" GABLE LOUVER VENT 1 VENT = 1.33 SQ.FT.	(3) 3" DIA. HOLES @ FREEZE BLK'G = .1473 SQ.FT.
A	3,511.08 SQ.FT.	23.41 SQ.FT.	-	180 BLK'G = 23.57 SQ.FT.
TOTAL VENT PROVIDE FOR A: 23.41 SQ.FT. > 23.57 SQ.FT. (MIN. REQUIRED) PROVIDE EYEBROW VENT IF NEC. NOTE: ATTIC VENTILATION SHALL COMPLY WITH C.R.C. 806.2				

ROOF PLAN NOTES:

- ROOF SLOPE IS TO BE 4:12.
- ARROWS INDICATE DIRECTION OF ROOF SLOPE
- NEW FLOOR CEILING HEIGHT IS TO BE 10'-0", 11'-0", & 12"; SEE FLOOR PLAN.
- OVERHANGS ARE TO BE 12" AT EAVES N/A AT RAKES.
- PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER U.B.C. TYP.
- INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED
- INSTALL 5" 26 GAUGE FASCIA GUTTER W/ DOWNSPOUTS AS REQUIRED (MATCH EXISTING). PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL
- PROVIDE 26 GA. GALV. FLASHING AT ROOF TO WALL CONNECTIONS.

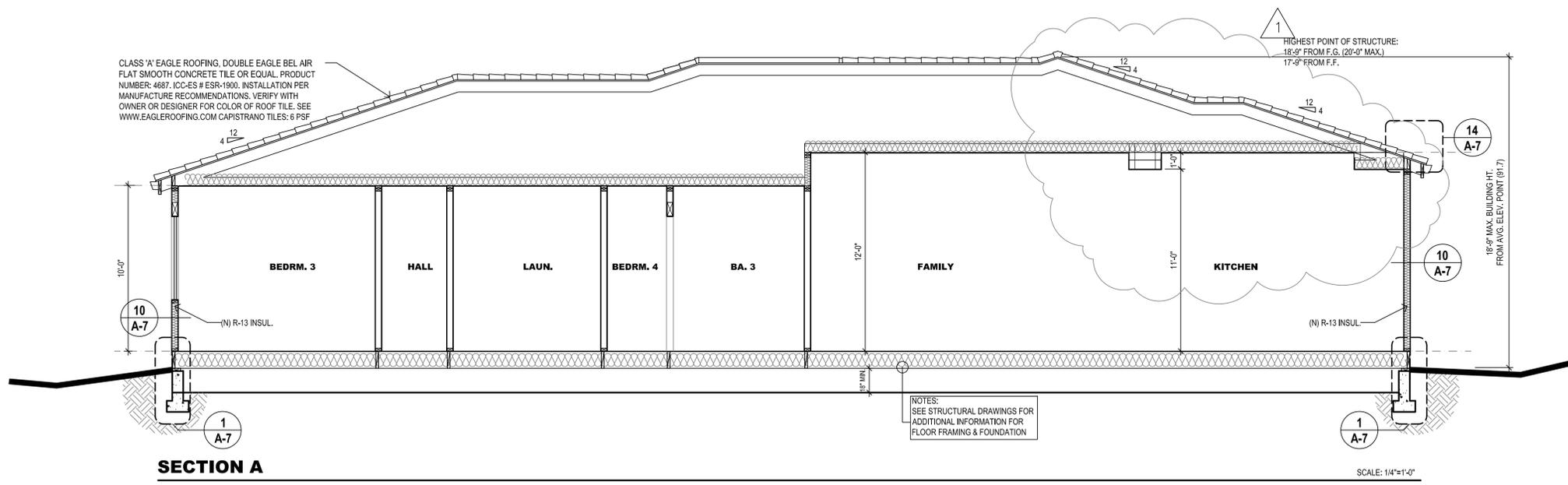
ROOFING: CLASS 'A', EAGLE ROOFING, DOUBLE EAGLE BEL AIR FLAT SMOOTH CONCRETE TILE OR EQUAL. PRODUCT NUMBER: 4687. ICC-ES # ESR-1900. INSTALLATION PER MANUFACTURE RECOMMENDATIONS. VERIFY WITH OWNER OR DESIGNER FOR COLOR OF ROOF TILE. SEE WWW.EAGLEROOFING.COM CAPISTRANO TILES: 6 PSF

SKYLIGHT: 2626 SKY-LIGHT FS302 VELUX ICBO# NER-216.

