



DATE: October 15, 2014

AGENDA ITEM # 2

TO: Design Review Commission
FROM: Zachary Dahl, Senior Planner
SUBJECT: 14-V-10, 14-SC-25 and 14-H-04 – 452 University Avenue

RECOMMENDATION:

Approve variance application 14-V-07 and design review application 14-SC-25 subject to the findings and conditions

PROJECT DESCRIPTION

This is a Variance and Design Review application for alterations and improvements to a designated Historic Landmark property. The project includes demolition of an existing detached garage, construction of a new detached garage over 12 feet in height, alterations to the rear elevation of the main house, including a new second-story balcony, and a new pool with a raised patio. The variance would allow for a patio in the side yard setback that exceeds six-inches above grade. The following table summarizes the project's technical details:

GENERAL PLAN DESIGNATION: Single-Family, Residential
ZONING: R1-10
PARCEL SIZE: 27,059 square feet
MATERIALS: New concrete barrel roof on main house and slate roof on detached garage, stucco siding, wood trim details and wrought iron railing

	Existing	Proposed	Allowed/Required
COVERAGE:	3,620 square feet	3,348 square feet	8,118 square feet
FLOOR AREA:			
Main House	3,903 square feet	N-A	
Second Living Unit	770 square feet	N-A	
Detached Garage	918 square feet	530 square feet	
Total	5,591 square feet	5,203 square feet	5,456 square feet
SETBACKS:			
Front	52.75 feet	N-A	25 feet
Rear	46 feet	N-A	25 feet
Right side	19.5 feet/21.5 feet	10 feet/N-A	10 feet/17.5 feet
Left side	1.5 feet/25.5 feet	21.5 feet/N-A	10 feet/17.5 feet
HEIGHT:	27.75 feet	N-A	27 feet

BACKGROUND

Existing Conditions

The residence at 452 University Avenue, known as the Guy Shoup House, was constructed in 1915 during Los Altos' early residential development period. This Mediterranean style house was designed by architect Warren P. Skilling for Guy Shoup, who is considered to be a founding father of Los Altos. The property is designated as a Historic Landmark, has a Historic Preservation Agreement with the City and is subject to the Mills Act. The Mills Act is a state law that allows cities to enter into contracts with owners of historic properties that allow for a reduction of property taxes in exchange for the continued preservation and preservation of the property.

There are two accessory structures on the rear of the property – a detached garage and a second living unit (cottage). While the detached garage was constructed around the same time period as the house, it is not considered to be a historic structure or contribute to the historic significance of the main house. The date of construction for the second living unit is not known, but it is not considered historic. A complete historic property evaluation is attached the Historical Commission agenda report (Attachment E).

Historical Commission Review

On August 25, 2014, the Historical Commission held a public meeting to review the proposed project. For designated Historic Landmark properties, the Code requires that the Historical Commission issue a Historic Alteration Permit.

The Commission expressed general support for the project but raised a concern about the proposed wrought iron railing being overly ornate. The Commission also inquired about the historic nature of the existing detached garage and discussed the removal of an interior wall that separated the front hall from the kitchen and dining room. Following the discussion, the Commission voted 5-1 to recommend approval of the project with recommendations that the final railing design be brought back to the Commission for approval and that the interior wall be preserved, if feasible. The meeting minutes and the Historical Commission agenda report are included (Attachments D and E). Condition No. 4 addresses the Commission's recommendation on reviewing the final railing design.

DISCUSSION

Side Yard Patio Variance

The subject property is a moderately sloping lot that drops approximately 23 feet from its University Avenue frontage down to the rear property line adjacent to the Shoup Park trail and Adobe Creek. The slope along the left side property line has been terraced and re-graded over the years to improve the usability of the adjacent yard spaces for all three properties. The existing detached garage has a setback of 1.2 feet from the left side property line. Sheets LP-1 and LP-2 have site plans that show existing and proposed conditions.

The proposed work includes removal of the existing detached garage and the construction of a new pool, patio and landscaping. The project is proposing to construct a new retaining wall along the left

side property line in order to create a level surface for the pool and surrounding patio. The pool would have a setback of 11 feet and the edge of the patio would have a setback of six feet. A six-foot tall wall and evergreen screening trees would be installed between the edge of the patio and the property line to provide a reasonable level of privacy for the adjacent property. Since the Code does not allow patios over six inches above grade to be located in a side yard setback, a variance application has been submitted. Sheet LP-3 provides additional information and cross-sections about the proposed patio and retaining wall. A letter from the applicant provides additional information about why the variance has been requested (Attachment B).

The granting of a variance to allow for a raised patio in the side yard setback would be consistent with the objectives of the zoning ordinance. Retaining walls at the property line are often used to separate grades between properties to allow for more usable spaces on each side. This project is proposing a grading plan and retaining wall that is in-keeping with this approach and the historic grading that has occurred in this neighborhood.

The project would not be injurious to persons or property in the vicinity. The proposed retaining wall, evergreen landscaping and stepped screening wall will ensure that there are not any privacy impacts and will not result in any impacts to public health or safety.

There is a special circumstance applicable to the property due to the sloping topography and existing non-conforming accessory building. Strict application of the Zoning Code would deprive the subject property of privileges enjoyed by other property in the vicinity and under identical zoning classifications since many of the nearby properties have constructed retaining walls and terraced their properties to create more usable yard spaces.

Second Story Balcony

As part of the exterior alterations proposed on the rear elevation of the main house, a new second story balcony is proposed on the existing flat roof. The balcony would be 11 feet wide by eight feet deep, located off of Bedroom 3 and have a side yard setback of 26 feet. The existing side property line has an open wire fence with some sparse vegetation and a few mature trees. The project includes new evergreen hedging and landscaping along the entire length of side property line that is viewable from the balcony. The new detached garage will also provide screening along the side property line.

As part of the Historic Alteration Permit that was issued by the Historical Commission, all of the exterior architectural alterations to the main house, including the balcony, were reviewed and approved. With the existing trees, new evergreen screening and detached garage, as shown on Sheet LP-1, a reasonable level of privacy will be maintained.

New Detached Garage

The proposed detached garage is located along the right side property line behind the main house. The accessory structure has a gable roof form with slate roofing, stone veneer siding and wood trim details. The structure uses materials that are not found on the historic house in order to differentiate it and avoid the perception that this structure is historic. The accessory structure is 11 feet tall at the

front, but due to the sloping topography, increases to 13 feet in height towards the rear. Sheets A2.8 and A3.5 in the project plans provide additional information about the proposed detached garage.

The Code allows for the Commission to approve accessory structures up to 18 feet in height when they meet all required setbacks for the main structure and the additional height is necessary to establish architectural compatibility with the main house. In this case, the structure is purposely differentiated from the main house in order to comply with historic preservation requirements and the structure is only exceeding the 12-foot height limit because of the sloping topography of the lot. The structure also has a 10-foot side yard setback. Therefore, staff finds that the structure meets the intent of the Code since it has architectural integrity, meets all required setbacks and the additional height is necessary due to the sloping nature of the lot.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act because it involves an addition to a single-family dwelling in a residential zone.

Cc: Robert Mowat, Applicant
Dave Hitz, Owner
Robert Boles, Architect

Attachments:

- A. Application
- B. Applicant Cover Letter
- C. Area and Vicinity Maps
- D. Historical Commission Meeting Minutes, August 25, 2014
- E. Historical Commission Agenda Report, August 25, 2014

FINDINGS

14-V-10 and 14-SC-25 – 452 University Avenue

1. With regard to the variance to allow a raised patio in the left side yard setback, the Design Review Commission finds the following in accordance with Section 14.76.060 of the Municipal Code:
 - a. The granting of the variance will be consistent with the objectives of the zoning plan set forth in Article 1 of Chapter 14.02;
 - b. The granting of the variance will not be detrimental to the health, safety, or welfare of persons living or working in the vicinity or injurious to property or improvements in the vicinity; and
 - c. There is a special circumstance applicable to the property due to the sloping topography and existing non-conforming accessory building. Strict application of the Zoning Code would deprive the subject property of privileges enjoyed by other property in the vicinity and under identical zoning classifications since many of the nearby properties have constructed retaining walls and terraced their properties to create more usable spaces.

2. With regard to the new second-story balcony, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code that:
 - a. The proposed project complies with all provision of this chapter;
 - b. The height, elevations, and placement on the site of the proposed project, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
 - c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
 - d. The orientation of the proposed project in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
 - e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the proposed project with its design concept and the character of adjacent buildings; and

- f. The proposed project has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.
3. With regard to the new detached garage with a maximum height of 13 feet, the Design Review Commission finds the following in accordance with Section 14.06.120(B)(6) of the Municipal Code that:
 - a. The accessory structure is located entirely within the main structure's building envelope; and
 - b. The additional height is necessary due to the sloping topography of the lot and it is compatible with the historic main structure by having differentiated architectural materials and forms.

