

LIANG-LEW RESIDENCE

NEW SINGLE FAMILY RESIDENCE



643 MILVERTON ROAD, LOS ALTOS, CA



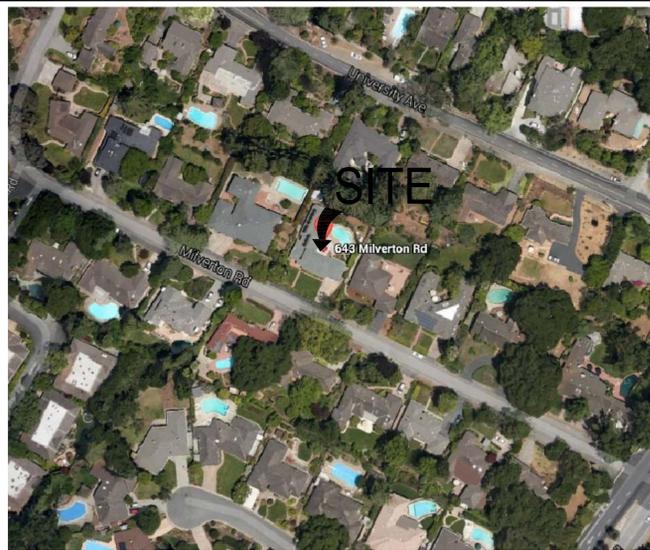
19 N. 2ND ST., Ste. 205
San Jose, CA 95113
P : (408) 998 - 0983
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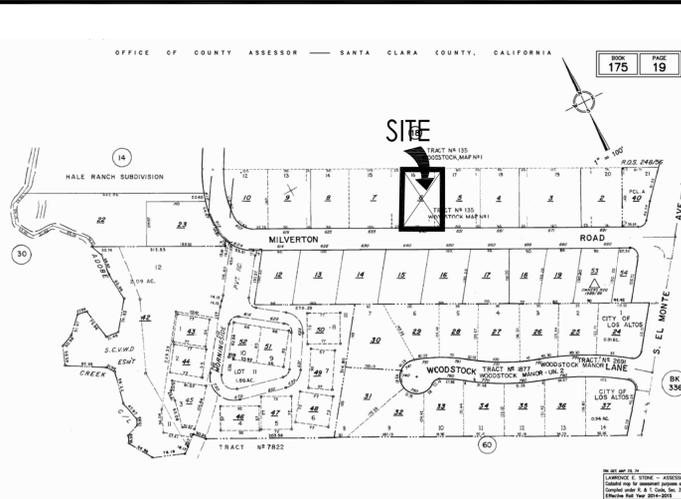
643 MILVERTON ROAD, LOS ALTOS, CA

KELLY LIANG AND PHIL LEW

LOCATION MAP



ASSESSOR'S PARCEL MAP



SCOPE OF WORK

Demolish of existing two story residence and build a new single family residence to be two story, 6 bedrooms, 6.5 bath residence with 3,275.6 living s.f., a dwelling unit "casita" of 370.3 s.f. and a garage of 434 s.f. totaling 4079.9 s.f. The residence includes a basement of 1,993.6 s.f.

DEFERRED SUBMITTALS

- Fire sprinklers--Note that per CRC 313.3.7, a sign or valve tag shall be installed at the main shutoff valve to the water distribution system stating the following: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
- Roof trusses

PROJECT SUMMARY

ASSESSOR'S PARCEL NO:	175-19-006
ZONING:	R-1-10
JURISDICTION:	CITY OF LOS ALTOS
TYPE OF CONSTRUCTION:	TYPE V-B, SPRINKLERED (NFPA 13D)
BUILDING OCC. GROUPS:	R-3/U [SINGLE FAMILY RESIDENTIAL]

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE:	3,114.8	3,577.5	3,990.00
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	SQUARE FEET 23%	SQUARE FEET 26.90%	SQUARE FEET 30.00%
FLOOR AREA:	3,052.5	4,079.9	4,080.00
MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	SQUARE FEET 23%	SQUARE FEET 30.68%	SQUARE FEET 30.68%
SETBACKS:			
FRONT	29' 11"	25' 0"	25' 0"
REAR	24' 11"	63' 1"	25' 0"
RIGHT SIDE (1ST/2ND)	9' 11" / 29' 4"	12' 8" / 27' 4"	10' 0" / 17' 6"
LEFT SIDE (1ST/2ND)	9' 2" / 33' 11"	13' 8" / 17' 10"	10' 0" / 17' 6"
HEIGHT:	23' 6"	25' 7"	27' 0"

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA:	2,553.4	3,086.1	5,639.5
INCLUDES HABITABLE BASEMENT AREAS	SQUARE FEET	SQUARE FEET	SQUARE FEET
NON-HABITABLE AREA:	499.1	-65.1	434.0
DOES NOT INCLUDE COVERED PORCHES	SQUARE FEET	SQUARE FEET	SQUARE FEET

LOT CALCULATIONS

NET LOT AREA:	13,300.0
FRONT YARD HARDSCAPE AREA:	969.8
HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	40.83%
LANDSCAPING BREAKDOWN:	
TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	7,543.00
EXISTING SOFTSCAPE (UNDISTURBED) AREA:	3,372.2
NEW SOFTSCAPE AREA:	2,384.8
SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	13,300.00

SHEET INDEX

GENERAL

- A0.0 COVER SHEET
- A0.2a FLOOR AREA CALCULATIONS SHEET
- A0.2b FLOOR AREA CALCULATIONS SHEET
- A0.3 EXTERIOR PERSPECTIVES
- A0.4 DAYLIGHT PLANE PROTRUSIONS
- A0.5 NEIGHBORHOOD CONTEXT

CIVIL

- C.0 TOPOGRAPHIC SURVEY
- C.1 PRELIMINARY GRADING & DRAINAGE PLAN

ARCHITECTURAL

- A1.0 SITE PLAN
- A2.0 DEMOLITION PLAN
- A2.1a FIRST FLOOR PLAN
- A2.1b SECOND FLOOR PLAN
- A2.1c BASEMENT FLOOR PLAN
- A2.1d CASITA FLOOR PLAN
- A2.2a LOWER ROOF PLAN
- A2.2b UPPER ROOF PLAN
- A2.2c CASITA ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A3.3 EXISTING ELEVATIONS
- A5.0 SECTIONS
- A8.0 DETAILS

LANDSCAPE

- L.1 LANDSCAPE CONCEPT

PROJECT TEAM

OWNER

Kelly Liang and Phil Lew
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ARCHITECT

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CIVIL ENGINEER

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email: ed@weceng.com

LANDSCAPE ARCHITECT

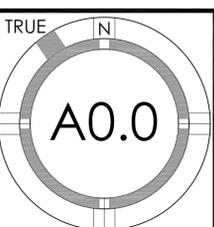
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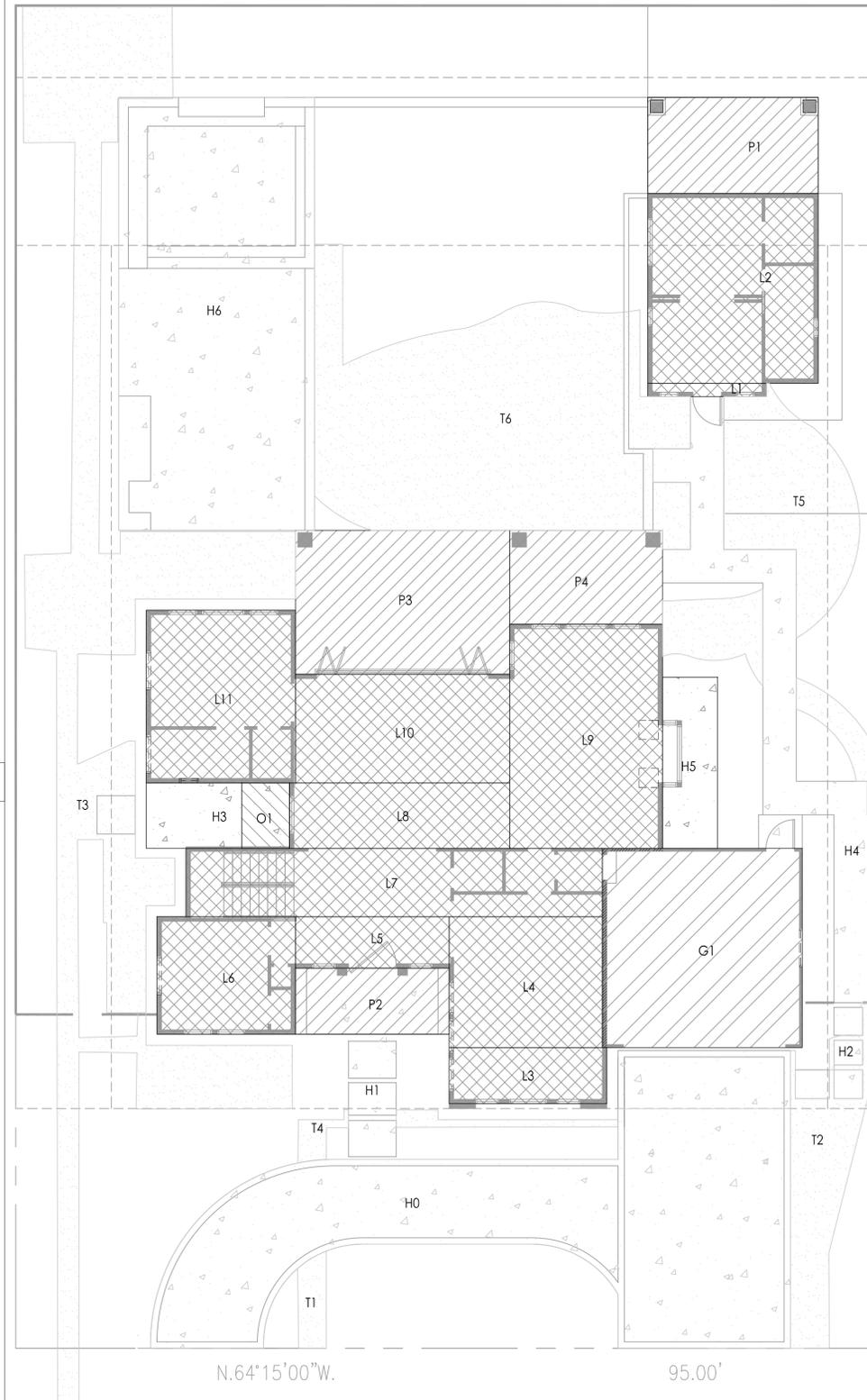
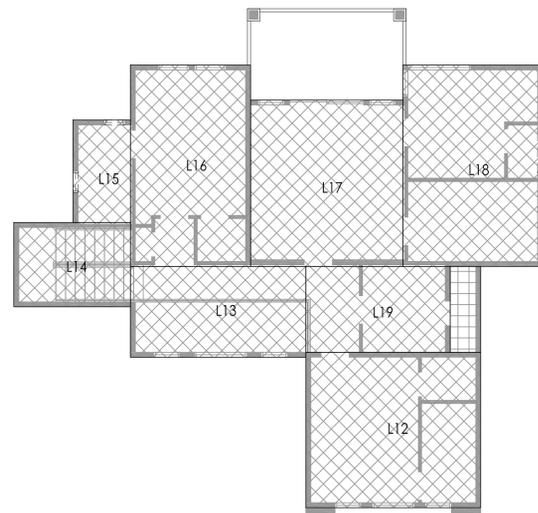
REVISION	DATE	DESCRIPTION
14-020	08.25.2014	DESIGN DEVELOPMENT REVIEW
	10.22.2014	DESIGN DEVELOPMENT REVIEW RESUB

COVER SHEET



-  NEW LIVING FLOOR AREA
-  NEW GARAGE AREA
-  NEW PORCH AREA
-  AREA OF SECOND FLOOR OVER HANG, COUNTED TOWARDS LOT COVERAGE
-  NEW HARDSCAPE AREA
-  NEW SOFTSCAPE AREA
-  < 5' CEILING HEIGHT, NOT COUNTED TOWARDS FAR

FLOOR AREA LEGEND



MILVERTON ROAD (50' R/W)  EL=247.00

NEW CASITA LIVING AREA	AREA S.F.	DIM (WXL)
L1	17.2	1' 5" X 12' 5"
L2	353.1	19' 10" X 17' 10"
A TOTAL	370.3	

NEW 1ST FLOOR LIVING AREA	AREA S.F.	DIM (WXL)
L3	96.9	16' 6" X 5' 10"
L4	218.5	16' 0" X 13' 8"
L5	86.3	16' 1" X 5' 4"
L6	177.5	14' 6" X 12' 3"
L7	310.6	43' 7" X 7' 2"
L8	157.5	23' 1" X 6' 10"
L9	374.0	16' 0" X 23' 5"
L10	254.2	22' 5" X 11' 4"
L11	281.1	15' 7" X 18' 0"
B TOTAL	1,956.6	

NEW 2ND FLOOR LIVING AREA	AREA S.F.	DIM (WXL)
L12	240.8	16' 6" X 14' 7"
L13	141.1	16' 7" X 8' 6"
L14	87.1	11' 0" X 7' 11"
L15	52.1	5' 5" X 9' 8"
L16	214.3	11' 4" X 18' 11"
L17	224.6	14' 5" X 15' 8"
L18	249.2	13' 2" X 18' 11"
L19	109.8	13' 7" X 8' 1"
C TOTAL	1,319.0	
D=A+B+C TOTAL LIVING FLOOR AREA	3,645.9	

NEW BASEMENT FLOOR LIVING AREA	AREA S.F.	DIM (WXL)
L20	356.9	16' 6" X 21' 8"
L21	171.7	16' 1" X 10' 8"
L22	177.5	14' 6" X 12' 3"
L23	54.3	12' 2" X 4' 6"
L24	32.9	11' 8" X 2' 10"
L25	50.2	5' 4" X 9' 6"
L26	368.1	20' 5" X 18' 0"
L27	365.6	17' 7" X 20' 10"
L28	416.4	16' 0" X 26' 0"
E TOTAL	1,993.6	