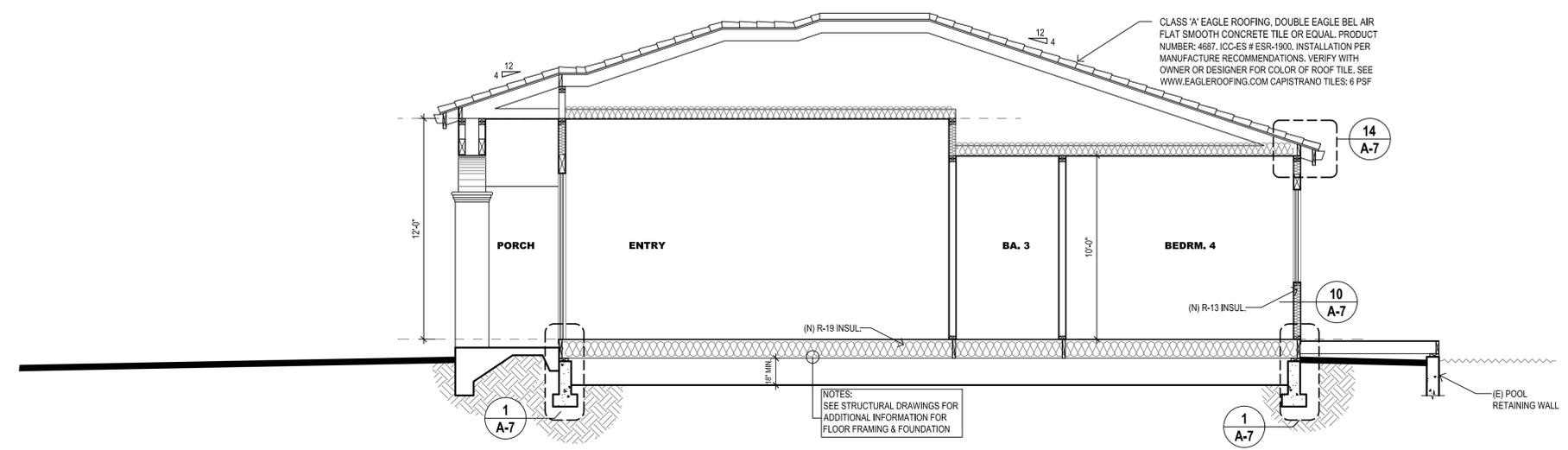
SUN TUNNEL: 10" BY VELUX. ICBO # NCTL 210276-123

DRAWN LOC HUA
CHECKED TRI HONG
DATE DECEMBER, 2013
SCALE AS SHOWN
JOB 051-174-13
SHEET

A-4



SECTION A



SECTION B

REVISIONS	BY
△	03.02.14 P.D.

SECTIONS & DETAILS

NEW RESIDENCE
LANCE WANG
 1274 THURSTON AVENUE, LOS ALAMOS CA 94024
 APRN 210-644-608

FINE CUSTOM HOME

DESIGN

(408) 829-6083
 19034 BONNET WAY • SARATOGA, CA. 95070

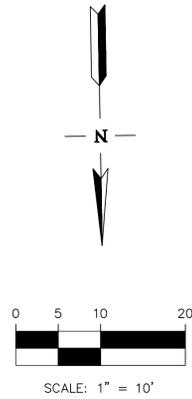
DRAWN LOC HUA
CHECKED TRI HONG
DATE DECEMBER, 2013
SCALE AS SHOWN
JOB 051-174-13
SHEET

RW RW ENGINEERING, INC.
 505 ALTAMONT DRIVE
 MILPITAS, CA 95035
 (408) 262-1899

TOPOGRAPHIC MAP

1274 THURSTON AVENUE
 LOS ALTOS, CA 94024
 LOT 2, TRACT NO. 657
 APN: 318-04-008

AREA=10,041 S.F.±



1820-1860 GRANT AVENUE
 APN: 318-04-011

- NOTES:
1. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. THE BOUNDARY SHOWN ARE TAKEN FROM RECORDED MAP AND DEEDS FOR REFERENCE ONLY.
 2. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
 3. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 4. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 5. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