CONDITIONS

14-V-10, 14-SC-25 and 14-H-04 – 452 University Avenue

1. The approval is based on the plans received on September 17, 2014 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. Obtain an encroach permit issued from the Engineering Division prior to doing any work within the public street right-of-way.
3. **Prior to building permit submittal, the plans shall contain/show:**
 - a. The conditions of approval shall be incorporated into the title page of the plans;
 - b. On the grading plan and/or the site plan, show all tree protection fencing and add the following note: “All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.” The tree protection fencing shall be installed prior to issuance of the demolition permit and shall not be removed until all building construction has been completed;
 - c. Verification that the structure will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from a Qualified Green Building Professional;
 - d. The location of any air conditioning units on the site plan and the manufacturer’s sound rating for each unit; and
 - e. The measures to comply with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).
4. **Prior to issuance of the building permit**, the applicant shall provide architectural details of the proposed wrought iron railings for review by the Historical Commission.
5. **Prior to final inspection:**
 - a. All front yard landscaping shall be maintained and/or installed as required by the Planning Division; and
 - b. Submit verification that the structure was built in compliance with the City’s Green Building Ordinance (Section 12.26 of the Municipal Code).



CITY OF LOS ALTOS
GENERAL APPLICATION

Type of Review Requested: (Check all boxes that apply)

Permit # 1106236

<input type="checkbox"/>	One-Story Design Review	<input type="checkbox"/>	Sign Review	<input type="checkbox"/>	Multiple-Family Review
<input checked="" type="checkbox"/>	Two-Story Design Review	<input type="checkbox"/>	Sidewalk Display Permit	<input type="checkbox"/>	Rezoning
<input checked="" type="checkbox"/>	Variance(s)	<input type="checkbox"/>	Use Permit	<input type="checkbox"/>	R1-S Overlay
<input type="checkbox"/>	Lot Line Adjustment	<input type="checkbox"/>	Tenant Improvement	<input type="checkbox"/>	General Plan/Code Amendment
<input type="checkbox"/>	Tentative Map/Division of Land	<input type="checkbox"/>	Preliminary Project Review	<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Subdivision Map Review	<input type="checkbox"/>	Commercial Design Review	<input checked="" type="checkbox"/>	Other: <u>Historical Commission</u>

Project Address/Location: 452 UNIVERSITY AVENUE Review.

Project Proposal/Use: SINGLE FAMILY RESIDENCE

Current Use of Property: SINGLE FAMILY RESIDENCE

Assessor Parcel Number(s) 175-13-054. Site Area: 27,059 S.F.

New Sq. Ft.: 530 Remodeled Sq. Ft.: 458 Existing Sq. Ft. to Remain: 3459

Total Existing Sq. Ft.: 4838 Total Proposed Sq. Ft. (including basement): 4447

(E) basement not surveyed - no changes proposed.

Applicant's Name: ROBERT MONAT ASSOCIATES

Home Telephone #: CELL 925 999-0303 Business Telephone #: 415 777-4656

Mailing Address: 1501 H. BROADWAY SUITE 400

City/State/Zip Code: S WALNUT CREEK, CA. 94596

Property Owner's Name: DAVE HITZ

Home Telephone #: Cell (650) 714-8432 Business Telephone #: (408) 822-6000

Mailing Address: 452 UNIVERSITY AVENUE

City/State/Zip Code: LOS ALTOS, CA 94022

Architect/Designer's Name: ROBERT BOLES Telephone #: (415) 587-2004

BEANSOILEIL ARCHITECTS

*** If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. ***

(continued on back)



September 15, 2014

ROBERT MOWAT
ASSOCIATES



Mr. Zachary Dahl AICP – Senior Planner
c/o City of Los Altos – Community Development
1 North San Antonio Road
Los Altos, Ca. 94022
(650) 947-2633

Re: Variance Application for 452 University Avenue, Los Altos, Ca.

Dear Mr. Dahl,

We are submitting an application for a variance to a Los Altos Planning Code that restricts any patio, deck or hardscape within the required 10'-0" side yard setback to be no more than 6" elevation change. We are proposing to construct a retention wall, privacy wall and concrete patio surface within the 10'-0" side yard to comply with the requirement that the proposed hardscape be 6" or less in elevation from natural grade.

We are proposing this variance so that the owner can enjoy a new renovated rear yard which will have a functional patio and pool space. The addition of walls were included with the input of the side yard neighbors so as to maintain their privacy and achieve the 6" elevational hardscape requirement. Their concerns were included in the design of this application. There is ample landscape screening proposed between the three adjoining properties. We understand that we have the support of both adjoining neighbors who will be affected by this application.

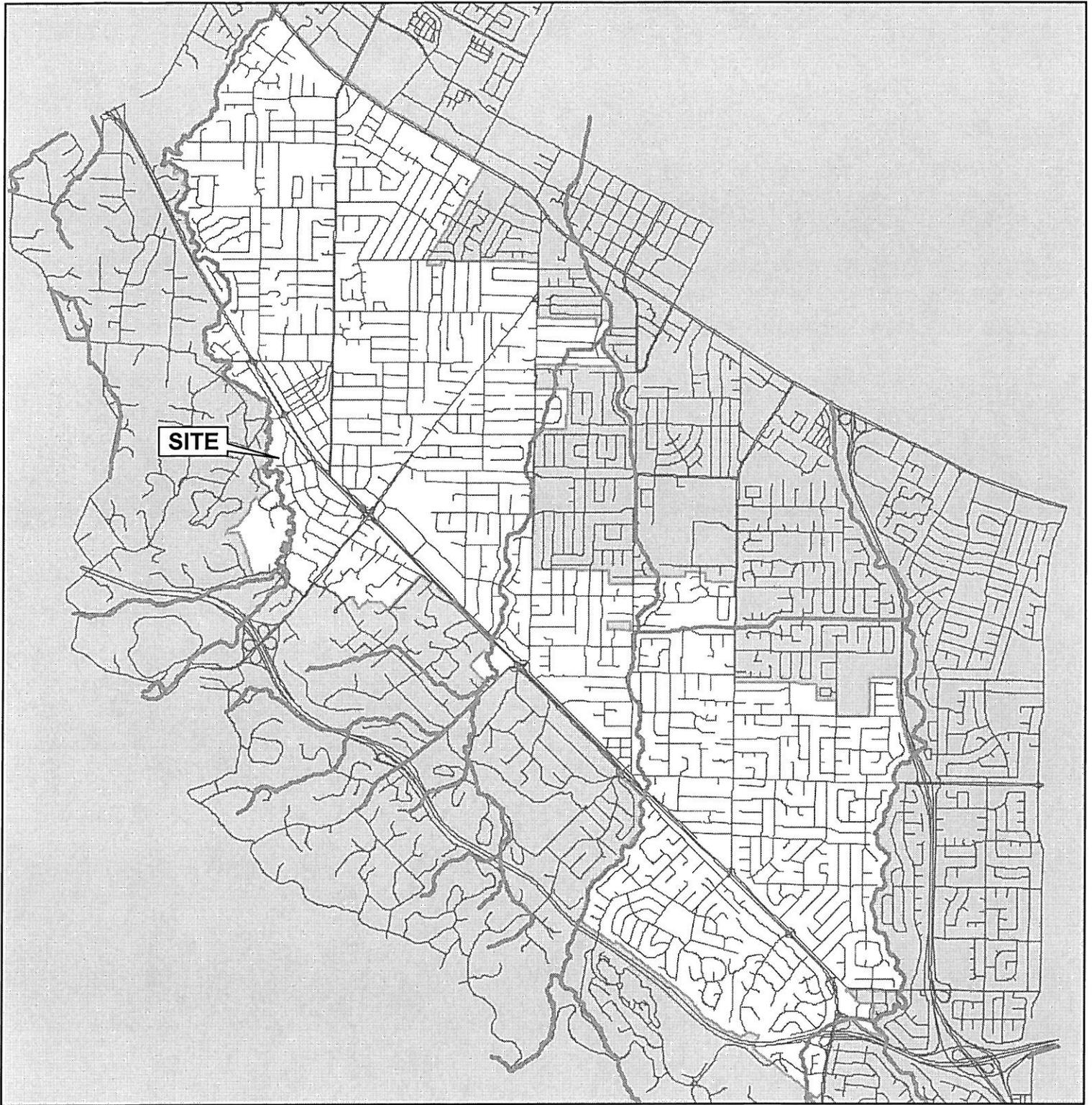
Special circumstances arise on this application proposal. Our proposed design respects both the historic integrity and character of the home and preserves the existing mature landscape on the property. The proposed patio and pool are amenities enjoyed by other property owners in the immediate neighborhood and do not constitute a special privilege being granted. Strict application of the R1 District Setback requirements would deprive the owner of amenities enjoyed by others. Special consideration in our design was given to preserve the existing landscape plantings in their entirety.