NEW GARAGE AREA	AREA S.F.	DIM (WXL)
G1	434.0	20' 11" X 20' 9"
G TOTAL	434.0	

NEW PORCH AREA	AREA S.F.	DIM (WXL)
P1	178.5	19' 10" X 10' 0"
P2	110.9	16' 1" X 6' 11"
P3	336.4	22' 5" X 15' 0"
P4	156.7	16' 0" X 9' 10"
F TOTAL	782.5	

AREA OF 2ND FLOOR OVERHANG, COUNTED TOWARDS LOT COVERAGE	AREA S.F.	DIM (WXL)
O1	34.1	5' 0" X 6' 10"
K TOTAL	34.1	

LOT SIZE	13,300.0	
FLOOR AREA RATIO MAX.	4,080.0	
LOT COVERAGE MAX.	3,990.0	
G TOTAL PROPOSED GARAGE AREA	434.0	
H=D+E TOTAL PROPOSED LIVING AREA	5,639.5	
I=D+G TOTAL FAR	4,079.9	OK
J=A+B+G+K TOTAL PROPOSED LOT COVERAGE	3,577.5	OK

NEW HARDSCAPE AREA	AREA S.F.
H0	1,078.9
H1	52.5
H2	36.2
H3	102.4
H4	382.3
H5	103.0
H6	925.3
L TOTAL	2,680.6
M=L+F TOTAL NEW HARDSCAPE AREA	3,463.1

NEW SOFTSCAPE AREA	AREA S.F.
T1	27.6
T2	163.8
T3	1,001.7
T4	37.4
T5	340.0
T6	814.3
N TOTAL	2,384.8

M NEW HARDSCAPE AREA	3,463.1	
O FRONT YARD SETBACK AREA	2,375.0	
P FRONT YARD HARDSCAPE AREA	967.8	
Q=P/O FRONT YARD HARDSCAPE AREA RATIO	40.83%	<50% (OK)
N NEW SOFTSCAPE AREA	2,384.8	
R=I+M TOTAL HARDSCAPE AREA	7,543.0	



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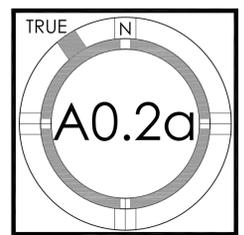
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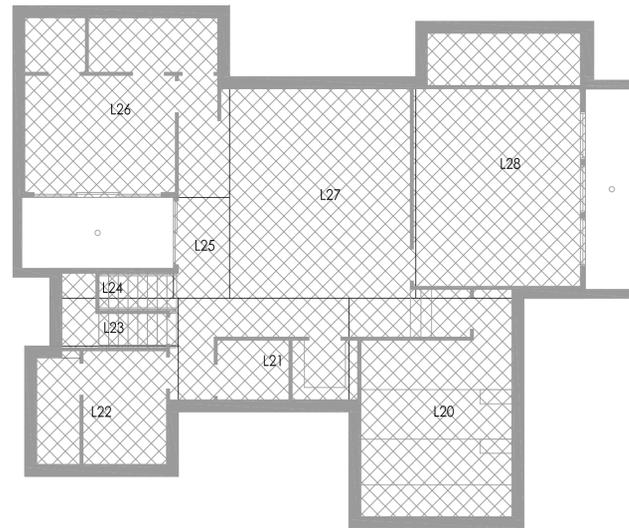
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FLOOR AREA CALCULATION SHEET



	NEW LIVING FLOOR AREA
	NEW GARAGE AREA
	NEW PORCH AREA
	AREA OF SECOND FLOOR OVER HANG, COUNTED TOWARDS LOT COVERAGE
	NEW HARDSCAPE AREA
	NEW SOFTSCAPE AREA
	< 5' CEILING HEIGHT, NOT COUNTED TOWARDS FAR

FLOOR AREA LEGEND



BASEMENT FLOOR AREA CALCS 1/8" 1

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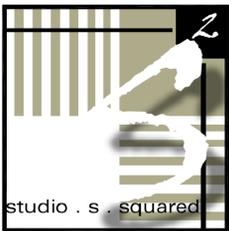
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AREA TABULATION



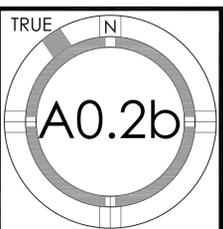
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10.22.2014	DESIGN DEVELOPMENT REVIEW RESUB

FLOOR AREA CALCULATION SHEET



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



PERSPECTIVE EXTERIOR REAR RIGHT - 4



PERSPECTIVE EXTERIOR FRONT - 1



PERSPECTIVE EXTERIOR REAR LEFT - 5



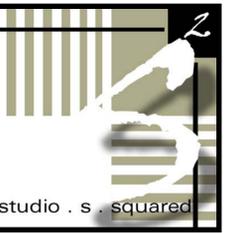
PERSPECTIVE EXTERIOR FRONT LEFT - 2



PERSPECTIVE EXTERIOR REAR - 6



PERSPECTIVE EXTERIOR FRONT HIGH - 3



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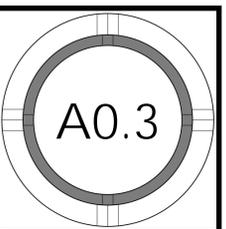
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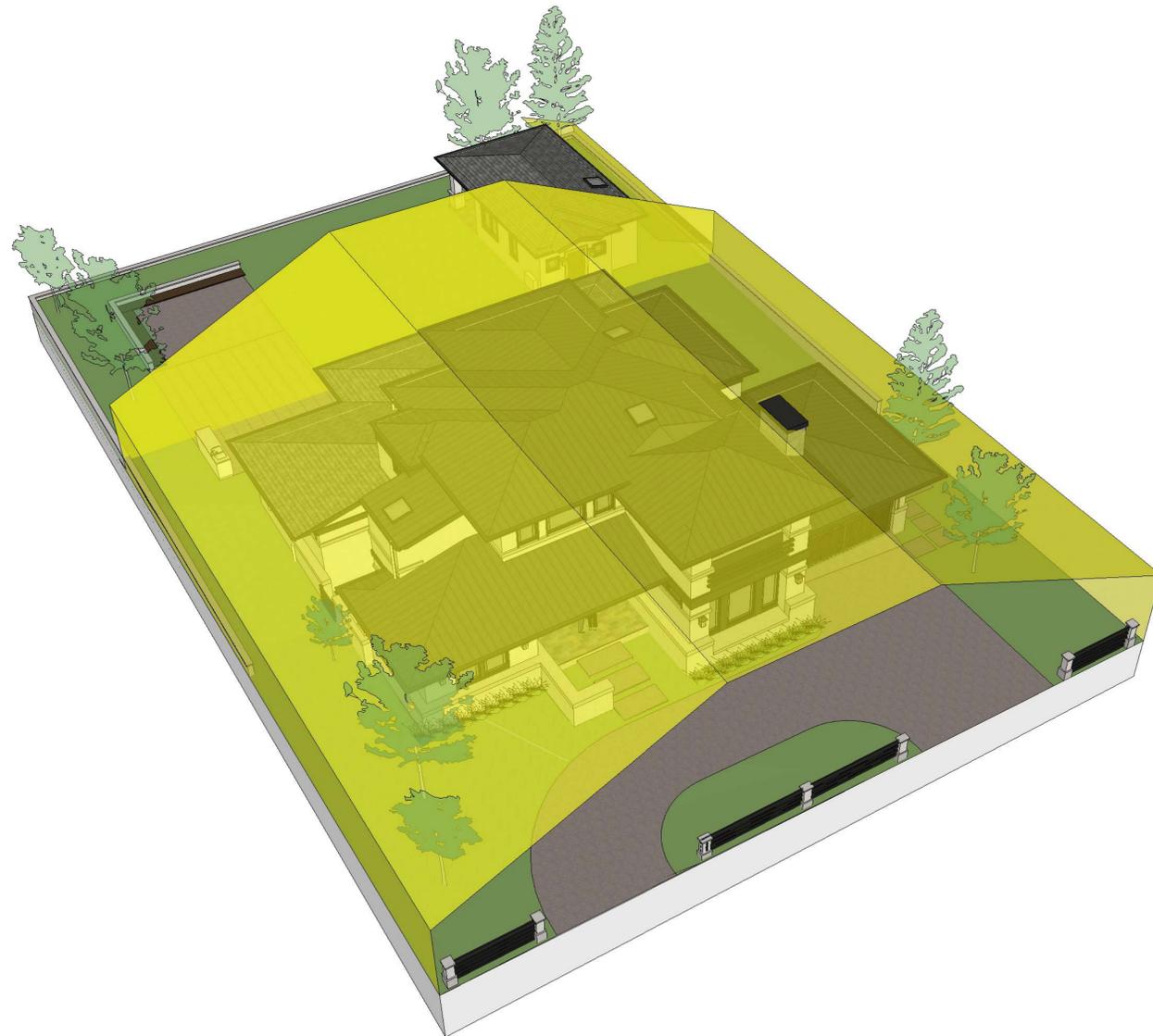
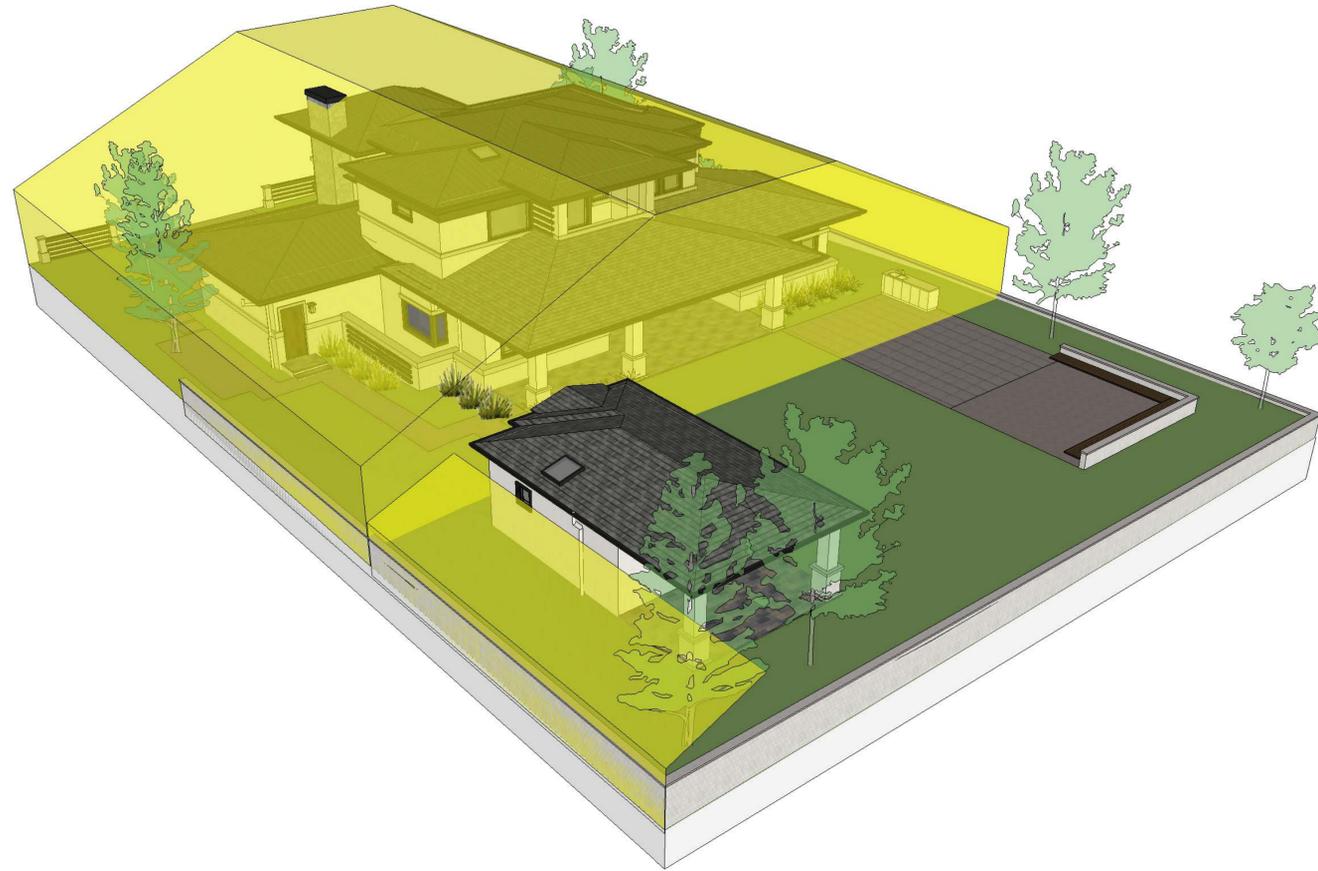


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EXTERIOR PERSPECTIVES





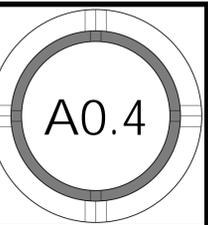
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DAYLIGHT
 PLANE
 PROTRUSIONS



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625 Milverton Rd.



633 Milverton Rd.



643 Milverton Rd.
Subject Property



651 Milverton Rd.



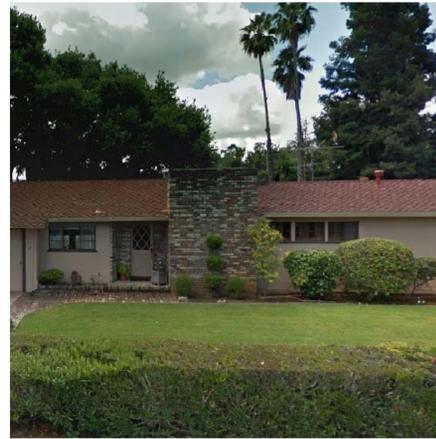
661 Milverton Rd.



622 Milverton Rd.



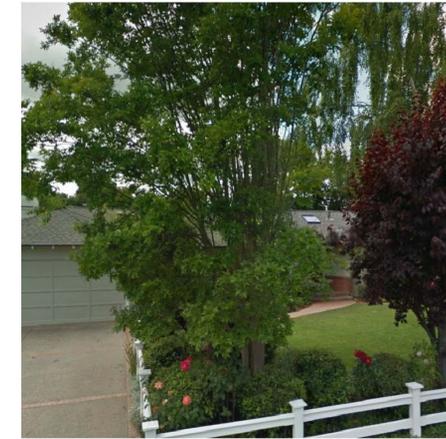
630 Milverton Rd.



