

NO.	TREE SCHEDULE	REMOVE	
		YES	NO
1	15" DIA. REDWOOD		✓
2	11" DIA. REDWOOD		✓
3	21" DIA. REDWOOD		✓
4	20" DIA. REDWOOD		✓
5	12" DIA. TREE		✓
6	12" DIA. TREE		✓
7	11" DIA. TREE		✓
8	13" DIA. TREE		✓
9	36" DIA. MAPLE TREE		✓
10	5" DIA. TREE		✓
11	24" DIA. OAK TREE		✓
12	34" DIA. OAK TREE		✓
13	36" DIA. PALM TREE		✓
14	36" DIA. PALM TREE		✓
15	28" DIA. OAK TREE		✓
16	18" DIA. OAK TREE	✓	

TABULATIONS

NET LOT AREA	15775.9 square feet	Change in	Total Proposed
% OF FRONT YARD PAVING	362.06 square feet	0 square feet	362.06 sq.ft.(2.3%)
HABITABLE LIVING SPACE: (includes habitable basement area)	5245.05 square feet	(+) 51.2 square feet	5296.25 square feet
NON-HABITABLE AREA	441.0 square feet	N/A square feet	441.0 square feet

	Existing (to be removed)	Proposed	Allowed / Required
Lot Coverage: (land area covered by all structures that are over 6 feet in height)	2708.4 square feet (17.18%)	2759.6 square feet (17.49%)	4732.6 square feet (30.0%)
Floor Area			
Basement	1338.0 square feet	1338.0 square feet	
1st Flr + Car	1839.3 square feet	1890.5 square feet	
2nd Flr	1608.75 square feet	1608.75 square feet	
Attic Flr	900.00 square feet	900.00 square feet	
Total	5686.05 square feet (36.04%)	5737.25 square feet (36.36%)	4327.6 square feet (27.43%)
Setbacks:			
Front	12.00 feet	12.00 feet	25.00 feet
Rear	56.25 feet	56.25 feet	25.00 feet
Right side (1st/2nd)	25.6/31.5 feet	25.6/31.5 feet	feet
Left side (1st/2nd)	8.33/13.75 feet	8.33/13.75 feet	10/17.5 feet
Height	40.50 feet	40.50 feet	27.00 feet

CONSULTANT DIRECTORY

SURVEYOR SAVIOR P. MICALLEF LAND SURVEYOR
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
(805) 709-2423

SOILS ENGINEER NA

CIVIL ENGINEER NA

STRUCTURAL ENGINEER NA

ENERGY CONSULTANT NA

LANDSCAPE ARCHITECT NA

ARBORIST MICHAEL L. BENCH
7327 LANGLEY CANYON RD.
PRUNEDALE, CA 93907
(831) 594-5151

GENERAL NOTES

- A VERIFICATION** CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
- B DIMENSIONS** DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
- C DISCREPANCIES** MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
- D CONTRACT DOCUMENTS** CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

PROPERTY DESCRIPTION

OWNER SCOTT & DEANNE MILLER

ADDRESS 439 RINCONADA COURT
LOS ALTOS, CA 94022

PARCEL 170-35-033

ACREAGE .36

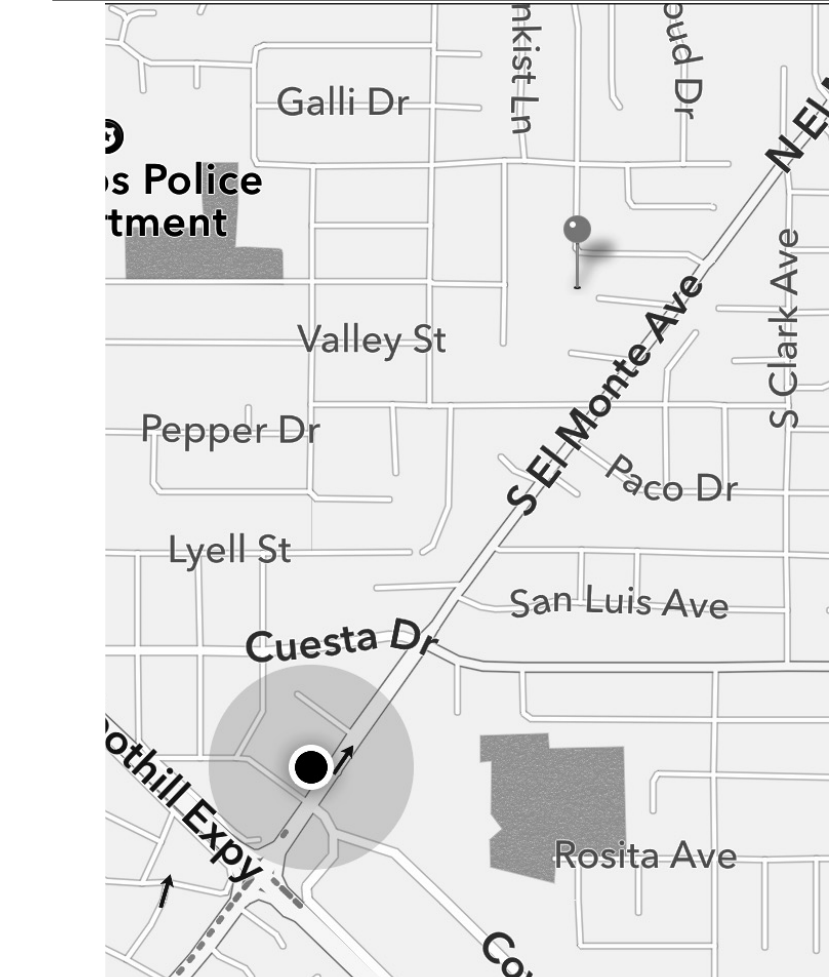
ZONING

PROJECT DESCRIPTION

SITE PLAN NOTES

- 1 DRIVEWAY** REMOVE AND EXPAND ASPHALT CONCRETE DRIVEWAY AS SHOWN
- 2 FLATWORK** NEW STONE PATIO AS SHOWN
- 3 N/A** N/A
- 4 DRAINAGE** N/A
- 5 STORM DRAINAGE** EXISTING SITE DRAINAGE UNCHANGED
- 6 SEWER LATERAL** EXISTING TO REMAIN
- 7 GAS & ELEC SERVICE** EXISTING TO REMAIN
- 8 SETBACKS** AS PER PLAN
- 9 TREES** PROTECT EXISTING, U.N.O.
- 10 FENCES** EXISTING TO REMAIN
- 11 LANDSCAPE** PER OWNER

VICINITY MAP



SHEET INDEX

ARCHITECTURAL SHEETS

- A - 1 SITE PLAN
- A - 1A FLOOR AREA & COVERAGE CALCULATION DIAGRAM
- A - 2 EXISTING MAIN FLOOR PLAN
- A - 3 EXISTING UPPER FLOOR PLAN
- A - 4 EXISTING ATTIC FLOOR PLAN
- A - 5 MAIN FLOOR PLAN
- A - 6 EXISTING REAR ELEVATION
- A - 6 PROPOSED REAR ELEVATION
- A - 7 EXISTING LEFT ELEVATION
- A - 7 PROPOSED LEFT ELEVATION
- A - 7 GARAGE FLOOR PLAN, ROOF PLAN AND CROSS SECTION
- A - 8 (E) GARAGE TO BE REMOVED
- A - 8 NEW GARAGE ELEVATIONS

COVERAGE & F.A.R.

	SITE PLAN	15775.9	SQ. FT. =	.36 AC.
COV:	ALLOWABLE	4732.8	SQ. FT. =	30.00 %
	EXISTING	2708.4	SQ. FT. =	17.16 %
	PROPOSED	2759.6	SQ. FT. =	17.49 %
FAR:	ALLOWABLE	4327.6	SQ. FT. =	35.00 %
	EXISTING	5856.15	SQ. FT. =	37.12 %
	PROPOSED	5737.25	SQ. FT. =	36.36 %