We respectfully submit this application for your review and approval.

Sincerely,

Robert Mowat
Registered L.A. #2258

AREA MAP



CITY OF LOS ALTOS

APPLICATION: 14-V-10, 14-SC-25, and 14-H-04
APPLICANT: R. Mowat Associates /D. Hitz
SITE ADDRESS: 452 University Avenue



Not to Scale

VICINITY MAP



SCALE 1 : 6,000



N



CITY OF LOS ALTOS

APPLICATION: 14-V-10, 14-SC-25, and 14-H-04
APPLICANT: R. Mowat Associates /D. Hitz
SITE ADDRESS: 452 University Avenue



HISTORICAL COMMISSION MINUTES

Monday, August 25, 2014 – 7:00 P.M.
Los Altos Community Meeting Chambers
1 North San Antonio Road, Los Altos, California 94022

CALL TO ORDER

Chair AHMADJIAN-BAER called the meeting to order at 7:00 P.M.

ESTABLISH QUORUM

Present: Chair AHMADJIAN-BAER, Vice-Chair CHAPMAN and Commissioners BAKER, BISHOP, MARFATIA and WELSH
Absent: Commissioner MABE
Staff: Staff Liaison GALLEGOS and Senior Planner DAHL

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None

ITEMS FOR CONSIDERATION/ACTION

1. Commission Minutes

MOTION by Commissioner BISHOP, seconded by Commissioner Vice-Chair CHAPMAN, to approve the April 28, 2014 meeting minutes.
THE MOTION CARRIED UNANIMOUSLY

2. 14-H-04 – R. Mowat Associates – 452 University Avenue

Consideration of a Historic Alteration Permit for a new detached garage, rear yard improvements and alterations on the rear elevation of a historic landmark property.

Senior Planner DAHL presented the staff report and recommended approval.

Resident Rony Van Kyle spoke and expressed support for the project.

The Commission discussed the project, with a majority expressing support for the project. The Commission expressed concern about the ornateness of the wrought railing, noting that it should be simplified. The Commission also discussed the existing detached garage, noting that it was constructed at the same as the house and inquired if it should be considered a historic structure.

MOTION by Vice-Chair CHAPMAN, seconded by Commissioner WELSH, to recommend approval of Historic Alteration Permit Application 14-H-04 to the Design Review Commission subject to the listed findings and conditions, with the following additional recommendations:

- The garage was not a historic structure and demolition shall be permitted; and

- Architectural details of the new wrought iron railing shall be brought back to the Historic Commission for review prior to issuance of a building permit for the project.

MOTION TO AMEND by Commissioner MARFATIA, seconded by Commissioner WELSH, to include the following recommendation:

- Commission supports retaining the rear interior wall in the foyer per project historian recommendation; however, the final design shall be at the discretion of the owner.

THE AMENDMENT TO THE MOTION CARRIED UNANIMOUSLY.

THE ORIGINAL MOTION PASSED 5-1 VOTE, WITH COMMISSIONER BISHOP OPPOSED.

Commissioner BISHOP noted that his opposition was based on the demolition of the detached garage, which was a potentially historic structure.

INFORMATIONAL ITEMS

3. Historic Plaque Program

Staff Liaison DAHL reported that the first phase of the Historic Plaque Program was almost complete and plaques were installed on most of the City's Historic Landmark structures. The Commission discussed the process for implementing the Historic Plaque Program and installation of the plaques on the Historic Resource properties.

MOTION by Commissioner BAKER, seconded by Commissioner BISHOP, to recommend the City Council allocate funds for the ten plaques per year until plaques have been installed on all Historic Resource properties.

THE MOTION CARRIED UNANIMOUSLY.

4. Margaret Thompson Essay Contest

Commissioner WELSH provided an update on the status of the Margaret Thompson Essay Contest.

5. History Museum Communication

Staff Liaison DAHL provided follow-up on joint meeting with the Los Altos History Museum and inquired if the Commission wished to provide direction on a meeting date for the joint meeting. The Commission discussed scheduling the joint meeting with the Los Altos History Museum.

6. Monthly Staff Report

Staff Liaison DAHL introduced Assistant Planner GALLEGOS as the next staff liaison, and discussed the possibility of a Study Session from 6:00 pm to 6:45 pm at the next meeting, September 22, 2014, for Historical Review.

COMMISSIONER REPORTS AND COMMENTS

None



DATE: August 25, 2014

AGENDA ITEM # 2

AGENDA REPORT

TO: Historical Commission
FROM: Zachary Dahl, Senior Planner
SUBJECT: 14-H-04 – 452 University Avenue

RECOMMENDATION:

Approve Historic Alteration Permit 14-H-04 subject to the findings and conditions

PROJECT DESCRIPTION

The project is requesting approval of alterations to a designated Historic Landmark property. The scope of work includes demolition of an existing detached accessory structure, construction of a new detached garage, rear yard improvements, including new landscaping and new pool, alterations to the rear elevation and a new second-story balcony. The project will also require review and approval by the Design Review Commission for the new detached garage that is over 12 feet in height and the new second-story balcony.

BACKGROUND

The residence at 452 University Avenue, known as the Guy Shoup House, was constructed in 1915 during Los Altos' early residential development period. This modest Mediterranean style house was designed by architect Warren P. Skilling for Guy Shoup, who is considered to be a founding father of Los Altos. The property was designated as a Historic Landmark by the City Council on June 11, 2013. The property has executed a Historic Preservation Agreement with the City and is subject to the Mills Act. The historic property evaluation, which provides additional information about the structure's historic significance and physical integrity, is included in Attachment A.

DISCUSSION

Since this structure is a designated Historic Landmark, the Historical Commission needs to approve a Historic Alteration Permit for the proposed scope of work before it can move forward to the Design Review Commission and ultimately receive a building permit. In order to make positive findings and approve the permit, the Commission needs to find that the work complies with the Historic Preservation Ordinance (Chapter 12.44), does not adversely affect the physical integrity or historic significance of the property and is in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

The proposed alteration to the main house is very minor in scope and located on the rear elevation of the structure, which is not visible from the streets. The project has been reviewed by Leslie Dill, a certified historic professional, and her findings are outlined in the Secretary of the Interior's

Standards review letter included in Attachment B. The letter includes a recommendation that the project design be modified in order to preserve the historic integrity of the house. This recommendation is included as Condition No. 2. With the incorporation of this condition, the project appears to be in compliance with the Secretary of the Interior's Standards for Historic Preservation.

In addition to the alterations to the main house, there will be significant work to the rear portion of the property, including demolition of a non-historic detached garage, construction of a new detached garage along the right side property line, a new pool, and associated hardscape and landscaping improvements. Since these improvements will not be adversely affecting the physical integrity or the historic significance of the historic structure, staff recommends that the project be approved.

Cc: Robert Mowat, Applicant
Dave Hitz, Owner
Robert Boles, Architect

Attachments:

- A. Historic Property Evaluation – 452 University Avenue
- B. Secretary of the Interior's Standards Review Letter

FINDINGS

14-H-04 – 452 University Avenue

With regard to the Historic Alteration Permit for the project at 452 University Avenue, the Historical Commission finds the following in accordance with Section 12.44.150 of the Municipal Code:

1. The project complies with all provisions of the Historic Preservation Ordinance (Chapter 12.44);
2. The project does not adversely affect the physical integrity or the historic significance of the subject property; and
3. The project is in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

CONDITIONS

14-H-04 – 452 University Avenue

1. The approval is based on the plans received on August 18, 2014 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. Per the Secretary of the Interior's Standards compliance letter from Archives & Architecture -
Revise the design to leave the rear (west) wall of the entry hall intact, to preserve the original historic paneling and to provide visually traditional structural support for the corner of the room.

State of California – The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD	Primary # HRI # Trinomial NRHP Status Code
Other Listings Review Code	Reviewer
	Date

Page 1 of 15 *Resource Name or #: (Assigned by recorder) Guy and Adelle Shoup House

P1. Other Identifier: Historic Resource #88, Los Altos Historic Resource Inventory

***P2. Location:** Not for Publication Unrestricted ***a. County** Santa Clara
 and (P2b and P2c or P2d. Attach a Location Map as necessary.)
***b. USGS 7.5' Quad** Mountain View **Date** 1997 **T** 10S; **R** 2W; Mount Diablo **B.M.**
c. Address 452 University Avenue **City** Los Altos **Zip** 94022
d. UTM: (Give more than one for large and/or linear resources) **Zone** 10S; 577984 mE/ 4136795 mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)
 Assessor's Parcel Number: 175-13-054,
 west side of University Avenue, north of Sherman St.