640 Milverton Rd.

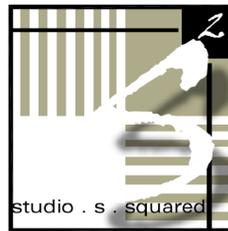


650 Milverton Rd.



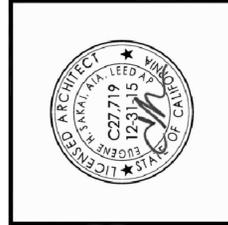
660 Milverton Rd.

STREETSCAPE IMAGES - 1



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633 Milverton Rd.

643 Milverton Rd.
SUBJECT PROPERTY

651 Milverton Rd.

STREETSCAPE ELEVATION

3



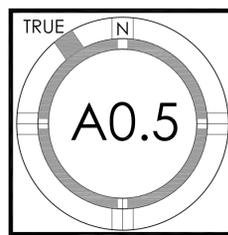
NEIGHBORS

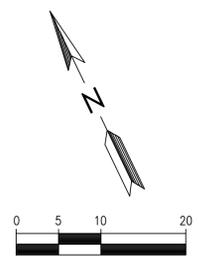
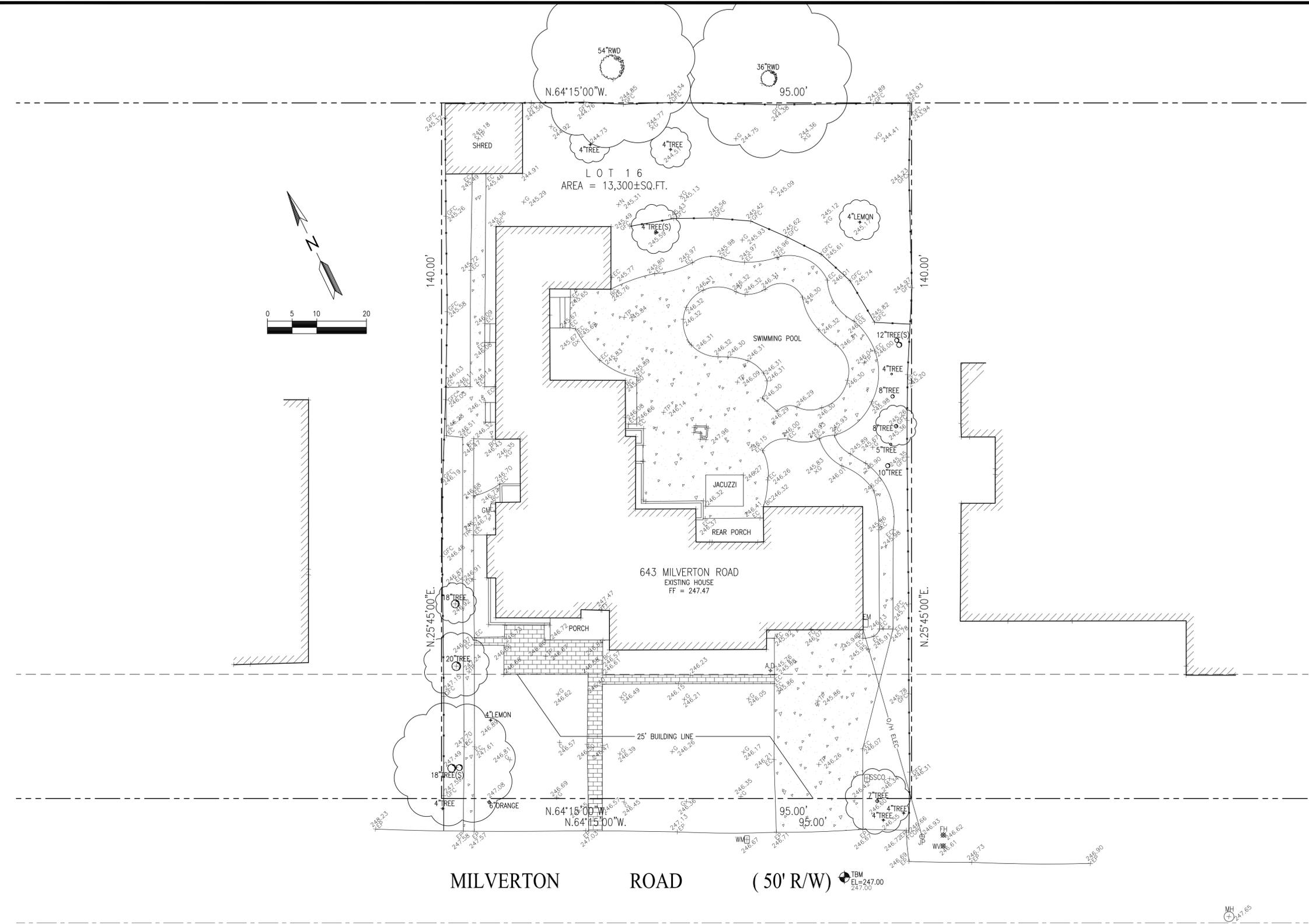
- 2

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NEIGHBORHOOD
CONTEXT





- LEGEND:**
- AC ASPHALT CONCRETE
 - BC BUILDING CORNER
 - BW BACK OF WALK
 - CB CATCH BASIN
 - CMP CORRUGATED METAL PIPE
 - CO CLEAN OUT
 - CRN CROWN
 - DW DRIVEWAY
 - EC EDGE OF CONCRETE
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FCOR FENCE CORNER
 - FD FOUND
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FH FIRE HYDRANT
 - FW FRONT OF WALK
 - G GROUND
 - GC GARAGE CORNER
 - GF GARAGE FACE/FRONT
 - GC GROUND AT FENCE
 - GM GAS METER
 - HCR HANDICAP RAMP
 - INV INVERT
 - IP IRON PIPE
 - JP JOINT POLE
 - LG LIP OF GUTTER
 - O/H OVERHEAD
 - PC PROPERTY CORNER
 - RW RETAINING WALL
 - SL STREET LIGHT
 - SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - TBC TOP BACK ROLLED CURB
 - TC TOP OF CURB
 - TOB TOP OF BANK
 - TOE TOE OF BANK
 - TP TOP OF PAVEMENT
 - TRC TOP OF ROLLED CURB
 - TW TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CTV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

BASIS OF BEARINGS:
 THE BEARING, N64°15'00"W, OF THE CENTER LINE OF MILVERTON ROAD, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 4 OF MAPS AT PAGE 40, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:
 TBM ELEV = 247.00 (ASSUMED)

UTILITY NOTE:
 UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

NOTE:
 1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING
 2. SINCE A COPY OF TITLE REPORT WAS NOT PROVIDED, ONSITE EASEMENT WAS NOT EVALUATED.

LIANG RESIDENCE

643 MILVERTON ROAD
 LOS ALTOS, CA
 APN: 175-19-006



2625 MIDDLEFIELD RD #658
 PALO ALTO, CA 94306
 TEL: (650) 823-6466
 FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: APRIL 14, 2014
 SCALE: 1"=10'
 DRAWN: BG
 JOB: 10078

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NO.

C.0



19 N. 2ND ST., Ste. 205
 San Jose, CA 95113
 P : (408) 998 - 0983
 F : (408) 998 - 0982

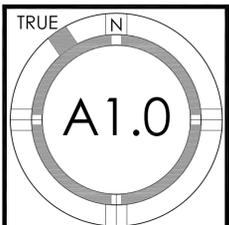
LIANG - LEW RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 643 MILVERTON ROAD, LOS ALTOS, CA
 KELLY LIANG AND PHIL LEW



PROJECT NO.	DATE	DESCRIPTION
14-020	08.25.2014	DESIGN DEVELOPMENT REVIEW
	10.22.2014	DESIGN DEVELOPMENT REVIEW RESUB

"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"

SITE PLAN



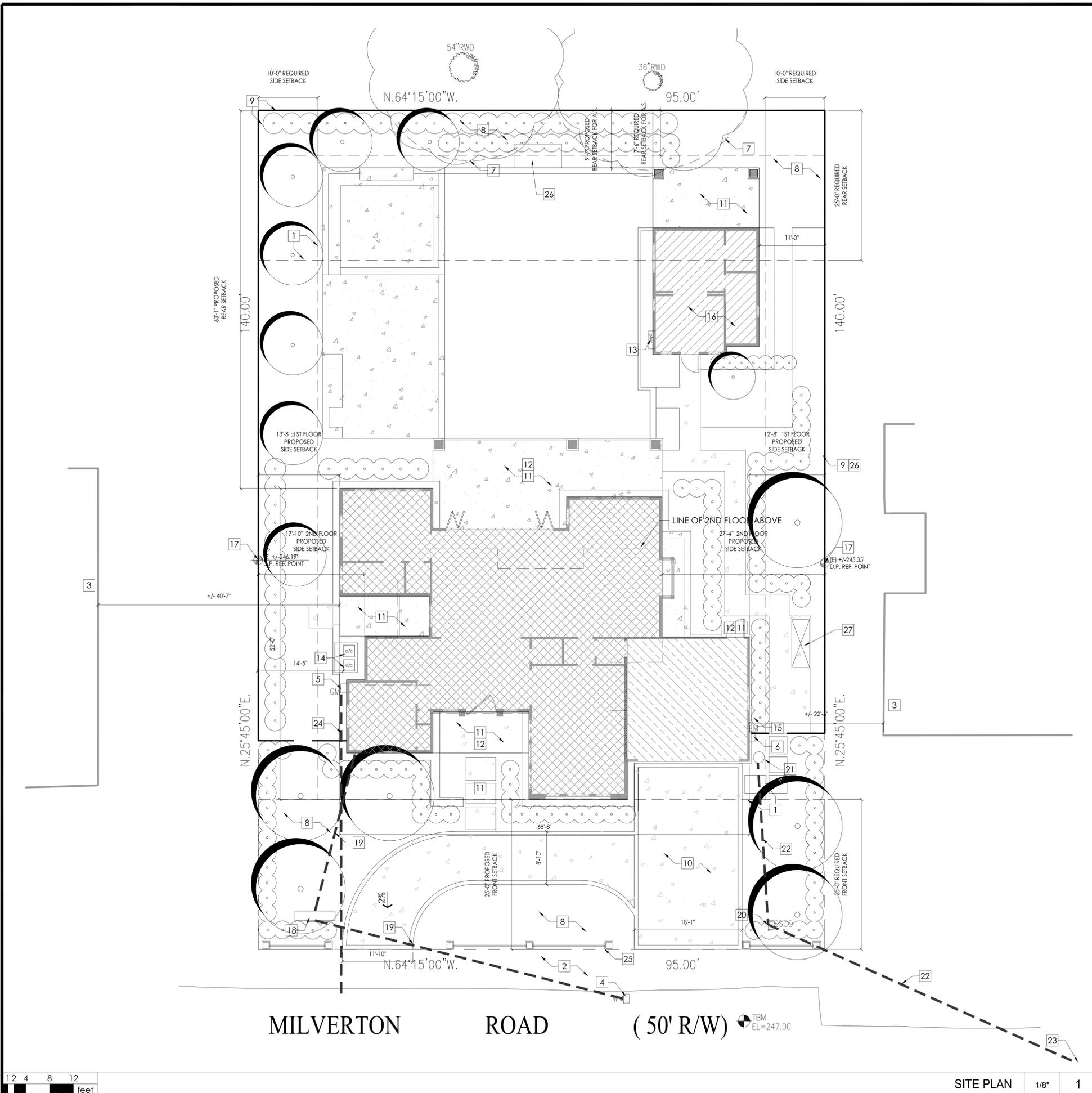
- # = NUMBER TO KEY NOTE BELOW
- REQUIRED PROPERTY LINE SETBACK
 - EXISTING PUBLIC RIGHT OF WAY
 - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
 - (E) WATER METER TO REMAIN
 - (N) GAS METER LOCATION
 - (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE (400AMPS) TO (E) ELECTRICAL SERVICE
 - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND
 - (E) SOFTSCAPE TO REMAIN
 - (N) 6' H. REDWOOD FENCE AND GATES
 - (N) DRIVEWAY, PAVERS OVER 8" BASE ROCK AND 2" SAND
 - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE 2%
 - (N) 36" DEEP MIN. LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
 - (N) PTAC HVAC UNIT
 - (N) A/C UNIT CONDENSER PAD(S). PAD TO BE 3" MIN. ABOVE ADJOINING GROUND LEVEL--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. A/C UNITS TO COMPLY WITH CITY'S NOISE ORDINANCE--A/C UNIT MANUF.: CARRIER; MODEL: INFINITY 17, 24ANB7 (67 DB + 67 DB = 70 DB)
 - UFER GROUND CONNECTION PER CEC 250-52
 - (N) ACCESSORY STRUCTURE
 - DAYLIGHT PLANE REFERENCE POINTS
 - (N) IRRIGATION BACK FLOW PREVENTER
 - (N) WATER SERVICE LINE
 - (E) SANITARY SEWER CLEANOUT
 - (N) SANITARY SEWER LATERAL
 - (N&E) SANITARY SEWER LINE
 - TO (E) SANITARY SEWER MANHOLE
 - (E) GAS SERVICE LINE
 - (N) 3' H. FENCE--SEE EXTERIOR ELEVATIONS
 - DISSIPATION FIELD, SEE CIVIL PLANS FOR MORE INFO
 - (N) GARDEN SHED-6' MAXIMUM HEIGHT ABOVE ADJACENT GRADE

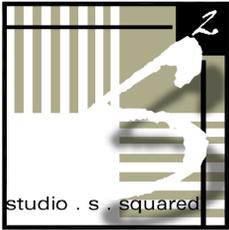
SITE PLAN KEYNOTES

- PROPERTY LINE
- - - REQUIRED YARD SETBACK/EASEMENT
- [Hatched Box] NEW ACCESSORY STRUCTURE
- [Dotted Box] NEW GARAGE AREA
- [Cross-hatched Box] NEW LIVING AREA
- [Stippled Box] NEW HARDSCAPE