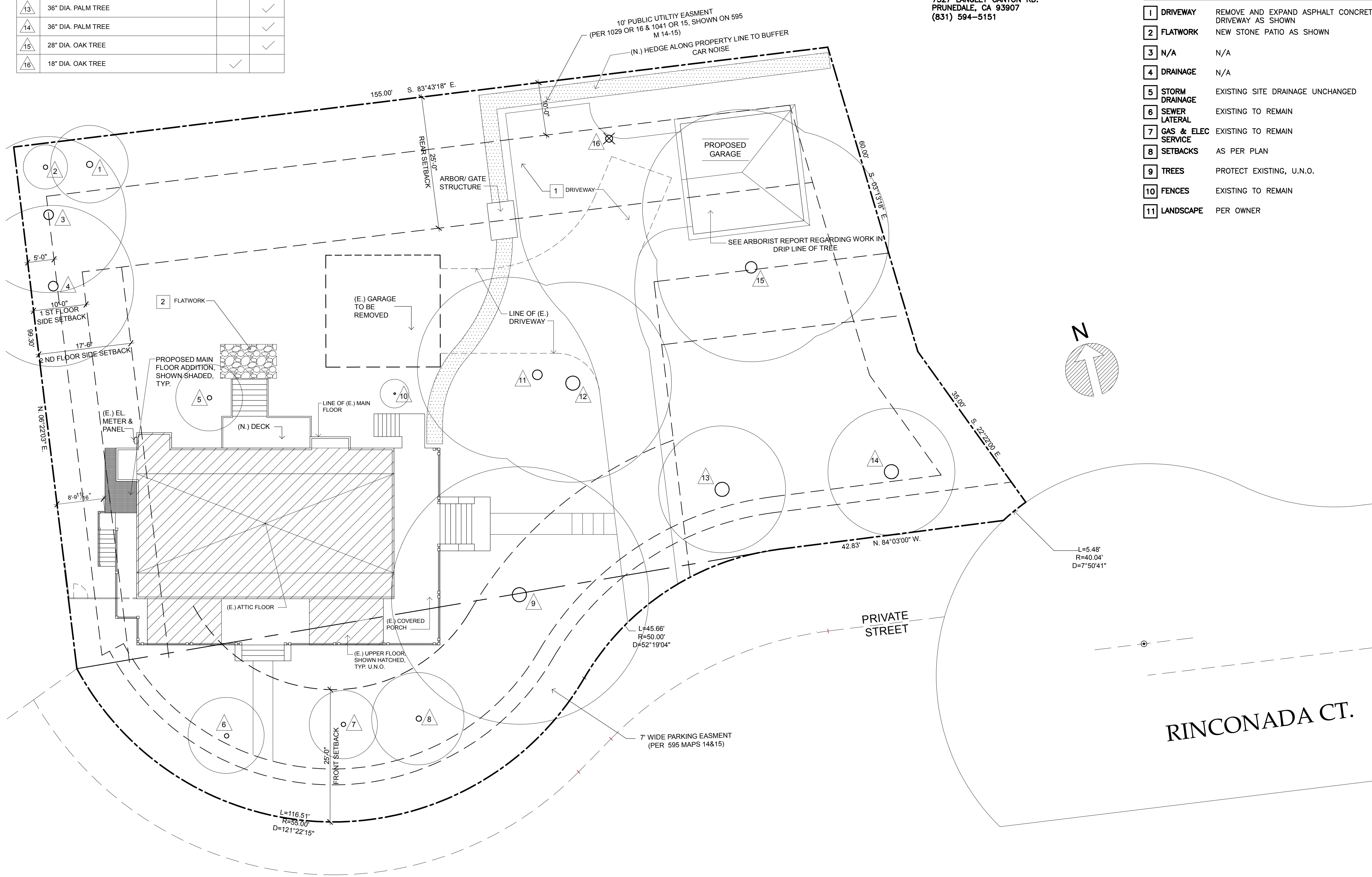
APPLICABLE CODES

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA ENERGY CODE

REVISIONS

- - CITY PLAN CHECK



SITE PLAN

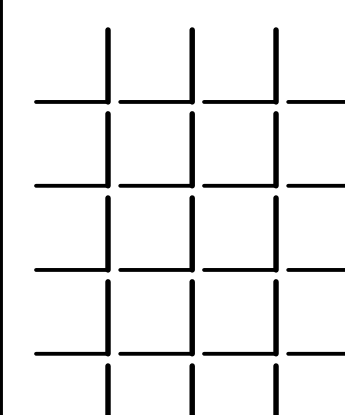
10' = 1'-0"

NOTE
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7-10-14	SUBMITTED FOR DESIGN REVIEW

CLIENT (JOB NO. 21409)
MILLER RESIDENCE
439 RINCONADA CT., LOS ALTOS, CA 94022
PHONE NO. (408) 679-2314

CHAPMAN
DESIGN
ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890



SHEET

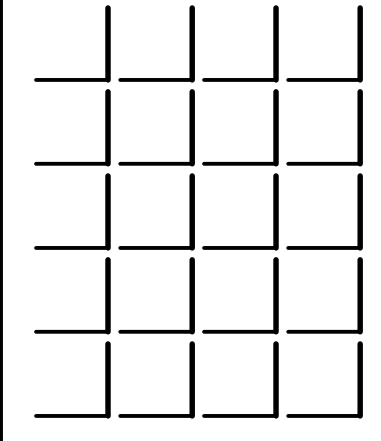
A - 1

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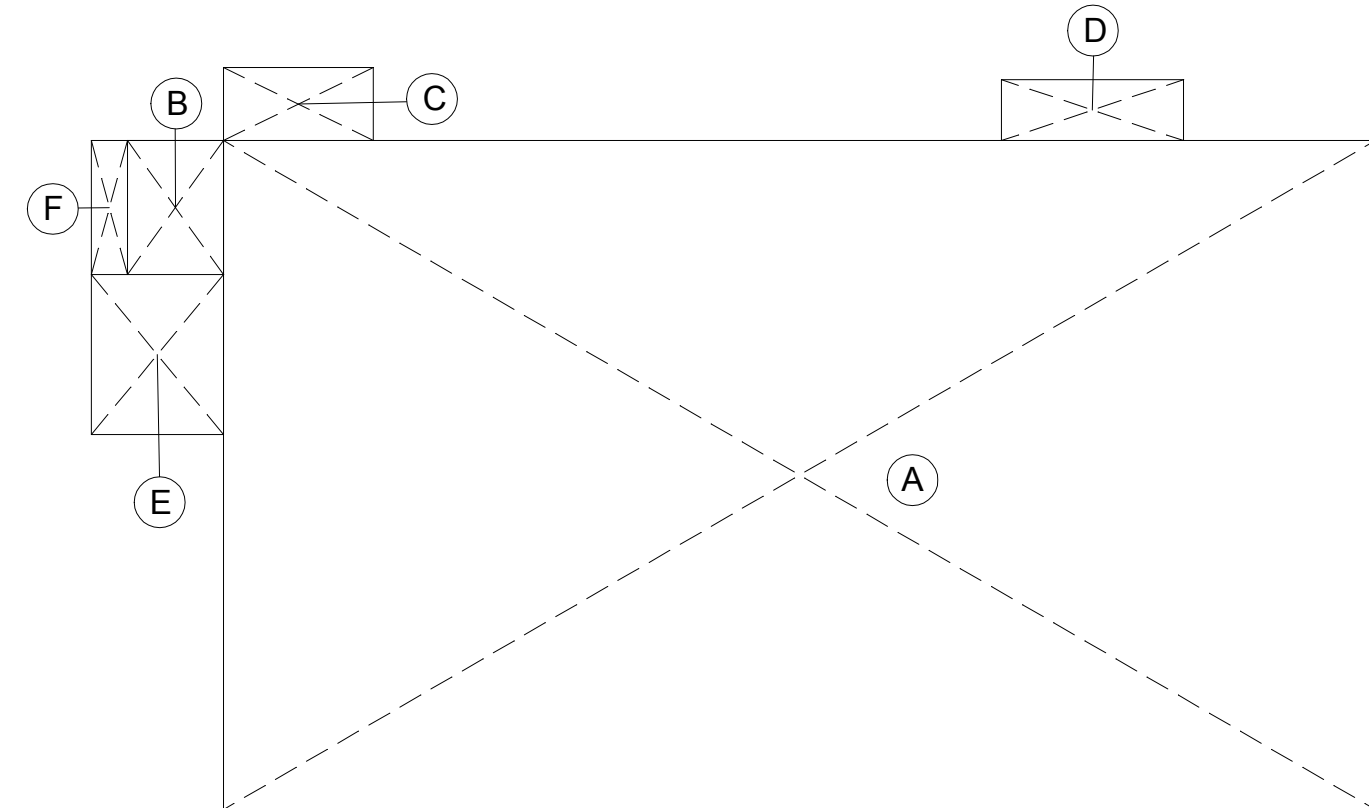
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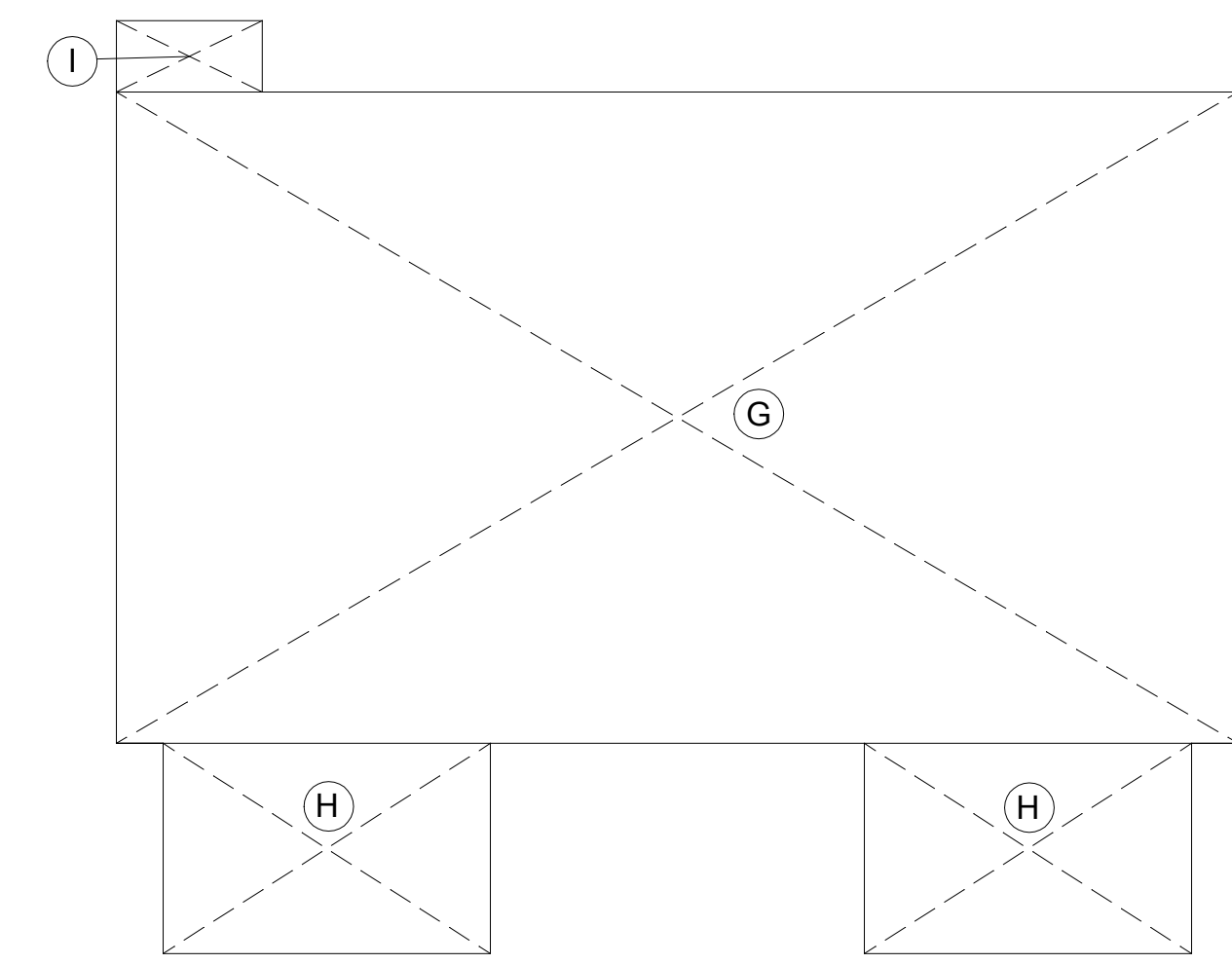
A - 1A