***P3a Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The structure is a two-story stucco residence with a moderately sloping roof. The home is a conservative example of Mediterranean-style architecture that was becoming popular in California during the early decades of the 20th century. The house was designed to be comfortable rather than stylish; exterior ornamentation is restrained. The main entrance is slightly off-center, presenting a quietly informal appearance to the façade. Major fenestration is surrounded by trellis. There is a definitive date of construction in 1915 as noted in the *California Building and Engineering News*, a publication for contract notices.

The house is sited squarely to the street and is centered within the front quarter of the lot which is approximately rectangular in shape. The lot is 100' by 300' and includes .62 acres.
 (Continued on page 2, DPR523L)

***P3b. Resource Attributes:** (List attributes and codes) HP2. Single family property

***P4 Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #)

View of façade facing southwest, February 2013.

***P6. Date Constructed/Age & Sources:**
 Historic Prehistoric Both

1915; *Building & Eng. News*; original contract extant

***P7. Owner and Address:**

Delbert H. & Marlene Beumer
 452 University Avenue
 Los Altos, CA 94022

***P8. Recorded by:** (Name, affiliation, and address)

A. Halberstadt & S. Winder
 240 S. Thirteenth St.
 San Jose CA 95112

***P9. Date Recorded:** 4/2/2013

***P10. Survey Type:** (Describe)
 Intensive

***P11. Report Citation:** (Cite survey report and other sources, or enter "none".)

April Halberstadt: Guy and Adelle Shoup House, Landmark Nomination & Documentation in Support of Mills Act Contract, 2013.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure and Object Record Archaeological Record
 District Record Linear Feature Record Milling State Record Rock Art Record Artifact Record Photograph Record Other (List)

(Continued from page 1, DPR523a, P3a Description)

A driveway is located on the north side, providing access to a three-car garage located behind the house. The driveway is balanced on the south side by a decked terrace with a trellis overhang. The area on which the house stands is at street level, but the lot falls away sharply to Adobe Creek which forms the rear boundary of the property. The house is a two-story structure at the front, falling away to two-and-a-half stories at the rear. The house is rectangular in plan. The house has a moderately pitched roof covered with composition shingles. Plain brackets support the modest gables of the roof on all four sides of the structure.

The façade features generous banks of windows, massed to provide a major decorative element. The large living room window display to the left of the entrance consists of a large central pane flanked by a pair of multi-paned casements, one pair on each side. The central pane features matching multi-paned windows across the top, matching the casements. The windows are framed with a functional trellis. This design theme, a central fixed pane flanked by smaller, multi-paned windows is repeated across the façade. The dining room also has one large window flanked by narrow multi-paned casements. There are two sets of bedroom windows on the second floor that feature a similar pattern; the center panes are fixed and the side casement windows open. The sun room, located on the second floor to the right side of the house has three pairs of multi-paned windows, the regularity of the spacing providing a decorative pattern. All windows appear to be original.

The main entrance is inset and bordered by a decorative surround capped by a central cartouche. The oak door is not original but was replicated to replace the original which had deteriorated. The front entry is flanked by windows.

The house sits on a concrete foundation that is not visible from the front but can be seen at the rear of the structure. There are crawlspace windows at the rear of the house. Approximately half of the rear of the house is covered by a raised porch or deck, covered by a trellis. An exterior stairway leads from the porch to the garden and garage area. The north side of the house is bordered with a driveway and a raised bed of landscaping. The south side of the house features French doors that open onto a small raised deck. The deck is covered with a trellis and landscaped with a spectacular wisteria.

Garage structures:

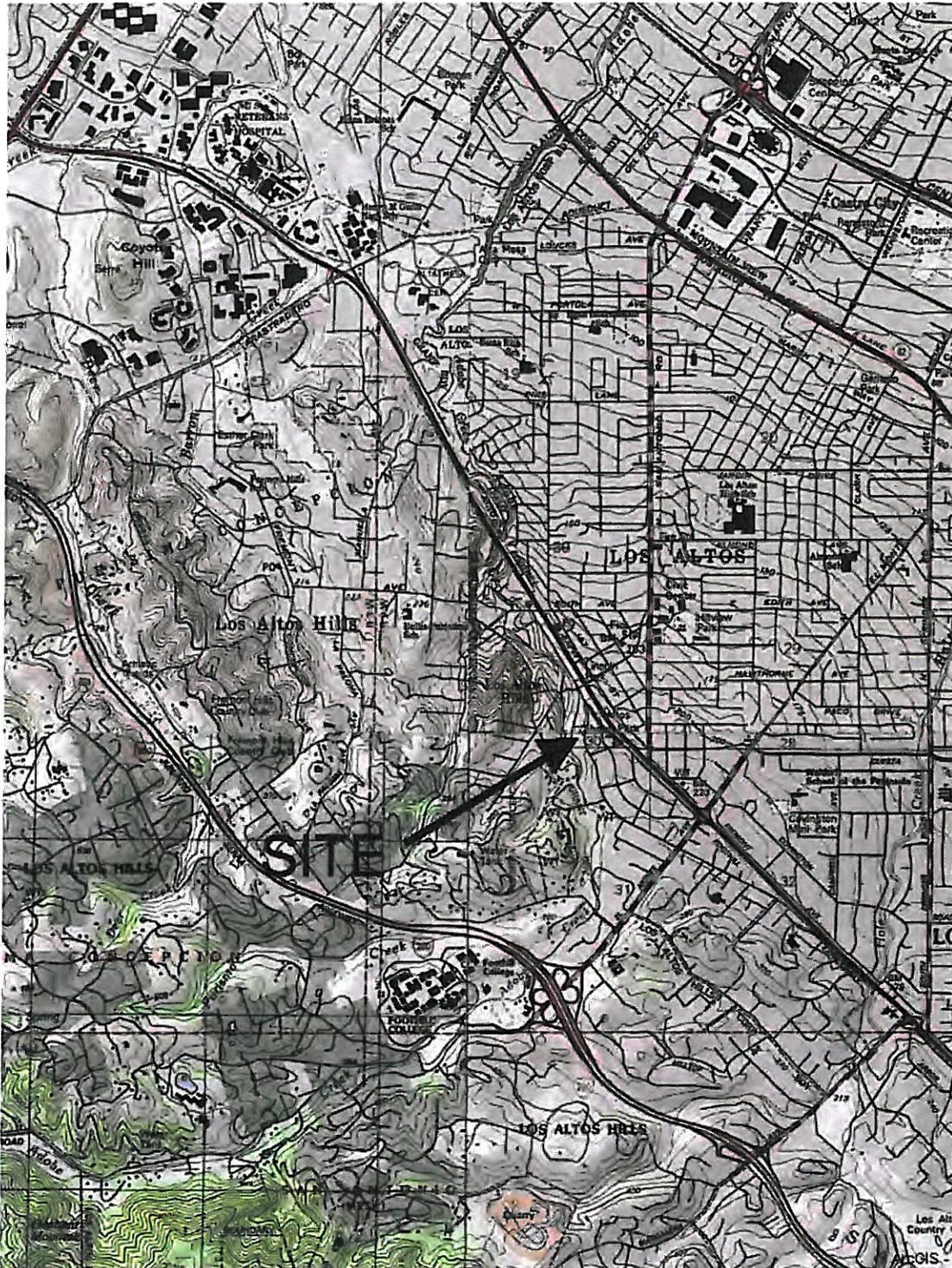
The site includes a three-car garage located behind the house and at right angles to the main structure. The garage appears to be contemporary with the house. The garage doors have been replicated to match the original; one set of doors is now fixed in place. There are small additions to either side of the garage. One side houses a conservatory and garden tool area. The other side houses a small studio.

Setting:

The setting includes a landscaped front yard with a curving brick entry walk. The property features mature plantings and trees dating to the time of the original owner. The garage and parking area are directly behind the house. The remainder of the site has been terraced to provide garden areas. There is a large arbor shading part of the garden. There is also a registered well and pump house at the rear of the property.

Additional structure:

There is a pool house on the property that was built in 1979. The designer was builder Harvey Boyce who built the Sunnyview Retirement Home and Hope Lutheran Church in San Mateo, among other commissions. Although the structure was intended as a pool house, the pool was not built and the structure functions as a guest cottage. It is classified as a utility building. The redwood structure is approximately hexagonal in shape with an open floor plan and a large lofty main room. The design is contemporary in feeling.



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #
HRI #

Page 4 of 15

*NRHP Status Code 35

*Resource Name or # (Assigned by recorder) Guy and Adelle Shoup House

B1. Historic Name: Guy and Adelle Shoup House

B2. Common Name: None

B3. Original use: Single Family Residence

B4. Present Use: Single Family Residence

*B5. Architectural Style: Mediterranean Revival

*B6. Construction History: (Construction date, alterations, and date of alterations)

House built circa 1915; designed by architect Warren P. Skillings. Contract and notice of permit extant. Garage built concurrent with the house. Pool house added to the property in 1979.