- NOTES:
- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
 - UPGRADE (E) ELEC. SUPPLY TO 400 AMPS. COORDINATE WITH PG&E ON OWNERS BEHALF
 - OBTAIN AN ENCROACH PERMIT ISSUED FROM THE ENGINEERING DIVISION PRIOR TO DOING ANY WORK WITHIN PUBLIC STREET RIGHT-OF-WAY

SITE PLAN LEGEND





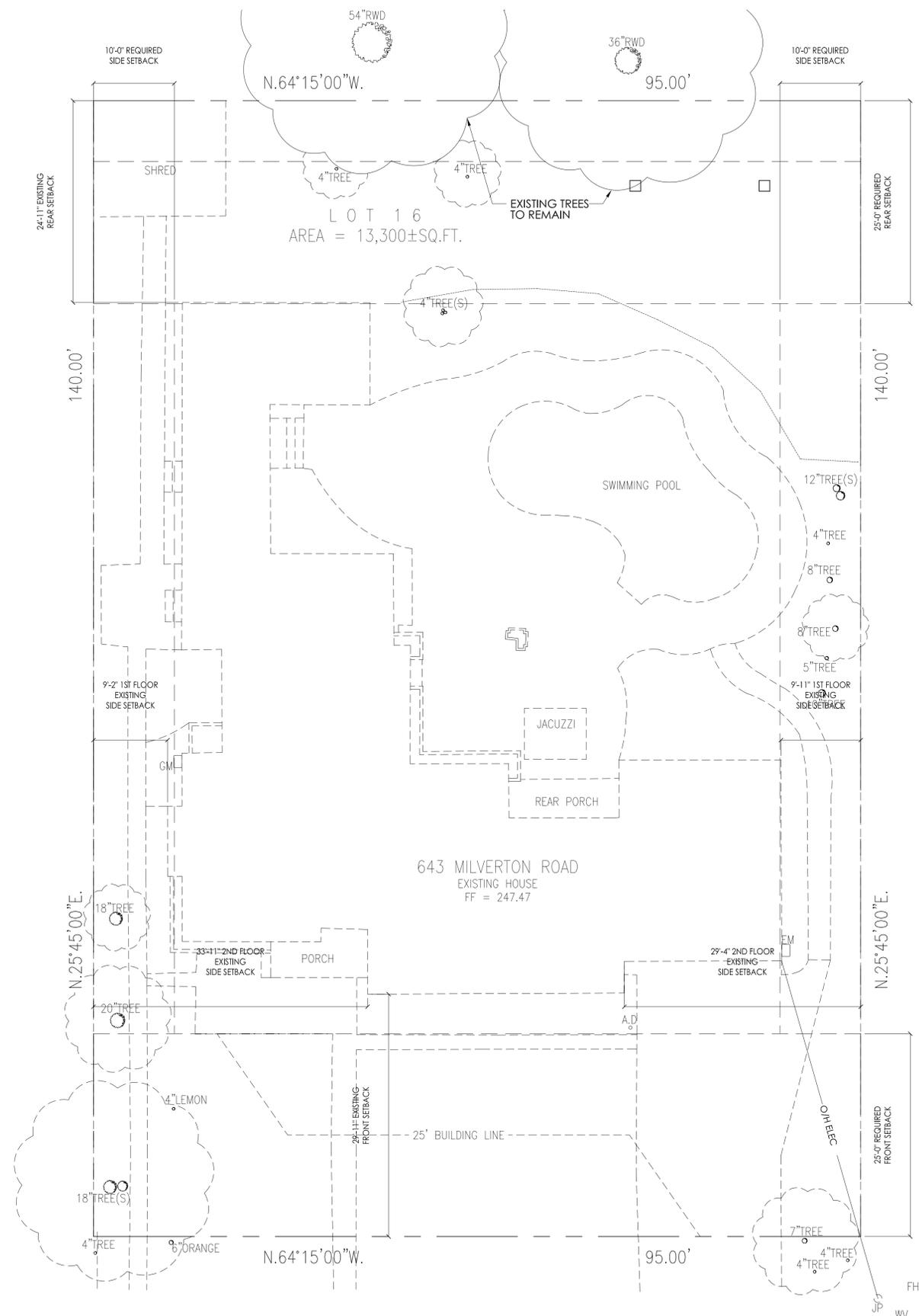
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LIANG - LEW RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 643 MILVERTON ROAD, LOS ALTOS, CA
 KELLY LIANG AND PHIL LEW



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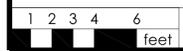
"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



NOTE: ALL EXISTING TREES TO BE REMOVED U.N.O.

DEMO PLAN KEYNOTES -

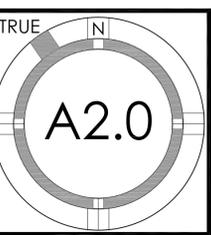
----- EXISTING WALL OR ELEMENT TO BE DEMOLISHED



DEMO PLAN 1/4" 1

DEMO PLAN LEGEND -

DEMO PLAN





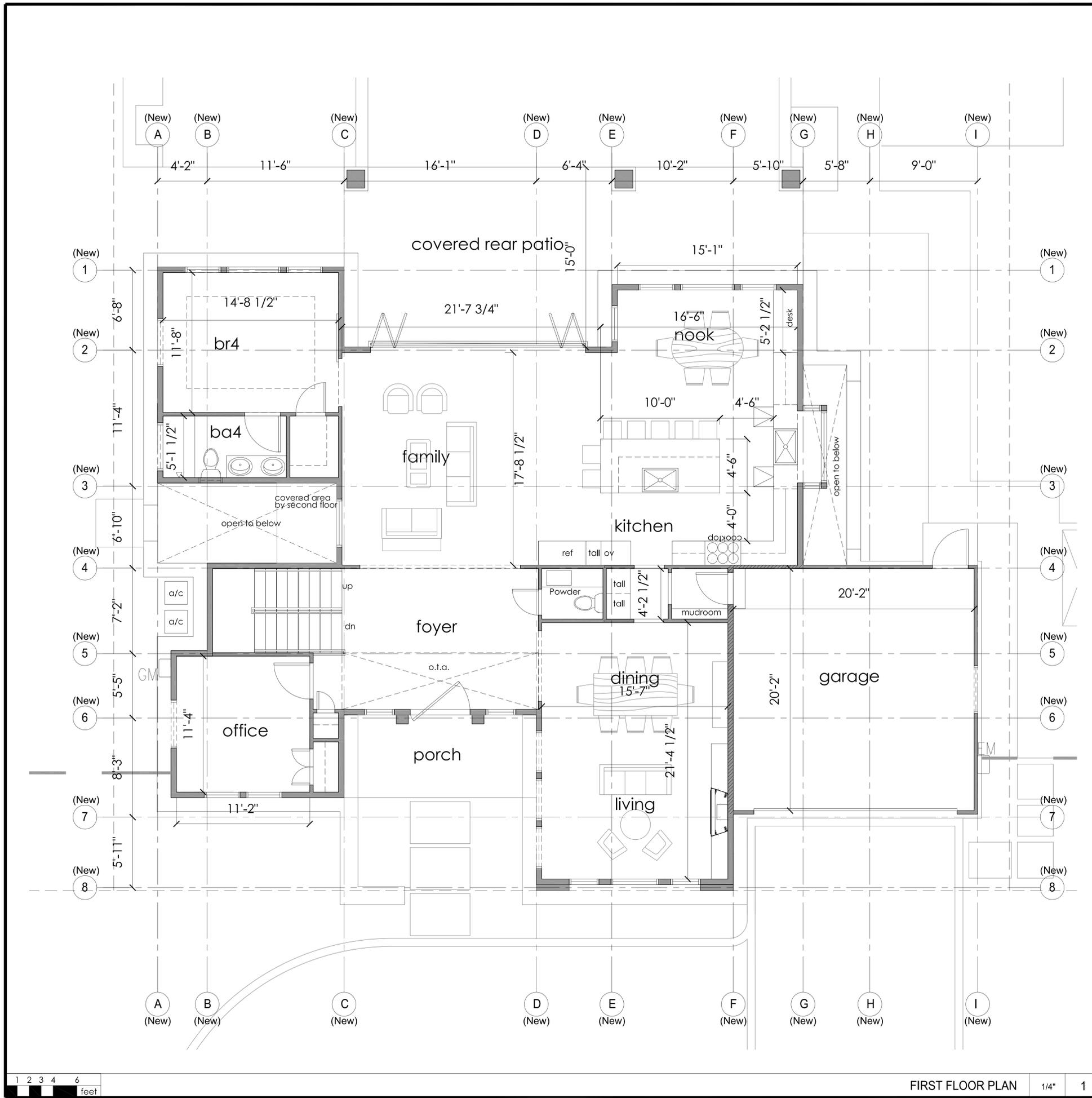
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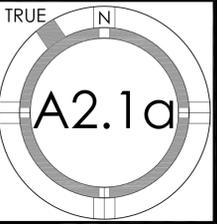
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FLOOR PLAN KEYNOTES		-
	NEW WALL: SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE NEW PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD	
	NEW WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING	
FLOOR PLAN LEGEND		-

FIRST FLOOR PLAN





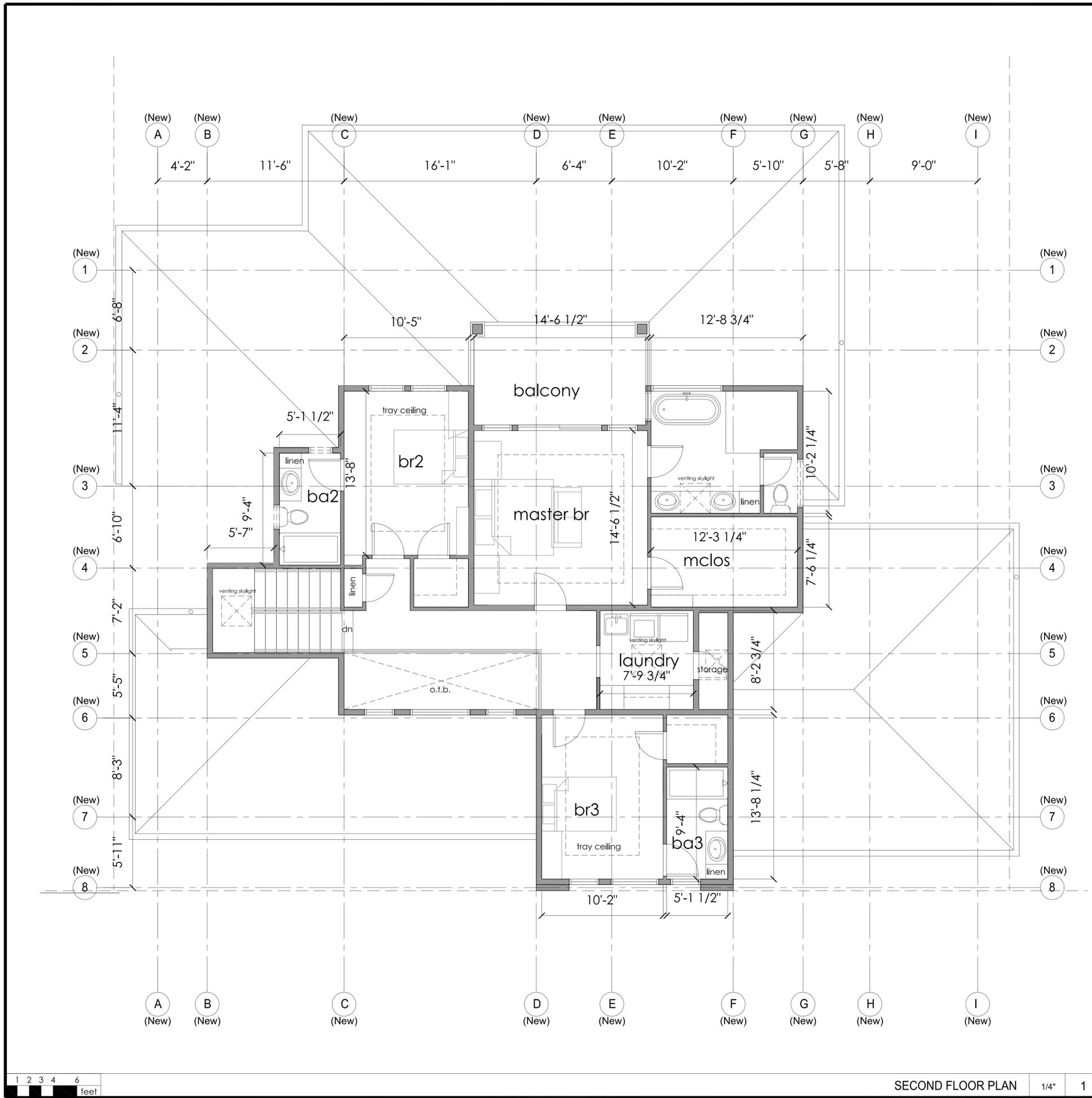
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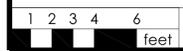


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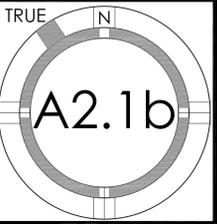


FLOOR PLAN KEYNOTES		-
	NEW WALL: SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE NEW PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD	
	NEW WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING	
FLOOR PLAN LEGEND		-