MAIN FLOOR



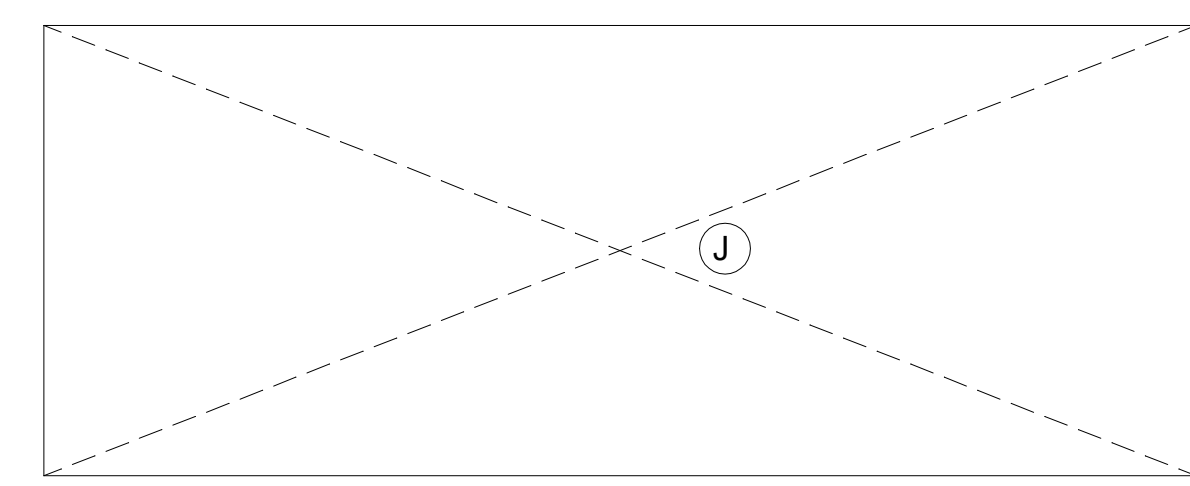
(A)	27.875 X 48.0	1338.0 S.F.
(B)	4.0 X 5.58	22.3 S.F.
(C)	3.0 X 6.25	18.75 S.F.
(D)	2.54 X 7.58	19.25 S.F.
TOTAL (E.) MAIN FLOOR		1398.3 S.F.
(E)	6.0 X 6.67	40.0 S.F.
(F)	2.0 X 5.58	11.2 S.F.
MAIN FLOOR ADDITION		51.2 S.F.
TOTAL MAIN FLOOR		1449.5 S.F.

(E.) UPPER FLOOR



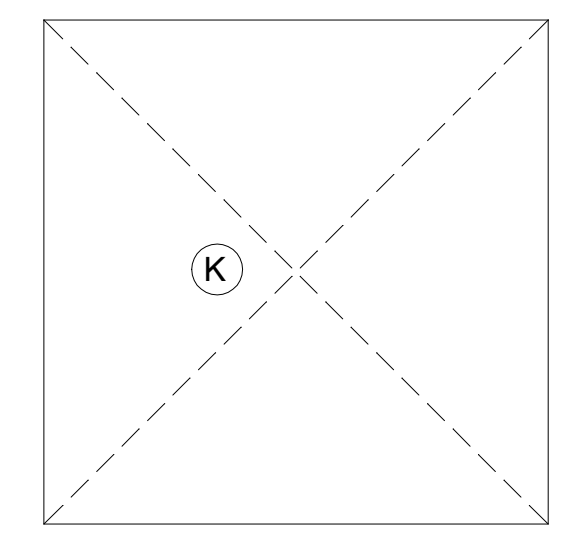
(G)	27.875 X 48.0	1338.0 S.F.
(H)	2X 9.0 X 14.0	252.0 S.F.
(I)	3.0 X 6.25	18.75 S.F.
TOTAL (E.) UPPER FLOOR		1608.75 S.F.

(E.) ATTIC FLOOR



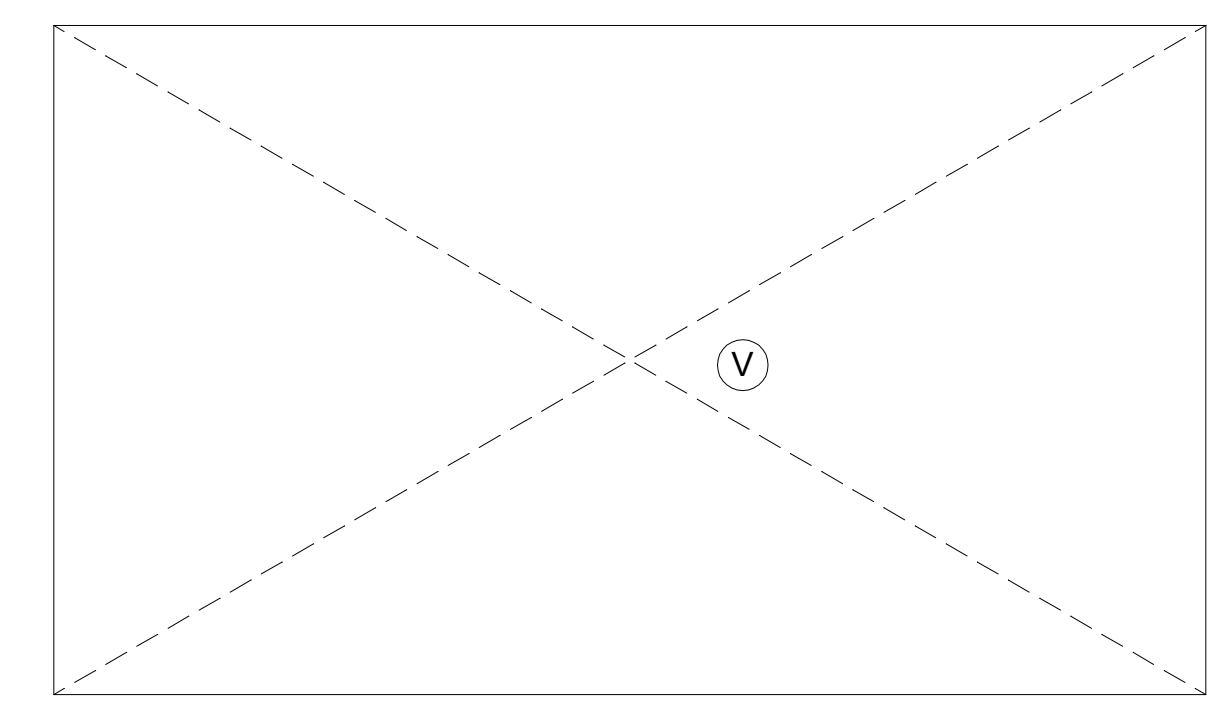
(J)	18.75 X 48.0	900.0 S.F.
TOTAL (E.) ATTIC FLOOR		900.0 S.F.

(E.) GARAGE



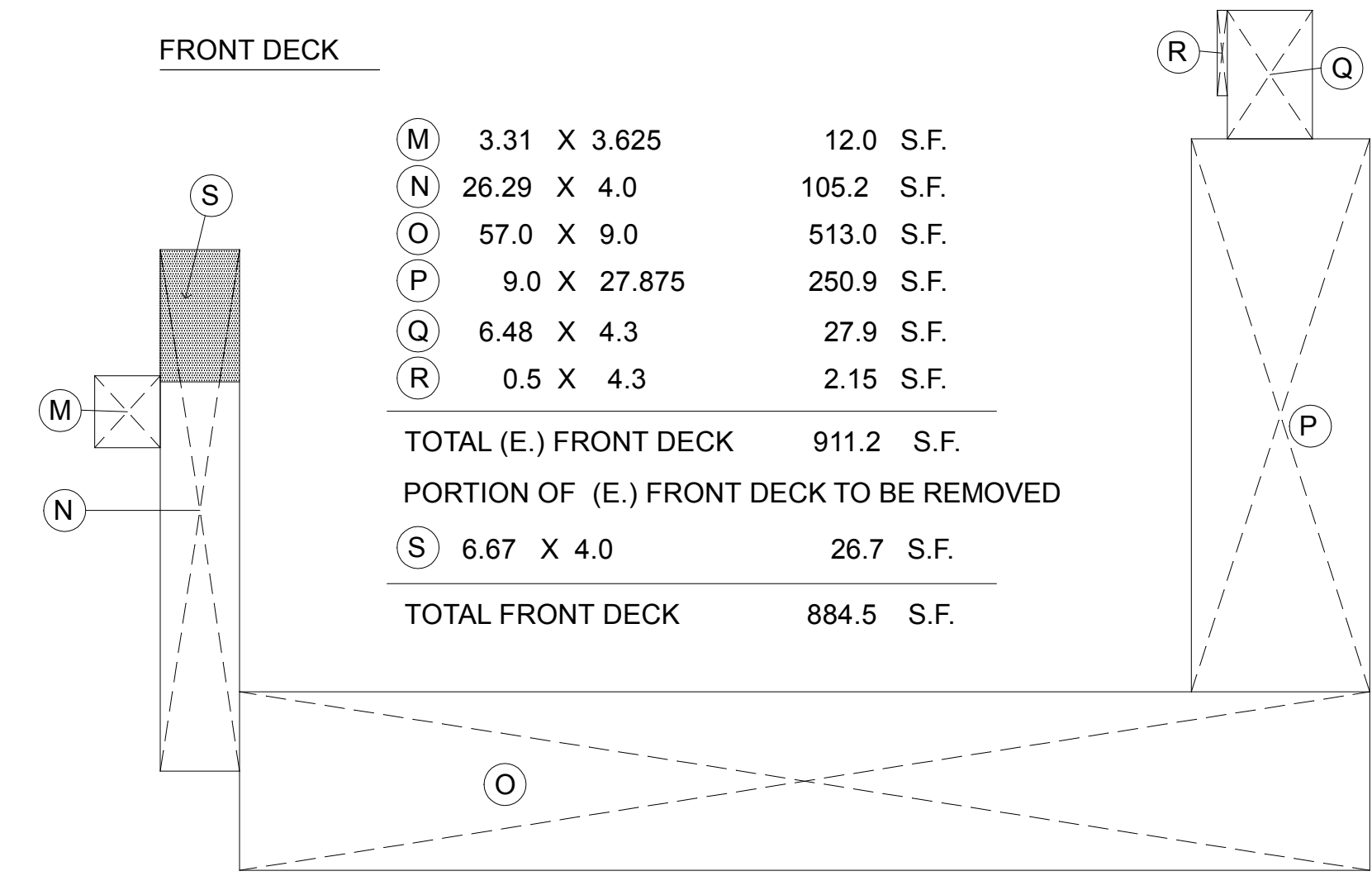
(K)	21.0 X 21.0	441.0 S.F.
TOTAL (E.) GARAGE		441.0 S.F.