*B7. Moved? No Yes Unknown Date: n/a Original Location: n/a

*B8. Related Features:

Pool house built in 1979; pool not built. Current use is as guest cottage. Pump house added over registered well.

B9a Architect: Warren P. Skillings b. Builder: P. T. Jorgensen

*B10. Significance: Theme Residential Architecture 1907-1940 Area Los Altos

Period of Significance 1915-1963 Property Type Residential Applicable Criteria B (2), C (3)

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The house located at 452 University Avenue was built in 1915 for Guy and Adelle Shoup. The house was designed by architect Warren P. Skillings and the contractor was P. T. Jorgensen. The home is one of the earliest residential structures built in the Los Altos area and is associated with one of the founders of Los Altos. The house was the family home for the Guy Shoup family and is the structure where they spent most of their lives. Mr. Shoup was an attorney and senior counsel for the Southern Pacific Railroad; this was his home during his long career with Southern Pacific, headquartered in San Francisco. Mr. Shoup commuted to his office from his Los Altos home.

The house is in excellent condition and maintains nearly all of its original integrity. The front door was replaced with a replica. A deck and porch have been added to the rear but are not visible from the street. The house has always been used as a single family residence. The site on which the house is located backs onto Adobe Creek. University Avenue has always been one of the most desirable locations in the area for residential construction and maintains its neighborhood character today. Homes in the area appear to have custom designed for their owners.

(Continued on next page, DPR523L.)

B11. Additional Resource Attributes: (List attributes and codes) None

*B12. References:

(See page 10, DPR523L Continuation Sheet)

B13. Remarks: Proposed Mills Act contract

*B14. Evaluator: Sarah Winder

*Date of Evaluation: 4/2/2013

(This space reserved for official comments.)



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(Continued from previous page, DPR523b, B10 Significance)

Guy Shoup, a founder of the town of Los Altos, was an important leader in the Los Altos community and is credited with developing the many institutions that have given the City of Los Altos its defining character. Guy Shoup's younger brother, Paul Shoup, is frequently credited with playing a significant role in the development of the town and sometimes seems to overshadow the community accomplishments of his older brother. However, Paul Shoup spent much of his time in the Los Angeles area after 1915, although he and his wife Rose maintained a family home on University Avenue, just a few doors away from Guy and Adelle Shoup.

Guy Van Scoyoc Shoup was born in Bedford, Iowa (Marion County), on February 7, 1872. He was the oldest child of Timothy and Mary Jane Shoup; Guy had a fraternal twin named Carl. There were five children in the family; four boys and one girl. The family was of German and Holland Dutch ancestry. All children lived to adulthood; Carl died of tuberculosis at age 26. The children were not only close in age, they remained close personally all their lives.

The family moved to San Bernardino, California in the 1870s. Timothy V. Shoup was an attorney who relocated his family, perhaps for his health. Timothy Shoup died of tuberculosis in 1877, and Sarah Jane Shoup, then-pregnant with her fifth child, moved her young family back to Iowa. Sarah Jane Shoup partnered with her two brothers to operate a general store, later establishing a second store in a nearby town. Family accounts report that Sarah was an excellent business woman. Guy Shoup and his siblings attended public schools in Marion County, Iowa.

Sarah Jane Shoup sold her interest in the stores and moved the family back to San Bernardino when Guy Shoup was sixteen. Guy and Carl graduated from high school in San Bernardino. Guy's first job was in a local bakery and restaurant, sweeping floors and waiting on tables. He disliked the work and found a job as a messenger for a local attorney. He quickly discovered that although the work was easier, the hours were longer. Guy spent his evenings reading law in the office of the Honorable Byron Waters. At that time it was possible to become an attorney by serving an apprenticeship in a law office. Guy Shoup was admitted to the California Bar in 1894, and became an associate in the office of Byron White.

In the fall of 1894, Guy Shoup went to Boise, Idaho. He was in poor health and went to recover in Idaho because he had relatives in the area. He liked Boise and established a law practice there. His work was interrupted by his former employer, Byron Waters. Waters had become the Chief of the Claims Department for the Southern Pacific Railroad and asked Shoup to work for him. Shoup went to work for Southern Pacific, a career that lasted 43 years. The Shoup family moved to San Francisco in 1900. Shoup lived with his mother and siblings there. He was made an assistant land attorney for Southern Pacific, a position he held for seven years. It was during this time that Guy Shoup helped form the University Land Company and the Altos Land Company with his younger brother, Paul.

Paul Shoup had also started working for the Southern Pacific Railroad and had become the District Freight and Passenger Agent for San Jose. At the time, San Jose was the heart of a national canning and fruit packing industry that depended on the railroad for shipping fruit products to markets. The position of District Agent was one of tremendous responsibility. Paul and Rose Shoup built a home in the prestigious neighborhood of Naglee Park near downtown San Jose. One of Shoup's largest customers was a Naglee Park neighbor, George Herbert, President of the Herbert Packing Company. Herbert joined with Shoup to create the Altos Land Company and was later an investor in the Los Altos Bank with the Shoup brothers.

During these early years of the Shoup brothers' careers, the Southern Pacific Railroad was experiencing sweeping changes. Collis Huntington, the last of the "Big Four" investors who created Southern Pacific died in 1900. His death created a power vacuum and allowed Southern Pacific to be taken over by an eastern railroad investor, E. H. Harriman. Harriman appreciated the talent of many of the Southern Pacific men and lost no time modernizing the railroad, promoting from within to get the job done.

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As the railroad began massive upgrades to its network and rolling stock, there was a major disaster that created an additional challenge. The 1906 earthquake and fire devastated San Francisco, including the corporate headquarters of Southern Pacific. The railroad lost most of their documentation, their payroll and most of their records. It would take months to replicate records and rebuild. It was during this time that the Shoup brothers, along with Naglee Park neighbors George Herbert and L. E. Petree, another attorney, created the University Land Company and platted the community that would become Los Altos.

Shortly after the 1906 earthquake, Guy Shoup married M. Adelle Culliver in San Bernardino; he was 34 years of age. Like Guy, his wife was a Midwesterner with connections to Iowa. Her family was from Ohio, and Adelle graduated from Pella College in Iowa. Her father was a physician who had moved the Culliver family, including four children, to San Bernardino by 1900.

If the Shoup family planned to live in Los Altos, it was not immediately apparent. Southern Pacific was rebuilding and all its employees had a tremendous job to do. Not only did Southern Pacific need to rebuild, the Southern Pacific was a key industry in shipping construction materials into San Francisco. Considering the rebuilding efforts underway throughout the Bay Area, it is interesting that the Shoup brothers found the time and resources to work on their Los Altos project. Paul Shoup was moved to a position in Oregon in 1906 and Guy Shoup became the attorney for Southern Pacific in Nevada around 1907, staying for two years.

Guy and Adelle Shoup's only child, a daughter named Frances Elizabeth, was born in 1908. Like her father, Frances was a twin. Sadly, the second daughter died at birth. Returning to the Bay Area, the Guy Shoup family moved to a home at 490 Orange Ave. in Los Altos. Guy began the next phase of his career, commuting daily from his home in Los Altos to the new Southern Pacific Railroad headquarters in San Francisco. It was a routine that he would follow for more than thirty years.

Settling in the Los Altos area allowed Guy V. Shoup to spend time building his new community. The Shoup brothers understood the necessity of creating local businesses to support the residential neighborhoods they were creating. The Los Altos Library for example, traces its roots to the first one hundred books that its organization housed in the offices of the Altos Land Company, located at First and Main Streets.

Guy and Paul Shoup built new homes on University Avenue; Paul in 1910, and Guy in 1915. They were joined on University Avenue by their sister, Faith, and their mother. Faith Shoup Robinson and her husband built a home next door to Guy and Adelle. Albert Robinson was an SP station agent and was manager and treasurer of the Altos Land Company. The home of their mother, Sarah Jane Shoup, was just a few doors away. The remaining Shoup brother also worked in a Southern Pacific industry, Tidewater Oil Company, but lived and worked in Southern California.

Southern Pacific's merger with the Harriman railroad lines around 1901 brought a new level of responsibility to Guy Shoup. His corporate biography noted that he was a director of the Associated Oil Company, director of the Central Pacific Railroad, director of the Nevada & California Railroad and director of the Coast Line Railroad. Southern Pacific maintained critical relationships with oil companies and water districts to ensure adequate water and fuel for their locomotives. When the United States took control of the railroads in 1918; during an anti-trust action Guy Shoup was named solicitor general for the railroads. Federal control terminated in 1920, and Guy Shoup resumed his former position as the Attorney General for Southern Pacific.

