

# REMODELING & ADDITION

1675 JUAREZ AVE., LOS ALTOS, CA 94024

## VICINITY MAP



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Client:

**Mr. Todd Gotham &  
Ms. Kassie Porterfield**

1675 Juarez Ave.  
Los Altos, CA 94024

Project:

**Remodeling & Addition**

1675 Juarez Ave.  
Los Altos, CA 94024



PLANNING DEPARTMENT     PRELIMINARY     DESIGN REVIEW SUBMITTAL     BUILDING DEPARTMENT     PLAN CHECK SUBMITTAL (NOT FOR CONSTRUCTION)     APPROVED FOR CONSTRUCTION

### Client Revisions

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
5	Design Front Elevation	05/09/14
6	Client Change-Front Elevation	05/13/14
7	Client Change-Front Elevation	05/22/14
8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

### City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
2		
3		
4		
5		
6		
7		
8		

Date:	03/27/14
Scale:	N.T.S.
Drawn By:	NKF
Checked By:	RN

Sheet Title:  
**Cover Sheet**

Sheet No.:

**A-0**

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### CONSULTANTS

- 1- OWNER: MR. TODD GOTHAM & MS. KASSIE PORTERFIELD  
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E-MAIL: tgotham@gmail.com
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2105 S. BASCOM AVE.  
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CAMPBELL, CA 95008  
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E-MAIL: rezan@memarie.com
- 3- LAND SURVEYOR: T. K. M. LAND SURVEYORS  
2250 BOHANNON DRIVE  
SANTA CLARA, CA 95050  
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E-MAIL: tom@tkmlandsurveyors.com
- 3- CIVIL: LC ENGINEERING  
1291 OAKLAND ROAD  
SAN JOSE, CA 9512  
TEL: (408) 806-1181  
E-MAIL: nie@lceengineering.net

APPLICABLE CODES:  
CALIFORNIA BUILDING CODE: 2013 EDITION  
CALIFORNIA RESIDENTIAL CODE: 2013 EDITION  
CALIFORNIA ELECTRICAL CODE: 2013 EDITION  
CALIFORNIA MECHANICAL CODE: 2013 EDITION  
CALIFORNIA PLUMBING CODE: 2013 EDITION  
CALIFORNIA ENERGY CODE: 2013 EDITION  
CALIFORNIA FIRE CODE: 2013 EDITION  
CALIFORNIA GREEN BUILDING CODE: 2013 EDITION  
ALL OTHER APPLICABLE TOWN OF LOS ALTOS AND STATE LAWS AND REGULATIONS.

### PROJECT DATA

APN: 318-09-021  
ZONING: RI-10  
LOT SIZE: 10,190 SQ. FT.  
TYPE OF OCCUPANCY: R3/U  
TYPE OF CONSTRUCTION: V-B  
MAXIMUM LOT COVERAGE FOR TWO STORY BUILDING: 30% 3,237 SQ. FT.  
MAXIMUM FLOOR AREA & RATIO: 35% 3,716 SQ. FT.  
MAXIMUM BUILDING HEIGHT FROM NATURAL GRADE: 21'-0"  
EXISTING LIVING AREA: 1,856 + 789 = 2,645 SQ. FT.  
EXISTING GARAGE AREA: 466 SQ. FT.  
FIRE SPRINKLER: YES, DIFFERED SUBMITTAL

HARDSCAPE AREA:  
BUILDING FOOTPRINT: 2,959 SQ. FT.  
BACK PORCH (TRELIS AREA): 308 SQ. FT.  
FRONT PORCH: 45 SQ. FT.  
WALKWAY: 72 SQ. FT.  
DRIVEWAY (PAVER): 632 x 50% = 316 SQ. FT.  
EXISTING CONCRETE PAD TO REMAIN: 138 SQ. FT.  
AC UNITS CONCRETE PAD: 29 SQ. FT.  
TOTAL: 3,867 SQ. FT.

### ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
<b>LOT COVERAGE:</b> Land area covered by all structures that are over 6 feet in height.	2,322 square feet (21.52%)	3,004 square feet (27.84%)	3,237 square feet (30.00%)
<b>FLOOR AREA:</b> Measured to the outside of exterior walls.	1st Flr: 2,322 sq ft 2nd Flr: 789 sq ft Total: 3,111 sq ft (28.83%)	1st Flr: 2,959 sq ft 2nd Flr: 809 sq ft Total: 3,768 sq ft (34.92%)	3,716 square feet (35.00%)
<b>SETBACKS:</b>			
Front	212 feet	26.3 feet	25.0 feet
Rear	612 feet	50.2 feet	25.0 feet
Right side (1st/2nd)	101 feet/16.6 feet	101 feet/21.6 feet	10.0 feet/17.5 feet
Left side (1st/2nd)	101 feet/18.1 feet	103 feet/21.1 feet	10.0 feet/17.5 feet
<b>HEIGHT:</b>	24.40 feet	25.11 feet	27.00 feet

### SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
<b>HABITABLE LIVING AREA:</b> Includes habitable basement area	2,645 square feet	+657 square feet	3,302 square feet
<b>NON-HABITABLE AREA:</b> Does not include covered porches or open structures.	466 square feet	0 square feet	466 square feet

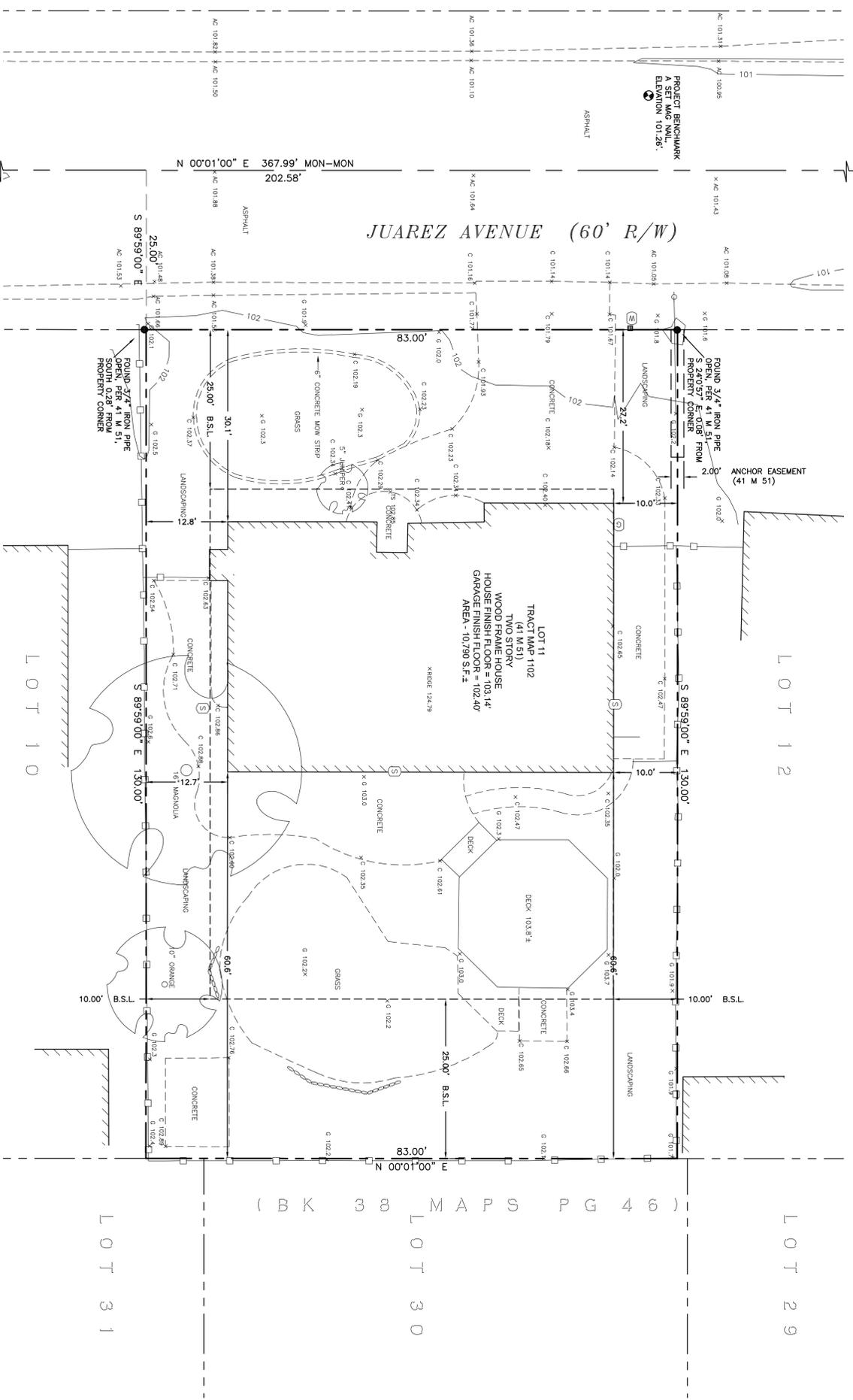
### LOT CALCULATIONS

<b>NET LOT AREA:</b>	10,190 square feet
<b>FRONT YARD HARDSCAPE AREA:</b>	632 x 50% + 9 = 325 325 square feet (3.0%)
<b>LANDSCAPE BREAKDOWN:</b>	Total hardscape area (existing and proposed): 3,867 sq ft Existing softscape (undisturbed) area: 5,997 sq ft New softscape area: 926 sq ft Sum of all three should equal the site's net lot area

RICHARDSON AVE (60' R/W)

JUAREZ AVENUE (60' R/W)

ENSENADA WAY (60' R/W)



FOUND 3/4\"/>

**LEGEND**

---	BOUNDARY LINE
---	PROPERTY LINE
---	CENTER LINE
---	SETBACK LINE
---	EASEMENT LINE
---	FACE OF BUILDING LINE
---	WOODEN FENCE
---	GAS METER
---	WATER METER
---	SANITARY SEWER CLEANOUT
---	SANITARY SEWER MANHOLE
---	STORMDRAIN MANHOLE
---	FOUND IRON PIPE AS NOTED
---	FOUND MONUMENT AS NOTED
---	JOINT POLE

**ABBREVIATIONS**

C	CONCRETE
G	GROUND
AC	ASPHALTIC CONCRETE
TS	TOP OF STEP
B.S.L.	BUILDING SETBACK LINE

**NOTES**

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, ARE NOT BE SHOWN UNLESS SPECIFICALLY NOTED ON THIS SURVEY. THE SURVEY IS LIMITED TO UNDERGROUND UTILITY LINES, UTILITY VALVES, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PILING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 318-09-021
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.

**BASIS OF BEARINGS**

BEARINGS SHOWN HEREON ARE BASED ON TRACT MAP NO. 1102 RECORDED IN BOOK 41 OF MAPS AT PAGE 511, SANTA CLARA COUNTY RECORDS.

**PROJECT BENCHMARK**

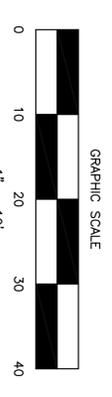
ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED DATUM. A 1/4\"/>

**SURVEYOR'S STATEMENT**

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

TOM H. MILO  
L.S. 6438 EXP. 12-31-2014

DATE



DRAWN BY DCJ  
CKD. BY THM  
DATE 04/07/2014  
SCALE 1\"/>

BOUNDARY & TOPOGRAPHIC SURVEY  
APN: 318-09-021  
1675 JUAREZ AVENUE  
LOS ALTOS CALIFORNIA

**T.K.M.**  
Land Surveyors  
2250 Bohannon Drive  
Santa Clara, CA 95050  
408.615.8855 phone/  
408.615.1556 fax

JOB NO. 1  
FILE NO. 1  
SHEET 1 OF 1

**GRADING AND DRAINAGE IMPROVEMENTS**

**I. GENERAL NOTES**

- ALL GRADING SHALL COMPLY WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING CODE.
- THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
- ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE DESIGNATED BY THE OWNER AND SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTION PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
- EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 1%.
- THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- THE TOPOGRAPHY SURVEY MADE BY T.K.M LAND SURVEYORS ON 04/07/14
- THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY.
- THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS. SEE ARCHITECT PLAN.
- CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 382 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.
- ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
- IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE, CALL : UNDERGROUND SERVICE ALERT (USA) 800-642-2444
- THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.
- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 mm) PLUS 2%. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2010 UNIFORM BUILDING CODE.
- ABS AND PVC EXTENDABLE BACKWATER VALVE MAY BE ORDERED FROM CLEAN CHECK, INC AT (866) 288-2583 OR P.O. BOX 2437, HAYDEN, ID 83835-2437.

**II. DUST CONTROL**

- ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
- AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST.
- GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR.
- STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED.
- THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEPED (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

AB	AGGREGATE BASE	FD	FOUND	PUE	PUBLIC UTILITY EASEMENT
AC	ASPHALT CONCRETE	FF	FINISH ELEVATION OF SUBFLOOR	PVMT	PAVEMENT
AD	AREA DRAIN	FG	GROUND FINISH GRADE	PVC	POLYVINYL CHLORIDE
AE	ANCHOR EASEMENT	FL	FIRE HYDRANT	R	RADIUS
BB	BUBBLER BOX	FM	FLOW LINE	RW	RETAINING WALL
BLDG	BUILDING	G	GARAGE SLAB ELEVATION/GAS LINE	REM	REMOVE
BLK	BLOCK	GPE	RIGHT OF WAY	R/W	RIGHT OF WAY
BSL	BUILDING SETBACK LINE	GSB	GENERAL PUBLIC EASEMENT	SB	SETBACK
CG	CATCH BASIN	GR	GRADING SETBACK	SD	STORM DRAIN EASEMENT
CG	CURB & GUTTER	GM	GAS METER	SDE	SLOPE EASEMENT
C	CENTERLINE	HP	HIGH POINT	SE	SLOPE MAINTENANCE EASEMENT
CLF	CHAIN LINK FENCE	IP	INVERT	SE	SANITARY SEWER/LATERAL
CO	CURB OPENING	LIP	LIP OF GUTTER	SSE	SANITARY SEWER EASEMENT
COP	COUNTY STANDARD DETAIL	LS	LANDSCAPED AREA	STA	STATION
CONC	CONCRETE	LW	LANDSCAPE WELL	STD	STANDARD CITY DETAIL
CVE	CONSERVATION EASEMENT	MAX	MAXIMUM	SW	SIDEWALK
DE	DRAINAGE EMITTER	MH	MANHOLE	SW	TOP OF BANK
DI	DOWNSPOUT	MH	MAXIMUM	TC	TOP OF CURB
DS	DOWNSPOUT	MIN	MINIMUM	TO	TOP OF GRATE
DWY	DRIVEWAY	N&S	NAIL AND SHINER	TOC	TOP OF COVER
E	EASEMENT	NTS	NOT TO SCALE	TOE	TOE OF BANK
ELEV	ELEVATION	OH	OVERHEAD	TYP	TYPICAL
EA	ELECTRIC OVERHEAD	OG	ORIGINAL GROUND	TV	TREE PROTECTION FENCE
ELEV	ELEVATION	P	PAVED	TV	TOP OF WALL
EM	ELECTRIC METER	PAD	PAVEMENT FINISH GRADE	VAL	VALLEY GUTTER
E(OH)	ELECTRIC OVERHEAD	PE	PATHWAY EASEMENT	W	WATER
E(LG)	ELECTRIC UNDERGROUND	PEE	PEDESTRIAN EQUESTRIAN EASEMENT	WALK	WALKWAY
EP	EDGE OF PAVEMENT	PERF	PERFORATED	WM	WATER METER
EX	EXISTING	R	PROPERTY LINE	WOE	WIRE OVERHANG EASEMENT
EVA	VEHICLE ACCESS EASEMENT	PP	POWER POLE	WV	WATER VALVE
FC	FACE OF CURB	PROP	PROPOSED	WV	WATER VALVE
		PSE	PUBLIC SERVICE EASEMENT	WV	WATER VALVE

**BASIS OF BEARINGS**

BEARINGS SHOWN HEREON ARE BASED ON TRACT MAP NO. 1102 RECORDED IN BOOK 41 OF MAPS AT PAGE 51, SANTA CLARA COUNTY RECORDS.

**PROJECT BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED DATUM. A MAG NAIL WAS SET IN THE STREET IN FRONT OF THE SITE. ELEVATION 101.26'.