ABBREVIATION

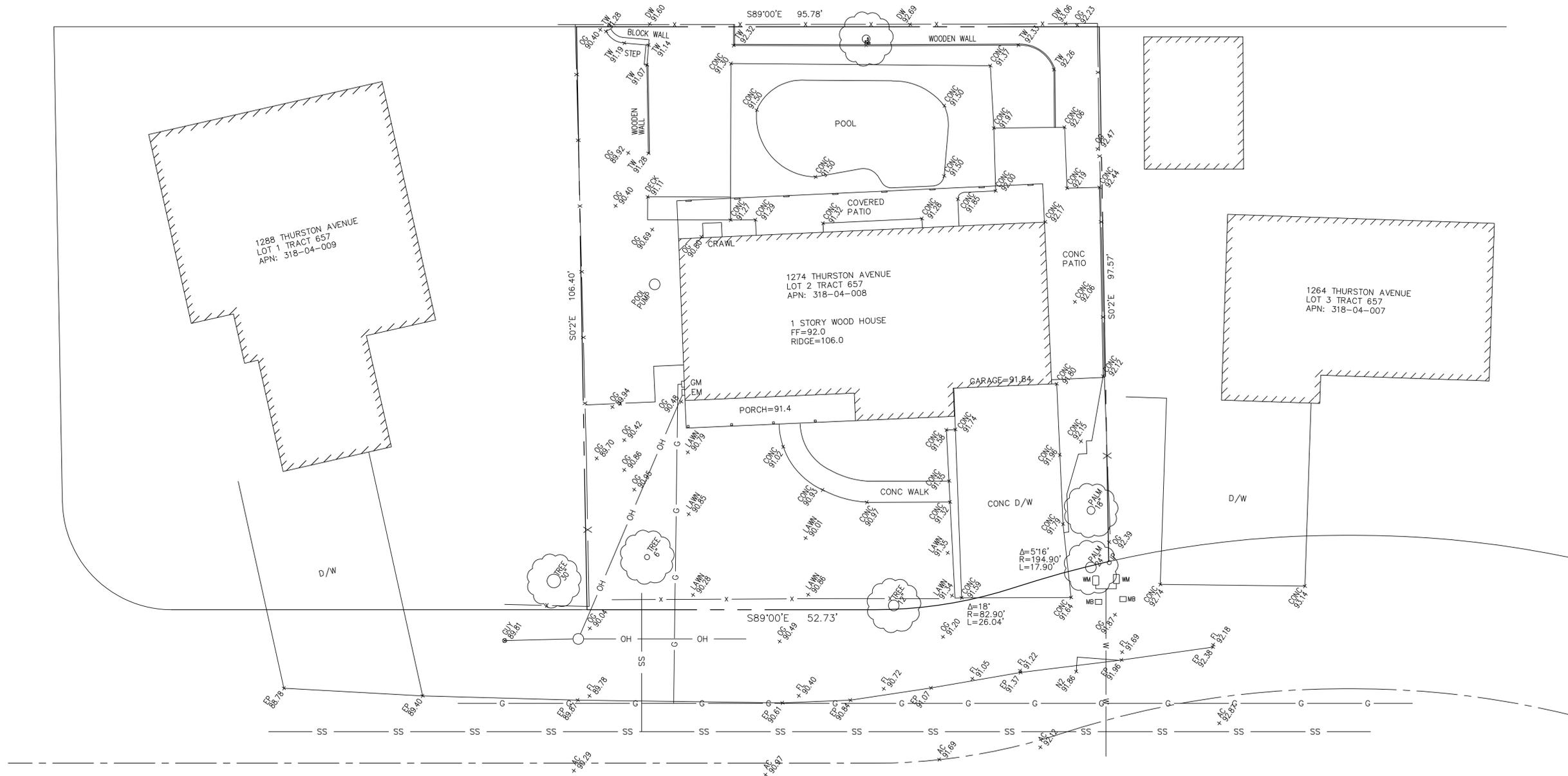
- P.U.E. PUBLIC UTILITY EASEMENT
- W.C.E. WIRE CLEARANCE EASEMENT
- A.E. ANCHOR EASEMENT
- CONC. CONCRETE
- S/W SIDEWALK
- (E) EXISTING
- (N) NEW
- C&G CURB & GUTTER
- PVC POLYVINYL CHLORIDE
- DI DRAIN INLET
- FG FINISH GRADE
- GF GARAGE GRADE
- FF FINISH FLOOR GRADE
- OG ORIGINAL GROUND ELEVATION