Despite his corporate responsibilities, Shoup found time for community projects. One of his more interesting contributions was the movie he created in 1919 to raise money for Belgian Relief after World War I. Shoup wrote a script, recruited actors, secured funding and found Los Altos citizens to play parts in his film titled "Rebecca". The story involved a kidnapping and a daring rescue with the railroad in Los Altos featured in the action.

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It was also at this time that Shoup helped create the First National Bank of Los Altos. The bank currently exists as a branch of the Bank of America. The original bank executives submitted a corporate biography of their bank to historian Eugene Sawyer for his 1922 edition of *The History of Santa Clara County*. Sawyer's book was produced by subscription so the thrifty bank officers omitted personal biographies in favor of writing about their bank. Subscribers were allowed to submit their own text and the report from the Shoup group is a glowing report of their bank's enterprise, stating that, "The First National Bank of Los Altos, whose doors opened for business on December 1, 1919 has been manifestly successful since its establishment." The report states the bank opened with a capital of \$25,000 and now has deposits of \$150,000 and resources of \$200,000. The board of directors includes Paul Shoup, Frank J. Costello, R. M. Tooker, M. O. Adams, S. F. Oliver, George Herbert and W. T. Clements. Guy Shoup is listed as the attorney for the bank. Tooker was the president and Clements served as cashier. Guy Shoup later served as president of the bank.

Many of the personalities involved with the creation of the bank were neighbors on University Avenue, residents who created a private park. A group of five families whose homes bordered Adobe Creek created a small park which they named Ng Tong. The literal translation of Ng Tong is "five families". The five men who created the park were Guy Shoup, Charles Field, Frank Oliver, Lawton Lynch and Robert M. Tooker. Dr. Paul Reinsch brought a Buddha from China that was installed in a little temple that was formally named Ng Tong.

The five families enjoyed other close ties. Charles Field was the editor of *Sunset Magazine*, at that time the major promotional publication owned by Southern Pacific. Paul Shoup was an early contributor. Robert Lynch was the Vice-President and General Manager of the San Francisco Chamber of Commerce and was associated with the enormously successful Pan-Pacific International Exposition that celebrated the opening of the Panama Canal and the rebirth of San Francisco after the earthquake. Frank Oliver was an attorney and member of the Union Church of Los Altos. Many members of the little group commuted to San Francisco on the train every day, chatting and playing bridge.

Guy and Adelle Shoup helped organize the Union Church in Los Altos in 1917, today known as the Union Presbyterian Church. Adelle Shoup was noted in her obituary as being an active member of the church. Guy Shoup also helped organize the local chapter of the Boy Scouts and is credited by local sources as building the scout hall.

In 1926, Guy Shoup was promoted to a position as the Solicitor General of Southern Pacific and a year later he was made Vice-President and General Counsel in June of 1927. He was 55 years old and would spend the rest of his career in this position. Despite his increased corporate responsibility he continued to create community organizations that are so vital to a vibrant town. In 1944, Guy Shoup joined the Mountain View branch of Rotary International. Founded in Chicago in 1905, Rotary considers itself the oldest volunteer service organization in America. The San Francisco branch was created in 1908, and considers itself to be the second oldest Rotary group, so it is likely Shoup became acquainted with this group while working in San Francisco.

Rotary requires its members to attend weekly meetings and arranging one's schedule can sometimes prove difficult. Perhaps Shoup joined the Mountain View branch because it was closer to home. In 1949, Shoup helped form the Los Altos Rotary bringing this important group to his community. A few years earlier in 1947, he had formed the Los Altos Business Association a group that took a leading role in the post-World War II development of Los Altos. The Los Altos Business Association was closely involved in creating a Master Plan and local zoning for Los Altos.

During his retirement Guy Shoup continued to be active in Los Altos civic groups. He joined the Los Altos Historical Association serving as president and as vice-president. He was a member of the Los Altos Golf and Country Club. His other affiliations were the Union League, the Commonwealth Club, the Transportation Club and the Pacific Railway Club.

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Guy Shoup died in 1965 at the age of 93. His wife died two months later at the age of 91. Their only daughter, Frances Shoup Mack, inherited the house and sold the property to the current owners, Delbert and Marlene Beumer around 1965.

Guy Shoup's influence on the transportation industry and on the many aspects of Southern Pacific's impact on the California economy deserves further investigation. There is not a single facet of California development that was not touched by the legal department of Southern Pacific. Discussion of his career is beyond the scope of this study, but clearly his influence can be implied by the level of his position within the Southern Pacific management. His influence within the Los Altos community however, is well documented. He was clearly one of the most influential individuals in Los Altos during the fifty years he was a resident.

Warren Porter Skillings (1859-1939)

The Shoup's hired architect Warren P. Skillings to create a new home for their family on University Avenue. It is not known how Shoup became acquainted with Skillings; it may have been during the time that Skillings was working in San Francisco after the 1906 earthquake.

Warren P. Skillings was born in Maine in 1859, and attended Bowdoin College between 1877 and 1880. He began his architectural career in 1882, working as a draftsman in the offices of an architectural firm in Boston. He married Flora Hall and had three children. In 1890 he moved his family to Seattle where he was chosen to design the Washington State Pavilion for the 1893 World Columbia Exposition held in Chicago.

Settling in Seattle, Skillings associated with the prestigious architectural firm of James N. Corner, but quickly developed a reputation of his own. Several of his significant Seattle structures still exist including the Union Trust Building in Pioneer Square and the Rialto Building. When business slowed in Seattle, he moved to Alaska for a brief time, and then relocated to Eureka, California, around 1900. He lived in Eureka about ten years and was apparently divorced, moving to the San Jose area. One biographer notes that he may have moved to San Jose because his new bride, Esther Evans, was affiliated with a local church.

In San Jose, Skillings developed a reputation as a "society architect". He was 50 years old when he moved to San Jose and his design skills were at their peak. He created dozens of homes for the well-to-do and socially connected, and over fifty projects have been identified to date. Warren Skillings died in 1939, at the age of 70.

Integrity and character defining features

The property maintains nearly all of its original integrity as per the National Register's seven aspects of integrity, and retains the five aspects of integrity that must be taken into consideration when evaluating a property or structure: design, setting, workmanship, materials, and feeling. It maintains its original design, as a Mediterranean style home built in 1915. The location is surrounded by its historical setting, including the mature street trees and other early Los Altos residences. The workmanship is retained as well as original materials and features.

The residential structure also retains its early twentieth century scale. Modifications to the house have been minimal and do not detract from its integrity. As noted earlier, the deteriorated front door was replicated with a front door of nearly identical design. A porch and deck were added to the rear of the property and are not visible from the street. The house is in excellent condition and has been well maintained.

The character-defining features include the rectangular shape and side gabled walls, clad in stucco, and detailed with stucco entry surrounds, exposed rafter tails, and trellis work. The multi-lite windows remain original and reflective of craftsman detailing associated with the first two decades of the twentieth century.

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EVALUATION

The subject property located at 452 University Avenue is listed on the Los Altos Historic Resources Inventory (#88) and is considered a contributing structure. The house is identified as the family home of Guy and Adelle Shoup. Guy Shoup was one of the founders of the town of Los Altos. Shoup was not only instrumental in creating and developing the early town of Los Altos; he created and supported many of the institutions that have given the town its character and its vitality.

The house was designed by Warren Porter Skillings, a master architect who spent the last two decades of his career creating suburban homes in the Santa Clara Valley. His design for the Shoup family is one of the first homes of this style in the area and deviates sharply from the shingle-style bungalow designed by Charles McKenzie for Paul Shoup, just a few doors away. Skillings has provided a sophisticated yet comfortable home, one that addresses the beauty of the California landscape and climate by including enclosed porch areas, but a house that also provides a secure environment for an executive who needs privacy. This type of Mediterranean home quickly became a popular style for the San Jose area.

The Guy and Adelle Shoup House clearly has historic, architectural, and aesthetic value of an historical nature. It derives its quality from its distinction as an important architectural work due to its style and design, and for its association with a person important to Los Altos' past. The property retains its early twentieth century residential scale and feeling and continues, through its distinctive form and detailing, to illustrate a distinguished Mediterranean Revival design of the period. Minor changes to the building and the surrounding property landscape have not affected the integrity of the property, having been done in a thoughtful manner that remains consistent with the period of significance. This building has a distinctive character and composition that is expressed through its preserved materials, workmanship, and Mediterranean style design. It appears eligible for the National Register of Historic Places under Criteria B and C, and the California Register of Historical Resources under Criteria (2) and (3). The property, presently listed on the Historic Resource Inventory also appears eligible for designation of a landmark by the Los Altos City Council under the City's Historic Preservation Ordinance (Chapter 12.44 of the Los Altos Municipal Code).