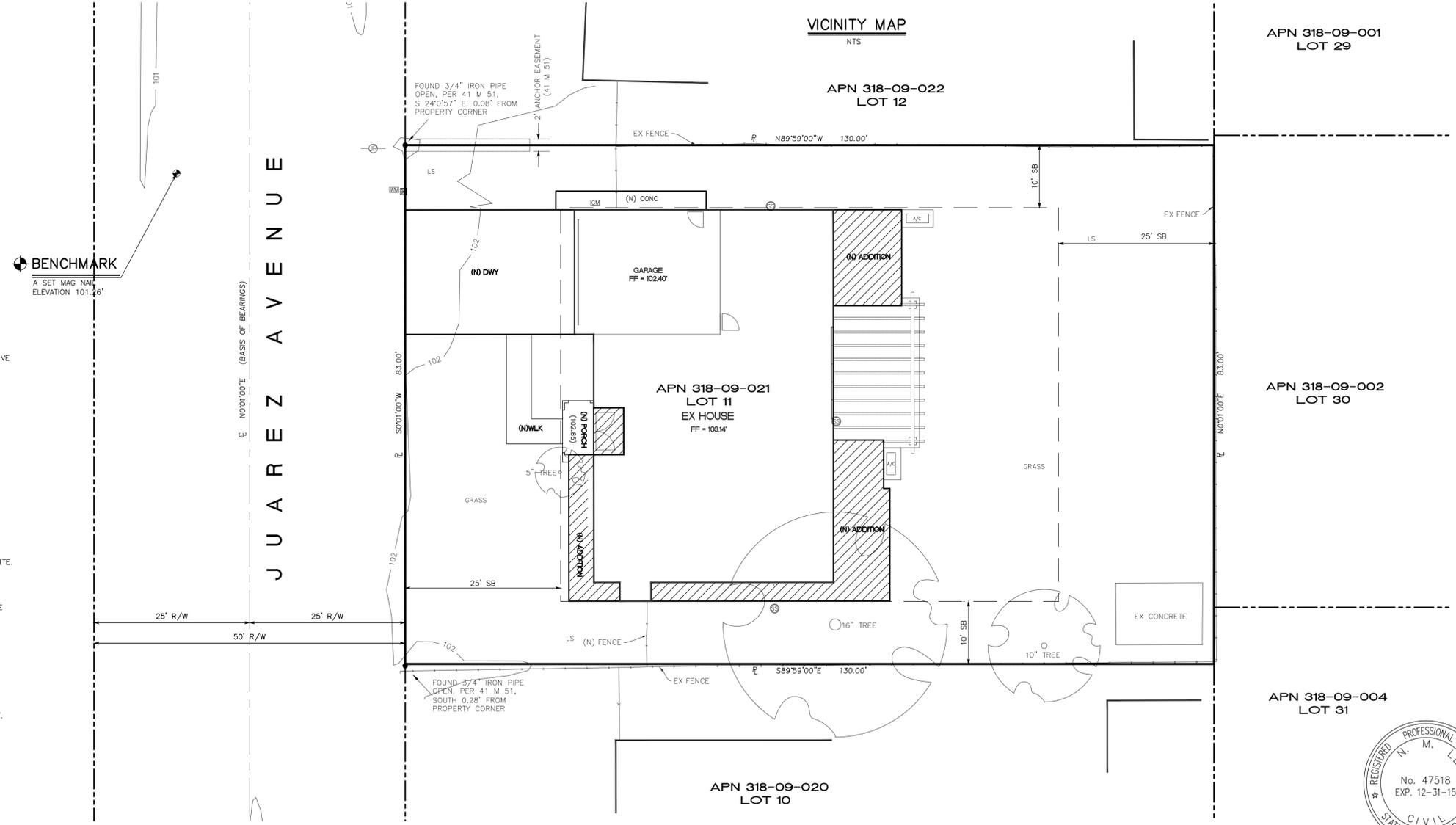
**LEGEND & ABBREVIATIONS**

⊙	AREA DRAIN	---	EASEMENT LINE	⊕	INLET
⊕	BENCHMARK	---	EXISTING ELEVATION	⊕	JOINT POLE
⊕	BOUNDARY	---	EXISTING FENCE	⊕	LIGHTING
⊕	CATCH BASIN	---	EXISTING TREE TO BE REMOVED	⊕	LIGHTING POLE
⊕	COBBLE ROCK ENERGY DISSIPATOR	---	EXISTING TREE TO REMAIN	⊕	LOW POINT
⊕	CONCRETE	---	FOUND IRON PIPE AT PROPERTY CORNER	⊕	MAIL BOX
---	EXISTING CONTOUR AFTER GRADING	---	FIBER ROLLS	⊕	MONUMENT WELL
---	DESIGN GRADE	---	GAS METER	⊕	NEW
---	DOWNSPOUT WITH SPLASHBLOCK	---	GAS VALVE	---	OVERLAND FLOW DIRECTION
---	DRAINAGE EMITTER	---	GRADE TO DRAIN	---	PCE BOX
---	DIVERSION VALVE	---	GUY POLE	---	POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
---	DRAINAGE DIRECTION EXTENDABLE	---	GUY WIRE ANCHOR	---	PROJECT SITE
---	BACKWATER VALVE (SEE PROJECT NOTES)	---	HIGH POINT	---	ROCK RETAINING WALL
---	DRAINAGE SWALE	---	HYDRANT: EXISTING	---	RIGHT OF WAY
		---	HYDRANT: PROPOSED	---	SANITARY SEWER CLEAN OUT MANHOLE
		---		---	SANITARY SEWER MANHOLE
		---		---	STORM DRAIN MANHOLE
		---		---	SUMP PUMP



**SHEET INDEX**

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SHEET C4	BLUEPRINT FOR CLEANBAY



**SITE PLAN**  
SCALE 1" = 10'



DESIGNED	09/25/14	DATE	09/25/14	BY	DATE	REVISIONS	NO.
DRAWN		DATE					
AS NOTED		SCALE					
CHECKED		SCALE					

**ENGINEERING**  
1291 Oakland Road  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 583-4006

**California**

**TITLE SHEET**  
LANDS OF GOTHAM AND PORTERFIELD  
1675 JUAREZ AVENUE  
APN 318-09-021

**Los Altos**

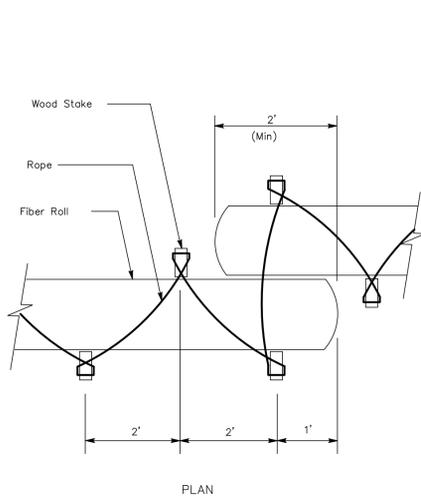
DRAWING NO. **C1**  
SHEET NO. **1** OF **4**  
FILE NO.

PLAN NO. OF SHEET

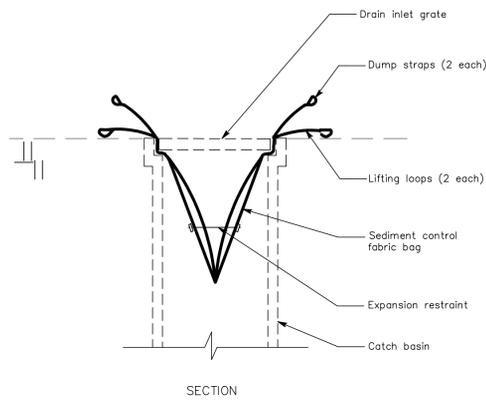


**EROSION CONTROL NOTES**

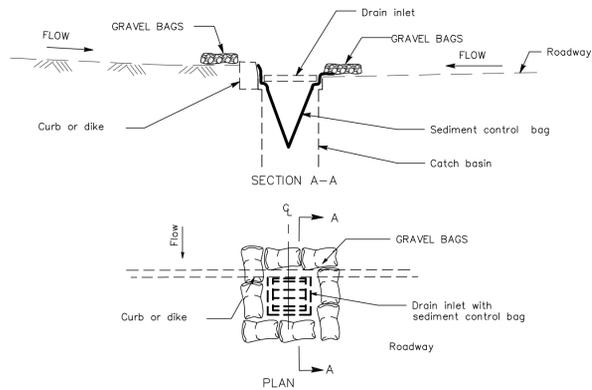
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE COUNTY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL EROSION CONTROL MEASURES DURING EARTHWORK OPERATION.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES. GRADING WORK BETWEEN OCTOBER 15 TO APRIL 15 IS AT THE DISCRETION OF THE CITY OF LOS ALTOS BUILDING OFFICIAL.
- FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS.
- ACTIVE DRAINAGE INLETS AND NATURAL DRAINAGES WHERE RUNOFF IS LIKELY TO GO SHALL HAVE DRAINAGE INLET PROTECTION INSTALLED AROUND THE IMMEDIATE PERIMETER OF THE INLET AS NOTED ON THE PLANS.
- UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM EROSION AS SHOWN ON THE EROSION CONTROL PLAN. HAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES STEEPER THAN FIVE PERCENT.
- IF THE APPROVED EROSION CONTROL PLAN DOES NOT WORK, THE CITY OF LOS ALTOS CONSTRUCTION INSPECTOR CAN CHANGE THE EROSION CONTROL MEASURES AND LAYOUT.



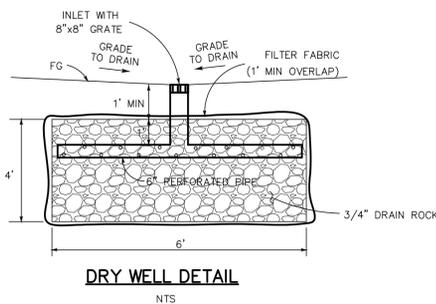
**FIBER ROLLS ROPE RESTRAINT METHOD**



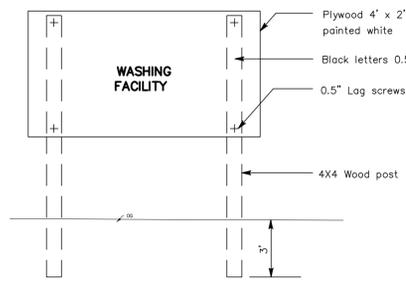
**SEDIMENT CONTROL BAG**



**TEMPORARY DRAINAGE INLET PROTECTION**  
For paved areas exposed to traffic

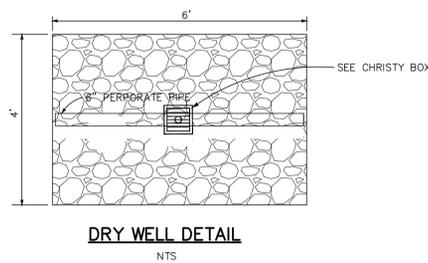


**DRY WELL DETAIL**  
NTS

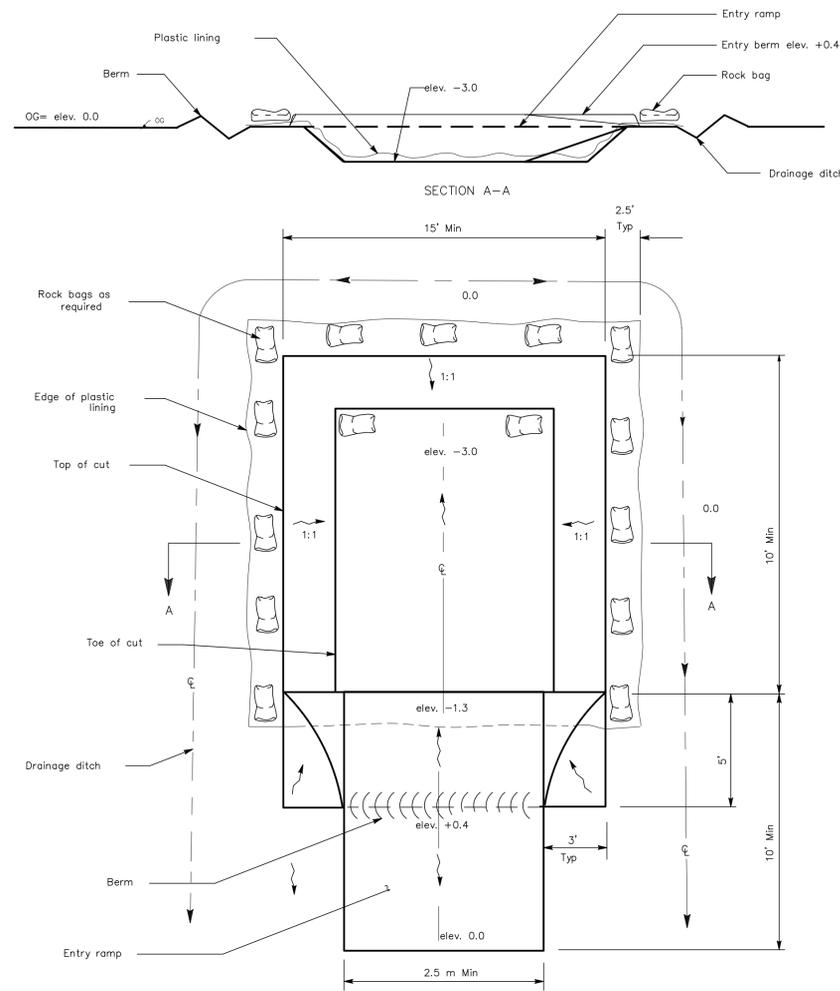


**SIGN ELEVATION**

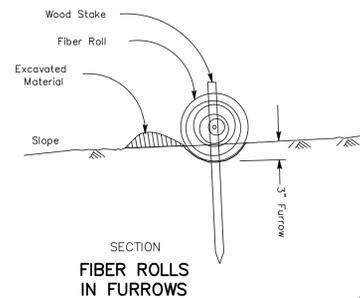
**NOTE:**  
The temporary equipment washing facility sign shall be installed within 20 feet of the temporary concrete washout facility.



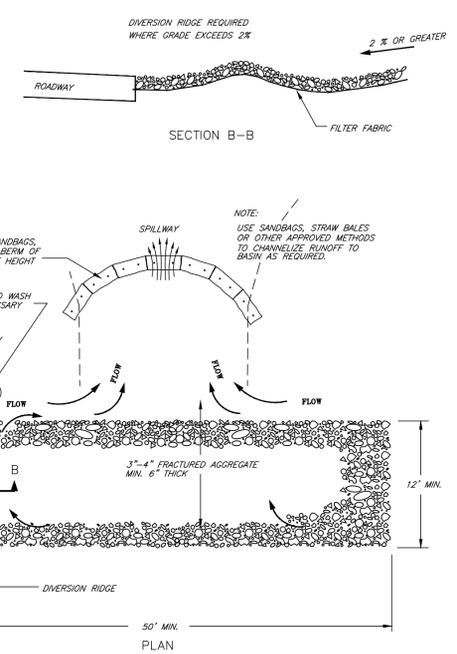
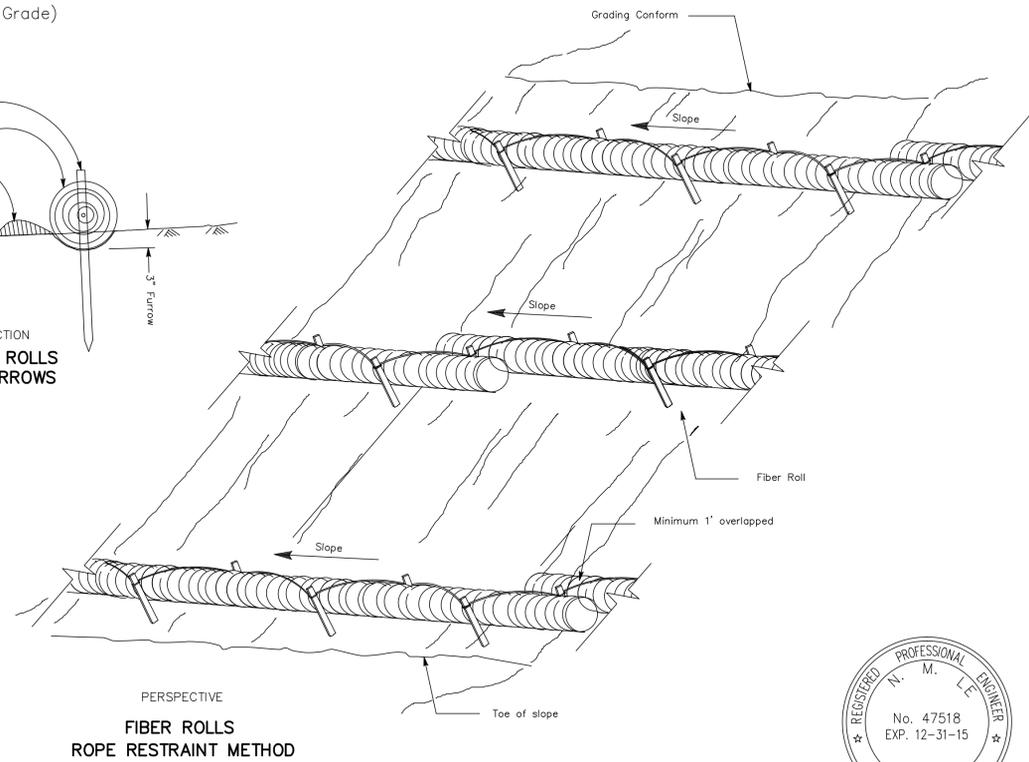
**DRY WELL DETAIL**  
NTS



**TEMPORARY EQUIPMENT WASHING FACILITY (Below Grade)**



**FIBER ROLLS IN FURROWS**



**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT**

- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

DESIGNED	DATE	DRAWN	DATE	NTS	SCALE	CHECKED	DATE	BY	DATE	APPROVED	DATE	REVISIONS	NO.
JT	09/25/14	JT	09/25/14				09/25/14						

PLAN NO. OF SHEET

EROSION CONTROL DETAILS  
LANDS OF GOTHAM AND PORTERFIELD  
1675 JUAREZ AVENUE  
APN 318-09-021

Los Altos  
California

# Heavy Equipment Operation

Best Management Practices for the Construction Industry



## Best Management Practices for the

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

### Doing The Job Right

#### Site Planning and Preventive Vehicle Maintenance

- Maintain all vehicles and heavy equipment. Perform frequently for and repair leaks.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately.
- If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services.

### Storm Water Pollution from Heavy Equipment on Construction Sites

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

# Landscaping, Gardening, and Pool Maintenance

Best Management Practices for the Construction Industry



## Best Management Practices for the

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers
- Homeowners

### Doing The Right Job

#### General Business Practices

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags or other sediment controls.
- Re-vegetation is an excellent form of erosion control for any site.

#### Landscaping/Garden Maintenance

- Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinse water as product. Dispose of rinsed, empty containers in the trash. Dispose of unused pesticides as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside pick-up of yard waste, place clippings and pruning waste at the curb in approved bags or containers. Or, take to a landfill that composts yard waste. No curbside pickup of yard waste is available for commercial properties.

### Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

### Spill Cleanup

- Clean up spills immediately when they happen.
- Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags) whenever possible and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately.
- If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services.

# Roadwork and Paving

Best Management Practices for the Construction Industry



## Best Management Practices for the

- Road crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment, paving machines, dump trucks, concrete mixers
- Construction inspectors
- General contractors
- Home builders
- Developers

### Doing The Job Right

#### General Business Practices

- Develop and implement erosion/sediment control plans for roadway embankments.
- Schedule excavation and grading work during dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment parts or clean equipment.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly.

#### During Construction

- Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting stormwater runoff.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Protect drainage ways by using earth ditches, sand bags, or other controls to divert or trap and filter runoff.

### Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

- Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- Cover stockpiles (asphalt, sand, etc.) and other construction materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
- Park paving machines over drip pans or absorbent materials (cloth, rags, etc.) to catch drips when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig, remove, and properly dispose of contaminated soil.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over-application by water trucks for dust control.

#### Asphalt/Concrete Removal

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
- When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and properly dispose of, all residues.
- Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquid in storm drains.