SECOND FLOOR PLAN 1/4" 1

SECOND FLOOR PLAN





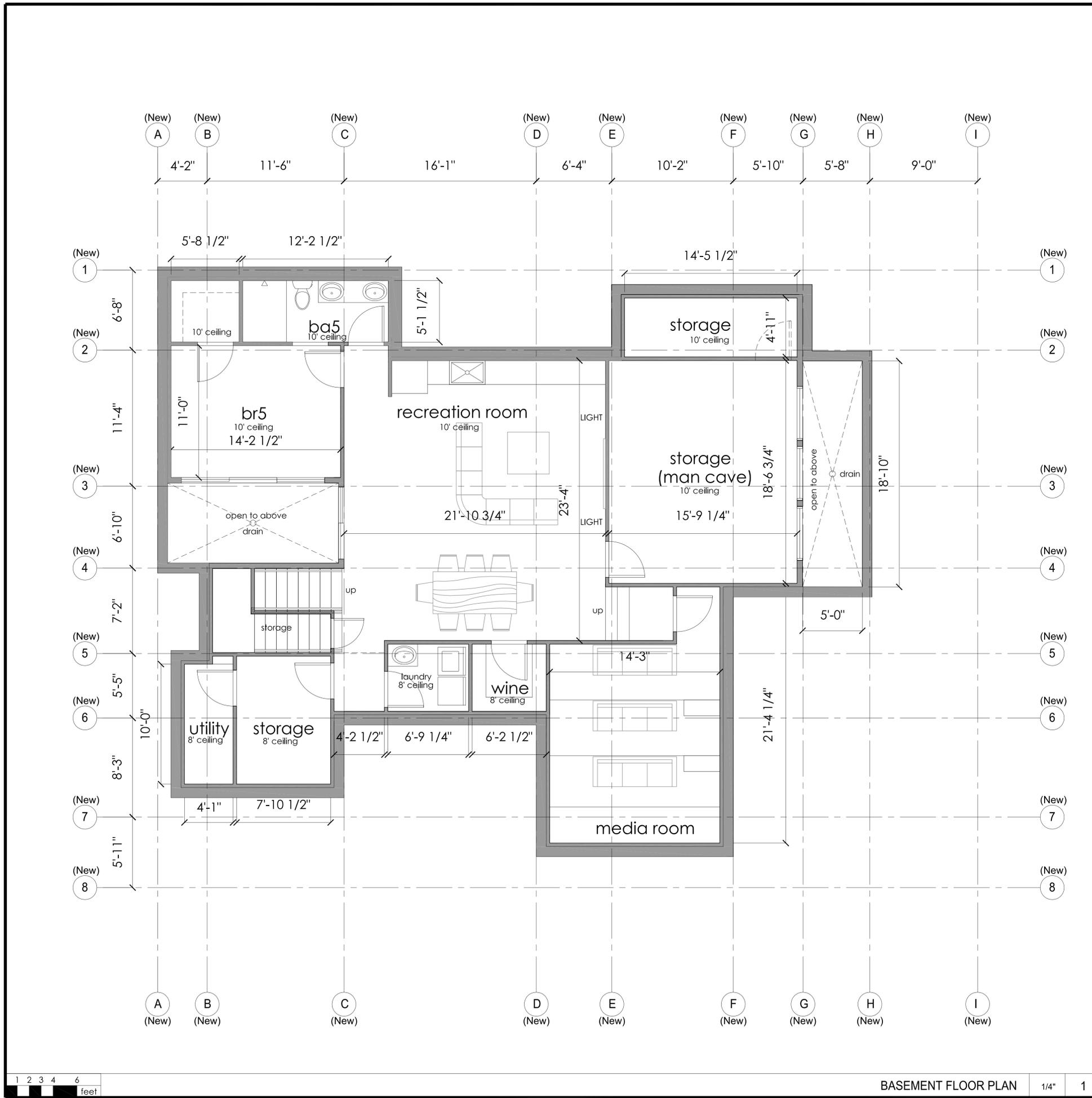
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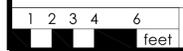
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FLOOR PLAN KEYNOTES

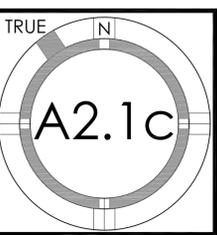
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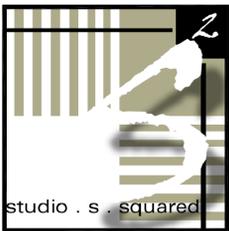
FLOOR PLAN LEGEND



BASEMENT FLOOR PLAN 1/4" 1

BASEMENT FLOOR PLAN





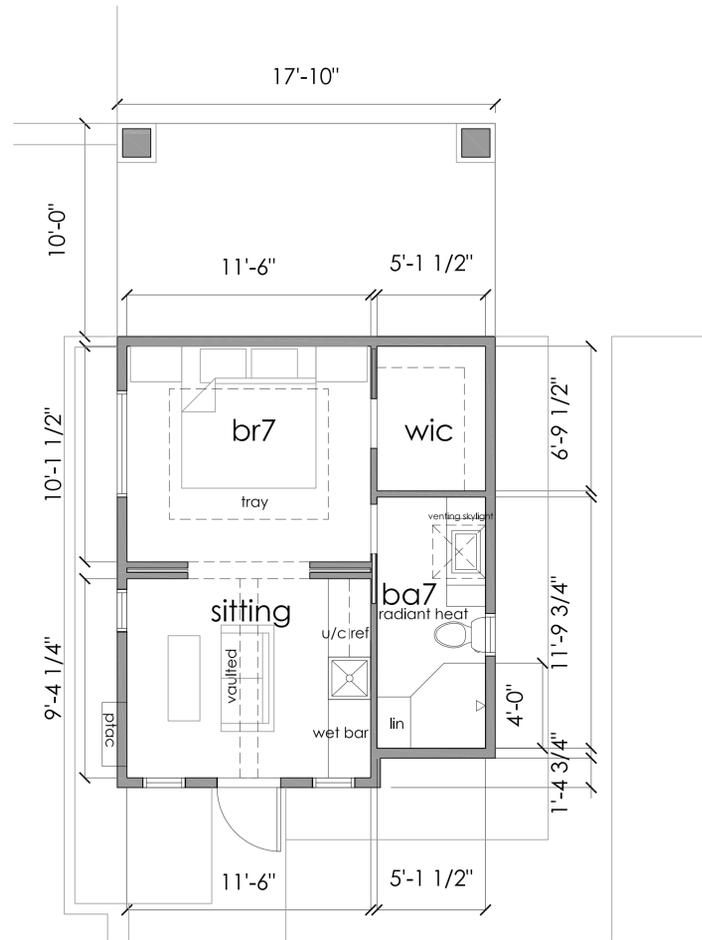
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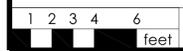


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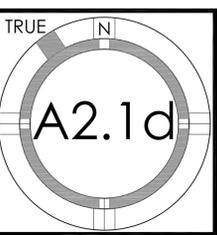
- NOTE:
 1. NO KITCHEN FACILITY
 2. NO SECOND LIVING UNIT IS INTENDED FOR THE CASITA, INCLUDING THE SITTING AREA AND BEDROOM

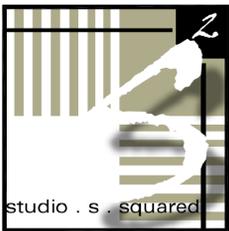


CASITA FLOOR PLAN 1/4" 1

FLOOR PLAN KEYNOTES		-
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	NEW WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING	
FLOOR PLAN LEGEND		-

CASITA FLOOR PLAN





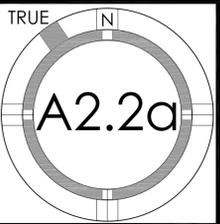
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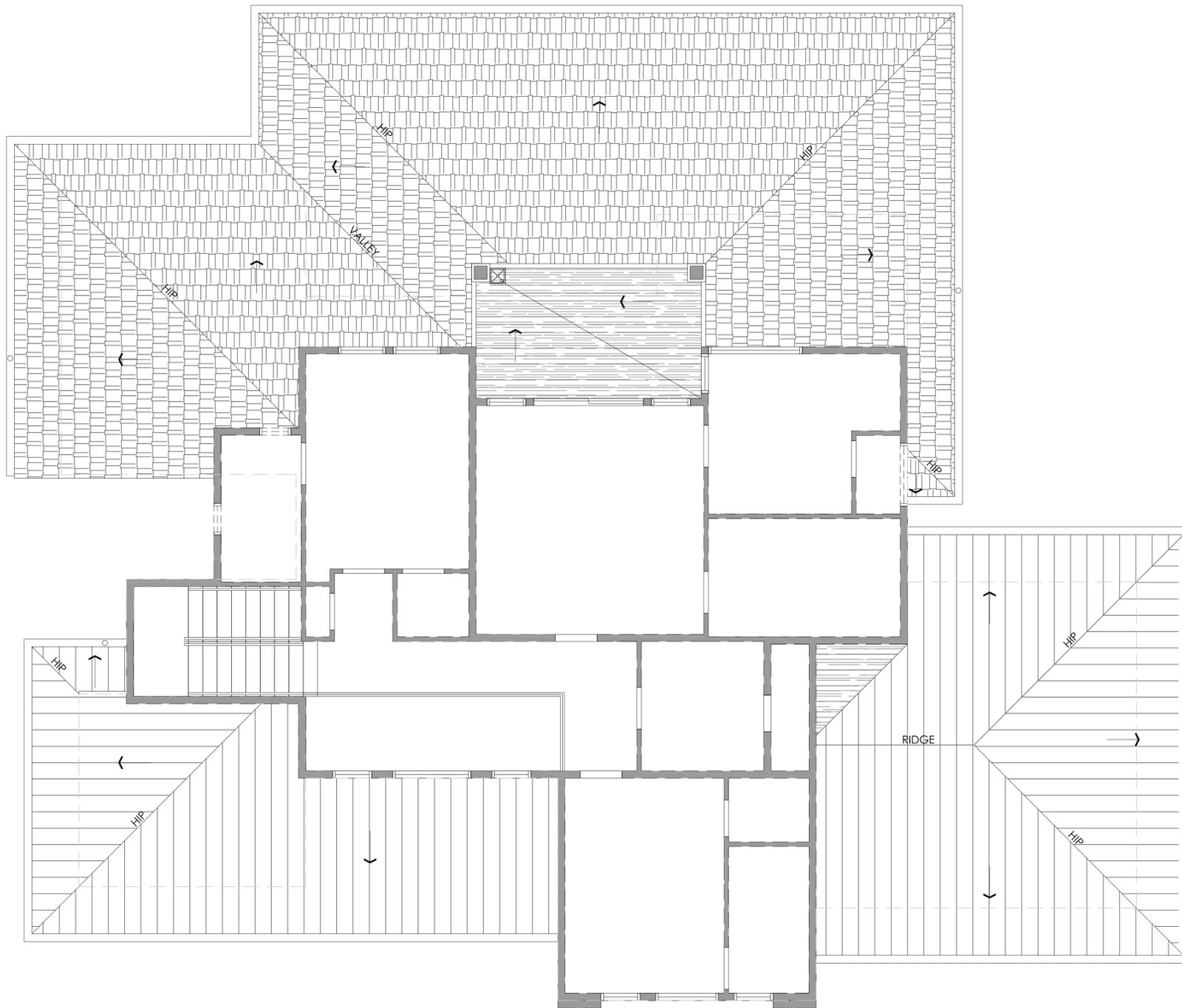
LOWER ROOF PLAN



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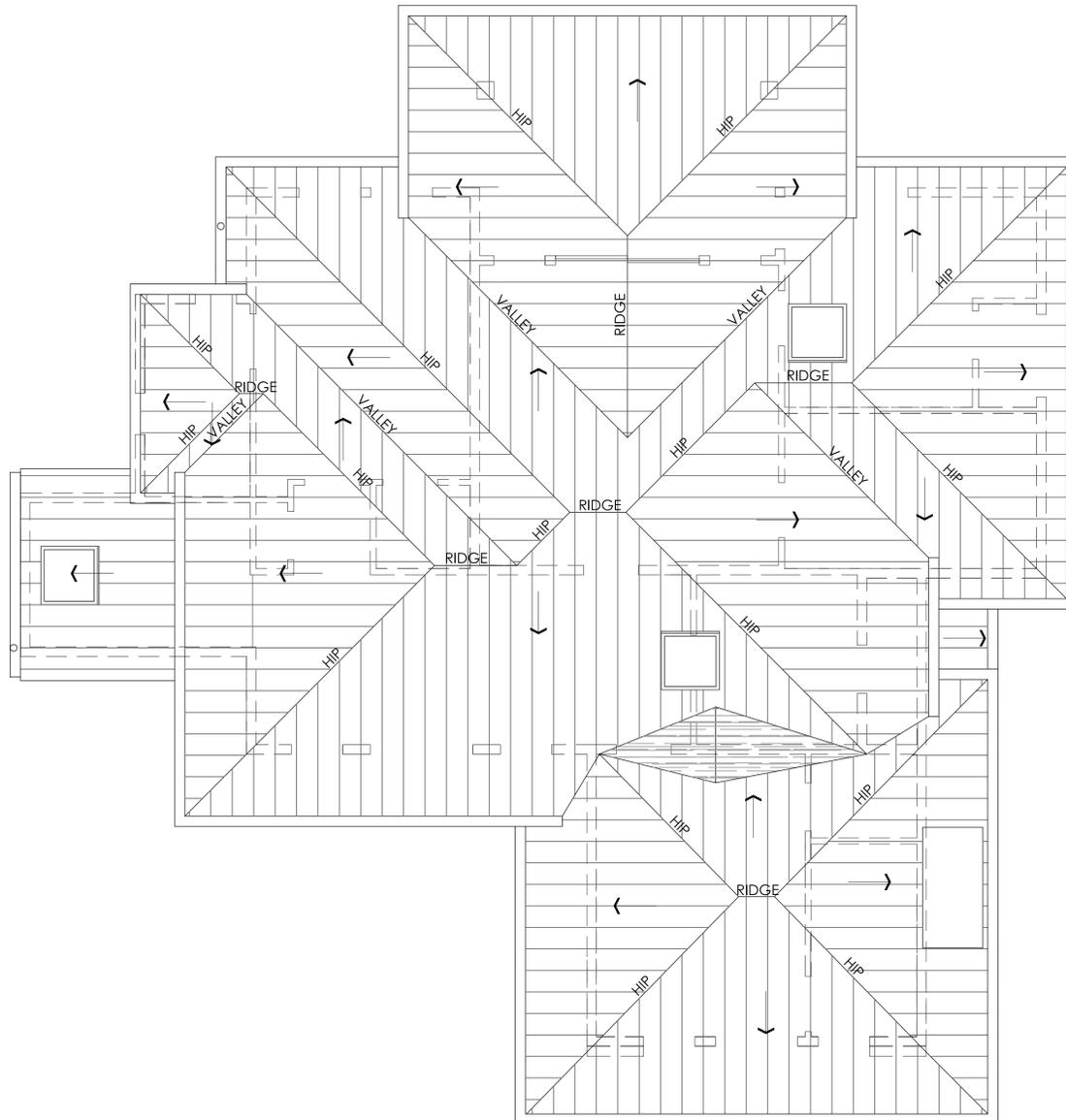
1. (N) ROOFING--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. APPROXIMATE ROOF SLOPES 3:12, 5:12--SEE EXTERIOR ELEVATIONS
4. PROVIDE NEW GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
5. PROVIDE NEW GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN
6. ALL NEW PLATE HEIGHTS TO MATCH EXISTING U.N.O. SEE RCP AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
7. CONNECT ALL NEW DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION IN BACKYARD DESIGNATED BY OWNER, MIN. 5' AWAY FROM HOUSE.