(E.) BASEMENT



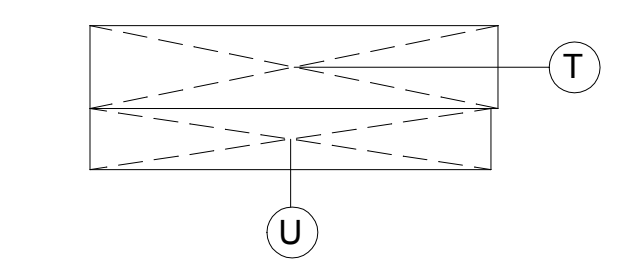
(V)	27.875 X 48.0	1338.0 S.F.
TOTAL BASEMENT		1338.0 S.F.

FRONT DECK



(M)	3.31 X 3.625	12.0 S.F.
(N)	26.29 X 4.0	105.2 S.F.
(O)	57.0 X 9.0	513.0 S.F.
(P)	9.0 X 27.875	250.9 S.F.
(Q)	6.48 X 4.3	27.9 S.F.
(R)	0.5 X 4.3	2.15 S.F.
TOTAL (E.) FRONT DECK		911.2 S.F.
PORTION OF (E.) FRONT DECK TO BE REMOVED		
(S)	6.67 X 4.0	26.7 S.F.
TOTAL FRONT DECK		884.5 S.F.

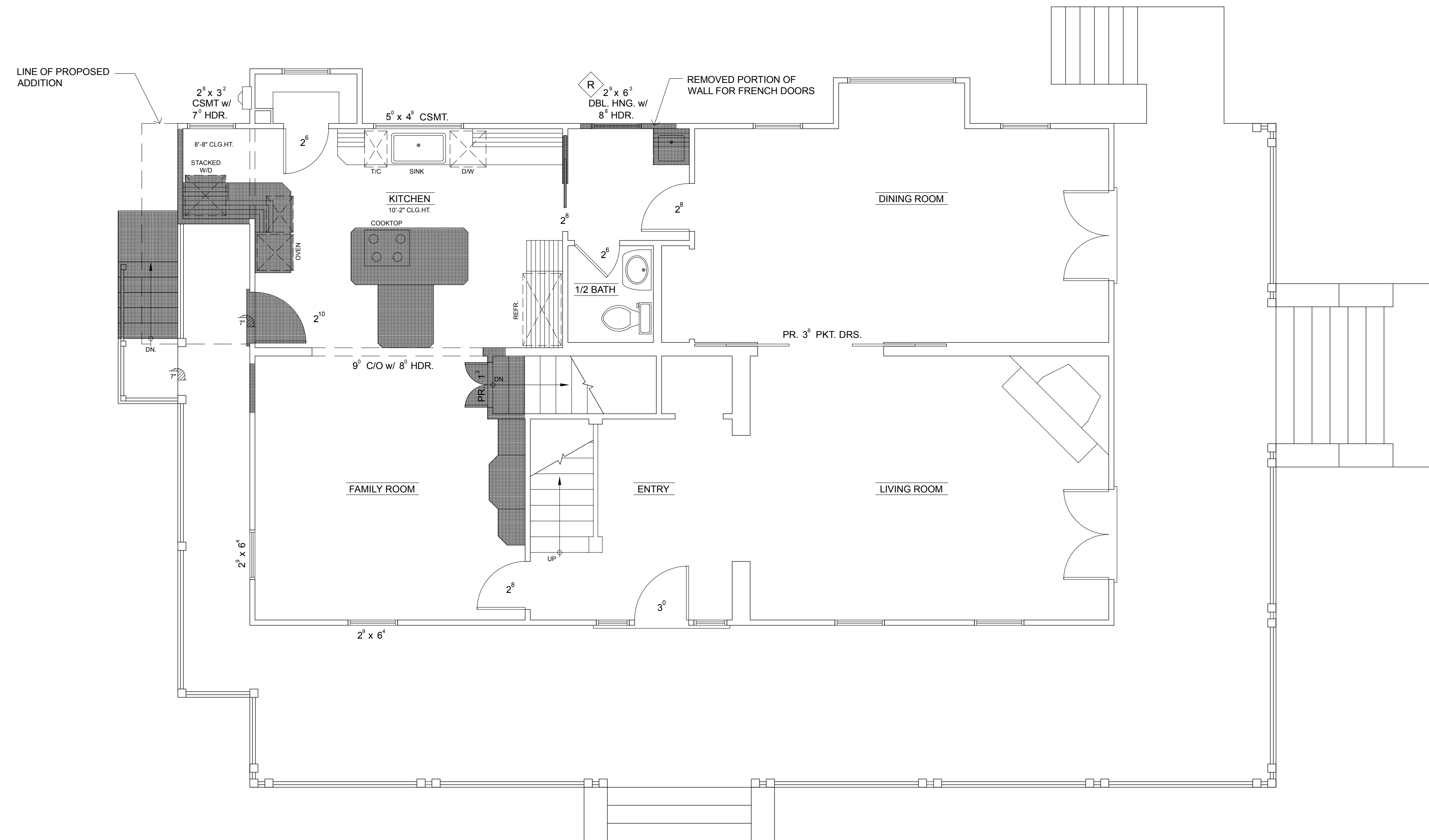
(N.) REAR DECK



(T)	3.46 X 117.0	58.82 S.F.
(U)	2.54 X 16.7	42.4 S.F.
TOTAL (N.) REAR DECK		101.2 S.F.

TABULATIONS	TABULATIONS
BASEMENT	1338.00 S.F.
MAIN FLOOR	1398.30 S.F.
UPPER FLOOR	1608.75 S.F.
ATTIC	900.00 S.F.
<hr/>	
SUB TOTAL	5245.05 S.F.
(E) GARAGE	441.00 S.F.
<hr/>	
TOTAL EXISTING	5686.05 S.F.
(E) TO BE REMOVED	441.00 S.F.
<hr/>	
TOTAL (E) TO REMAIN	5245.05 S.F.
<hr/>	
PROPOSED ADDITION	51.20 S.F.
NEW GARAGE	441.00 S.F.
<hr/>	
TOTAL PROPOSED	5737.25 S.F.

FLOOR AREA & COVERAGE CALCULATION DIAGRAM



EXISTING MAIN FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I PLUMBING** CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL** REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK** REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING** CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL** ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS** IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS** PROTECT EXISTING STRUCTURE UNLESS NOTED OTHERWISE
- 2 WINDOWS & SKYLIGHTS**
- 3 CABINETS**
- 4 FLOOR COVERINGS**
- 5 LIGHT FIXTURES**
- 6 APPLIANCES**
- 7 LANDSCAPE**
- 8 FLATWORK**
- 9 VENEER**
- 10 ELECTRICAL METER**
- 11 GAS METER**