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Arbuckle, Clyde, *History of San Jose, 1986.*

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Assessor's Records
Deeds and Official Records
Official Maps

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Front elevation from University Avenue, viewed facing west.



Detail of front entry, viewed facing northwest.

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Detail over front entry, viewed facing west.



Living room window and trellis detail, viewed facing west.

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North elevation, viewed facing east from driveway.



Rear elevation, viewed facing east.

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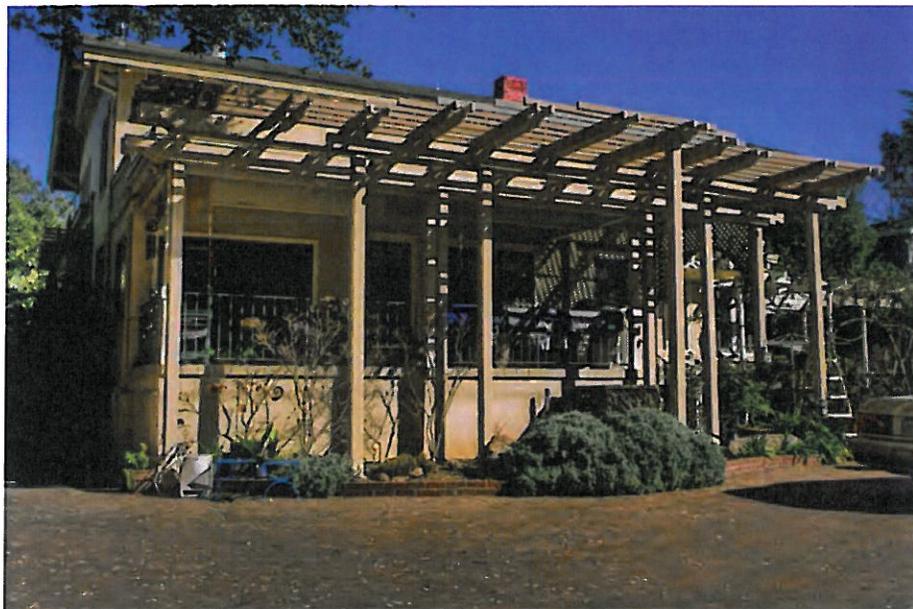
*Recorded by April Halberstadt & Sarah Winder

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Arbor structure in garden behind house, viewed facing east.



Rear elevation with porch and arbor extension, viewed facing east.



Garage structure, viewed facing south.



Pool house/utility structure behind house and garden, viewed facing south.

SECRETARY OF THE INTERIOR'S STANDARDS REVIEW

**PROPOSED RESIDENTIAL REHABILITATION, ADDITION,
AND LANDSCAPE REHABILITATION PROJECT**

at the

**Historic Guy and Adelle Shoup House
Historic Resource #88, Los Altos Historic Resource Inventory**

Hitz Residence
452 University Avenue
(Parcel Number 175-13-054)
Los Altos, Santa Clara County
California

For:

David Hitz
452 University Ave.
Los Altos, CA 94022



Prepared by:

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Leslie A. G. Dill, Partner and Historic Architect

July 20, 2014

INTRODUCTION

Executive Summary

With minor modifications to the final design, the proposed project would meet the *Secretary of the Interior's Standards for Rehabilitation* (Standards). It is to be understood that the revisions are specific and minor, and should be able to be addressed in the form of "conditions for approval" appended to the City of Los Altos planning approval process, and that the revisions could be required for inclusion as part of the Building Department submittal rather than require resubmittal. The analysis is summarized here in list form and described more fully in the report below:

It is recommended that the design be revised to leave the rear (west) wall of the entry hall intact, to preserve the original historic paneling and to provide visually traditional structural support for the corner of the room. (Standard 2).

It is recommended that a general note that conveys the overall intent of Standard 6 be included prominently in the construction documents, and that the State Historical Building Code be referenced in the general notes on the front page of the building permit drawing set (Standard 6).

Report Intent

Archives & Architecture, LLC (A&A), was retained by David Hitz to conduct a Secretary of the Interior's Standards Review of a proposed residential and landscape rehabilitation and addition project at the historic Guy and Adelle Shoup House, Los Altos, California. A&A was asked to review the exterior and pertinent interior elevations, plans, and site plan of the project to determine if the proposed project is in compliance with the *Secretary of the Interior's Standards for Rehabilitation* (Standards). The Standards are understood to be a common set of guidelines for the review of historic buildings and are used by many communities during the environmental review process to determine the potential impact of a project on an identified resource. The alterations and additions to this historic property are specifically required to be found compatible with the Standards by the City of Los Altos because the property is under a Mills Act contract.

Qualifications

Leslie A. G. Dill, Partner of the firm Archives & Architecture, has a Master of Architecture with a certificate in Historic Preservation from the University of Virginia. She is licensed in California as an architect. Ms. Dill is listed with the California Office of Historic Preservation as meeting the requirements to perform identification, evaluation, registration, and treatment activities within the professions of Historic Architect and Architectural Historian in compliance with state and federal environmental laws. The Northwest Information Center utilizes the criteria of the National Park Service as outlined in 36 CFR Part 61.

Review Methodology

Leslie Dill reviewed the *Landmark Nomination & Documentation In Support of Mills Act Contract* report and the Department of Parks and Recreation form 523 (DPR 523) written by historians April Halberstadt and Sarah Winder, dated April 2, 2103, along with the *Historic Property Preservation Agreement* between the former owners and the City of Los Altos, dated June 27, 2013. Then Ms. Dill met at the site with the architects, the landscape architect, the construction director, and the owner, where the initial design was discussed. For this report, Ms. Dill evaluated the proposed Historic Review Submittal design, electronically forwarded as a set of sheets (including A0, A0.1, A2.1 through 2.6, A3.1 through 3.5, A4.1, a topographic survey, and LP -1 through 4) dated July 1, 2014, from the architects, Robert and Christine Boles of Beausoleil, and the landscape architect, Robert Mowat Associates, according to the Standards.

Additional clarification sketches, photographs, and materials specification links were provided as noted in the following report.

Disclaimers

This report addresses the project plans in terms of historically compatible design of the exterior and interior design only. The Consultant has not undertaken and will not undertake an evaluation or report on the structural conditions or other related safety hazards that might or might not exist at the site and building, and will not review the proposed project for structural soundness or other safety concerns. The Consultant has not undertaken analysis of the site to evaluate the potential for subsurface resources.

PROJECT DESCRIPTION:

Character of the Existing Resource

April Halberstadt and Sarah Winder evaluated the architectural significance of the Historic Guy and Adelle Shoup House property in a nomination report and DPR 523 form dated April 2, 2013. The property was developed for Guy and Adelle Shoup, prominent citizens in Los Altos at the turn of the twentieth century. The house is described as "...one of the earliest residential structures built in the Los Altos area and...associated with one of the founders of Los Altos," and "...a good example of a conservative Mediterranean-style architecture that was becoming popular in the early decades of the 20th century." The house was designed by locally significant architect Warren P. Skillings, who "...created many homes for wealthy, socially-connected clients in Santa Clara County." The conclusion of the evaluation is that "The property at 452 University Avenue is eligible for the California Register of Historical Resources and the National Register of Historic Places for its association with Guy V. Shoup, a significant figure in the development of the Southern Pacific Railroad during the first half of the 20th century. In addition to his professional contributions, Mr. Shoup was a key figure in creating the community that is today known as Los Altos. He initiated and supported many local organizations in Los Altos during its early decades, creating a dynamic social structure and helping establish the vitality and longevity of the town. The structure is also locally important for the quality and style of its architecture, an example of the unique residential buildings that characterize early Los Altos homes. The property appears eligible for designation as a Los Altos Landmark..."

Summary of the Proposed Project

The proposed project, as presented in the current set of architectural drawings noted above, includes the rehabilitation of the subject house and landscape, including: replacement of non-original rear porch with a new porch, including a paved floor, an exterior kitchen and a wide house opening; addition of roof deck at existing flat roof, including a new door; replacement of non-historic roofing with new concrete tile roofing and the addition of solar panels; alteration of interior rear rooms into an open-plan rear kitchen/mud room/breakfast area, including the alteration of walls and windows; demolition of the non-character-defining historic garage and its later wings; construction of new detached garage; creation of a curving brick driveway and walkway; addition of a paved terrace and swimming pool; addition of an outdoor gas fireplace at an existing, non-original side deck; preservation and rehabilitation of existing plantings.

SECRETARY'S STANDARD'S REVIEW:

The *Secretary of the Interior's Standards for Rehabilitation* (Standards), originally published in 1977, and revised in 1990, include ten standards that present a recommended approach to repair, while preserving those portions or features that convey a resource's historical, cultural, or architectural values.