ROOF GENERAL NOTES



-  ASPHALT COMPOSITION SHINGLES, MIN. CLASS "C"--MANUF: CERTAINTED; STYLE: PRESIDENTIAL OR EQUAL; COLOR: PLATINUM--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS
-  (N) METAL SEAM ROOFING AEP SPAN--SEE A3.0 FOR MORE INFO
-  BUILT UP ROOF, MIN. CLASS "C"--MANUF: IB ROOF SYSTEMS; STYLE: 80 MIL MEMBRANE; COLOR: GRAY--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL O/ TAPERED PLYWOOD SHEATHING TO ENSURE MIN 3/8:12 SLOPE. INSTALL PER MANUF. WARRANTY INSTRUCTIONS
-  DENOTES FLAT ROOF DRAIN CONNECTED TO HARDPIPED 2' RWL AND ROOF OVERFLOW CONNECTED TO SEPARATE ESCUTCHEONS
-  DENOTES DIRECTION OF SLOPE--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
-  LINE OF BLDG. BELOW

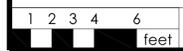
1 2 3 4 6 feet



1. (N) ROOFING--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
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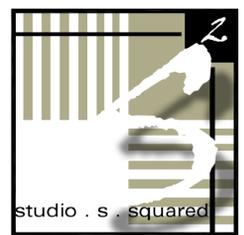
ROOF GENERAL NOTES

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-  LINE OF BLDG. BELOW



UPPER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



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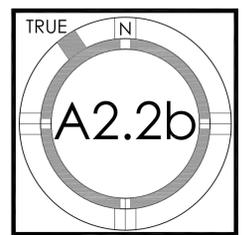
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UPPER ROOF PLAN





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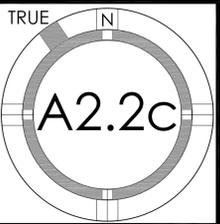
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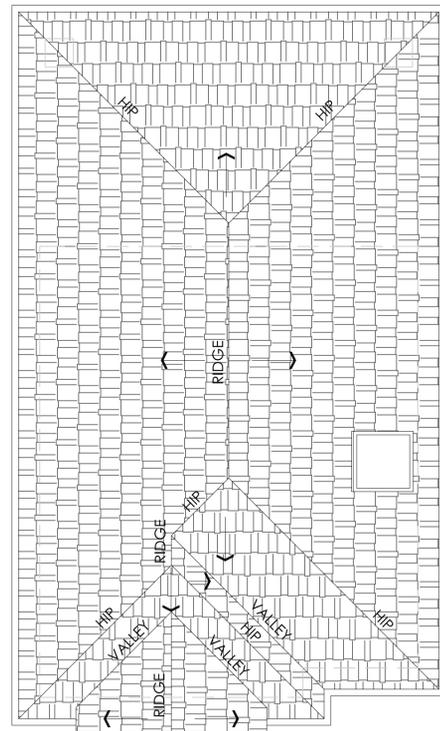
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CASITA ROOF PLAN



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2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. APPROXIMATE ROOF SLOPES 3:12, 5:12--SEE EXTERIOR ELEVATIONS
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ROOF GENERAL NOTES



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-  DENOTES DIRECTION OF SLOPE--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
-  --- LINE OF BLDG. BELOW



SOUTH ELEVATION (FRONT) 1/4" 1



EAST ELEVATION (RIGHT) 1/4" 2

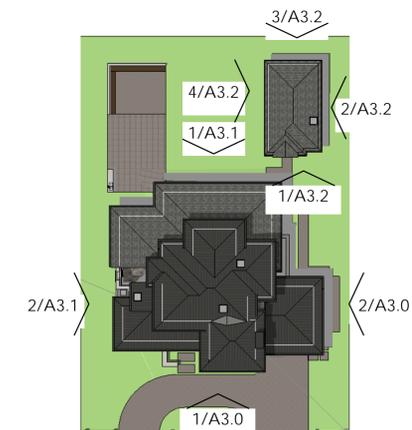
= NUMBER OF KEYNOTE BELOW

- 1 DAYLIGHT PLANE AS DEFINED BY CITY OF LOS ALTOS. GRADE FOR THE PURPOSE OF ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT
- 2 ASPHALT COMPOSITION SHINGLES, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: CERTAINTEED; STYLE: PRESIDENTIAL SHAKE TL; COLOR: PLATINUM www.certainteed.com
- 3 METAL SEAM ROOFING, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: AEP SPAN; STYLE: FLEX SERIES; COLOR: OLD TOWN GRAY www.aepspan.com
- 4 LIGHTWEIGHT STONE VENEER, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: ELDERADO STONE; STYLE: MOUNTAIN LEDGE; COLOR: SIERRA www.eldoradostone.com
- 5 LIGHTWEIGHT STONE VENEER, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: ELDERADO STONE; STYLE: ASHLAR; COLOR: SANTA BARBARA www.eldoradostone.com
- 6 STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" CEMENT PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM
- 7 FRONT DOOR, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: CALDWELLS SAN FRANCISCO'S DOOR COMPANY; STYLE: MODERN DOOR MODEL C-1; COLOR: ECHO WOOD WALNUT www.caldwells.com
- 8 GARAGE DOOR, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: CLOPAY DOOR; STYLE: CLASSIC TM COLLECTION PREMIUM SERIES; COLOR: CHOCOLATE www.clopaydoor.com
- 9 WINDOWS, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: JELD-WEN WINDOWS & DOORS; STYLE: SITELINE EX WOOD CASEMENT WINDOW; COLOR: CHESTNUT BRONZE www.jeld-wen.com
- 10 SKYLIGHT
- 11 BI-FOLD/SLIDING DOORS, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: JELD-WEN WINDOWS & DOORS; STYLE: W-4500 WOOD FOLDING PATIO DOOR; COLOR: CHESTNUT BRONZE www.jeld-wen.com
- 12 PAINTED METAL GUTTER OVER 8X2 PAINTED FASCIA
- 13 PAINTED DOWNSPOUT
- 14 5" ALUMINUM ADDRESS LETTERS "BANK GOTHIC MD" WITH 1" STANDOFF MOUNTING AND DARK BRONZE ANODIZED ALUMINUM FINISH
- 15 STAMPED CONCRETE STEPS
- 16 8"x1'-2" STONE PARAPET COPING.
- 17 PAINTED DARK BRONZE WOOD LOUVERED GATE/FENCE
- 18 STONE 3' HIGH ENTRANCE COLUMN
- 19 STONE 4' HIGH ENTRANCE FENCE
- 20 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY LIGHTING; STYLE: DRAKE 1990OZ; COLOR: DIE-CAST ALUMINUM www.hinkleylighting.com
- 21 PAINTED DARK BRONZE WOOD TRIM
- 22 6" STONE TRIM
- 23 2' PAINTED DARK BRONZE WINDOW/DOOR TRIM

KEYNOTES - -

- A. NOT USED
 B. (N) FIRST FLOOR BOTTOM PLATE @ (+/- 247.87')
 C. (N) FIRST FLOOR TOP PLATE @ (+/- 257.37')
 D. (N) SECOND FLOOR BOTTOM PLATE @ (+/- 258.68')
 E. (N) SECOND FLOOR TOP PLATE @ (+/- 266.62')
 F. (N) SECOND FLOOR TOP PLATE @ (+/- 267.62')
 G. (N) BUILDING HEIGHT @ (+/- 271.55')

GRID LINE LEGEND - -



KEYPLAN 1/30' -



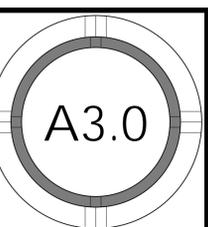
19 N. 2nd St., Ste. 205
 San Jose, CA 95113
 P : (408) 998 - 0983
 F : (408) 998 - 0982

LIANG - LEW RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 643 MILVERTON ROAD, LOS ALTOS, CA
 KELLY LIANG AND PHIL LEW



PROJECT NO.	DESCRIPTION	DATE	REVISION
14-000	DESIGN DEVELOPMENT REVIEW	09/25/2014	
	DESIGN DEVELOPMENT REVIEW RESUB	10/22/2014	

EXTERIOR ELEVATIONS



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



NORTH ELEVATION (REAR) 1/4" 1



WEST ELEVATION (LEFT) 1/4" 2

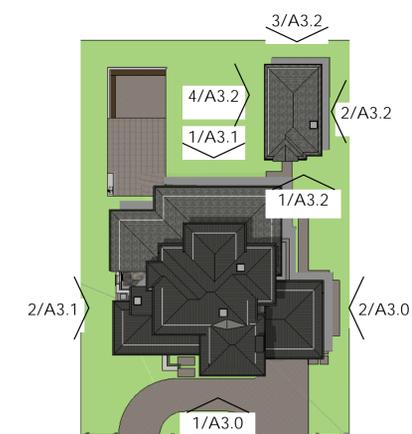
= NUMBER OF KEYNOTE BELOW

- 1 DAYLIGHT PLANE AS DEFINED BY CITY OF LOS ALTOS. GRADE FOR THE PURPOSE OF ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT
- 2 ASPHALT COMPOSITION SHINGLES, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: CERTAINTEED; STYLE: PRESIDENTIAL SHAKE TL; COLOR: PLATINUM www.certainteed.com
- 3 METAL SEAM ROOFING, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: AEP SPAN; STYLE: FLEX SERIES; COLOR: OLD TOWN GRAY www.aepspan.com
- 4 LIGHTWEIGHT STONE VENEER, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: ELDORADO STONE; STYLE: MOUNTAIN LEDGE; COLOR: SIERRA www.eldoradostone.com
- 5 LIGHTWEIGHT STONE VENEER, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: ELDORADO STONE; STYLE: ASHLAR; COLOR: SANTA BARBARA www.eldoradostone.com
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- C. (N) FIRST FLOOR TOP PLATE @ (+/- 257.37')
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- F. (N) SECOND FLOOR TOP PLATE @ (+/- 267.62')
- G. (N) BUILDING HEIGHT @ (+/- 271.55')

GRID LINE LEGEND - -



KEYPLAN 1/30' -



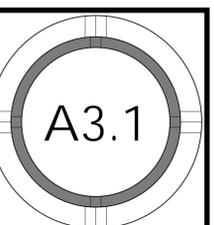
19 N. 2nd St., Ste. 205
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LIANG - LEW RESIDENCE
NEW SINGLE FAMILY RESIDENCE
643 MILVERTON ROAD, LOS ALTOS, CA
KELLY LIANG AND PHIL LEW

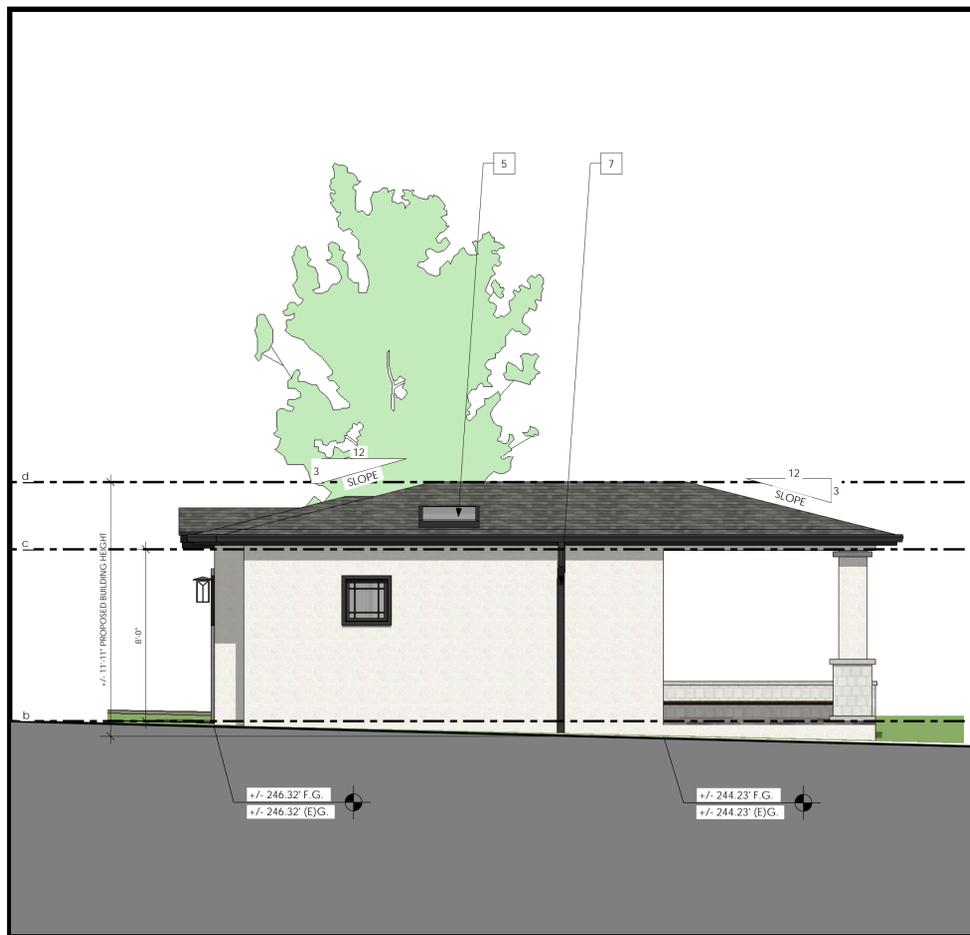


PROJECT NO.	DESCRIPTION	DATE	REVISION
14-000	DESIGN DEVELOPMENT REVIEW	09/25/2014	
	DESIGN DEVELOPMENT REVIEW RESUB	10/22/2014	