LEGEND

- PROPERTY LINE
- CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- PG&E UTILITY BOX-TYPE AS NOTED
- WM WATER METER
- WV WATER VALVE
- CURB CATCH BASIN
- +○ FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP ○ OH POWER POLE W/ OVERHEAD WRE
- ⬇ BENCHMARK
- 200 CONTOUR LINE
- ⊙ MON MONUMENT
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

⬇ SITE BENCHMARK

PK NAIL
 ELEV=100.00 ASSUMED



THURSTON AVENUE (56')

ABBREVIATION

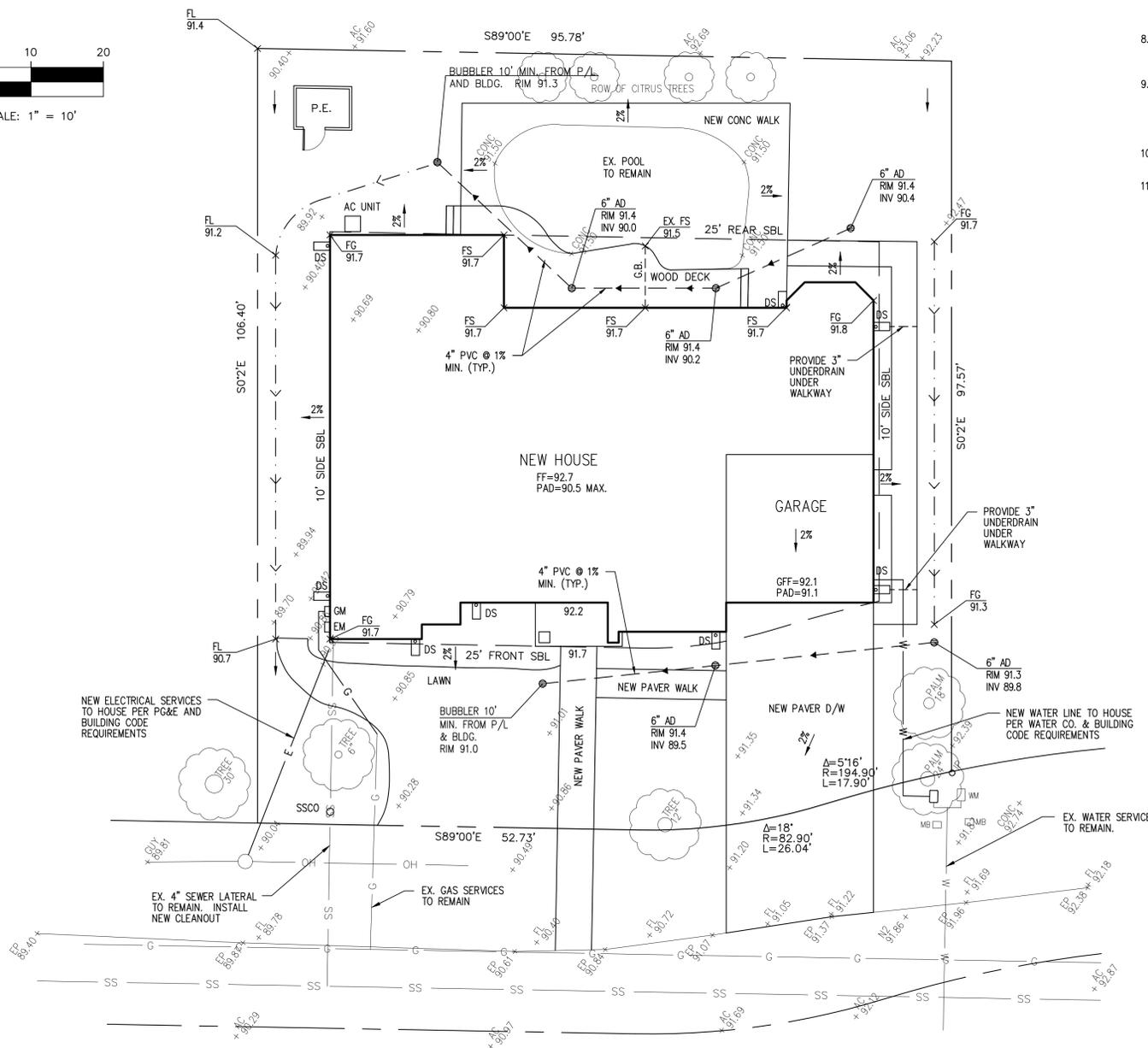
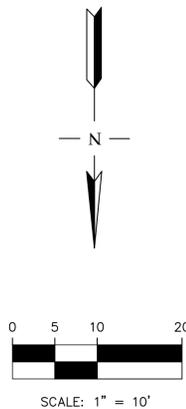
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- CONC CONCRETE
- C/G CURB & GUTTER
- DI DRAIN INLET
- DS DOWNSPOUT
- EX EXISTING
- GFF GARAGE FINISH GRADE
- FF FINISH FLOOR GRADE
- FL FLOW LINE GRADE
- PUE PUBLIC UTILITY EASEMENT
- PVC POLYVINYL CHLORIDE
- SW SIDEWALK
- TC TOP OF CURB