# Fresh Concrete and Mortar Application

Best Management Practices for the Construction Industry



## Best Management Practices for the

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers
- Concrete delivery/pumping workers

### Doing The Job Right

#### General Business Practices

- Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- Wash out chutes onto dirt areas at site that do not flow to storm drains.
- Always store both dry and wet materials under cover, protected from rainfall and runoff until the materials has dried.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from storm drains or waterways. Protect dry materials from wind.
- Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

### Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, causes serious problems, and is prohibited by law.

### During Construction

- Don't mix up more fresh concrete or cement than you will use in a two-hour period.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.
- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- Protect applications of fresh concrete and mortar from rainfall and runoff until the materials has dried.
- Wash down exposed aggregate concrete only when the wash water can (1) flow into a dirt area, (2) drain onto a bermed surface from which it can be pumped and disposed of properly, or (3) be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach gutters or storm drains.
- When breaking up pavement, be sure to pick up all the pieces and dispose of properly. Recycle large chunks of broken concrete as a landfill.
- Never bury waste material. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never dispose of washout into the street, storm drains, drainage ditches, or creeks.

# Preventing Pollution: It's Up to Us

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bay lands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; sediment created by erosion; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley municipalities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm water pollution. To comply with this program, contractors must comply with the practices described in this drawing sheet.

### Spill Response Agencies

DIAL 9-1-1  
State Office of Emergency Services Warning Center (24 hours): 800-852-7550  
Santa Clara County Environmental Health Services: (408) 299-6930

### Local Pollution Control Agencies

County of Santa Clara Pollution Prevention Program: (408) 441-1195  
County of Santa Clara Integrated Waste Management Program: (408) 441-1198  
County of Santa Clara District Attorney Environmental Crimes Hotline: (408) 299-TIPS  
Santa Clara County Recycling Hotline: 1-800-533-8414  
Santa Clara Valley Water District: (408) 265-2600  
Santa Clara Valley Water District Pollution Hotline: 1-888-510-5151  
Regional Water Quality Control Board San Francisco Bay Region: (510) 622-2300  
Palo Alto Regional Water Quality Control Plant: (650) 329-2598  
Serving East Palo Alto Sanitary District, Los Altos, Los Altos Hills, Mountain View, Palo Alto, Stanford

City of Los Altos  
Building Department: (650) 947-2752  
Engineering Department: (650) 947-2780

# Painting and Application of Solvents and Adhesives

Best Management Practices for the Construction Industry



## Best Management Practices for the

- Homeowners
- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

### Doing The Job Right

#### Handling Paint Products

- Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquids residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of at a hazardous waste collection facility (contact your local stormwater program listed on the back of this brochure).
- When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Empty, dry paint cans also may be recycled as metal.
- Wash water from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead. Contact your local water utility for a list of lead testing facilities. See Yellow Pages for a state-certified laboratory.
- If there is a loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

### Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may include lead, mercury, and products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled or disposed of as hazardous waste. Proper disposal of property to prevent these materials from flowing into storm drains and watercourses.

### Painting Cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, French drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

#### Paint Removal

- Wash water from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead. Contact your local water utility for a list of lead testing facilities. See Yellow Pages for a state-certified laboratory.
- If there is a loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

#### Recycle/Reuse Leftover Paints Whenever Possible

- Recycle or donate excess water-based (latex) paints, or return to supplier.
- Reuse leftover oil-based paint. Dispose of non-recyclable thinners, sludge and unrecyclable paint, as hazardous waste.
- Unopened cans of paint may be able to be returned to the paint vendor. Check with the vendor regarding its "buy-back" policy.

### Los Altos Municipal Code Requirements



#### Los Altos Municipal Code Chapter 10.08.390 Non-storm water discharges

- Unlawful discharges. It shall be unlawful to discharge any domestic waste or industrial waste into storm drains, gutters, creeks, or San Francisco Bay. Unlawful discharges to storm drains shall include, but not be limited to, discharge from toilets; sinks; industrial processes; cooling systems; boilers; fabric cleaning; equipment cleaning; construction activities, including, but not limited to, painting, paving, concrete placement, saw cutting and grading; swimming pools; spas, and fountains, unless specifically permitted by a discharge permit or unless exempted pursuant to guidelines published by the superintendent.
- Threatened discharges. It shall be unlawful to cause hazardous materials, domestic waste, or industrial waste to be deposited in such a manner or location as to constitute a threatened discharge into storm drains, gutters, creeks or San Francisco Bay. A "threatened discharge" is a condition creating a substantial probability of harm, when the probability and potential extent of harm make it reasonably necessary to take immediate action to prevent, reduce or mitigate damages to persons, property or natural resources. Domestic or industrial wastes that are no longer contained in a pipe, tank or other container are considered to be threatened discharges unless they are actively being cleaned up.

#### Los Altos Municipal Code Section 10.08.430 Requirements for construction operations.

- A spill response plan for hazardous waste, hazardous materials and uncontained construction materials shall be prepared and available at the construction sites for all projects where the proposed construction site is equal to or greater than one acre of disturbed soil and for any other projects for which the city engineer determines it is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.
- A storm water pollution prevention plan shall be prepared and available at the construction sites for all projects greater than one acre of disturbed soil and for any other projects for which the city engineer determines that a storm water management plan is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.
- Prior approval shall be obtained from the city engineer or designee to discharge water pumped from construction sites to the storm drain. The city engineer or designee may require gravity settling and filtration upon a determination that either or both would improve the water quality of the discharge. Contaminated groundwater or water that exceeds state or federal requirements for discharge to navigable waters may not be discharged to the storm drain. Such water may be discharged to the sewer, provided that the requirements of Section 10.08.240 are met and the approval of the superintendent is obtained prior to discharge.
- No cleanup of construction debris from the streets shall result in the discharge of water to the storm drain system; nor shall any construction debris be deposited or allowed to be deposited in the storm drain system. (Prior code § 5-5.643)

Criminal and judicial penalties can be assessed for non-compliance.

# General Construction And Site Supervision

Best Management Practices For Construction



## Best Management Practices for the

- General contractors
- Site supervisors
- Inspectors
- Home builders
- Developers

### Storm Drain Pollution from Construction Activities

Construction sites are common sources of storm water pollution. Materials and wastes that flow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay. As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

### Doing The Job Right

#### General Principals

- Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly.
- Cover materials when they are not in use.
- Keep materials away from streets, storm drains and drainage channels.
- Ensure dust control water doesn't leave site or discharge to storm drains.

#### Advance Planning To Prevent Pollution

- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Use the Erosion and Sediment Control Manual, available from the Regional Water Quality Control Board, as a reference.
- Control the amount of runoff crossing your site (especially during excavation) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce storm water runoff velocities by constructing temporary check dams or berms where appropriate.
- Train your employees and subcontractors. Make these best management practices available to everyone who works on the construction site. Inform subcontractors about the storm water requirements and their own responsibilities.

#### Good Housekeeping Practices

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, berms if necessary. Make major repairs off site.
- Keep materials out of the rain - prevent runoff contamination at the source. Cover exposed piles of soil or construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Keep pollutants off exposed surfaces. Place trashcans and recycling receptacles around the site to minimize litter.

### Spill Cleanup

- Clean up leaks, drips and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment parts, or clean equipment.

#### Materials/Waste Handling

- Practice Source Reduction - minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible. Arrange for pick-up of recyclable materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleaned vegetation, paper, rock, and other debris.
- Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleaned vegetation can be recycled. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

#### Permits

- In addition to local building permits, you will need to obtain coverage under the State's General Construction Activity Storm Water Permit if your construction site disturbs one acre or more. Obtain information from the Regional Water Quality Control Board.

# Earth-Moving And Dewatering Activities

Best Management Practices for the Construction Industry



## Best Management Practices for the

- Bulldozer, back hoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

### Doing The Job Right

#### General Business Practices

- Schedule excavation and grading work during dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment parts, or clean equipment.

#### Practices During Construction

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect down slope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual for proper erosion and sediment control measures.

### Storm Drain Pollution from Earth-Moving Activities and Dewatering

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces. Contaminated groundwater is a common problem in the Santa Clara Valley. Depending on soil types and site history, groundwater pumped from construction sites may be contaminated with leachate (such as oil or solvents) or laden with sediments. Any of these pollutants can harm wildlife in creeks or the Bay, or interfere with wastewater treatment plant operation. Discharging sediment-laden water from a dewatering site into any water of the state without treatment is prohibited.

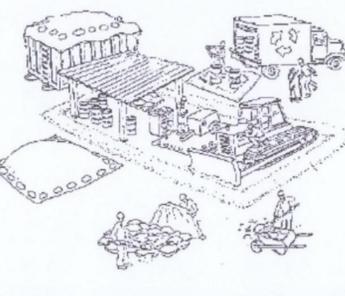
# Blueprint for a Clean Bay

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

# Best Management Practices for the Construction Industry



## Santa Clara Urban Runoff Pollution Prevention Program



DESIGNED BY: LARRY LIND	APPROVED BY: 	CITY OF LOS ALTOS 48056 R.C.E.	DATE: OCTOBER, 2003
DRAWN BY: VICTOR CHEN	CITY ENGINEER		SCALE: N.T.S.
CHECKED BY: JIM GUSTAFSON	SHEET OF SHEETS		DRAWING NO.:



PLAN NO. OF SHEET

ENGINEERING

1291 Oakland Road  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 563-4006

DESIGNED: 09/25/14  
DRAWN: 09/25/14  
SCALE: 1" = 10'  
CHECKED: 09/25/14

PROJECT NO. 48056

CONTRACT NO. 48056

DRAWING NO. C4

SHEET NO. 4 OF 4

FILE NO. 48056

REVISIONS

DATE

BY

DATE

APPROVED

DATE

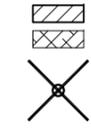
The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**Mr. Todd Gotham &  
Ms. Kassie Porterfield**  
1675 Juarez Ave.  
Los Altos, CA 94024

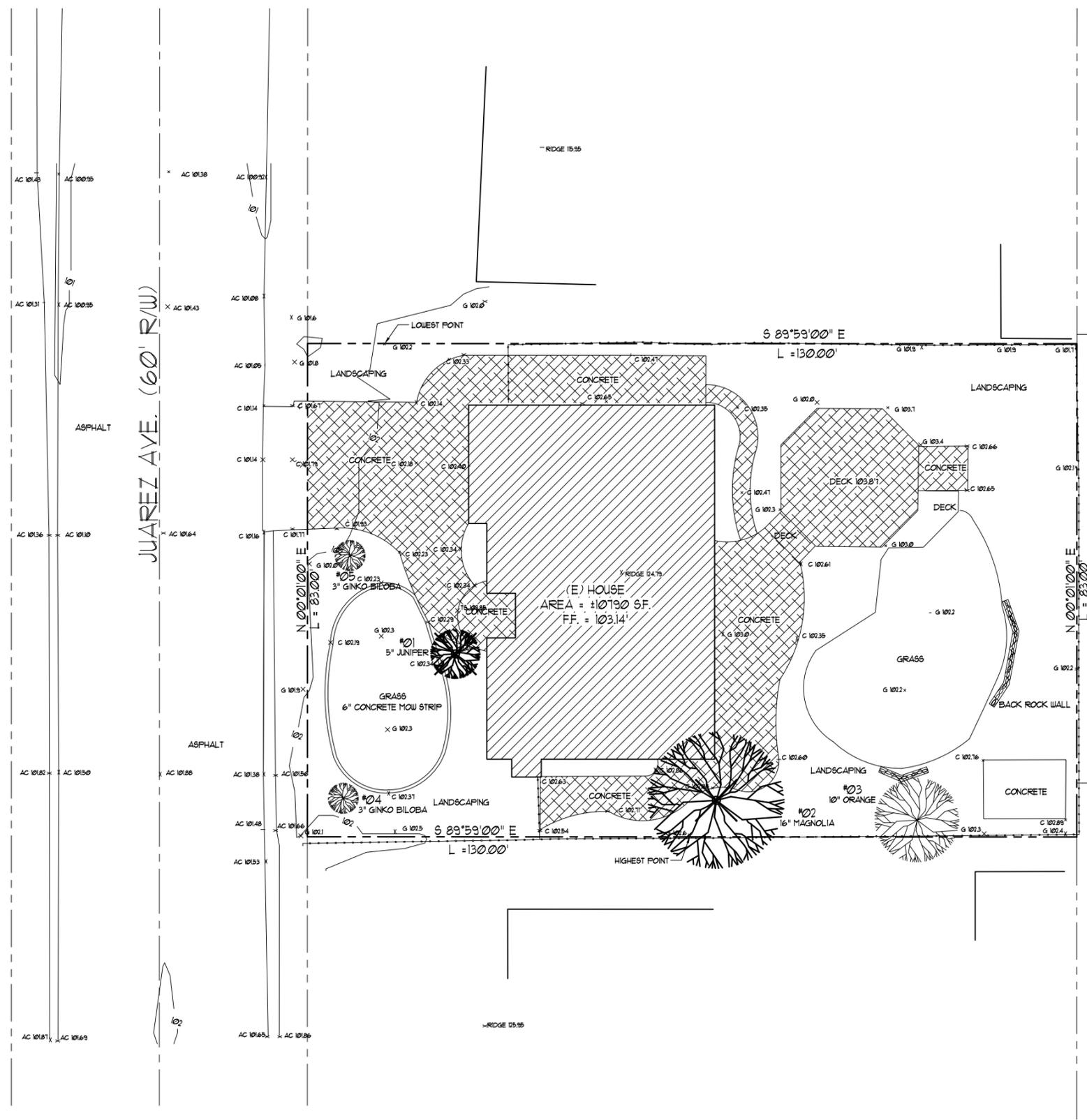
Project:  
**Remodeling & Addition**  
1675 Juarez Ave.  
Los Altos, CA 94024

**LEGENDS:**

- EXISTING BUILDING TO REMAIN:
- EXISTING CONC. & DECK AREA TO BE REMOVED:
- EXISTING TREE TO BE REMOVED:



EXISTING TREE TABLE			
TREE NO.	TREE NAME	TRUNK DIAMETER	REMARK
01	JUNIFER	5"	TO BE REMOVED
02	MAGNOLIA	16"	TO BE REMOVED
03	ORANGE	10"	TO REMAIN
04	GINKO BILOBA	3"	TO REMAIN
05	GINKO BILOBA	3"	TO REMAIN



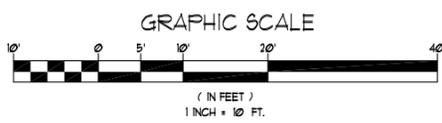
Client Revisions		
No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
5	Design Front Elevation	05/09/14
6	Client Change-Front Elevation	05/13/14
7	Client Change-Front Elevation	05/22/14
8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

City Revisions		
No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Date: 03/27/14  
Scale: 1"=10'-0"  
Drawn By: NKF  
Checked By: RN

Sheet Title:  
**Existing and Demo Site Plan**

Sheet No.:  
**A-1**



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Client:

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Ms. Kassie Porterfield**

1675 Juarez Ave.  
Los Altos, CA 94024

Project:

**Remodeling & Addition**

1675 Juarez Ave.  
Los Altos, CA 94024

**Client Revisions**

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
5	Design Front Elevation	05/09/14
6	Client Change-Front Elevation	05/13/14
7	Client Change-Front Elevation	05/22/14
8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

**City Revisions**

No.	Description	Date
1	Planning Comments	11/17/14
2		
3		
4		
5		
6		
7		
8		

Date: 03/27/14

Scale: 1"=10'-0"

Drawn By: NKF

Checked By: RN

Sheet Title:

**New  
Site  
Plan**

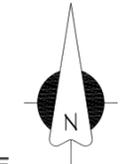
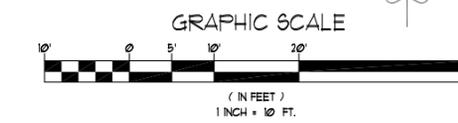
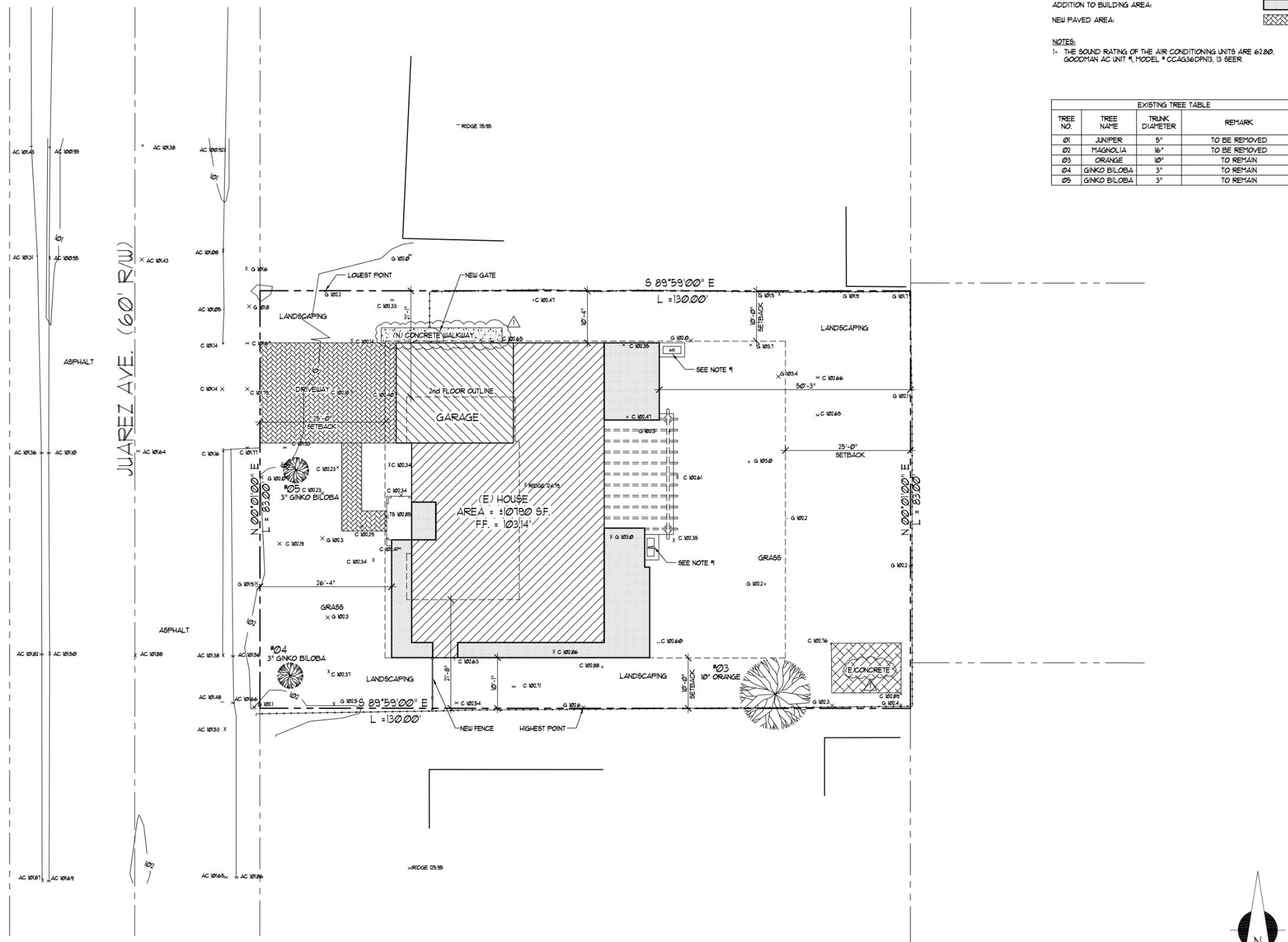
Sheet No.:

**A-2**

- LEGENDS:**  
 EXISTING BUILDING :   
 EXISTING CONCRETE AREA:   
 ADDITION TO BUILDING AREA:   
 NEW PAVED AREA: 

**NOTES:**  
 1- THE SOUND RATING OF THE AIR CONDITIONING UNITS ARE 62.00.  
 GOODMAN AC UNIT #, MODEL # CCAG36DFN3, 13 SEER

EXISTING TREE TABLE			
TREE NO.	TREE NAME	TRUNK DIAMETER	REMARK
01	JUNIPER	5"	TO BE REMOVED
02	MAGNOLIA	16"	TO BE REMOVED
03	ORANGE	10"	TO REMAIN
04	GINKO BILOBA	3"	TO REMAIN
05	GINKO BILOBA	3"	TO REMAIN



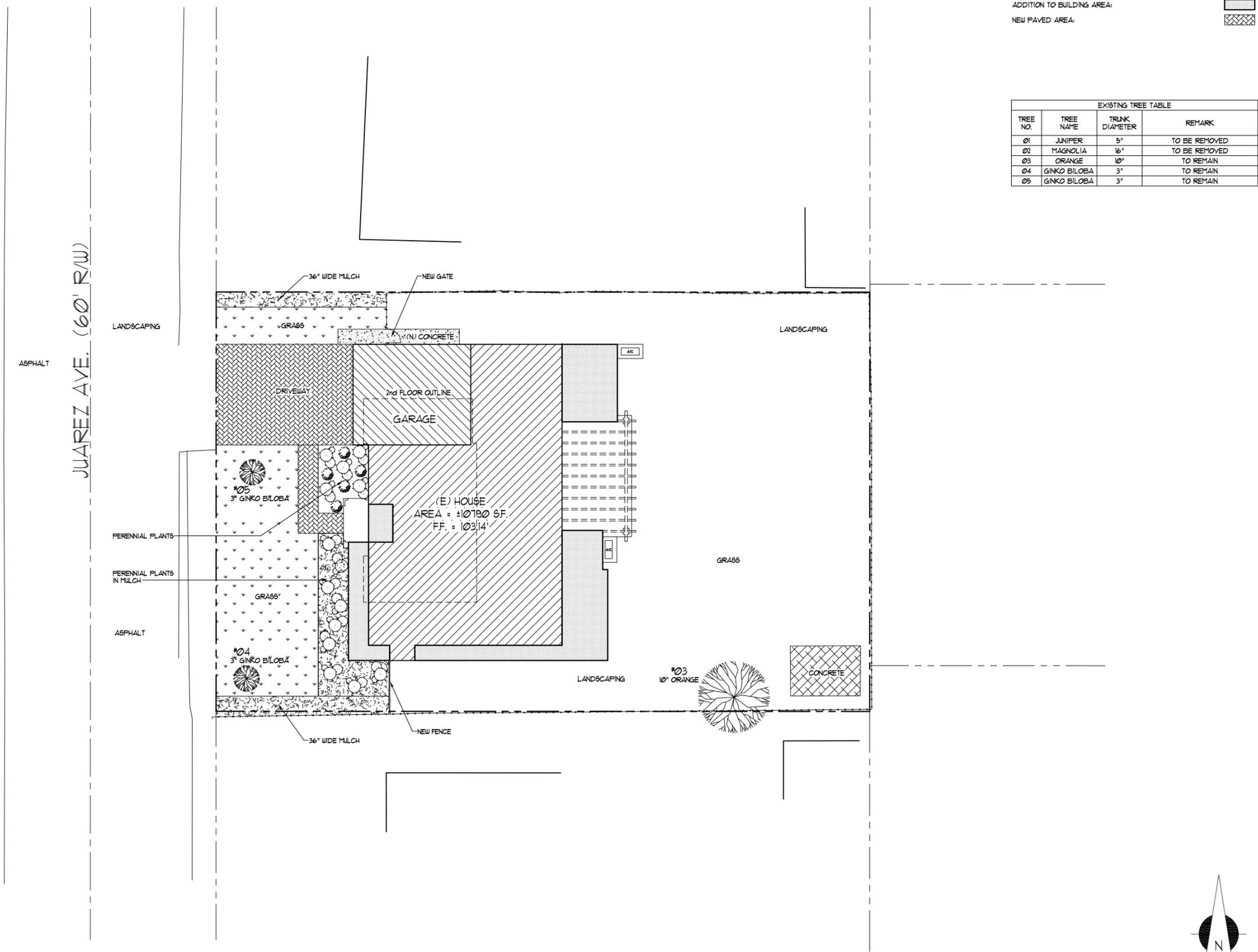
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Los Altos, CA 94024

Project:  
**Remodeling & Addition**  
1675 Juarez Ave.  
Los Altos, CA 94024

- LEGENDS:**  
 EXISTING BUILDING :   
 EXISTING CONCRETE AREA:   
 ADDITION TO BUILDING AREA:   
 NEW PAVED AREA: 

EXISTING TREE TABLE			
TREE NO.	TREE NAME	TRUNK DIAMETER	REMARK
01	JUNIFER	5"	TO BE REMOVED
02	MAGNOLIA	16"	TO BE REMOVED
03	ORANGE	10"	TO REMAIN
04	GINKO BILOBA	3"	TO REMAIN
05	GINKO BILOBA	3"	TO REMAIN



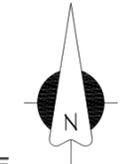
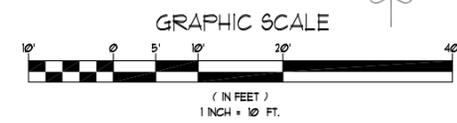
Client Revisions		
No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
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9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

City Revisions		
No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Date: 03/27/14  
 Scale: 1"=10'-0"  
 Drawn By: NKF  
 Checked By: RN

Sheet Title:  
**New  
Landscape  
Plan**

Sheet No.:  
**L-1**



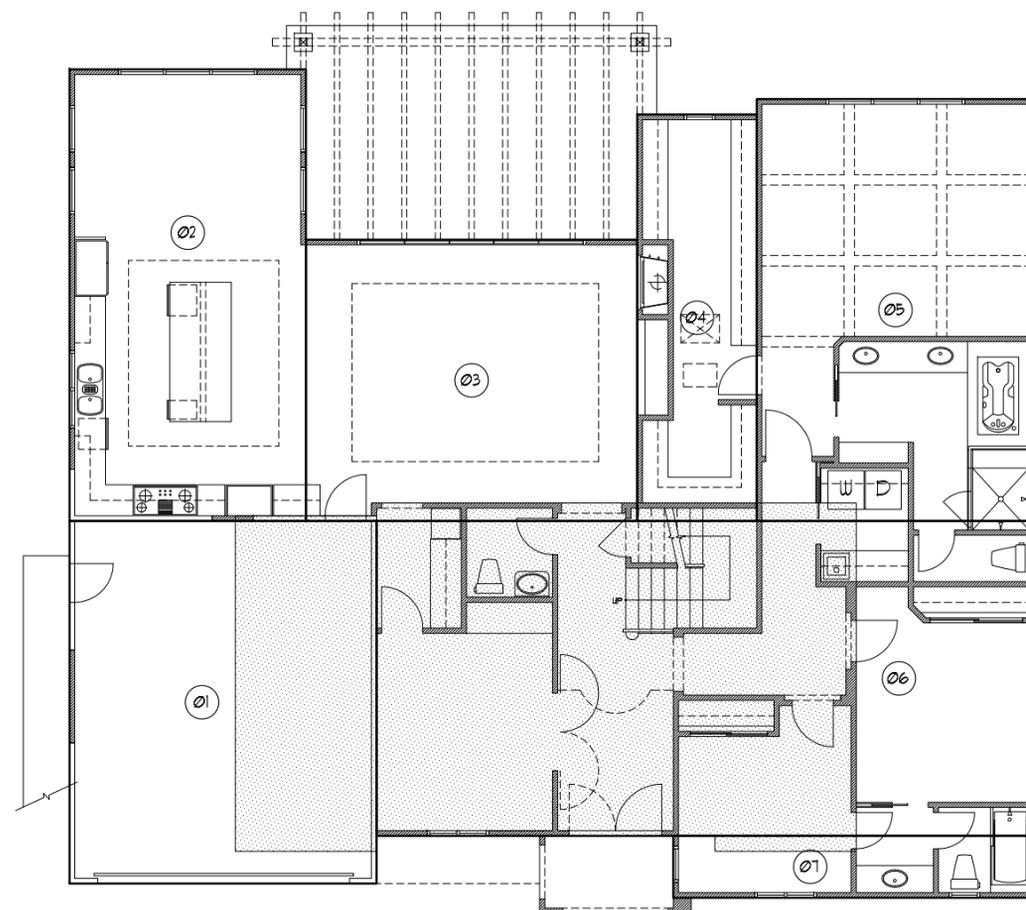
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Project:

**Remodeling & Addition**  
1675 Juarez Ave.  
Los Altos, CA 94024



**GARAGE FLOOR AREA:**

01	(19'-11" x 23'-5") =	466 SQ. FT.
TOTAL:		466 SQ. FT.

**FIRST FLOOR AREA:**

02	(15'-4" x 29'-2") =	441 SQ. FT.
03	(21'-6" x 18'-2") =	391 SQ. FT.
04	(7'-9" x 26'-3") =	203 SQ. FT.
05	(18'-0" x 27'-3") =	490 SQ. FT.
06	(42'-8" x 20'-4") =	868 SQ. FT.
07	(23'-5" x 4'-0") =	94 SQ. FT.
TOTAL:		2,493 SQ. FT.

**SECOND FLOOR AREA:**

08	(9'-2" x 1'-0") =	9 SQ. FT.
09	(10'-3" x 20'-8") =	212 SQ. FT.
10	(10'-8" x 21'-6") =	229 SQ. FT.
11	(7'-6" x 12'-1") =	91 SQ. FT.
12		5 SQ. FT.
13	(11'-10" x 21'-6") =	254 SQ. FT.
14	(9'-2" x 1'-0") =	9 SQ. FT.
TOTAL:		809 SQ. FT.

**Client Revisions**

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
5	Design Front Elevation	05/09/14
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8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

**City Revisions**

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Date: 03/27/14

Scale: 3/16"=1'-0"

Drawn By: NKF

Checked By: RN

Sheet Title:

**Floor Area  
Calculation  
Plan**

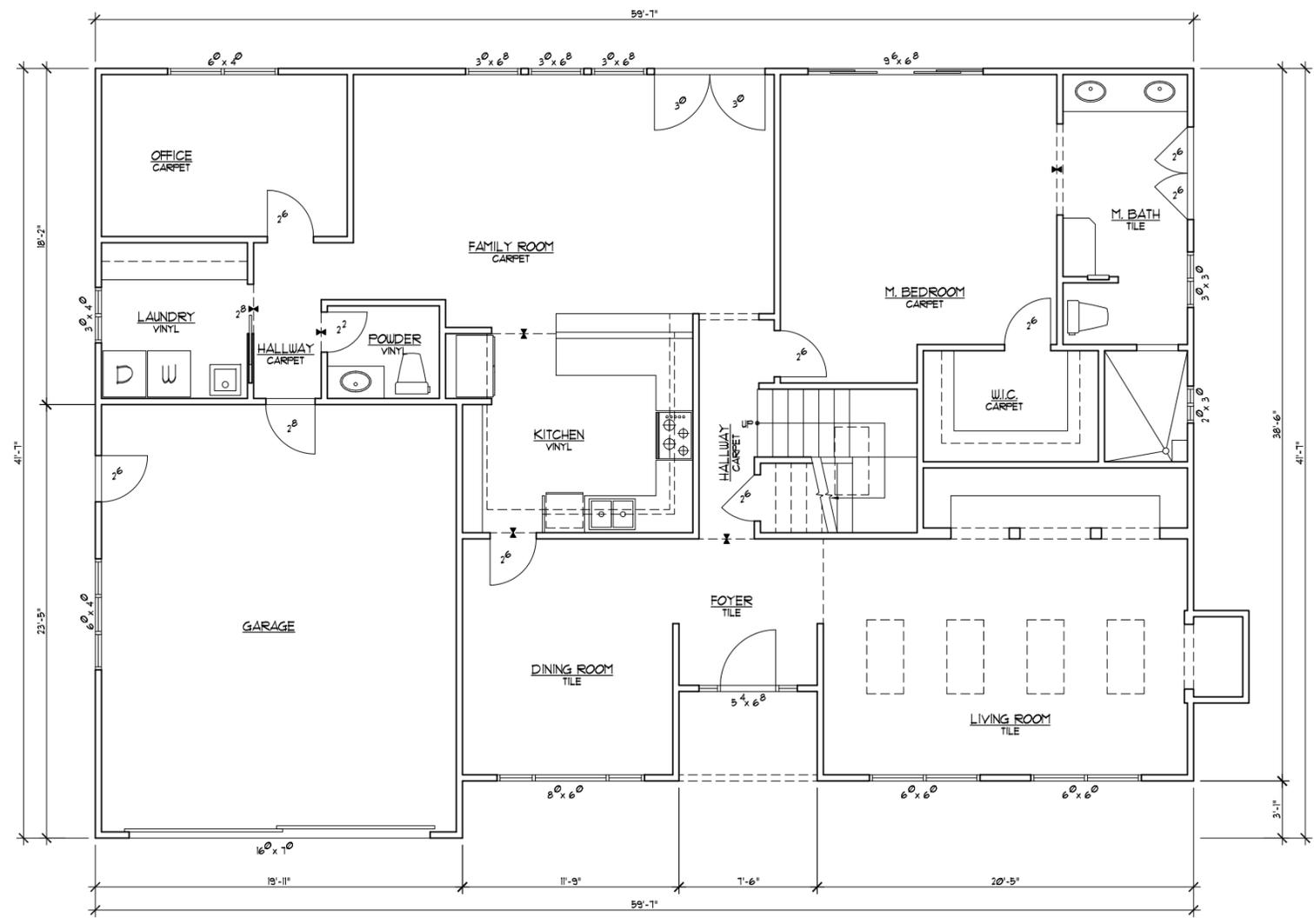
Sheet No.:

**A-3**

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Los Altos, CA 94024



Client Revisions

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
5	Design Front Elevation	05/09/14
6	Client Change-Front Elevation	05/13/14
7	Client Change-Front Elevation	05/22/14
8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

City Revisions

No.	Description	Date
1		
2		
3		
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6		
7		
8		

Date: 03/27/14

Scale: 1/4"=1'-0"

Drawn By: NKF

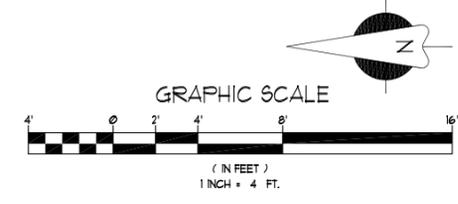
Checked By: RN

Sheet Title:  
**Existing  
First Floor  
Plan**

Sheet No.:

**A-4**

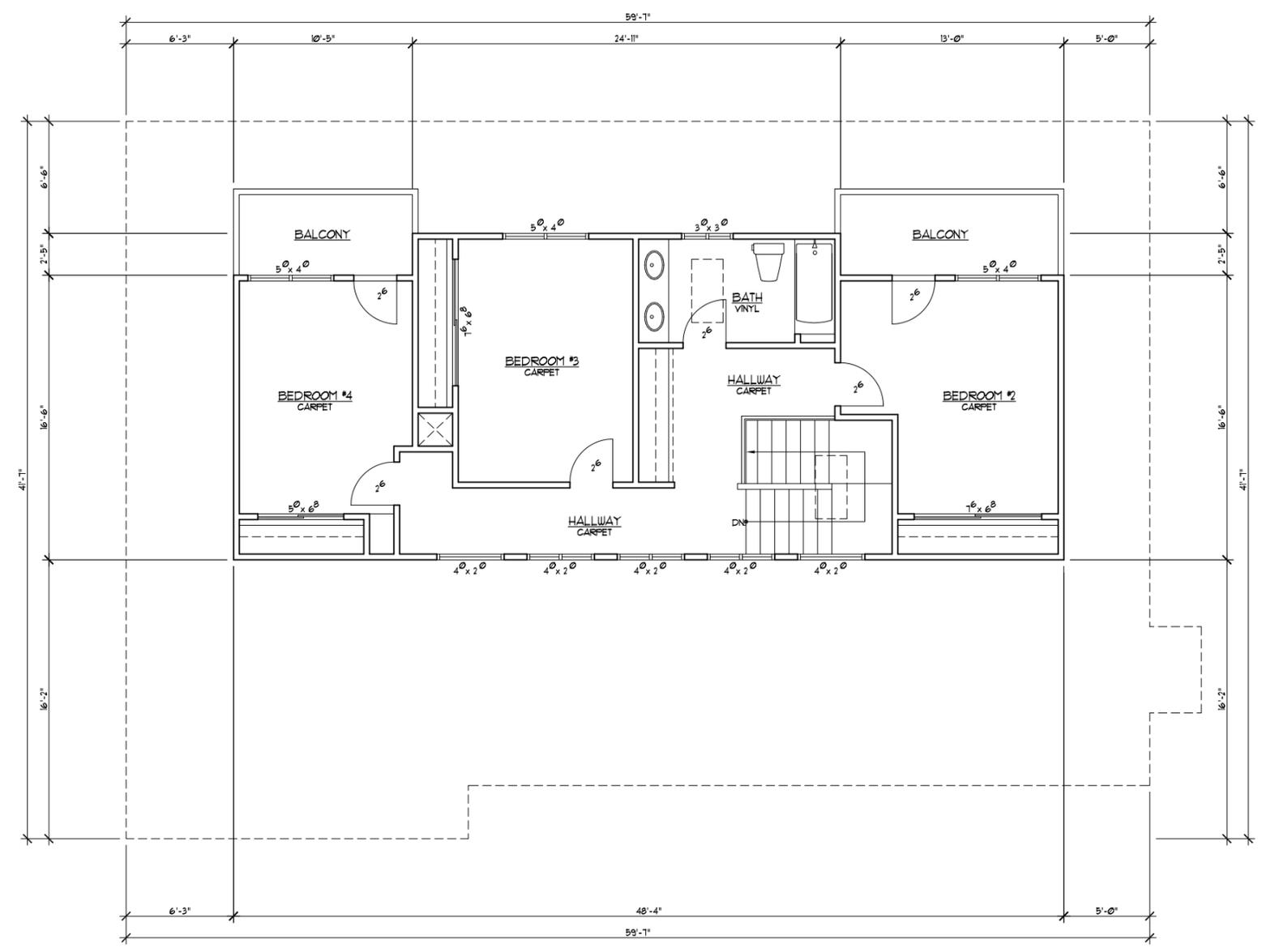
File: J:Juarez Ave\Planning\08-11-14 P S Job: Juarez Ave



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Los Altos, CA 94024



**Client Revisions**

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Clinet Change	04/25/14
4	Clinet Change	04/28/14
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9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

**City Revisions**

No.	Description	Date
1		
2		
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7		
8		

Date: 03/27/14

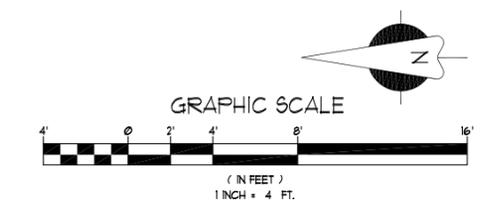
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Drawn By: NKF

Checked By: RN

Sheet Title:  
**Existing  
Second Floor  
Plan**

Sheet No.:  
**A-5**

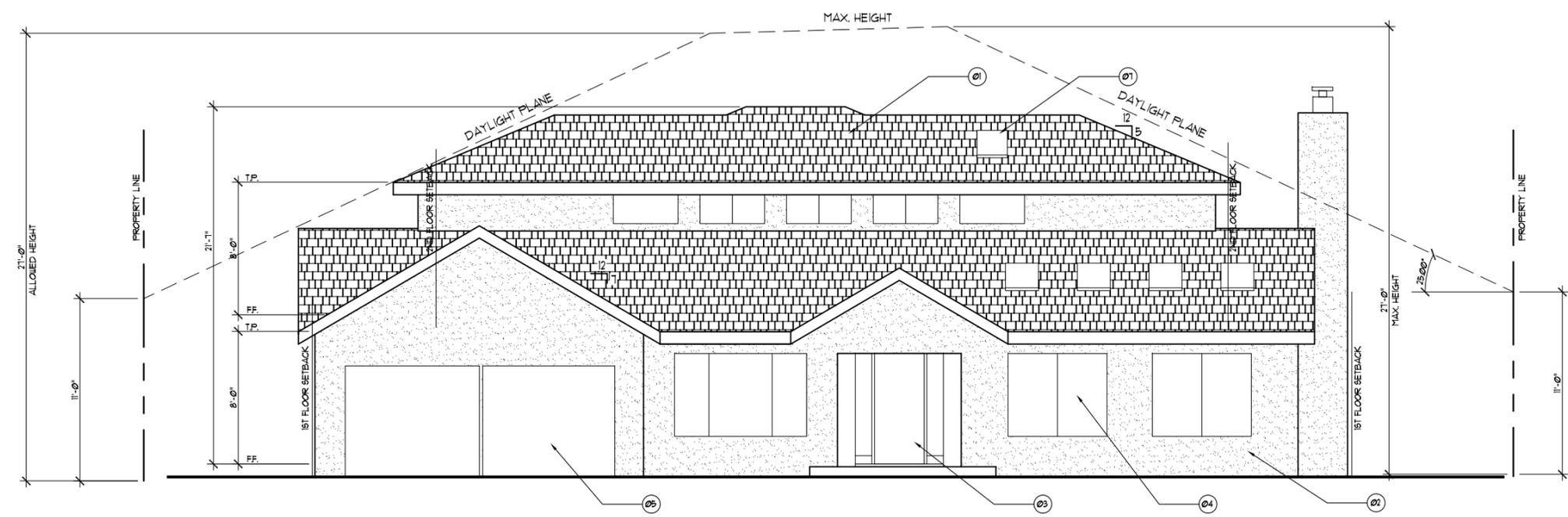


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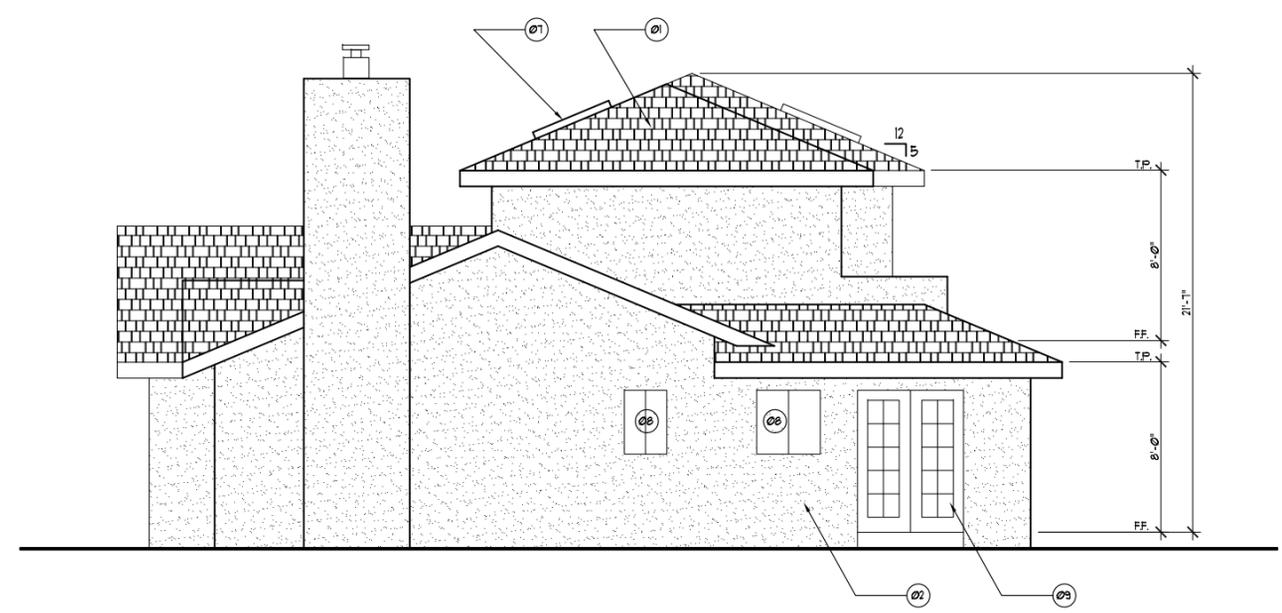
Client:  
**Mr. Todd Gotham & Ms. Kassie Porterfield**  
1675 Juarez Ave.  
Los Altos, CA 94024

Project:  
**Remodeling & Addition**  
1675 Juarez Ave.  
Los Altos, CA 94024

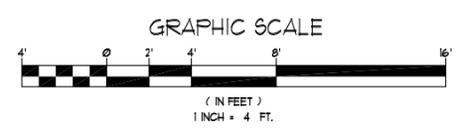
- KEY NOTES:**
- 01. WOOD SHINGLE ROOF
  - 02. STUCCO
  - 03. WOOD DOOR WITH SIDE LIGHT
  - 04. VINYLE WINDOW, TYP.
  - 05. OVERHEAD WOOD GARAGE DOOR
  - 06. PAINTED METAL GUTTER (2ND. FLOOR ROOF)
  - 07. METAL FRAME SKYLIGHT, TYP.
  - 08. SINGLE LAYER METAL WINDOW
  - 09. VINYLE DOOR, TYP.
  - 10. ELECTRICAL & GAS METERS.



FRONT ELEVATION



RIGHT ELEVATION



**Client Revisions**

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
5	Design Front Elevation	05/09/14
6	Client Change-Front Elevation	05/13/14
7	Client Change-Front Elevation	05/22/14
8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

**City Revisions**

No.	Description	Date
1		
2		
3		
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6		
7		
8		

Date: 03/27/14

Scale: 1/4"=1'-0"

Drawn By: NKF

Checked By: RN

Sheet Title:

*Existing Exterior Elevations*

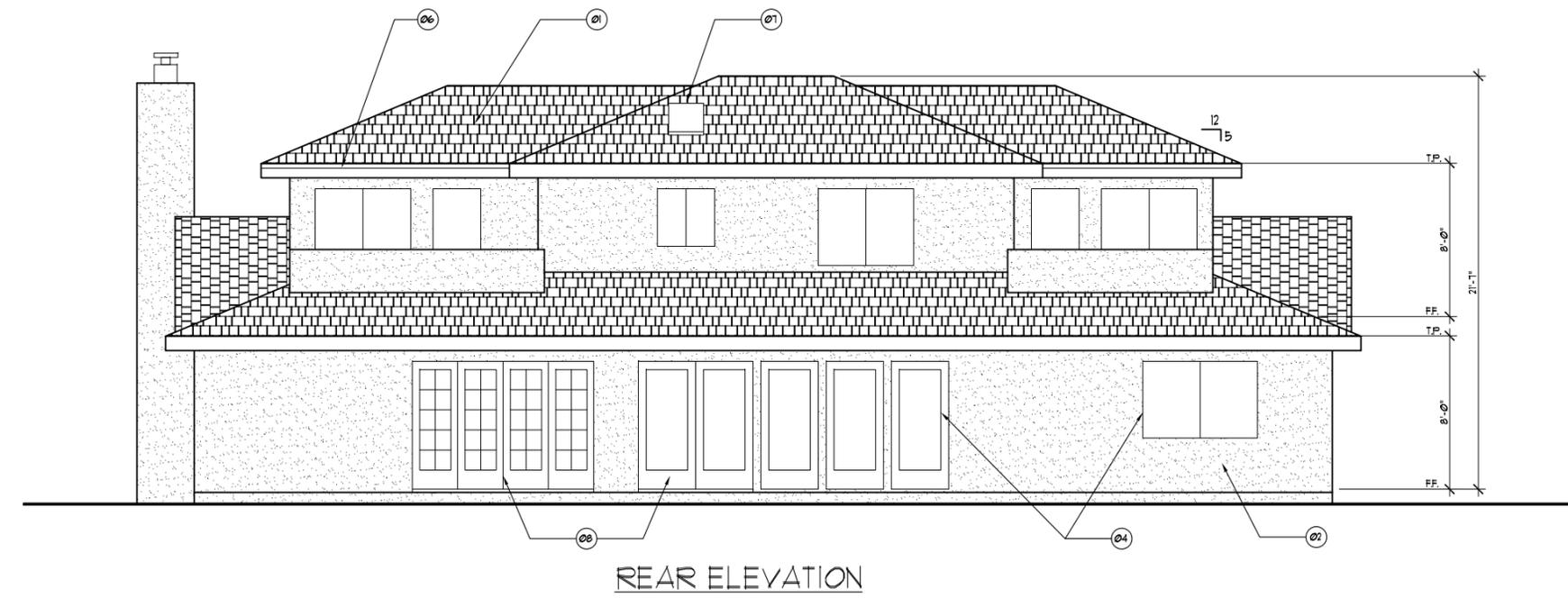
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**A-6**

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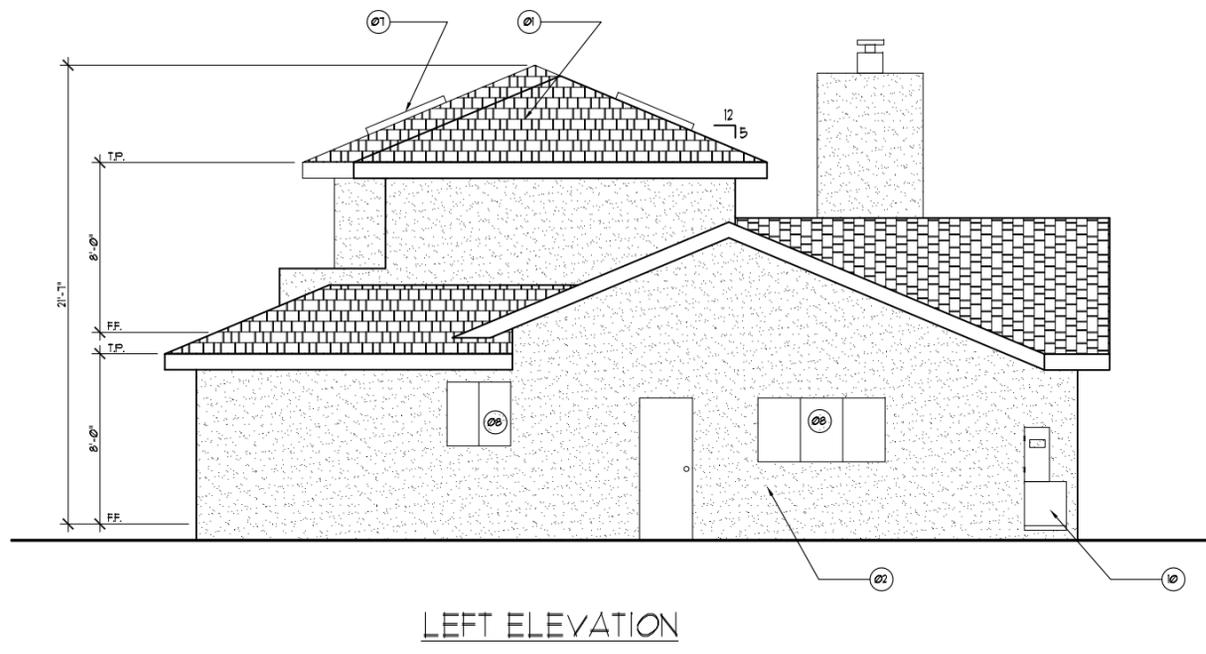
Client:  
**Mr. Todd Gotham &  
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1675 Juarez Ave.  
Los Altos, CA 94024

Project:  
**Remodeling & Addition**  
1675 Juarez Ave.  
Los Altos, CA 94024



- KEY NOTES:**
- 01. WOOD SHINGLE ROOF
  - 02. STUCCO
  - 03. WOOD DOOR WITH SIDE LIGHT
  - 04. VINYLE WINDOW, TYP.
  - 05. OVERHEAD WOOD GARAGE DOOR
  - 06. PAINTED METAL GUTTER (2ND. FLOOR ROOF)
  - 07. METAL FRAME SKYLIGHT, TYP.
  - 08. SINGLE LAYER METAL WINDOW
  - 09. VINYLE DOOR, TYP.
  - 10. ELECTRICAL & GAS METERS.