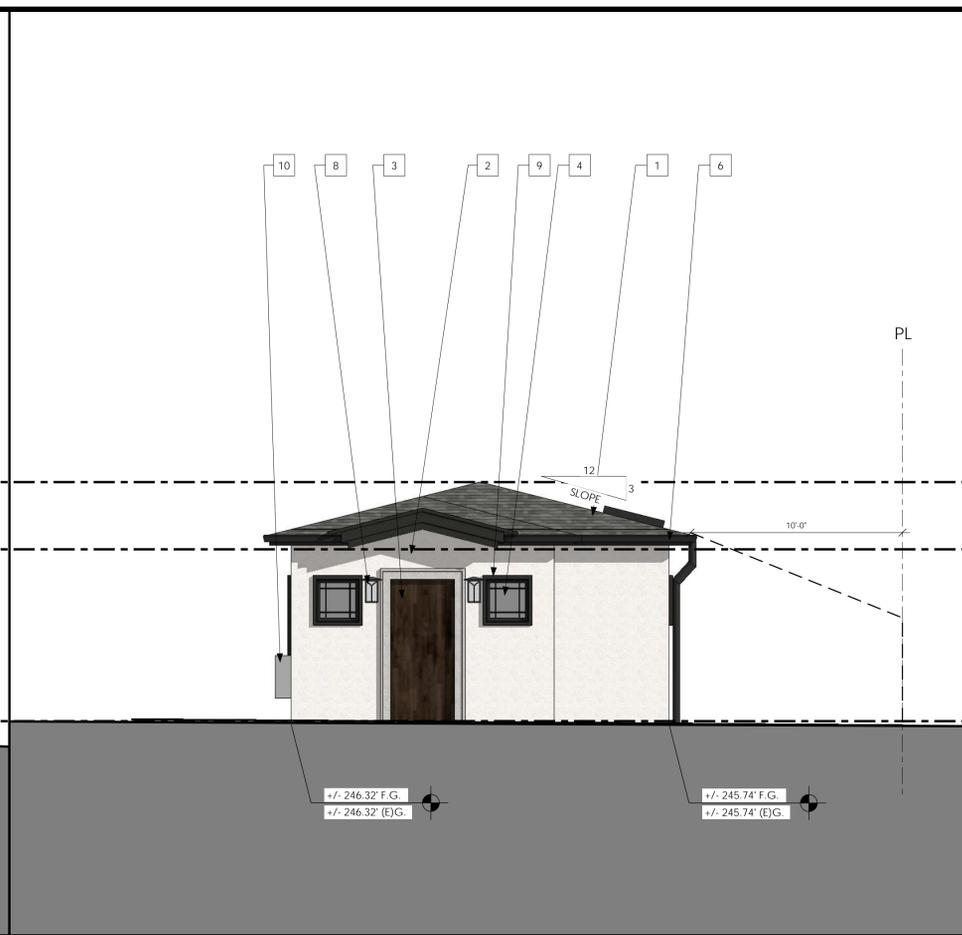
EXTERIOR ELEVATIONS



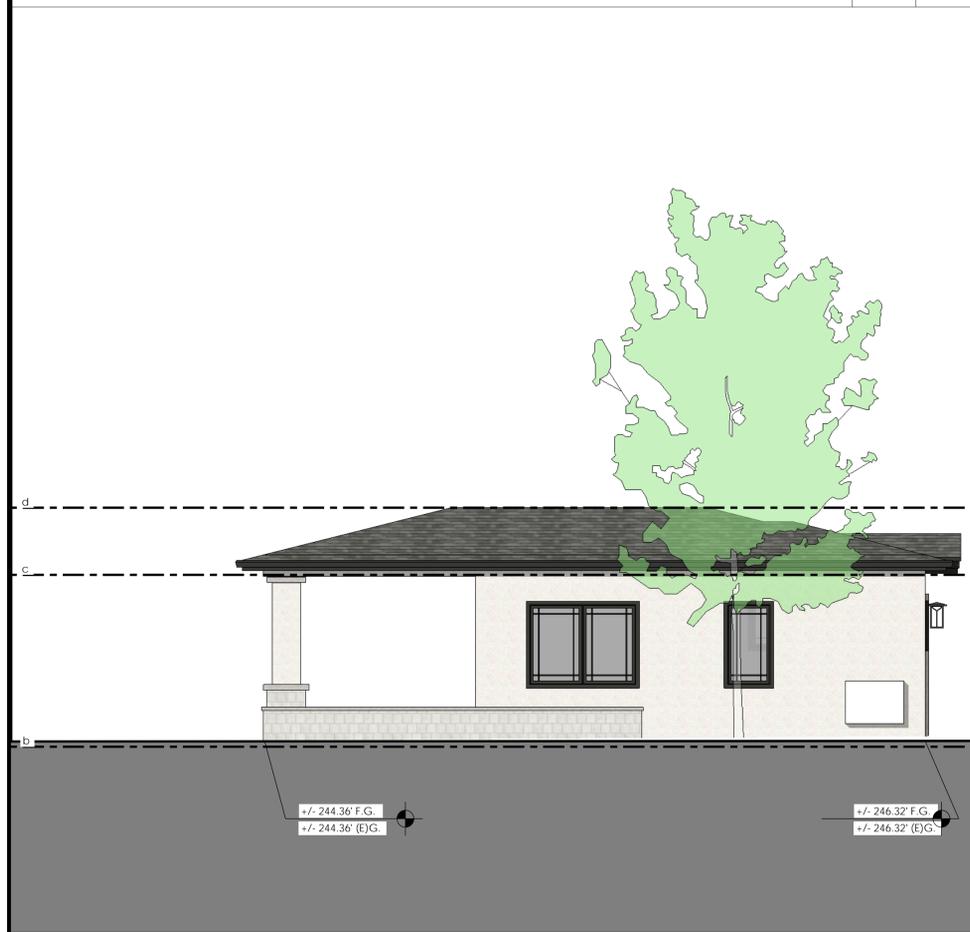
"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



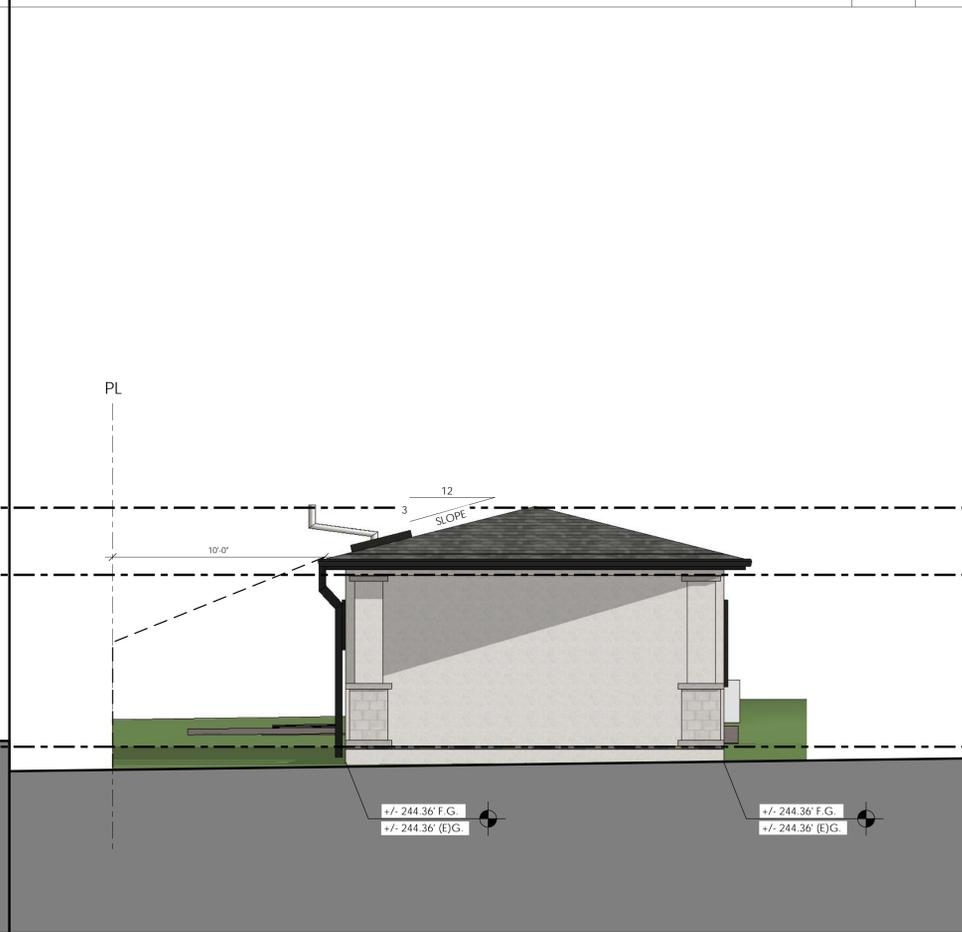
WEST ELEVATION (RIGHT) 1/4" 3



SOUTH ELEVATION (FRONT) 1/4" 1



EAST ELEVATION (LEFT) 1/4" 4



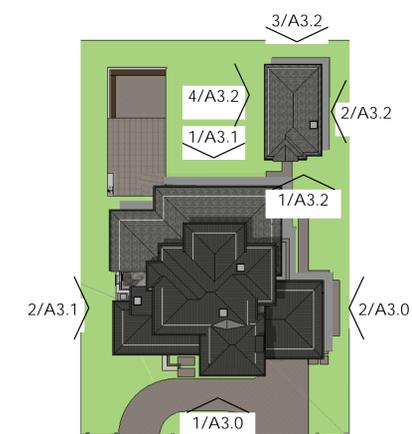
NORTH ELEVATION (REAR) 1/4" 2

= NUMBER OF KEYNOTE BELOW

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- 5 SKYLIGHT
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- 9 2' PAINTED DARK BRONZE WINDOW/DOOR TRIM
- 10 PTAC HVAC UNIT

KEYNOTES	-	-
a. NOT USED		
b. (N) FIRST FLOOR BOTTOM PLATE @ (+/- 245.08')		
c. (N) FIRST FLOOR TOP PLATE @ (+/- 253.08')		
d. (N) BUILDING HEIGHT @ (+/- 256.31')		

GRID LINE LEGEND	-	-



KEYPLAN 1/30' -



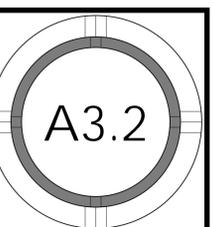
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14-020	DESIGN DEVELOPMENT REVIEW	09/25/2014	
	DESIGN DEVELOPMENT REVIEW RESUB	10/22/2014	

EXTERIOR ELEVATIONS

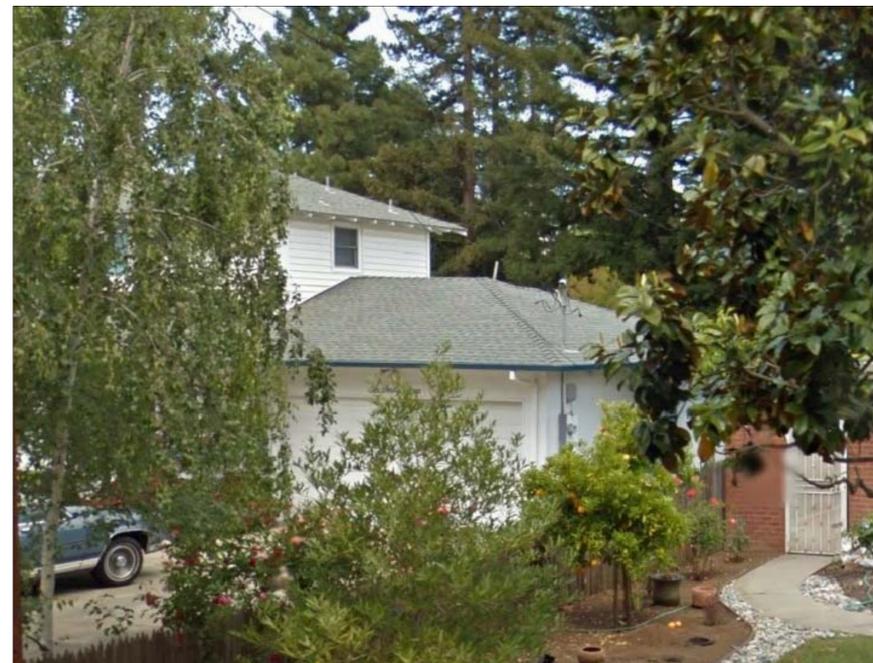


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1/4" = 23'-3" o.l.g.