LEGEND

- PROPERTY LINE
- CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- ELEC UTILITY BOX-TYPE AS NOTED
- WM WATER METER
- WV WATER VALVE
- CB CURB CATCH BASIN
- FD FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP OH POWER POLE W/ OVERHEAD WIRE
- MON MONUMENT
- 200 CONTOUR LINE
- SWALE @ 1% MIN. (U.O.N.)
- SURFACE FLOW DIRECTION
- DS DOWNSPOUT WITH SPLASH-BLOCK
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

SITE BENCHMARK

SURVY CONTROL
SET MAG NAIL W/SHINER
ELEVATION=100.00



THURSTON AVENUE (56')

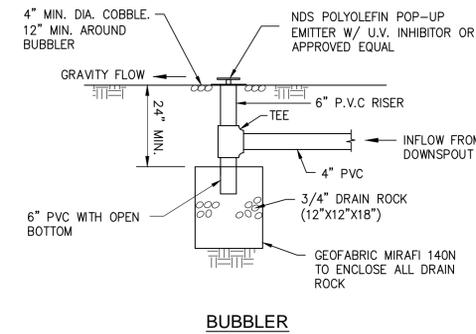
EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)	EXPORT (CY)
DRIVEWAY & SITE	20	25	
HOUSE (PAD)	5	0	
TOTAL	25	25	0

NOTE:
EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY.
CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.

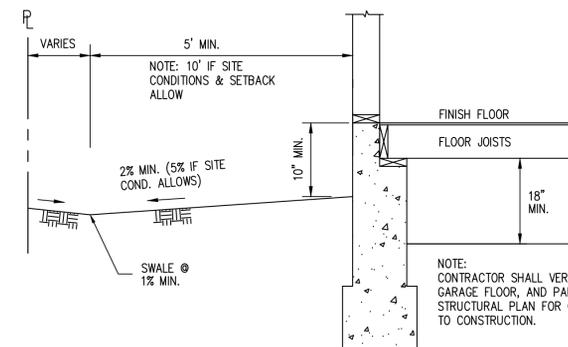
GRADING NOTES:

1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF LOS ALTOS.
2. THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
3. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
4. CONTRACTOR TO EXPOSE EXISTING SEWERS AND CHECK INVERTS BEFORE CONSTRUCTING NEW SEWERS. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SEWERS.
5. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
6. THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
7. GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
8. PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPOS SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPOS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
9. THE LANDSCAPE FINISHED GRADES WITHIN FIVE FEET (TEN FEET IF BUILDING SETBACK ALLOWS) OF THE BUILDING OR STRUCTURE SHALL SLOPE AT A 2% MINIMUM FROM THE FOUNDATION. ALL EXTERIOR HARD SURFACING AREAS (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 2% MINIMUM GRADIENT, AND SHALL DRAIN AWAY FROM THE BUILDING. FINISHED GRADE DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1%. MAXIMUM GRADED SLOPE IS 3:1 (3 HORIZONTAL TO 1 VERTICAL). SPOT ELEVATIONS SHOWN ON THE PLAN SHALL DICTATE ACTUAL GRADES. SURFACE SLOPE GRADES NOTED ON THE PLAN ARE APPROXIMATE.
10. FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC, OF EXISTING UTILITIES, SUCH AS WATER, GAS SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
11. SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.



BUBBLER

NTS



TYPICAL GRADING AROUND FOUNDATION

NOT TO SCALE

NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
CIVIL ENGINEERS LAND SURVEYORS
505 ALAMONT DRIVE, MILPITAS, CA 95035
(P) (408) 262-1899 (FAX) (408) 824-5556
rweengineering@gmail.com



DATE: 4/6/14

1274 THURSTON AVENUE
LOS ALTOS, CA
SANTA CLARA COUNTY
APN: 318-04-008

GRADING AND DRAINAGE PLAN

DATE: 2/12/14
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW

SHEET
C-1