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

REVISIONS

- - CITY PLAN CHECK

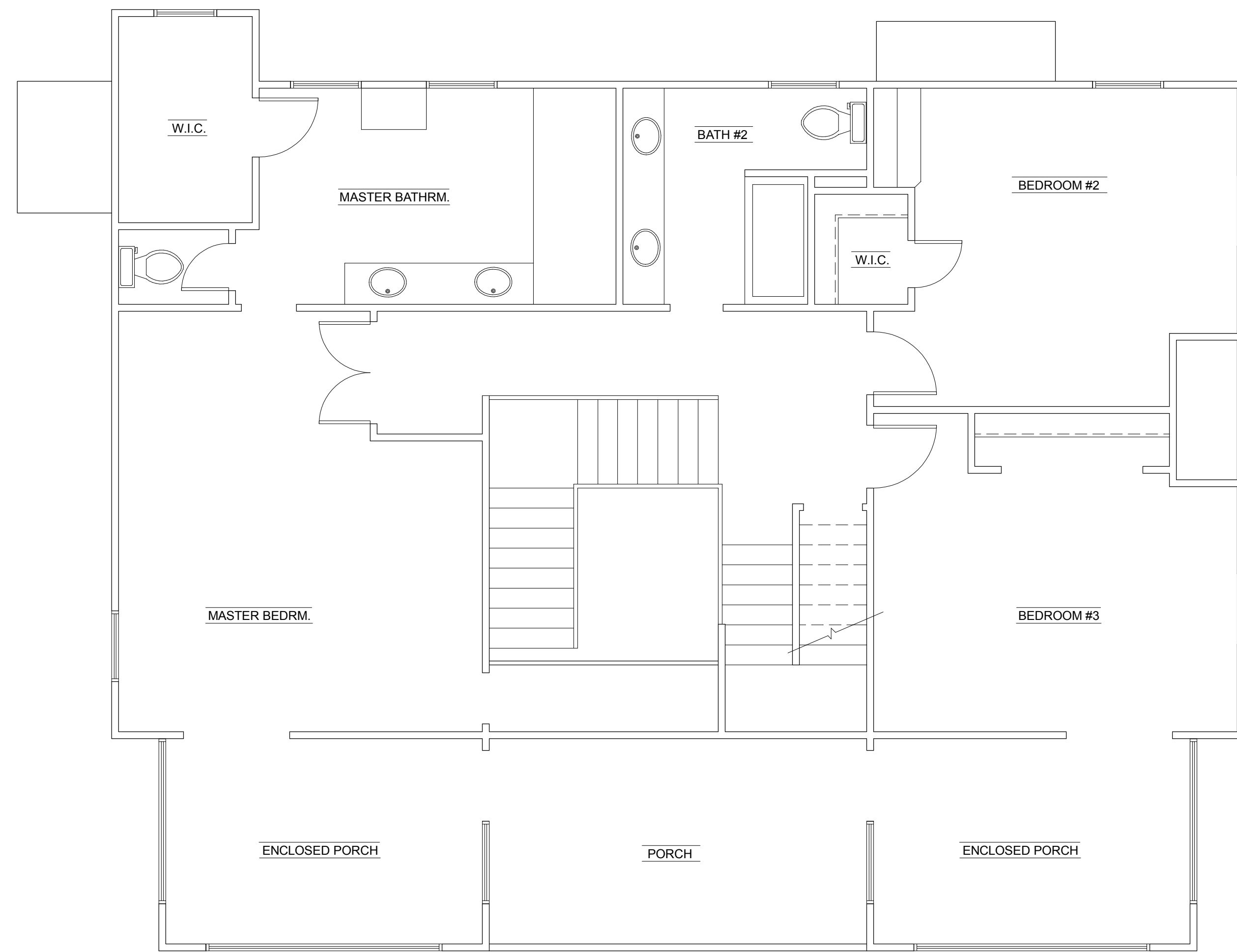
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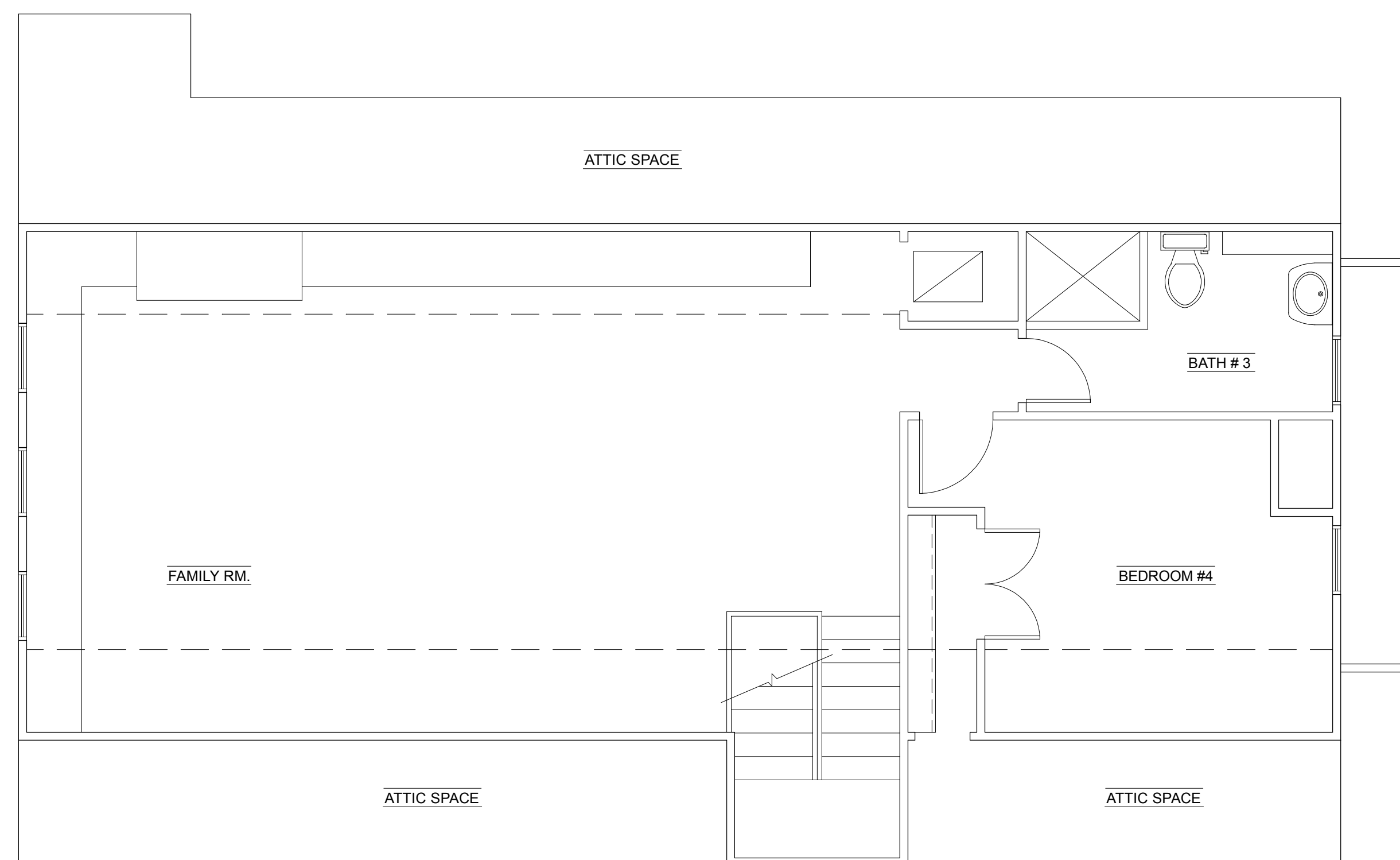
CHAPMAN DESIGN ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6890

SHEET
A - 2



EXISTING UPPER FLOOR PLAN

1/4" = 1'-0"



EXISTING ATTIC FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I PLUMBING** CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
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DEMOLITION NOTES

- 1 DOORS** PROTECT EXISTING STRUCTURE UNLESS NOTED OTHERWISE
- 2 WINDOWS & SKYLIGHTS**
- 3 CABINETS**
- 4 FLOOR COVERINGS**
- 5 LIGHT FIXTURES**
- 6 APPLIANCES**
- 7 LANDSCAPE**
- 8 FLATWORK**
- 9 VENEER**
- 10 ELECTRICAL METER**
- 11 GAS METER**

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E)** EXISTING TO REMAIN
- (R)** EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

REVISIONS

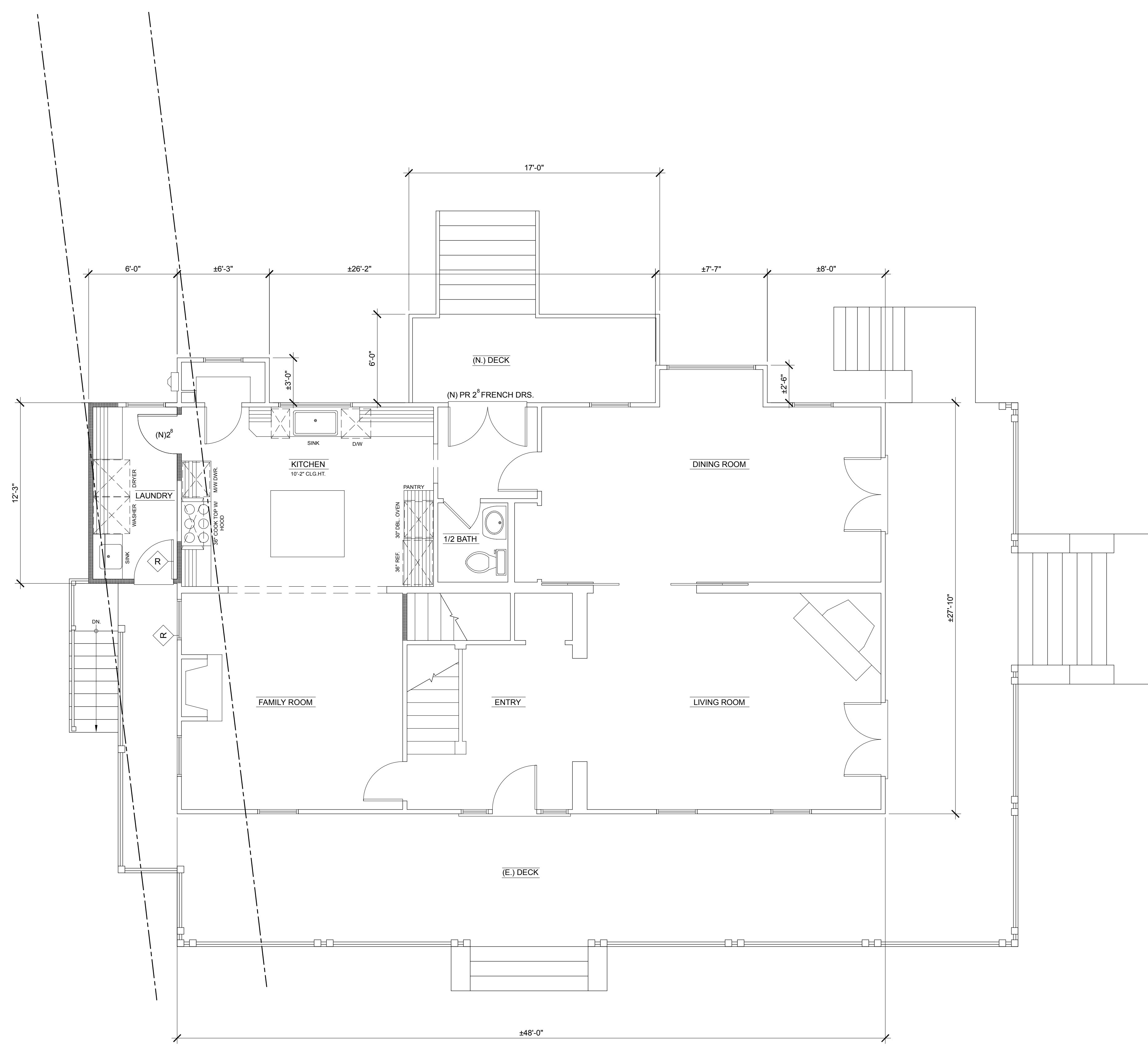
-	-	CITY PLAN CHECK
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DESIGN
ASSOCIATES
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LOS ALTOS, CA 94022 (650) 941-6890



FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2013
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.5&6. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2013. USEABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS.
- IV GUARDRAILS** DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2013. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS** DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2013. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE** DESIGN SHALL CONFORM TO CH. 10 CRC 2013, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2013 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2013
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2013 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2013 CRC
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2013 CPC) SHALL CONFORM TO SEC. 402, 2013 CPC

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E)** EXISTING
- (N)** NEW
- RELOCATED

REVISIONS

-	-	CITY PLAN CHECK
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LOS ALTOS, CA 94022 (650) 941-6890

SHEET

A - 4

EXTERIOR MATERIAL NOTES

- | | | | |
|---------------|--|---------------|----------------------------|
| 1 ROOFING | COMPOSITION SHINGLE | 6 STUCCO | N/A |
| 2 GUTTER | PROFILE | 7 VENEER | N/A |
| 3 DOWN SPOUTS | RECTANGULAR | 8 WINDOWS | EXISTING TO REMAIN, U.N.O. |
| 4 SIDING | EXISTING 1 X 10 HORIZONTAL SIDING
NEW 1 X 6 HORIZONTAL SIDING | 9 WINDOW TRIM | EXISTING TO REMAIN |
| 5 TRIM | MATCH CORNER TRIM | 10 SKYLIGHTS | N/A |
| | | 11 CHIMNEY | N/A |

GENERAL NOTES

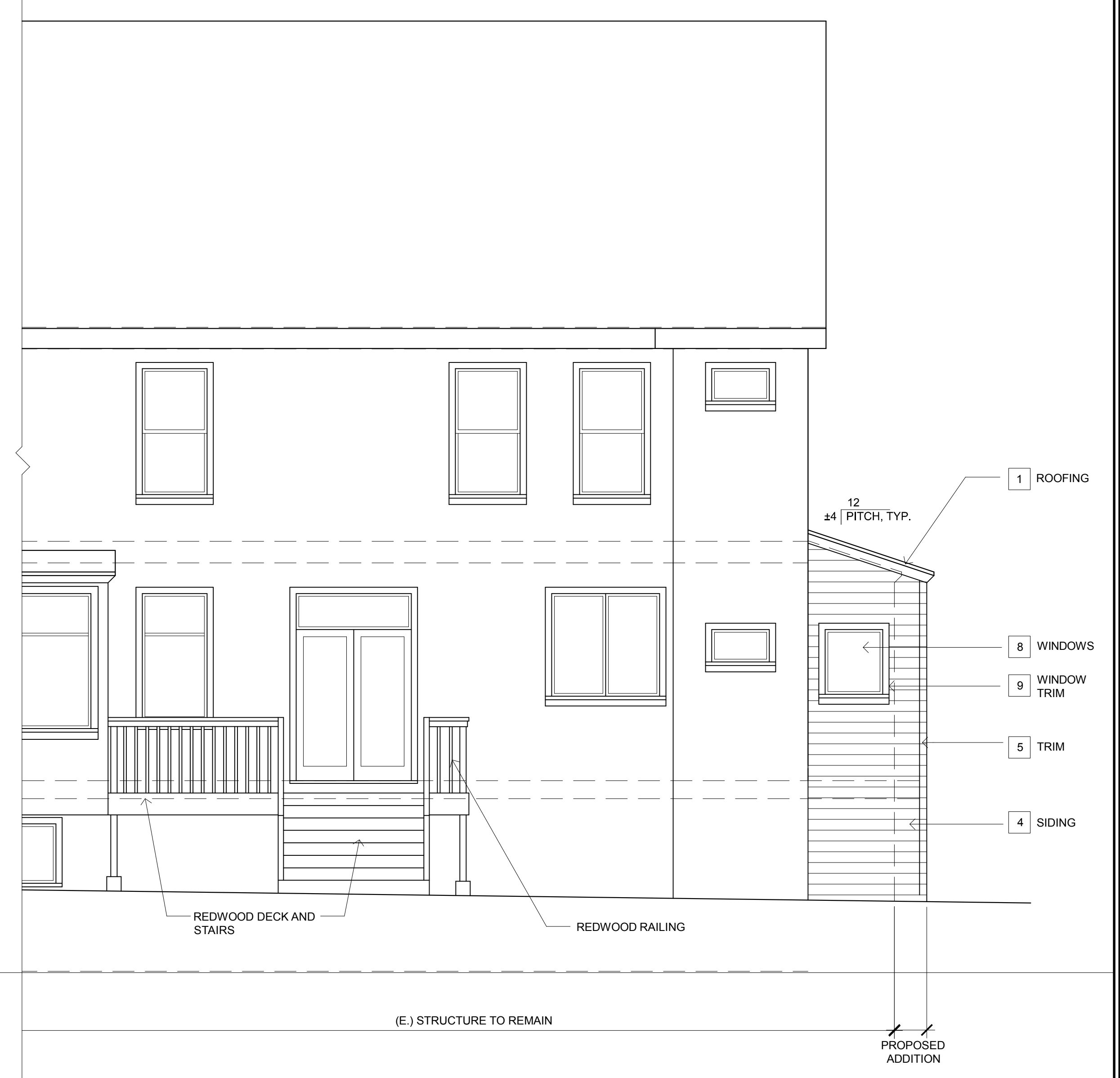
- I STUCCO REQUIREMENTS: 1) 3-COAT & 7" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2013 AS PER SECTION R1003.18 CRC 2013. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- II FLUE CLEARANCE AS PER CH. 10 CRC 2013
- III CHIMNEY BRACING AS PER CH. 10 CRC 2013
- IV SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2013
- V TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013

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7-10-14	SUBMITTED FOR DESIGN REVIEW



EXISTING REAR ELEVATION
1/4" = 1'-0"



PROPOSED REAR ELEVATION
1/4" = 1'-0"

LEGEND

- ⬠ WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- ⬠ DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS

REVISIONS

-	-	CITY PLAN CHECK
---	---	-----------------

CLIENT (JOB NO. 21409)

MILLER RESIDENCE

439 RINCONADA CT., LOS ALTOS, CA 94022
PHONE NO. (408) 679-2814

**CHAPMAN
DESIGN
ASSOCIATES**
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6890

SHEET

A - 5

*
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7-10-14	SUBMITTED FOR DESIGN REVIEW

CLIENT (JOB NO. 21409)
MILLER RESIDENCE
439 RINCONADA CT., LOS ALTOS, CA 94022
PHONE NO. (408) 679-2314

CHAPMAN
DESIGN
ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

SHEET
A-6

GENERAL NOTES

- I STUCCO REQUIREMENTS: 1) 3-COAT & 7" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2013)
- II FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2013. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- III CHIMNEY BRACING AS PER CH. 10 CRC 2013
- IV SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2013
- V TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013

EXTERIOR MATERIAL NOTES

- 1 ROOFING COMPOSITION SHINGLE
- 2 GUTTER PROFILE
- 3 DOWN SPOUTS RECTANGULAR
- 4 SIDING EXISTING 1 X 10 HORIZONTAL SIDING
NEW 1 X 6 HORIZONTAL SIDING
- 5 TRIM MATCH CORNER TRIM
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS EXISTING TO REMAIN, U.N.O.
- 9 WINDOW TRIM N/A
- 10 SKYLIGHTS N/A
- 11 CHIMNEY

LEGEND

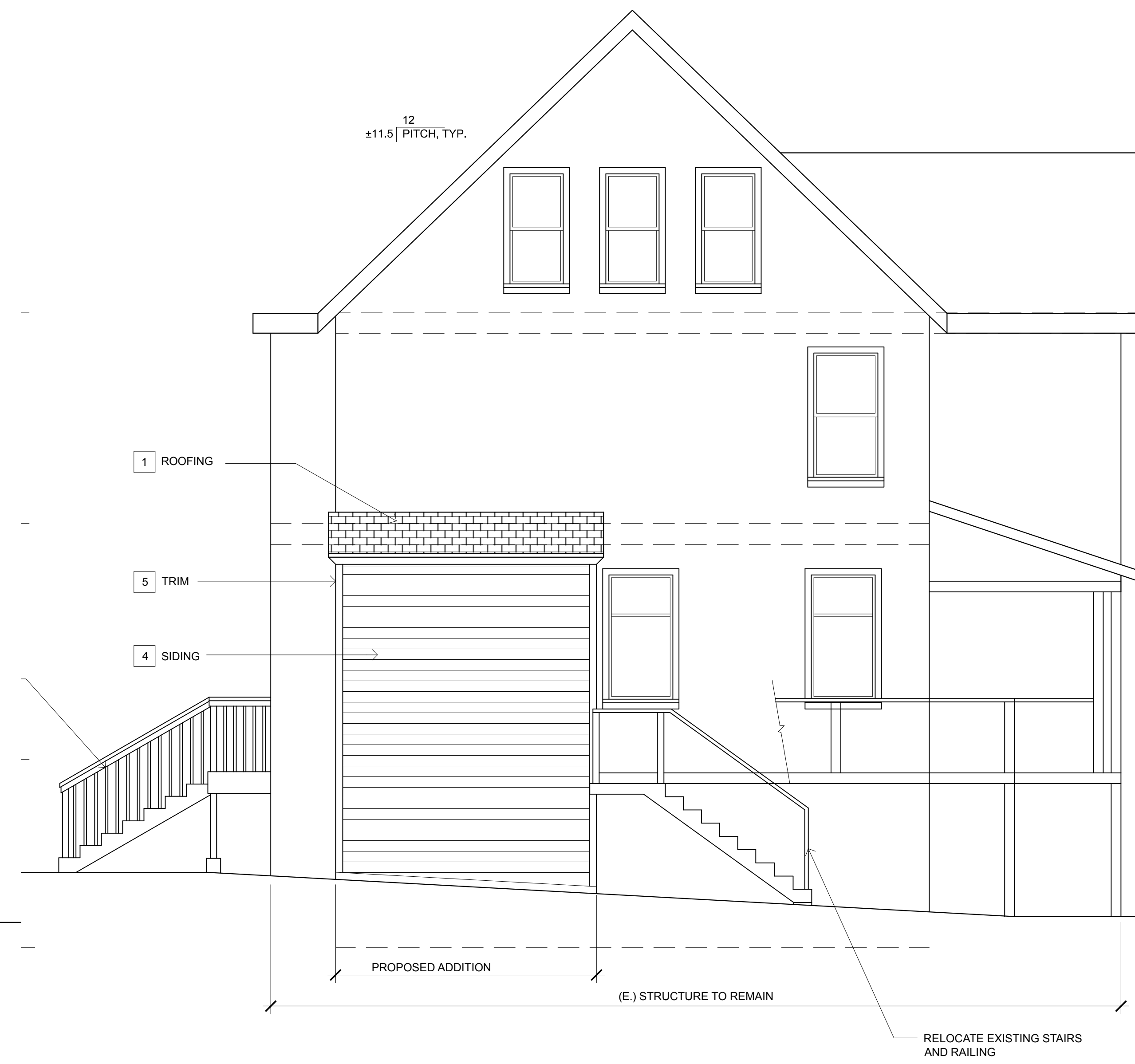
- # WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- # DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS

REVISIONS

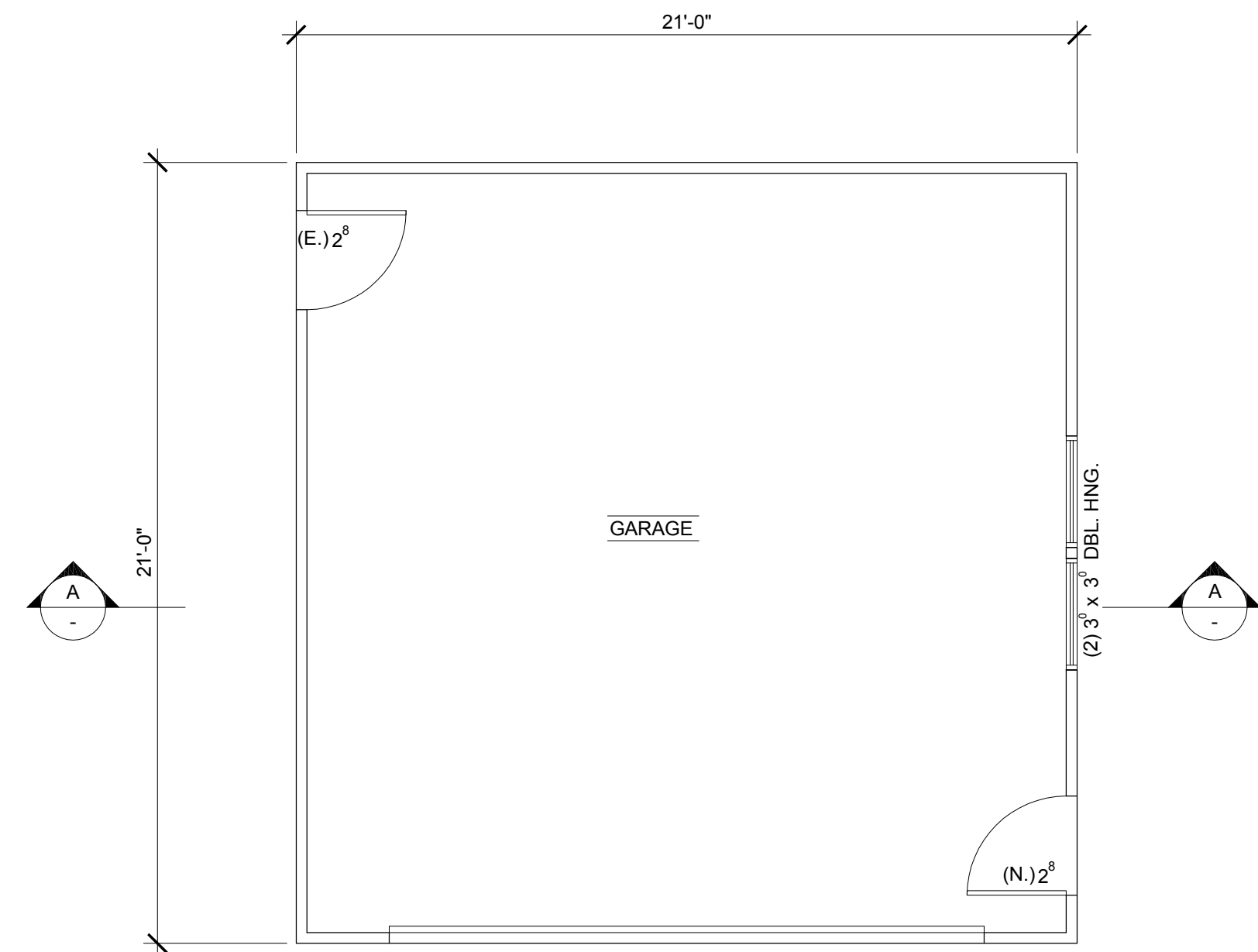
		CITY PLAN CHECK
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EXISTING LEFT ELEVATION
1/4" = 1'-0"

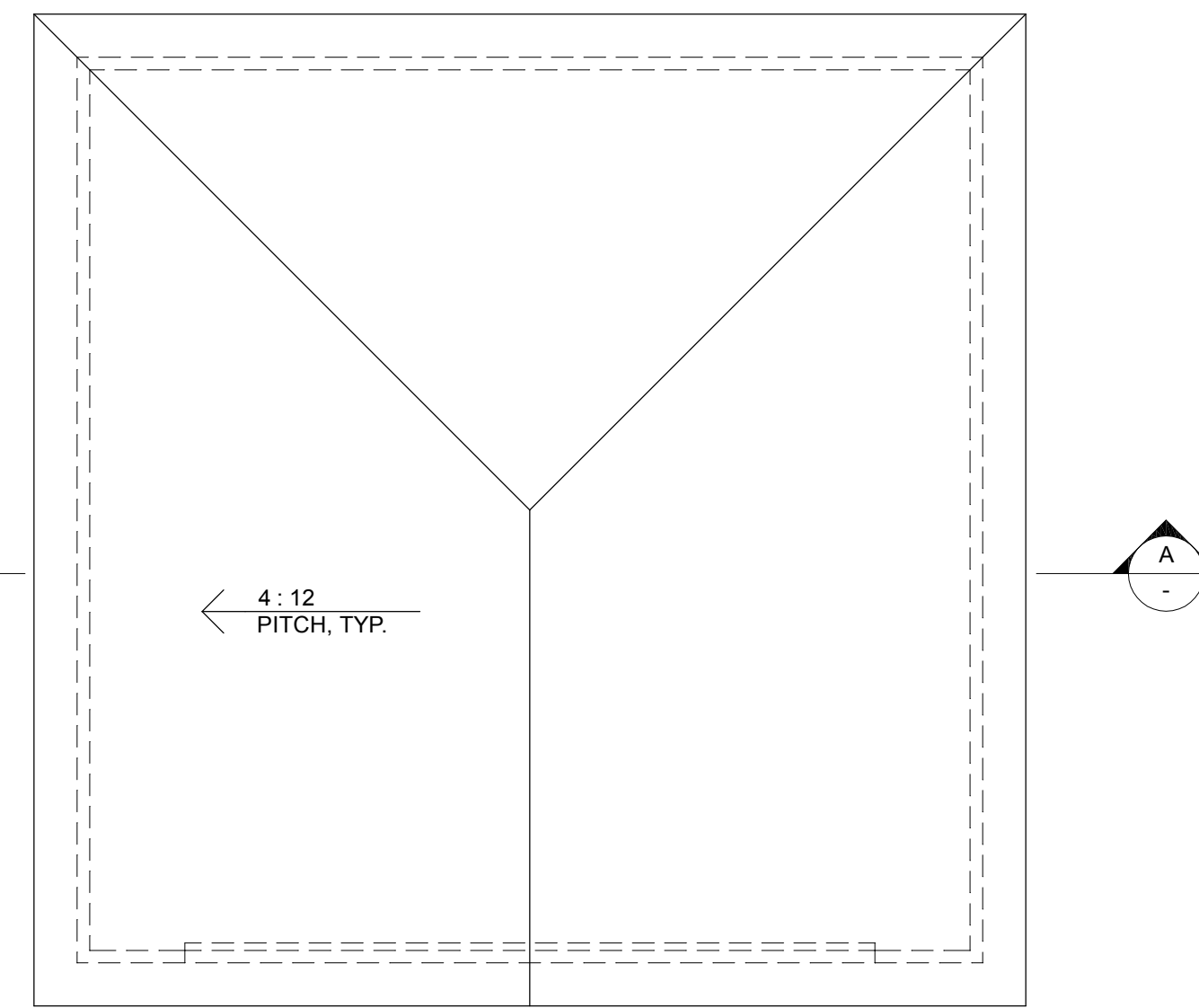


PROPOSED LEFT ELEVATION
1/4" = 1'-0"