Accordingly, Standards states that, "Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values". Following is a summary of the review with a list of the Standards and associated analysis for this project:

Analysis

1. **"A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships."**

Analysis: The residential use of this building and site do not change for this project.

2. **"The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided."**

Analysis: One element of the property proposed for removal, an interior wall segment, is an integral part of an identified historically significant feature; it is recommended that it be preserved as noted below. All the remaining features are not identified as character-defining elements; therefore, the removal of these elements would not constitute an impact to the property under Standard 2.

The removal of the rear corner of the stair hall, beneath the stair landing, and its original paneling would alter an identified character-defining feature. Furthermore, the cantilevered corner beams would introduce an open-plan, modern spatial relationship at a highly visible corner of this historic space. It is recommended that the design be revised to leave the rear (plan west) wall of the entry hall intact, to preserve the original historic paneling and to provide visually traditional structural support for the corner of the room.

The remaining interior rooms proposed for alteration in the project are not identified as being, or including, historically significant spaces or spatial relationships. The rear kitchen and laundry areas have been altered in the past, and the open plan does not impact the character-defining rooms identified in the landmark nomination or DPR form. This portion of the project includes the proposed removal of two windows from the rear elevation of the house (along with other, non-original windows) and the relocation of one of them onto the southwest corner of the house; these windows do not represent individually significant focal windows nor do they represent a preponderance of the characteristic composition of the historic original windows. Therefore, their removal and relocation is compatible with the rehabilitation and continued use of the house.

During the on-site meeting, the rear porch was clearly confirmed as dating from the late twentieth century (the concrete foundation was signed and dated by the former owners and the original exterior wall surface is extant behind the porch structure), so it is not an original feature. Its removal and replacement with a new addition is compatible with this standard.

The central wing of the detached garage is documented as dating from the original house

construction, but the report and DPR forms, along with visual confirmation, confirm that it has been altered by additions to two sides and by replacement garage doors. During the site visit, further evaluation was undertaken, and it was determined that the garage had little ornamentation or historic detailing that would make it embody the historic character of its construction date, and its form and location do not create a significant spatial relationship with the historic house. It is the conclusions of A&A, therefore, that the garage is not a character-defining element of the property, and its demolition would be in keeping with the Standards.

The overall exterior spatial relationships and spaces embodied in the historic design are not adversely impacted by the proposed demolition and new construction. The landscape design preserves the identified original garden intent, including the identified garden terraces, original plant materials closer to the house and the native trees that are located closer to the creek.

3. “Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other historic properties, will not be undertaken.”

Analysis: One proposed alteration is the roof deck at the second story rear wing. This will require the addition of a new railing. The railing is shown to be wrought iron, a differentiated element (see also Standard 9), and will match the new rear porch, providing consistency within the added elements. This handrail design does not represent a conjectural replacement feature at an original location, and it will not be mistaken for an original feature, so it is consistent with Standard 3.

The original window and door trim is closely identified with the historic house design, so its reproduction might create a false sense of historical development. The proposed new window and door trim would be simplified appropriately to provide subtle differentiation between the new work and the original historic fabric of the house.

The replacement of the existing Hardi-Slate roofing material with the proposed lightweight concrete tile roofing is of concern with regard to this standard. This report concludes that the alteration does meet the Standards as follows:

- First and foremost, the residence has a strong composition of character-defining features that would visually balance the tile roofing material; in other words, the proposed roofing design will be subordinate to the overall original design. The roofing will not become a visually defining feature of the house; it will remain “background.”
- The existing roofing is not original, so a replacement material is acceptable. No evidence or documentation of the original roof is available, so all replacement materials are equally “conjectural.”
- The proposed roofing material, Boral Roofing, Espana 600, California Mission Blend, called out by the architects in a clarification email, is a brownish concrete tile (rather than a terracotta color or tile material). This subtly differentiates it from the preponderance of historic roofing tiles from the construction era of the original house; thus, does not represent a conjectural or borrowed element, but rather it represents a new material (concrete) in a differentiated color.
- The scale and color are appropriately “traditional” and compatible with the scale of the house materials and style.

In the garden design, such elements as hand-glazed tile, stonework, and wood arbors are introduced elements compatible with the historic era of the property, but they are not copied from the original vocabulary of the house or original garden, providing differentiation (See also

Standard 9). The proposed garden design is clearly an integrated composition, with no suggestion of false restoration from another time or house.

There are no other changes are proposed that might be mistaken for original features.

4. **“Changes to a property that have acquired historic significance in their own right will be retained and preserved.”**

Analysis: For this report, it is understood that no existing changes to the building(s) have acquired historic significance in their own right.

5. **“Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.”**

Analysis: The features, finishes, and construction techniques or examples of craftsmanship that characterize the property are generally preserved in this proposal. Specifically, the overall form, siding, windows, ornamental trim and trellises, front yard configuration, and other related Mediterranean-Revival character-defining features of the house and garden are shown as preserved as a part of the project.

6. **“Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.”**

Analysis: The project plans do not specifically address the replacement of deteriorated features at the historic house, nor do they include a general note that addresses this project as a historic preservation project. It is recommended that language referring to this Standard shall be included on the cover sheet of the final permit drawings, and that all specific repairs be identified prior to submittal of the building permit drawing set.

It is also recommended that the California State Historical Building Code be referenced in the architectural notes on the front page, in the event that this preservation code can provide support to the project design.

7. **“Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.”**

Analysis: No chemical treatments are shown as proposed in this project. It is understood that no other proposed preservation treatments (e.g., epoxy wood consolidant or extraordinary paint preparation techniques) have been identified in this submittal set.

8. **“Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.”**

Analysis: Archeological resources are not evaluated in this report.

9. **“New additions, exterior alterations or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”**

Analysis: The proposed rear porch design is compatible in materials and form, as well as detailing. Specifically, the proportions and massing are subordinate to the original house form; the proposed porch will be clad in stucco to match the original house and will include a curved stairway that evokes the curving landscaping elements in the original front garden design. The porch is differentiated from the historic design by its lowered roofline and slight offset in plan; it also includes a cast-iron railing that is not found on the original house, but is compatible in scale and richness of material. The porch also has a modern paved flooring material that is compatible in its relatively large scale and traditional associations.

The handrail at the roof deck will match the new rear porch, providing consistency within the added elements. As noted above, the wrought iron is differentiated by being an introduced material, but is compatible with the style and era of the house as well as in scale.

The proposed wide rear doorway is clearly differentiated by its modern width and use of structure; it is compatible in scale because the scale of the original rear windows includes large panes of glazing and walls clad in stucco, a material with a large scale. It is proposed as having painted wood door panels, also compatible with the original house design.

The proposed new window at the first floor and the proposed second-story doorway onto the roof deck are shown with trim differentiated slightly by its width and application. The window and door are otherwise completely compatible in scale and material with the historic single-lite windows that surround them.

The replacement roofing material is evaluated in Standard 3, but the addition of the rear solar panels is considered new construction under Standard 9. These elements are modern, utilitarian constructs, separate and suspended above the original roof. They are strongly differentiated and only truly compatible because they are reversible technical elements located in a less-publicly visible roof slope. The visibility of the dark-colored panels will be mitigated by the proposed dark color of the new roofing material.

The proposed new detached garage is compatible in form, massing, and location. It has a simple, compact footprint and is set low in the slope of the garden; the tandem form and location near the property line allow for the historic plantings and terraces to be preserved. The massing is moderated by a change in form and materials between the front and back. The front half of the garage is proposed with a moderately sloping roof with moderate depth eaves that are similar to the main house roof. The rear half of the garage is proposed with a flat roof that is similar to the rear porches of the house. The garage is proposed to be clad in stone at the front and stucco at the rear; these materials are compatible in scale with the historic house while the stone closely associates the building with the proposed garden design; therefore differentiating it from the original design. The arbor-like eaves evoke the historic house trellises without mimicking them.

The curving terraces are reminiscent of the curving front walkway, and are compatible through the use of brick and because of the loosening of the formality from the house to the creek. The brick driveway relates to the original brick pathway at the front of the house, but its use differentiates it. The proposed garden design is further differentiated by the use of stone paving, retaining walls and other materials that are not present in the original house. These materials are in scale and appropriate to the original design. The plans call out the preservation of original plant materials, and the plans show the inclusion of new trees and shrubs that are in scale and appropriately located with the understood intent of the original design.

10. **“New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”**

Analysis: The essential form and integrity of the historic property would be maintained in this project.

Conclusion

The proposed design is generally compatible with the *Secretary of the Interior's Standards for Rehabilitation*. Two minor revisions are recommended to the proposed project: that the west (rear) wall of the entry hall be preserved and that additional historic preservation notes be added to the general notes for the project.