**REAR ELEVATION**



**LEFT ELEVATION**

**Client Revisions**

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
4	Client Change	04/28/14
5	Design Front Elevation	05/09/14
6	Client Change-Front Elevation	05/13/14
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8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

**City Revisions**

No.	Description	Date
1		
2		
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5		
6		
7		
8		

Date: 03/27/14

Scale: 1/4"=1'-0"

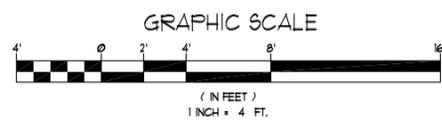
Drawn By: NKF

Checked By: RN

Sheet Title:  
**Existing  
Exterior  
Elevations**

Sheet No.:

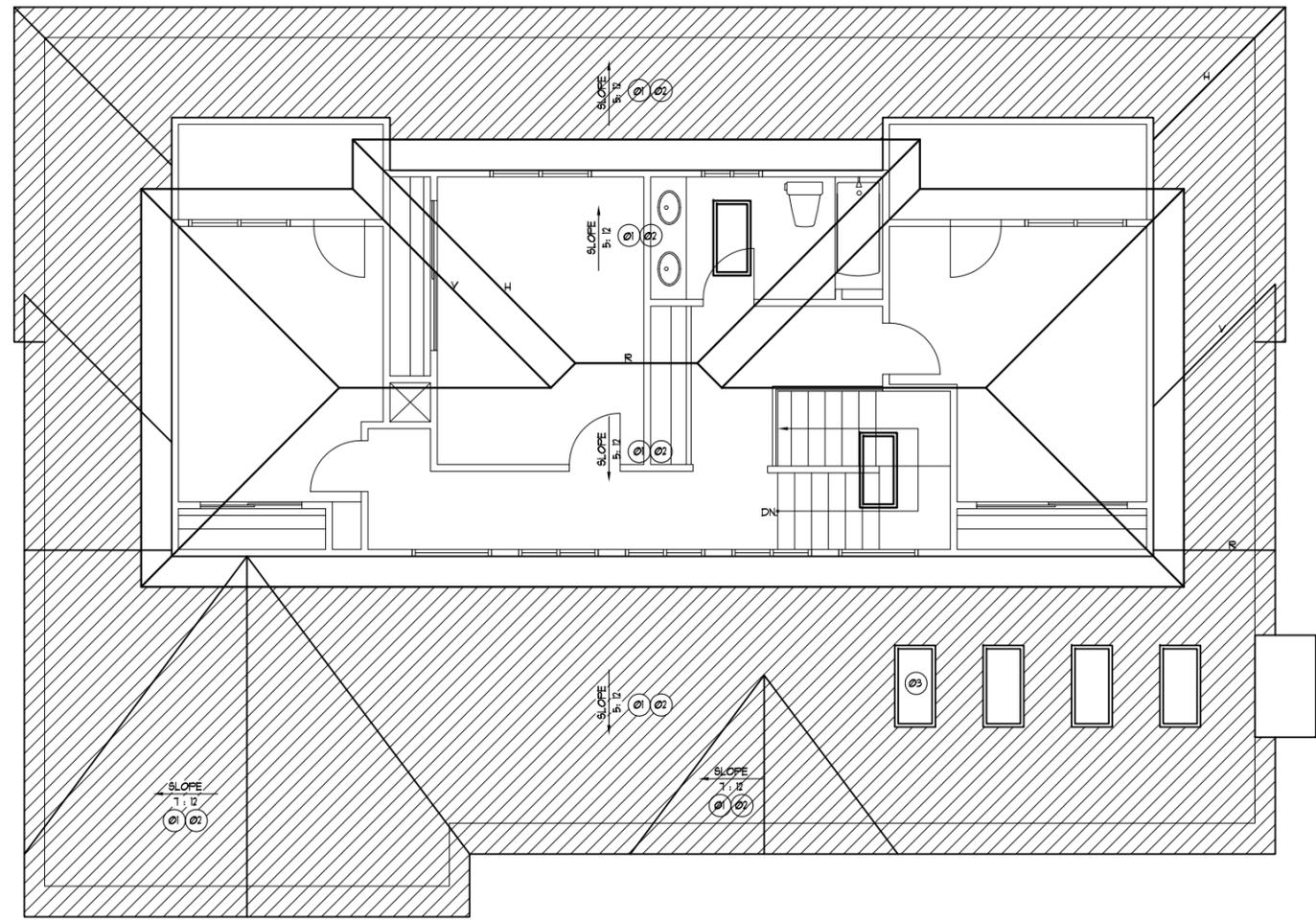
**A-7**



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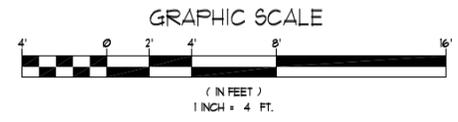
EXISTING ROOF PLAN

**KEY NOTES:**

- 01. ROOF SLOPES :
- 02. ROOF MATERIAL: WOOD TILE SHINGLES
- SLOPED ROOF:  $\frac{12}{5}$   $\frac{12}{4}$   $\frac{12}{12}$
- 03. EXISTING SKYLIGHT
- 04.
- 05.
- 06.
- 07.
- 08.
- 09.

**LEGEND:**

- H HIP
- R RIDGE
- V VALLEY
- LOWER ROOF
- UPPER ROOF



**Client Revisions**

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Clinet Change	04/25/14
4	Clinet Change	04/28/14
5	Design Front Elevation	05/09/14
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11	Client Change - Ceiling Height	06/14/14
12		

**City Revisions**

No.	Description	Date
1		
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4		
5		
6		
7		
8		

Date: 03/27/14

Scale: 1/4"=1'-0"

Drawn By: NKF

Checked By: RN

Sheet Title:

*Existing  
Roof  
Plan*

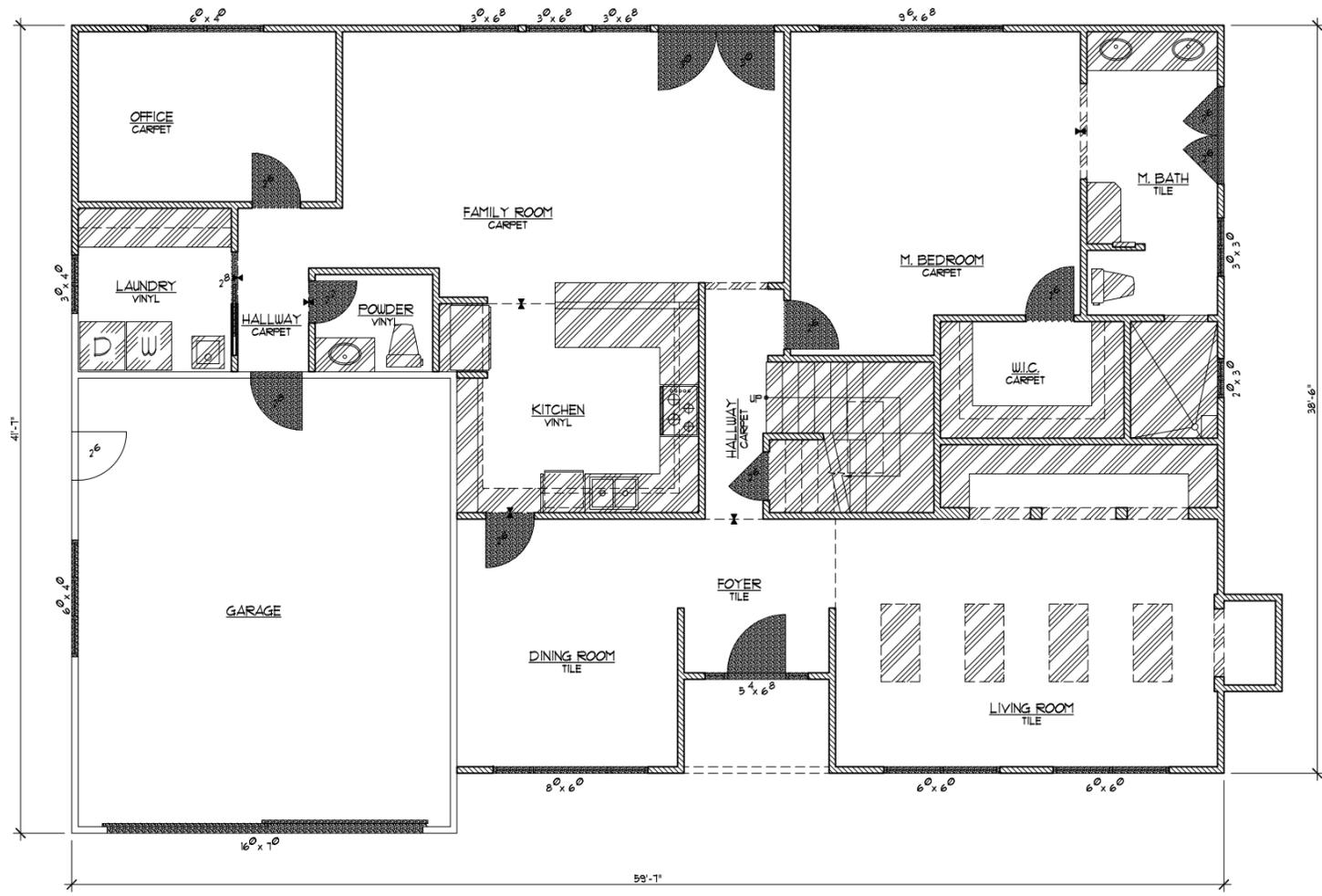
Sheet No.:

**A-8**

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Los Altos, CA 94024

Project:  
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Los Altos, CA 94024



**LEGEND:**

- EXISTING WALLS TO REMAIN:
- EXISTING WALLS TO BE REMOVED:
- EXISTING WINDOW TO BE REMOVED:
- EXISTING DOOR TO BE REMOVED:
- EXISTING MISC. TO BE REMOVED:

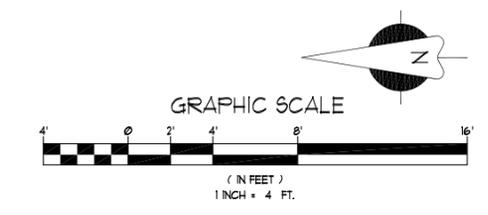
Client Revisions		
No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Clinet Change	04/25/14
4	Clinet Change	04/28/14
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8	Client Change-Front Elevation	05/23/14
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11	Client Change - Ceiling Height	06/14/14
12		

City Revisions		
No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Date: 03/27/14  
Scale: 1/4"=1'-0"  
Drawn By: NKF  
Checked By: RN

Sheet Title:  
**Demo  
First Floor  
Plan**

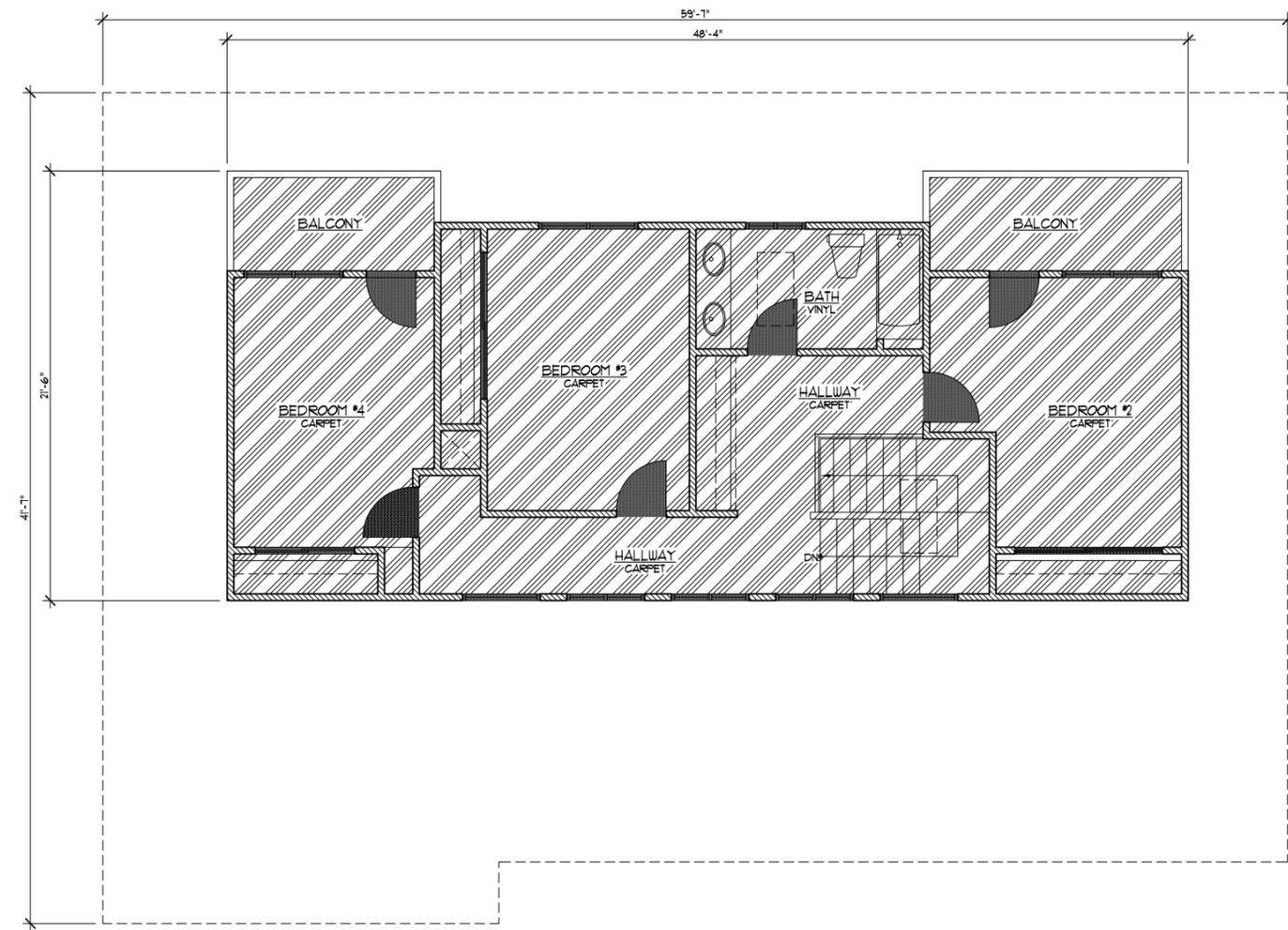
Sheet No.:  
**A-9**



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Los Altos, CA 94024



- LEGEND:**
- EXISTING WALLS TO REMAIN:
  - EXISTING WALLS TO BE REMOVED:
  - EXISTING WINDOW TO BE REMOVED:
  - EXISTING DOOR TO BE REMOVED:
  - EXISTING MISC. TO BE REMOVED:

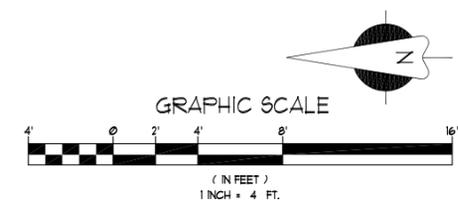
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No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Clinet Change	04/25/14
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9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

City Revisions		
No.	Description	Date
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Date: 03/27/14  
Scale: 1/4"=1'-0"  
Drawn By: NKF  
Checked By: RN

Sheet Title:  
**Demo  
Second Floor  
Plan**

Sheet No.:  
**A-10**



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Client:  
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Ms. Kassie Porterfield**  
1675 Juarez Ave.  
Los Altos, CA 94024

Project:  
**Remodeling & Addition**  
1675 Juarez Ave.  
Los Altos, CA 94024

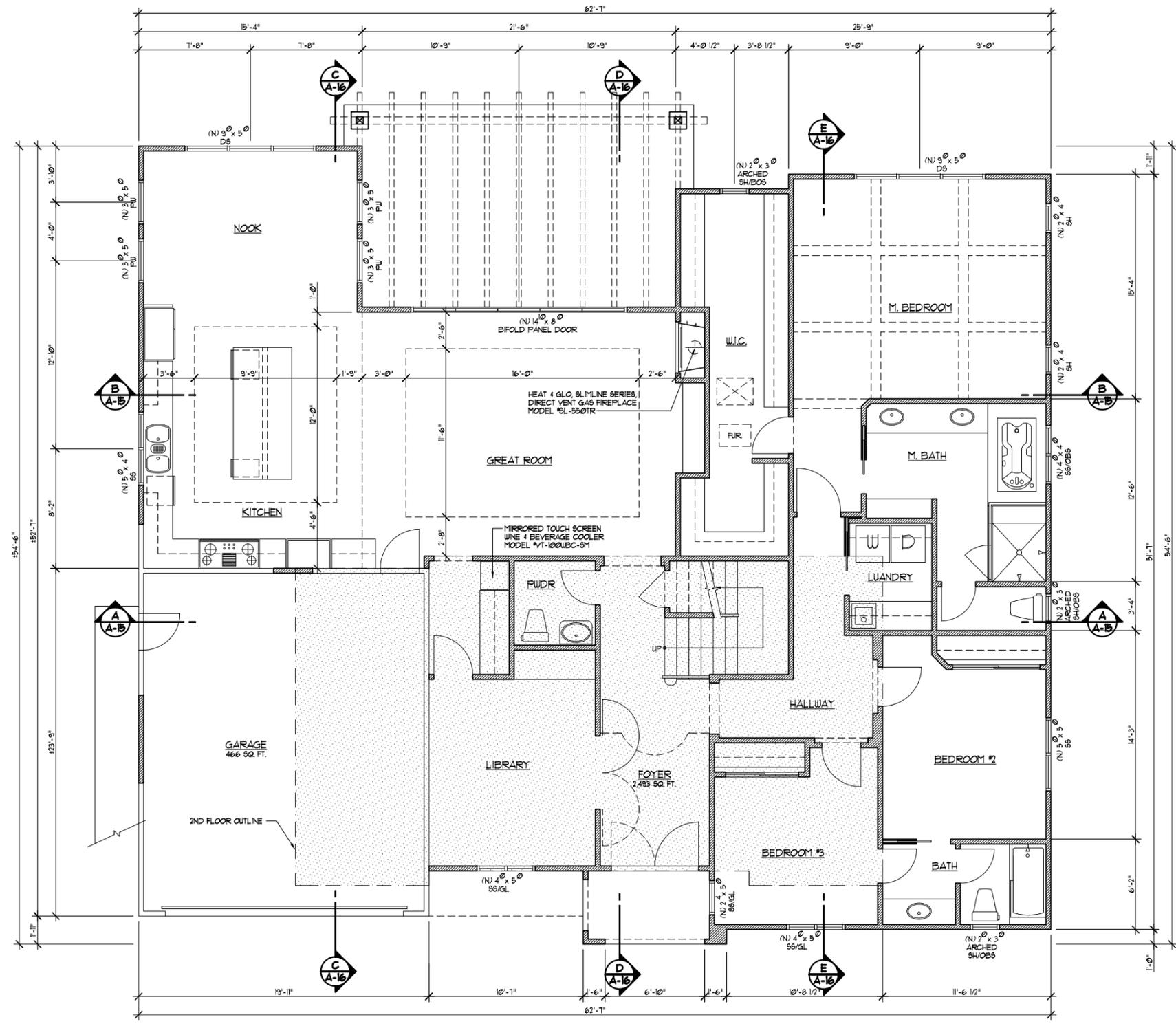
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10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12	Client Change - Closets & Ceiling	06/26/14

City Revisions		
No.	Description	Date
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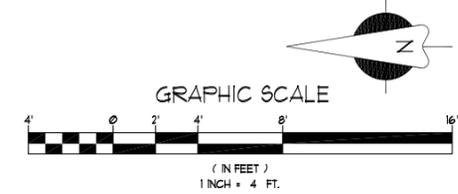
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Scale: 1/4"=1'-0"  
Drawn By: NKF  
Checked By: RN

Sheet Title:  
**New  
First Floor  
Plan**

Sheet No.:  
**A-11**



**LEGEND:**  
EXISTING WALLS TO REMAIN:   
NEW WALLS: 



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Client Revisions		
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11	Client Change - Ceiling Height	06/14/14
12	Client Change - Closets & Ceiling	06/26/14