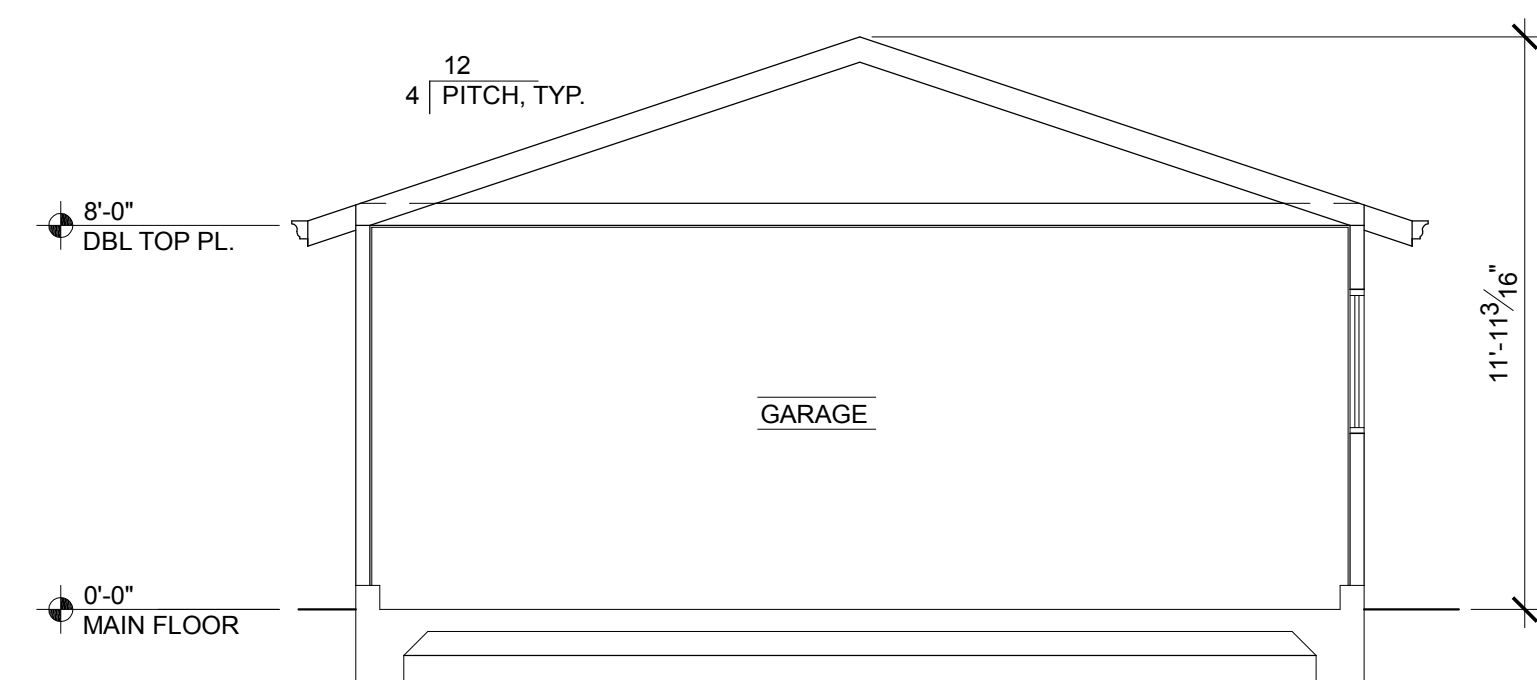
GARAGE FLOOR PLAN

1/4" = 1'-0"



GARAGE ROOF PLAN

1/4" = 1'-0"



SECTION "A-A"

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2013
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.5&6. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2013. USEABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS.
- IV GUARDRAILS** DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2013. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS** DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2013. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE** DESIGN SHALL CONFORM TO CH. 10 CRC 2013, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2013 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2013
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2013 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2013 CRC
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2013 CPC) SHALL CONFORM TO SEC. 402, 2013 CPC

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- RELOCATED

REVISIONS

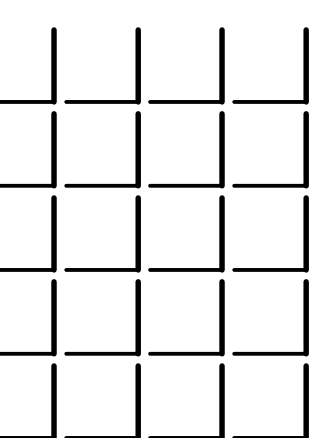
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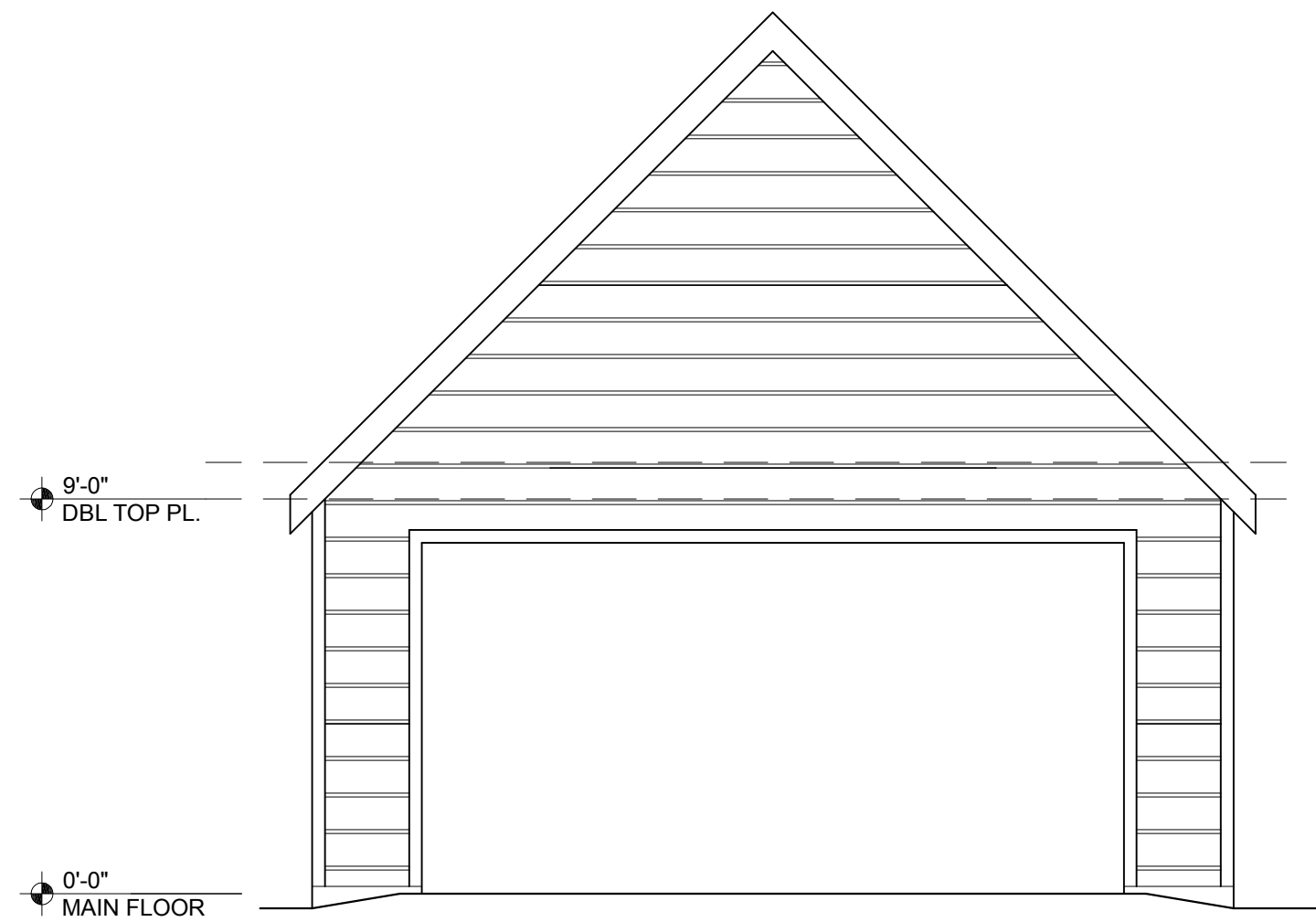
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SHEET
A - 7



FRONT ELEVATION

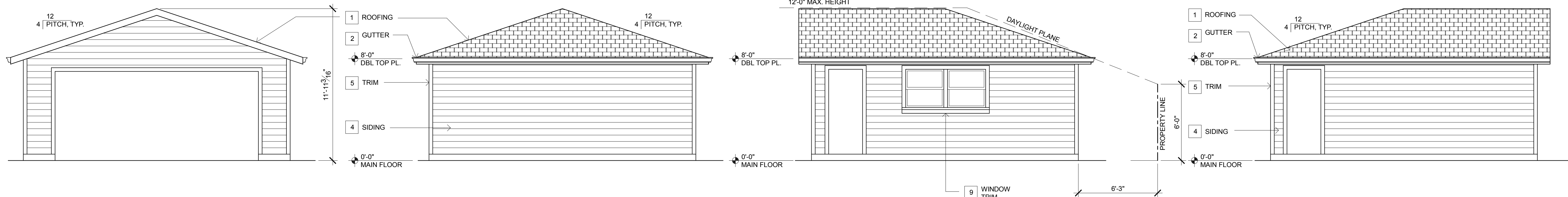
1/4" = 1'-0"

(E) GARAGE - TO BE REMOVED



RIGHT ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

NEW GARAGE

REAR ELEVATION

1/4" = 1'-0"

RIGHT ELEVATION

1/4" = 1'-0"

LEFT ELEVATION

1/4" = 1'-0"

GENERAL NOTES

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EXTERIOR MATERIAL NOTES

- 1 ROOFING COMPOSITION SHINGLE
- 2 GUTTER OGEE
- 3 DOWN SPOUTS ROUND
- 4 SIDING 2X6 WOOD SIDING
- 5 TRIM 2X6 WOOD TRIM
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS DOUBLE HUNG WOOD WINDOWS
- 9 WINDOW TRIM 2X4 TOP AND SIDES 2X3 SILL AND 2X4 APRON

REVISIONS

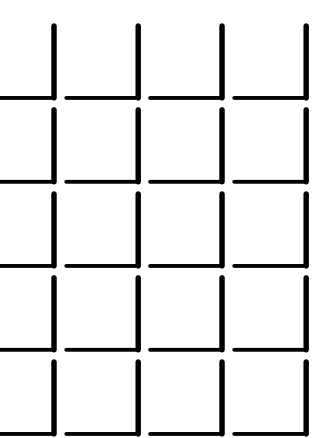
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