EXISTING FRONT ELEVATION - 1



EXISTING SIDE ELEVATIONS - 2

KEYNOTES -



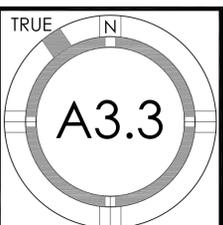
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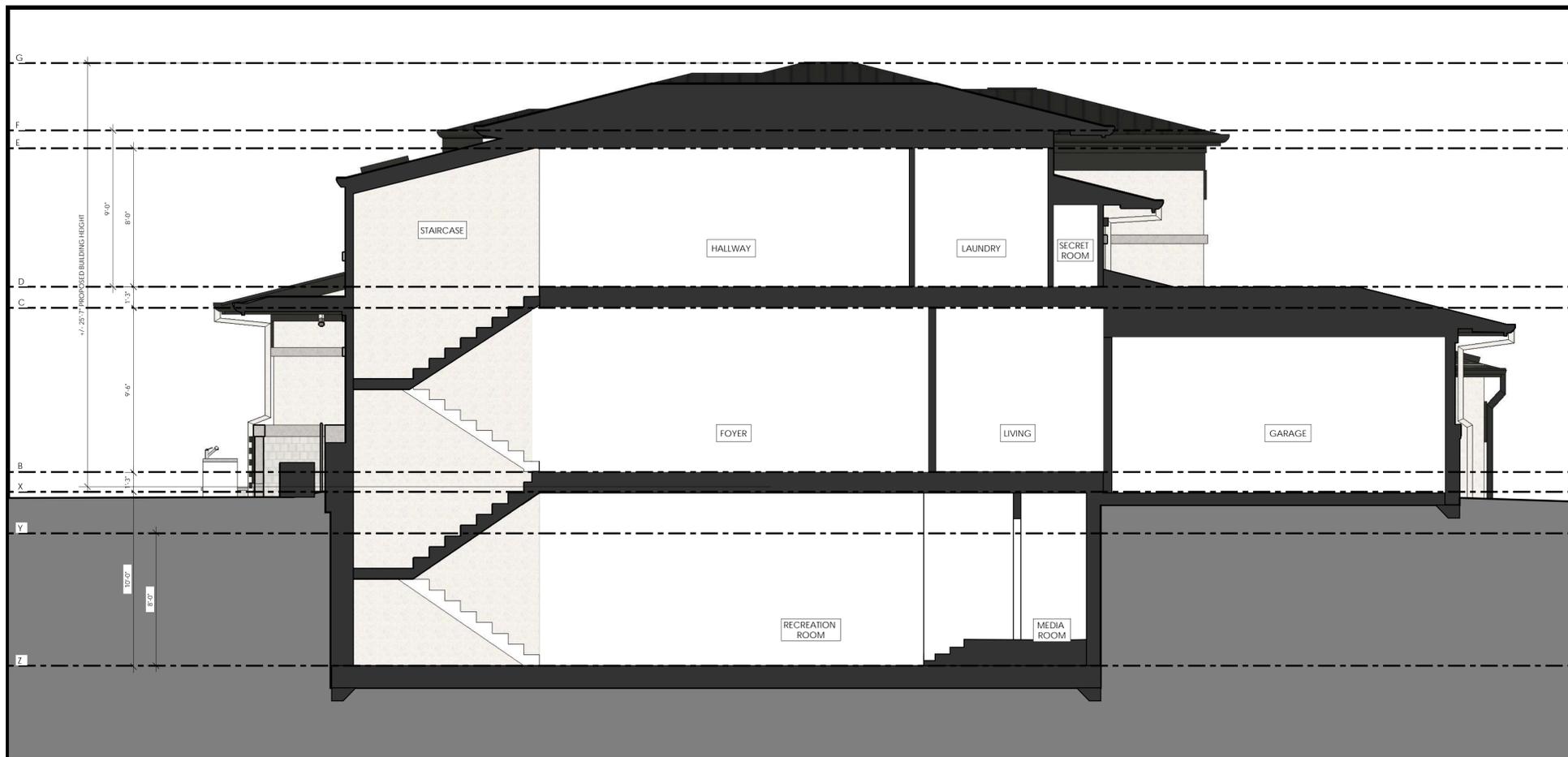


REVISION	DATE	DESCRIPTION
	08.25.2014	DESIGN DEVELOPMENT REVIEW
	10.22.2014	DESIGN DEVELOPMENT REVIEW RESUB

EXISTING ELEVATIONS



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



SECTION 1/4" 1



SECTION 1/4" 2

KEYNOTES		-	-
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C.	(N) FIRST FLOOR TOP PLATE @ (+/- 257.37')		
D.	(N) SECOND FLOOR BOTTOM PLATE @ (+/- 258.68')		
E.	(N) SECOND FLOOR TOP PLATE @ (+/- 266.62')		
F.	(N) SECOND FLOOR TOP PLATE @ (+/- 267.62')		
G.	(N) BUILDING HEIGHT @ (+/- 271.55')		
X.	(N) BASEMENT TOP PLATE @ (+/- 246.62')		
Y.	(N) BASEMENT TOP PLATE @ (+/- 244.62')		
Z.	(N) BASEMENT BOTTOM PLATE @ (+/- 236.62')		

GRID LINE LEGEND		-	-

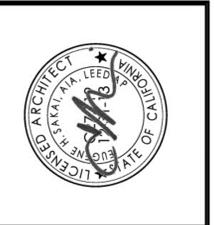


KEYPLAN 1/30' -



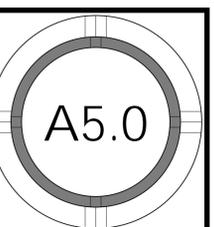
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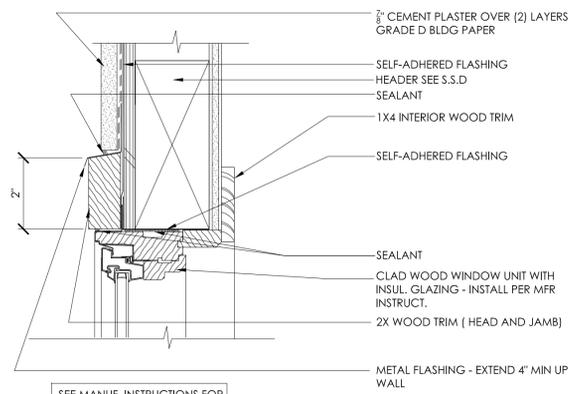


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SECTIONS

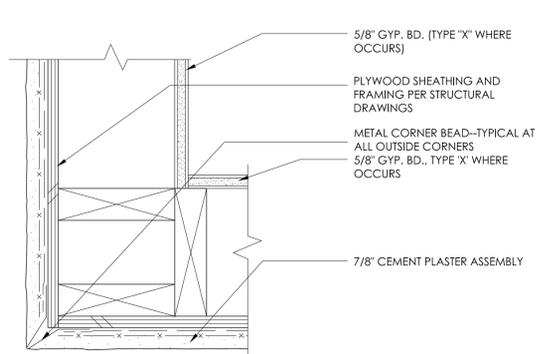


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SEE MANUF. INSTRUCTIONS FOR SEALING INFORMATION

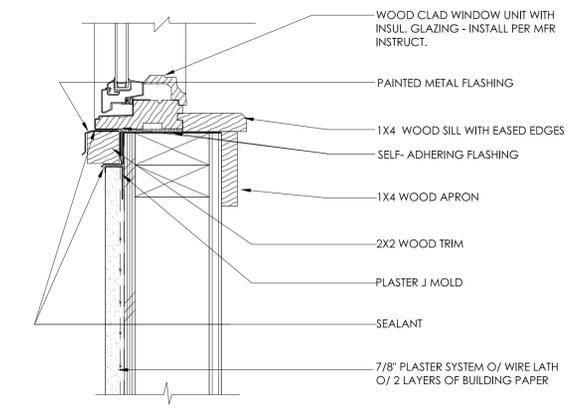
13 TYP. WINDOW HEAD (JAMB. SIM.) 3" 9



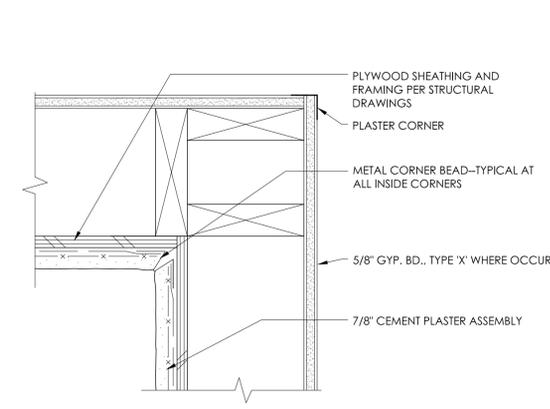
TYPICAL OUTSIDE PLASTER CORNER 3" 5

- GENERAL NOTES:**
- ALL FLASHING SHALL BE GALVANIZED SHEET METAL 26 GA. MIN. U.O.N. SHEET METAL TO BE PAINTED SHALL ALSO BE BONDERIZED.
 - FLASHING SHOWN IS TYPICAL FOR NOTED AND SIMILAR ROOF CONDITIONS, AND WALL PENETRATIONS SHAPES SHOWN DO NOT COVER ALL REQUIRED CONDITIONS. PROVIDE ADDITIONAL SHAPES AT SIMILAR ROOF SURFACES AND OTHER EXTERIOR JUNCTIONS.
 - SADDLE FLASHING METAL AT BEAM PENETRATIONS SHALL OCCUR AT ALL EXTERIOR BEAMS.
 - AT ALL EXTERIOR DOORS (EXCEPT METER CABINETS) PROVIDE FORMED FLASHING.
 - SOLDER ALL JOINTS AT FLASHING U.O.N. BREEZEWAY STRAIGHT LEG FLASHING TO BE CAULKED TO ALLOW EXPANSION.
 - TRUSS MANUFACTURER TO VERIFY ALL ROOF SLOPES.
 - USE SINGLE PIECES OF FLASHING, NO SEAMS FOR DOOR PANS AND HEAD FLASHING.

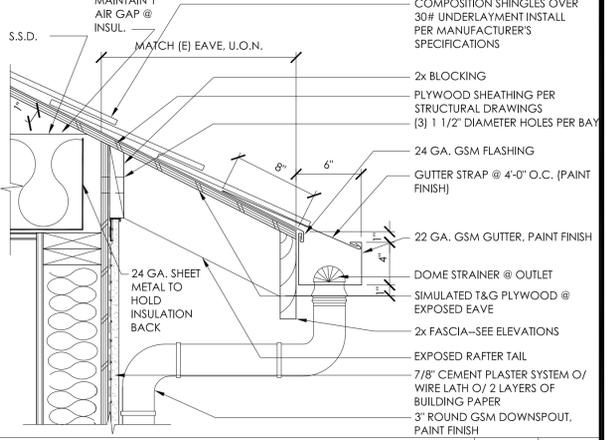
ROOF & FLASHING DTL. GENERAL NOTES N.T.S. 1



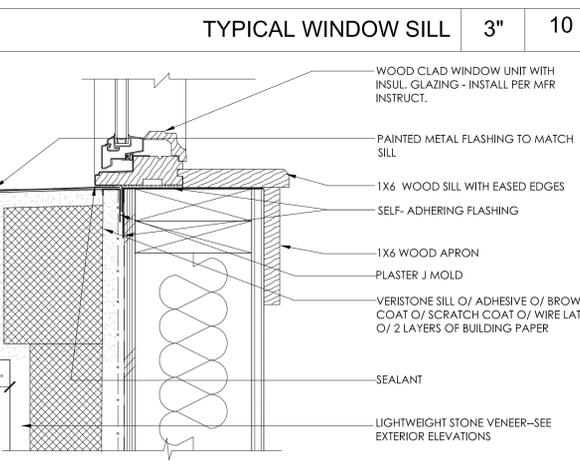
14 TYPICAL WINDOW SILL 3" 10



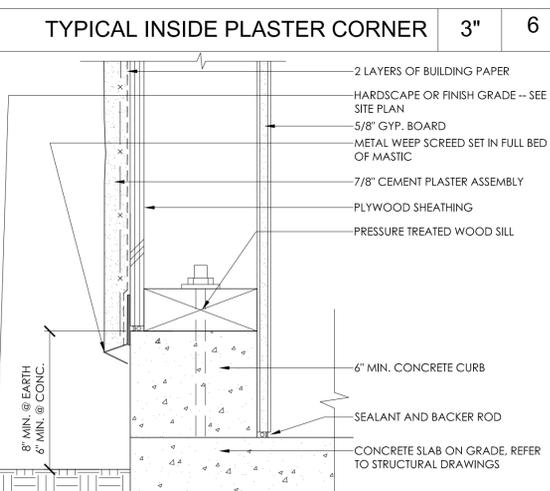
TYPICAL INSIDE PLASTER CORNER 3" 6



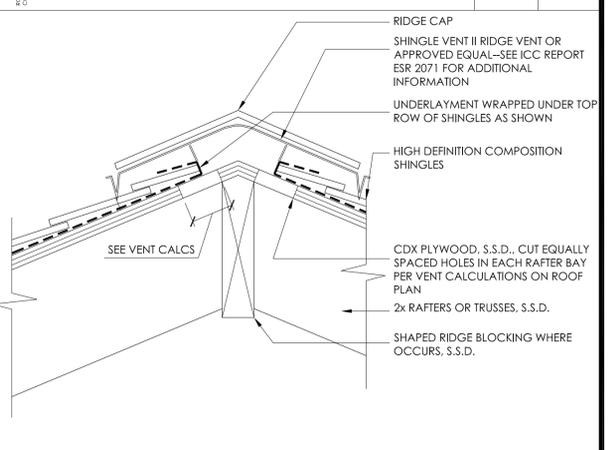
TYPICAL EAVE DETAIL 1 1/2" 2



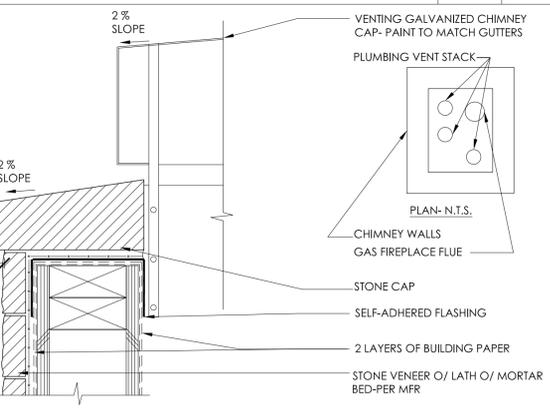
15 WINDOW SILL 3" 11



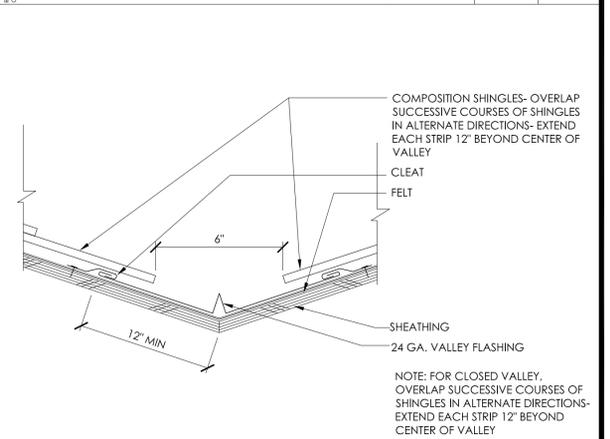
PLASTER TERMINATION @ WALL BASE 3" 7



RIDGE VENT DETAIL 3" 3



CHIMNEY CAP 3" 8



VALLEY DETAIL 3" 4

16 12



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DETAILS