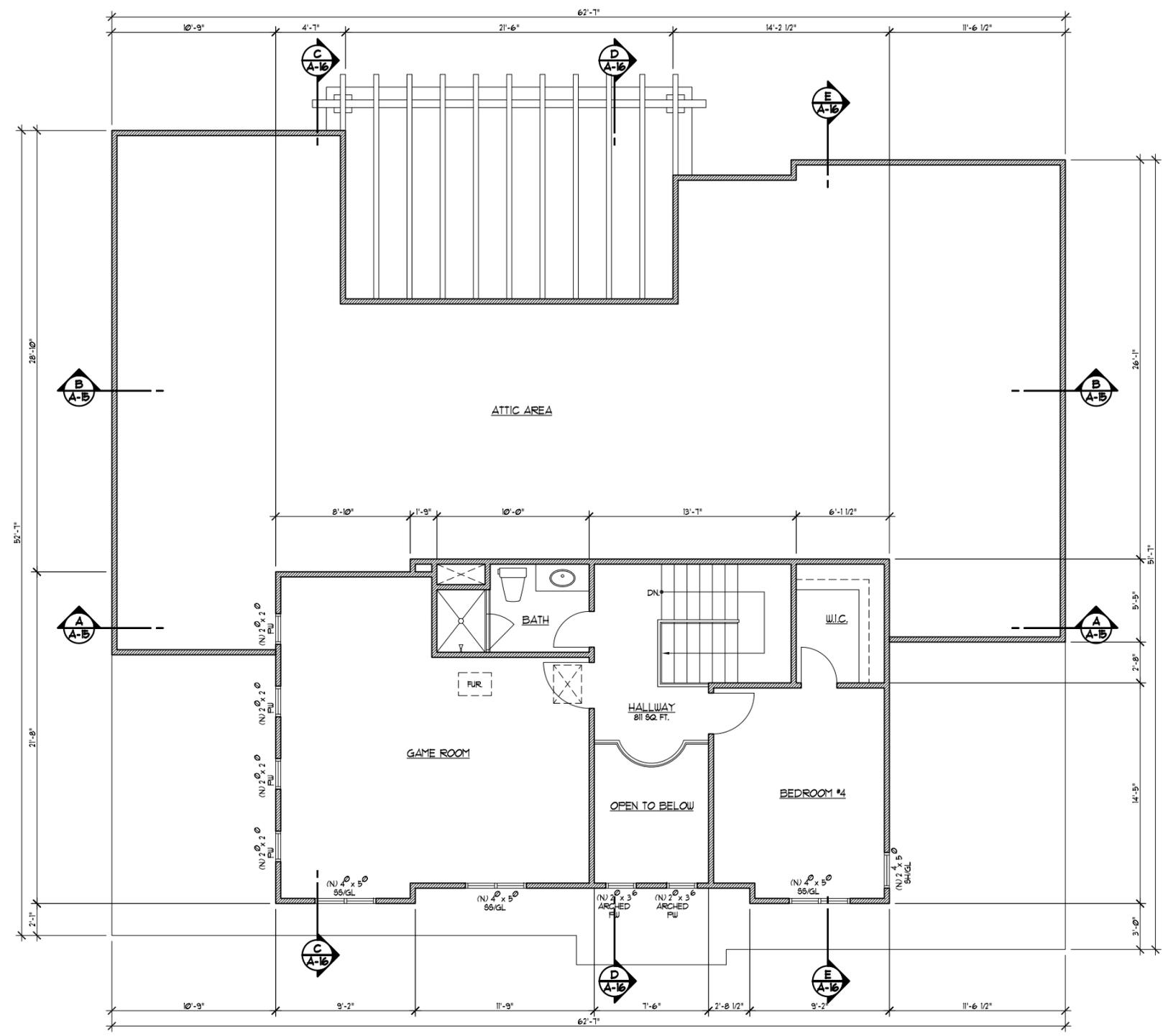
City Revisions		
No.	Description	Date
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Date:	03/27/14
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Drawn By:	NKF
Checked By:	RN

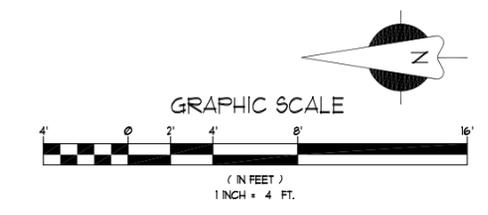
Sheet Title:  
**New  
Second Floor  
Plan**

Sheet No.:  
**A-12**

File: J:Juarez Ave/Planning/06-14-14 Job: Juarez Ave



LEGEND:  
NEW WALLS:



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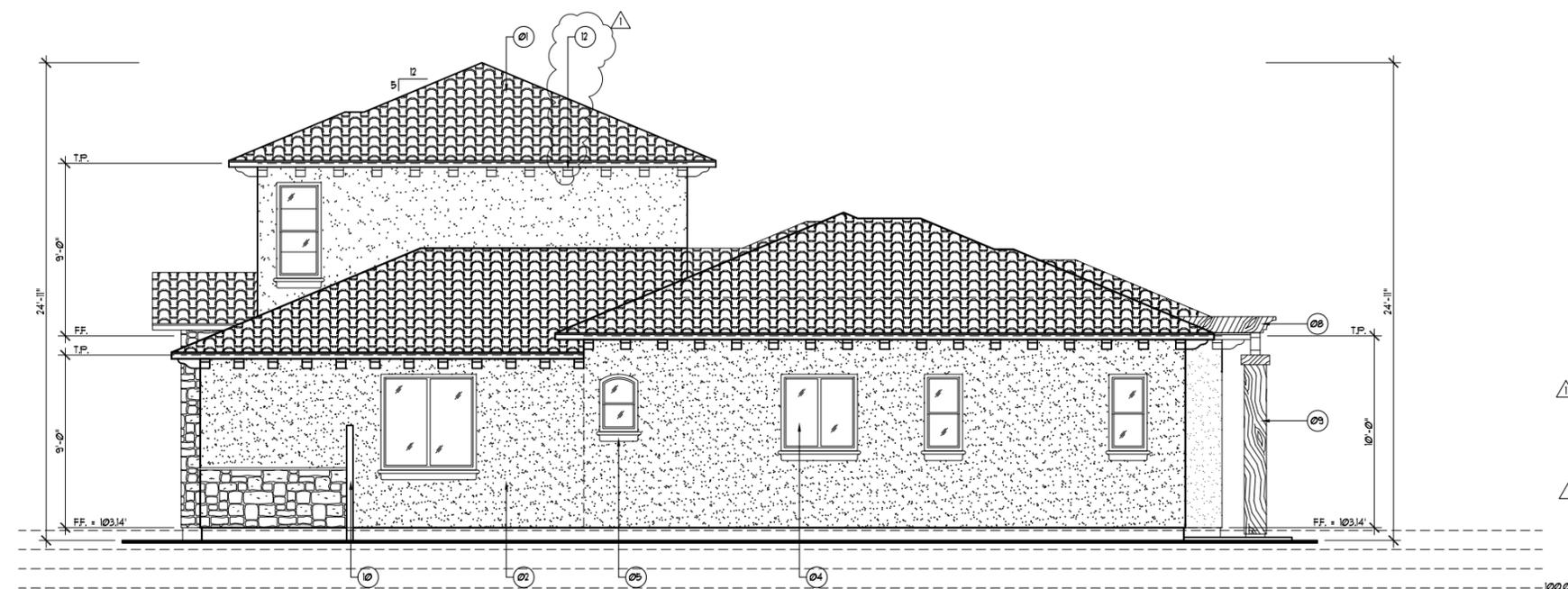
Project:  
**Remodeling & Addition**  
1675 Juarez Ave.  
Los Altos, CA 94024



FRONT ELEVATION

**COLOR & MATERIAL SPECIFICATION:**

- ROOF MATERIAL: CONCRETE TILE ROOF CLASS "A" 'EAGLE ROOFING PRODUCT' CAPISTRANO SMC 8401 - SAN MIGUEL BLEND
- STUCCO: 'KELLY-MOORE PAINT' KM5704 BLUFF STONE
- STONE VENEER: 'NATURAL STONE VENEER INT.' TUSCAN COLLECTION - SYDNEY
- TRIM, DOWNSPOT, GUTTER, GARAGE DOOR, CORBELS: CHOCOLATE MATCH WINDOW COLOR
- WINDOWS: 'MILGARD - STYLE LINE SERIES' CHOCOLATE



RIGHT ELEVATION

**KEY NOTES:**

- 01. CONCRETE TILE ROOF, CLASS "A", SEE ROOF PLAN.
- 02. STUCCO, (SMOOTH FINISH)
- 03. WOOD ENTRY DOOR
- 04. VINYL WINDOW
- 05. PVC WINDOW TRIM
- 06. OVERLEAD STEEL GARAGE DOOR
- 07. STONE VENEER
- 08. WOOD TRELLIS
- 09. WOOD COLUMN
- 10. 6' HIGH WOOD FENCE
- 11. WOOD GATE
- 12. PVC BAYE CORBEL

**Client Revisions**

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
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8	Client Change-Front Elevation	05/23/14
9	Client Change-Front Elevation	05/26/14
10	Client Change - Windows & Door	06/05/14
11	Client Change - Ceiling Height	06/14/14
12		

**City Revisions**

No.	Description	Date
1	Planning Comments	11/17/14
2		
3		
4		
5		
6		
7		
8		

Date: 03/27/14

Scale: 1/4"=1'-0"

Drawn By: NKF

Checked By: RN

Sheet Title:

*New Exterior Elevations*

Sheet No.:

**A-13**

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Client:

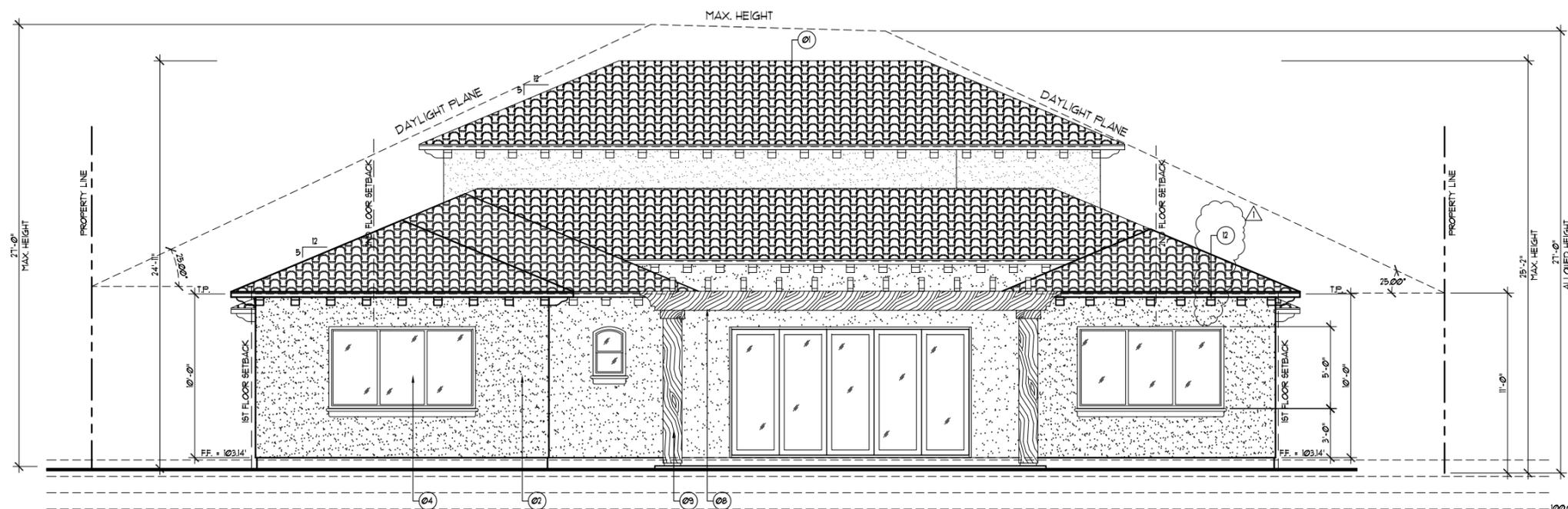
**Mr. Todd Gotham &  
Ms. Kassie Porterfield**

1675 Juarez Ave.  
Los Altos, CA 94024

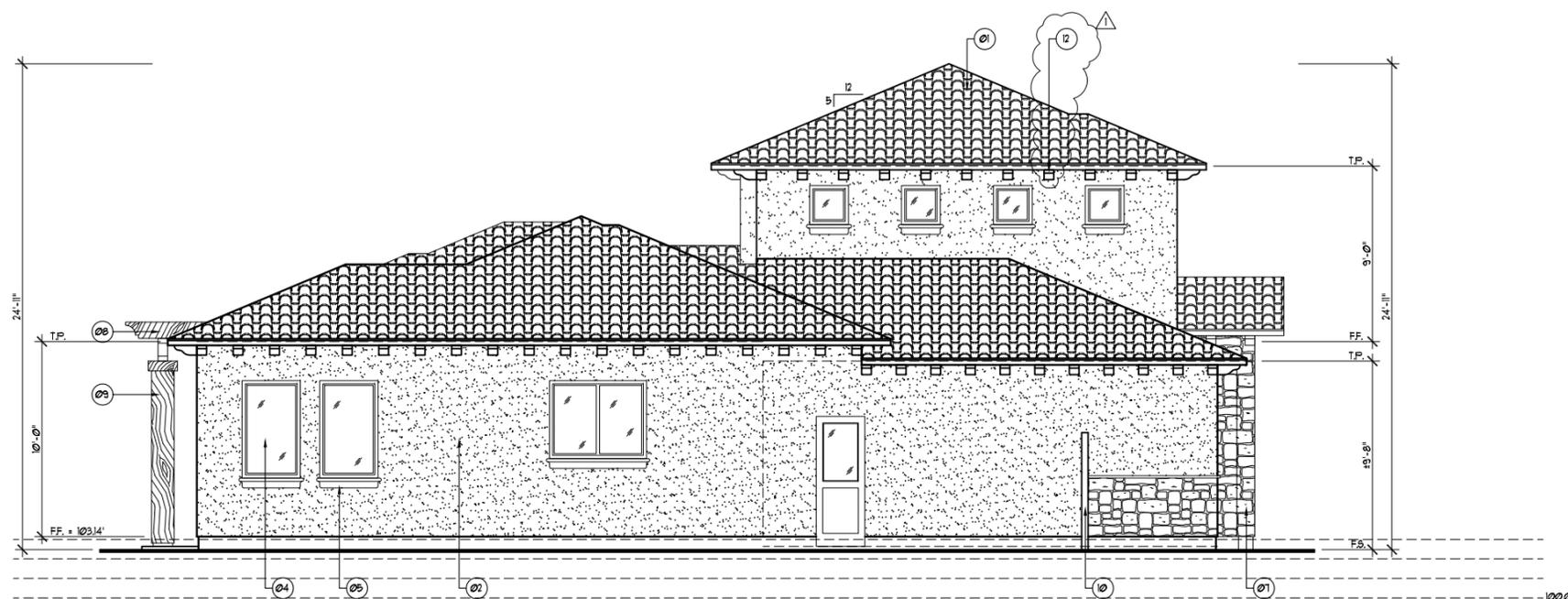
Project:

**Remodeling & Addition**

1675 Juarez Ave.  
Los Altos, CA 94024



REAR ELEVATION



LEFT ELEVATION

**COLOR & MATERIAL SPECIFICATION:**

ROOF MATERIAL: CONCRETE TILE ROOF  
CLASS "A"  
"EAGLE ROOFING PRODUCT"  
CAPISTRANO  
SMC 8401 - SAN MIGUEL BLEND

STUCCO: "KELLY-MOORE PAINT"  
KM5704 BLUFF STONE

STONE VENEER: "NATURAL STONE VENEER INT."  
TUSCAN COLLECTION - SYDNEY

TRIM, DOWNSPOT, GUTTER,  
GARAGE DOOR, CORBELS: CHOCOLATE  
MATCH WINDOW COLOR

WINDOWS: "MILGARD - STYLE LINE SERIES"  
CHOCOLATE

**KEY NOTES:**

- 01. CONCRETE TILE ROOF, CLASS "A", SEE ROOF PLAN.
- 02. STUCCO, (SMOOTH FINISH)
- 03. WOOD ENTRY DOOR
- 04. VINYL WINDOW
- 05. PVC WINDOW TRIM
- 06. OVERHEAD STEEL GARAGE DOOR
- 07. STONE VENEER
- 08. WOOD TRELLIS
- 09. WOOD COLUMN
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**Client Revisions**

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11	Client Change - Ceiling Height	06/14/14
12		

**City Revisions**

No.	Description	Date
1	Planning Comments	11/17/14
2		
3		
4		
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Date: 03/27/14

Scale: 1/4"=1'-0"

Drawn By: NKF

Checked By: RN

Sheet Title:

*New  
Exterior  
Elevations*

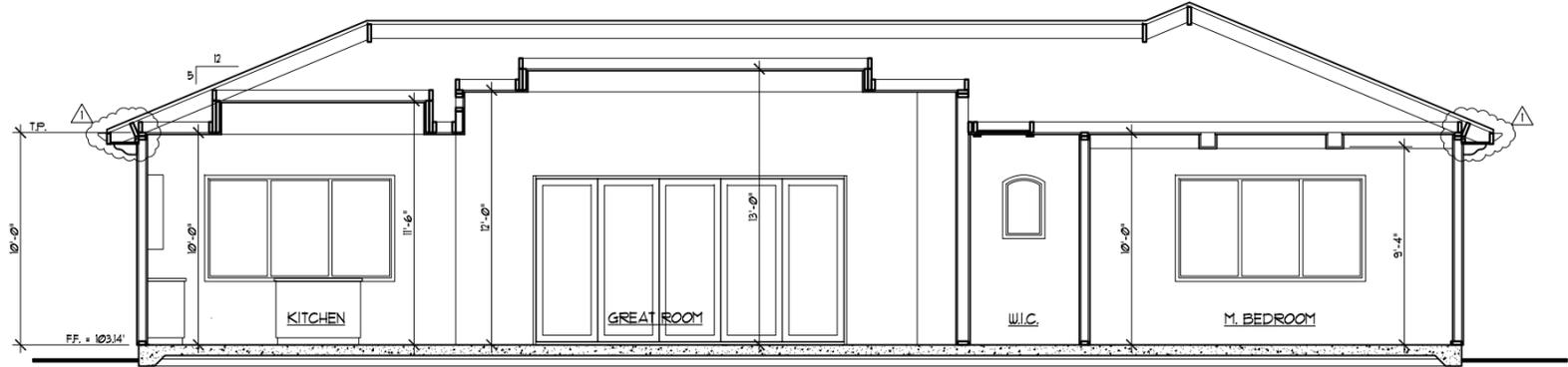
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**A-14**

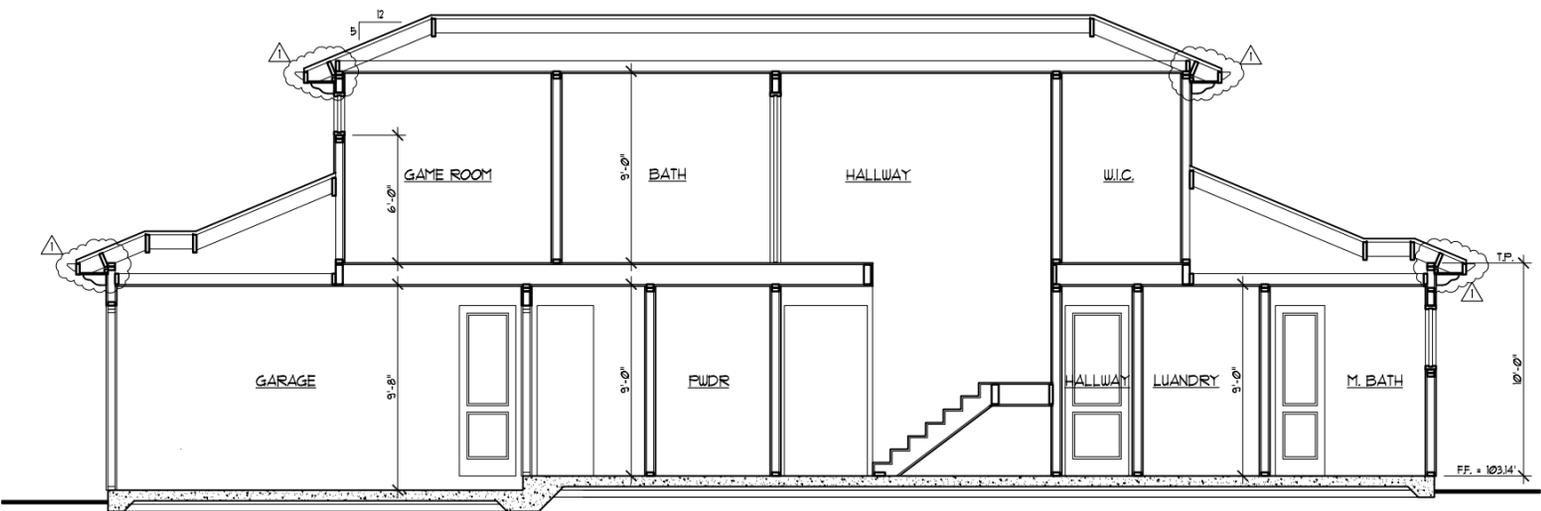
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1675 Juarez Ave.  
Los Altos, CA 94024



SECTION B-B



SECTION A-A

Client Revisions

No.	Description	Date
1	Draw the Existing Plans	03/27/14
2	New Design	04/22/14
3	Client Change	04/25/14
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12		

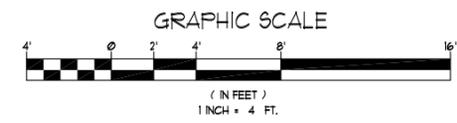
City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
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8		

Date: 03/27/14  
Scale: 1/4"=1'-0"  
Drawn By: NKF  
Checked By: RN

Sheet Title:  
**New Building Sections**

Sheet No.:  
**A-15**



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Client Revisions

No.	Description	Date
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City Revisions

No.	Description	Date
1	Planning Comments	11/17/14
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Date: 03/27/14

Scale: 1/4"=1'-0"

Drawn By: NKF

Checked By: RN

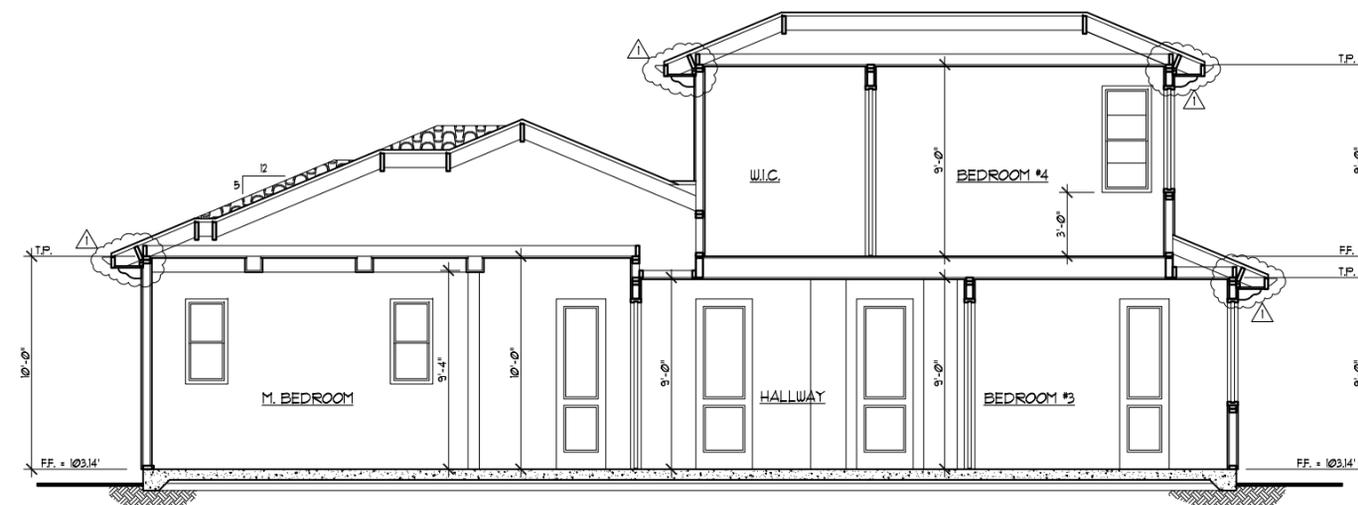
Sheet Title:

*New  
Building  
Sections*

Sheet No.:

**A-16**

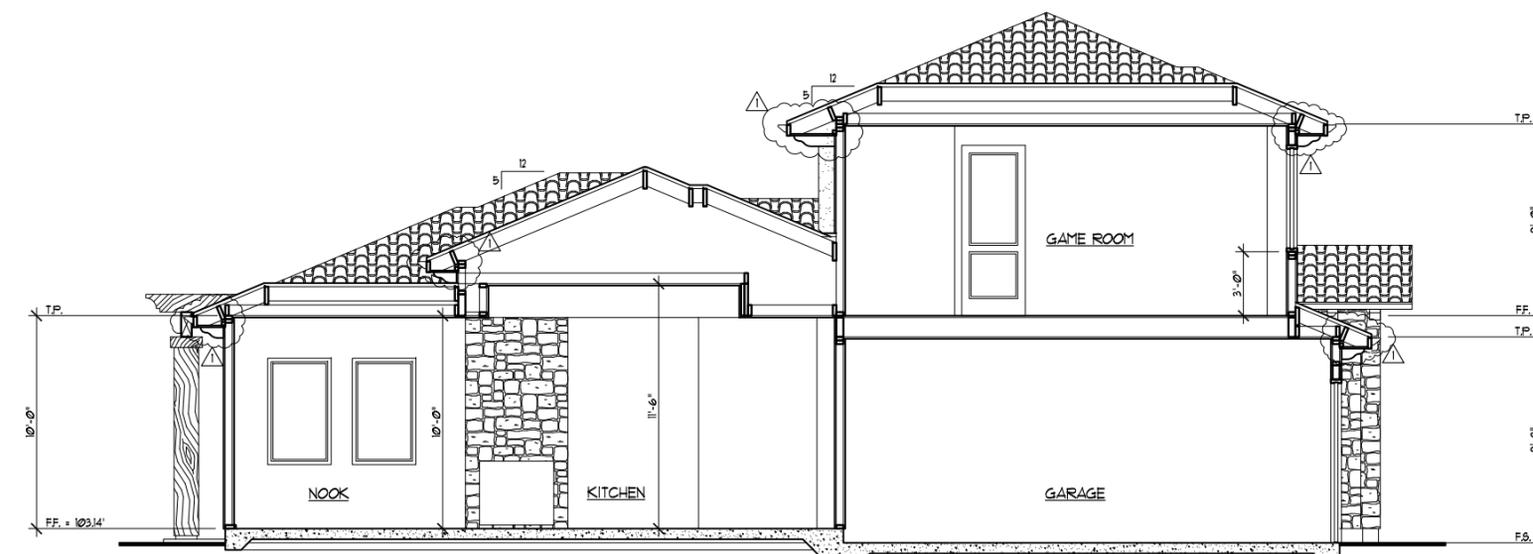
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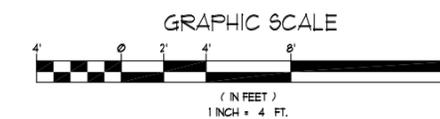
SECTION E-E

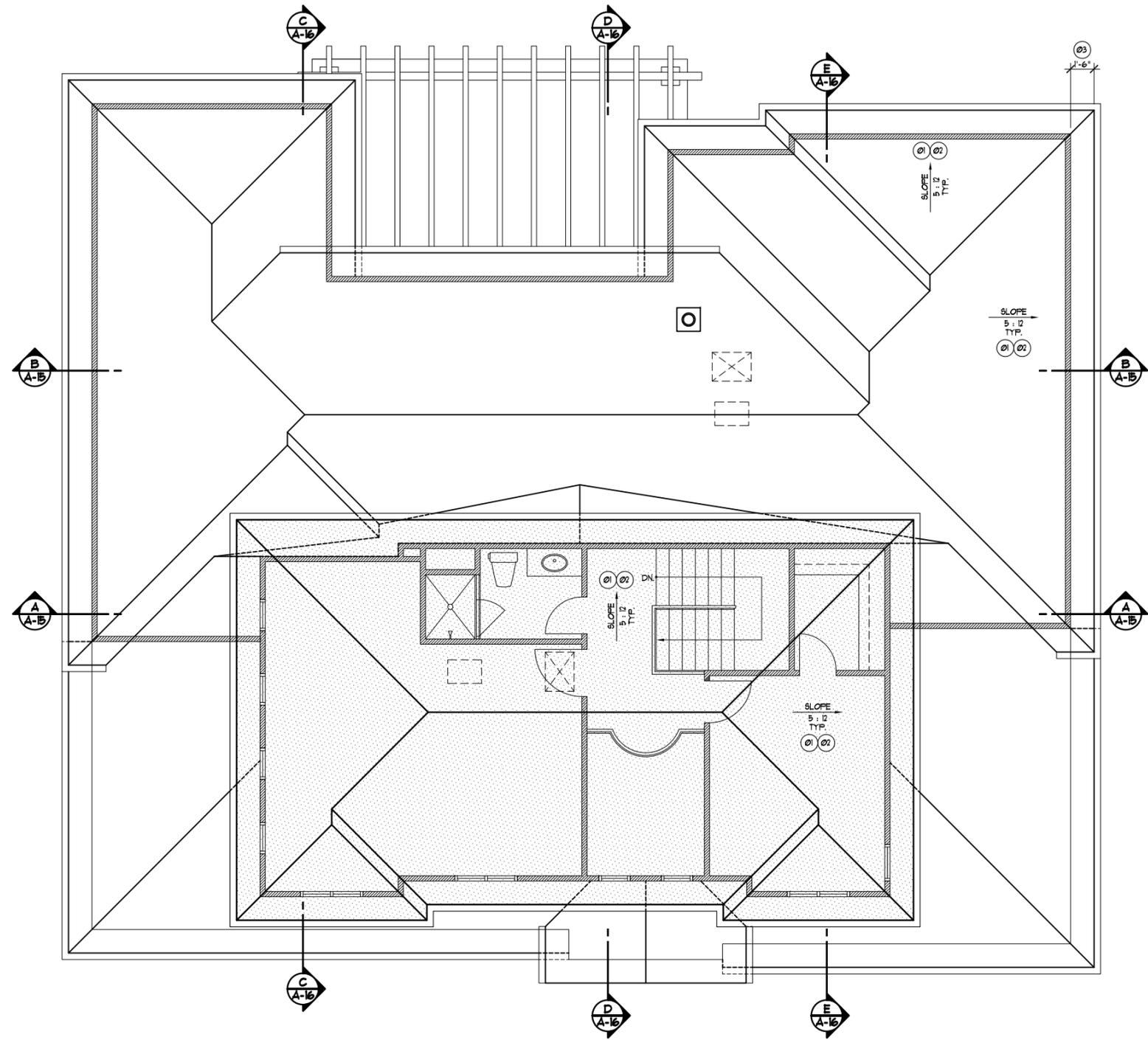


SECTION D-D



SECTION C-C





**KEY NOTES:**

- 01. ROOF SLOPES :
- 02. ROOF MATERIAL:  
SLOPED ROOF: EAGLE ROOFING PRODUCT  
CAPSTRANO SMC 8401 - SAN MIGUEL BLEND
- 03. ALL EAVES AND RAKES SHALL BE 18" O.H.
- 04. PROVIDE 26 GA. G.I. VALLEY FLASHING AT ALL ROOF VALLEYS. (PAINT TO MATCH THE ROOF COLOR)
- 05. ROOF OVERHANG
- 06. OUTLINE OF STRUCTURE
- 07. 16" SUNTUNNEL SKYLIGHT
- 08. 5" PAINTED METAL GUTTER
- 09. 3" x 3" PAINTED METAL DOWN SPOUT

**LEGEND:**

- H HIP
- R RIDGE
- V VALLEY
- [Hatched Box] 2ND FLOOR ROOF

2105 S. Bascom Ave., Suite #260  
Campbell, CA 95008  
Tel: (408) 559-8037  
www.memarie.com

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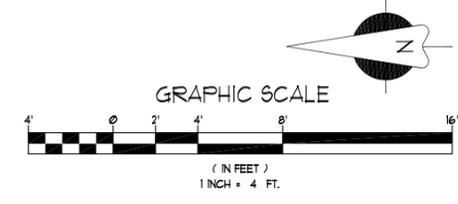
**City Revisions**

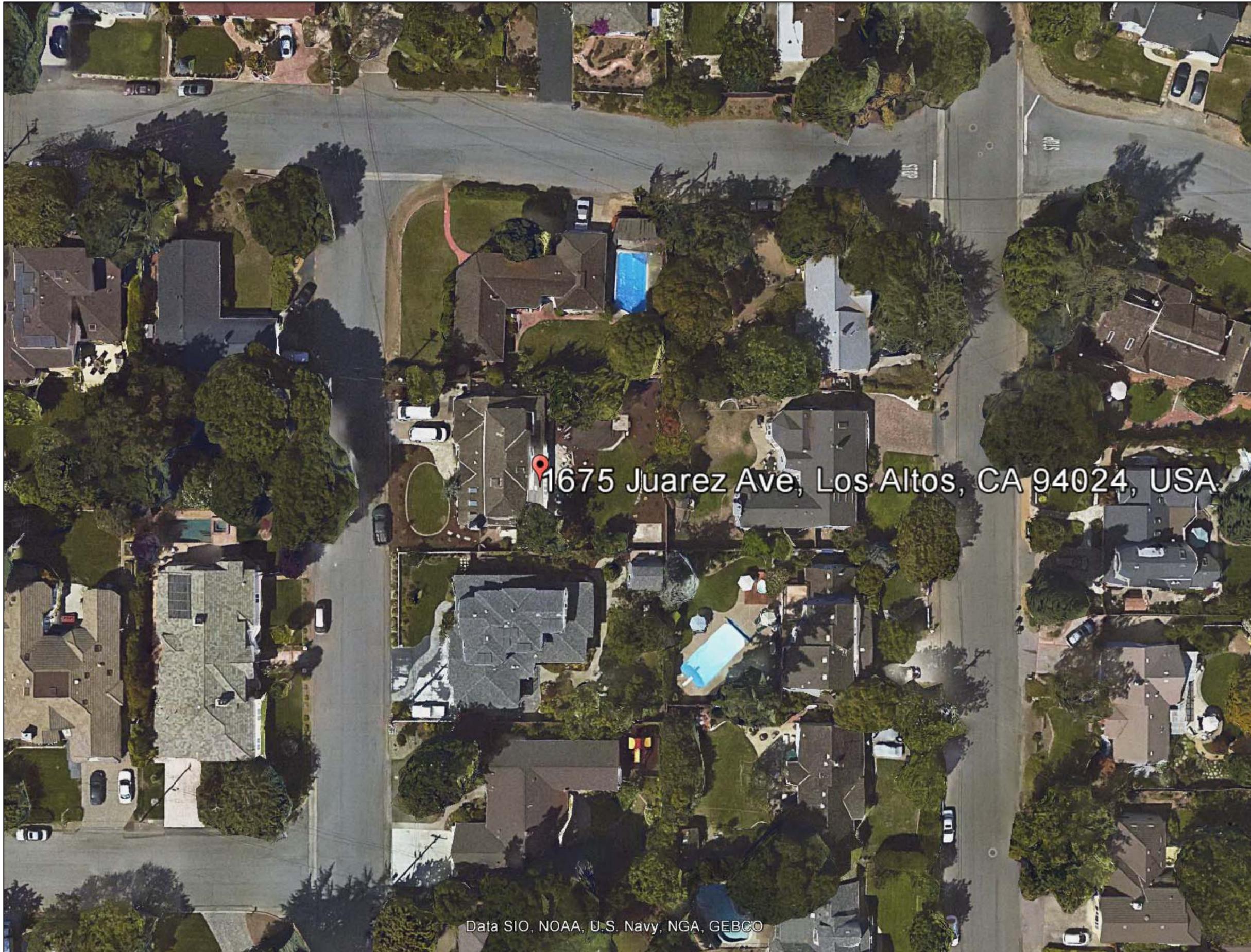
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Date: 03/27/14  
Scale: 1/4"=1'-0"  
Drawn By: NKF  
Checked By: RN

Sheet Title:  
**New  
Roof  
Plan**

Sheet No.:  
**A-17**





Data SIO, NOAA, U.S. Navy, NGA, GEBCO



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City Revisions		
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7		
8		

Date: 03/27/14

Scale: N.T.S.

Drawn By: NKF

Checked By: RN

Sheet Title:  
**Neighborhood  
Context  
Map**

Sheet No.:  
**A-**