

ABBREVIATIONS

Table of abbreviations with columns for symbol/initials and full name. Includes terms like AT (Affroximate), F.O.F. (Face of Finish), PRELIM. (Preliminary), and others.

GENERAL NOTES

- 1. ALL CONSTRUCTION WORK SHALL CONFORM ALL LOCAL AND STATE CODES.
2. UNLESS OTHERWISE AGREED, THE A.I.A. DOCUMENT #A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION"...

CAL-GREEN REQUIREMENTS

- 1. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORM WATER DRAINAGE MANAGEMENT PLAN AND SUBMIT FOR BUILDINGS DEPARTMENT REVIEW BEFORE STARTING CONSTRUCTION.
2. SLOPE FINISH GRADE A MINIMUM OF 1/4" PER FOOT AWAY FROM HOUSE FOR AT LEAST FOUR FEET AT ALL LOCATIONS.

DRAWING INDEX

ARCHITECTURE
A0 COVER SHEET
A0.1 AREA CALCULATIONS
A0.2 TITLE 24 DOCUMENTS
A0.3 TITLE 24 DOCUMENTS
A2.1 BASEMENT DEMOLITION PLAN
A2.2 FIRST FLOOR DEMOLITION PLAN

LANDSCAPE
LP-1 PRELIMINARY LANDSCAPE PLAN
LP-2 EXISTING AND NEW OVERLAY SITE PLAN
LP-3 PRELIMINARY ELEVATIONS
LP-4 CONCEPTUAL IMAGERY PLAN

SURVEY
TOPOGRAPHIC SURVEY

PROJECT TEAM

Table listing project team members including Owner (Dave Hitz), Architect (Robert & Christine Boles), Landscape Architect (Robert Monat), and Surveyor (Roger Dodge).

PROJECT DATA

Table containing project data such as Building Code (2013 California Residential Code), Occupancy Group (R-3), Lot Area (21,091 S.F.), and Project Description (Detached Garage, Rebuilding of Existing Non-Historic Porch).

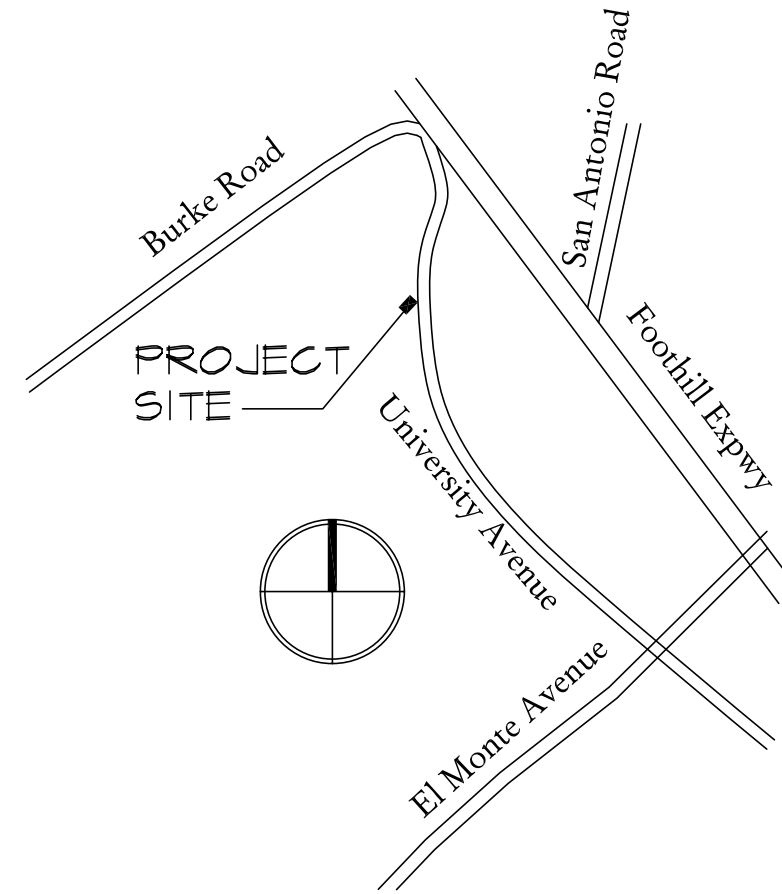
PROJECT SUMMARY TABLE

Table showing area changes: Net Lot Area (21,091 S.F.), Floor Area (Existing: 3,409.36 S.F., Change: 0, Total Proposed: 3,409.36 S.F.).

Table showing setbacks: Lot Coverage (3,620.16 S.F.), Front Yard Hardscape (50.0% = 1,246.6 S.F.), Floor Area (4,447.03 S.F.), and Main House Setbacks.

SEE AREA PLANS AND TABULATION ON DRAWING A0.1 FOR MORE DETAIL.

LOCATION MAP



Submital: CLIENT REVIEW 6.12.14, HISTORICAL REVIEW 7.1.14, PLANNING REVIEW 7.21.14, DESIGN REVIEW 9.12.14

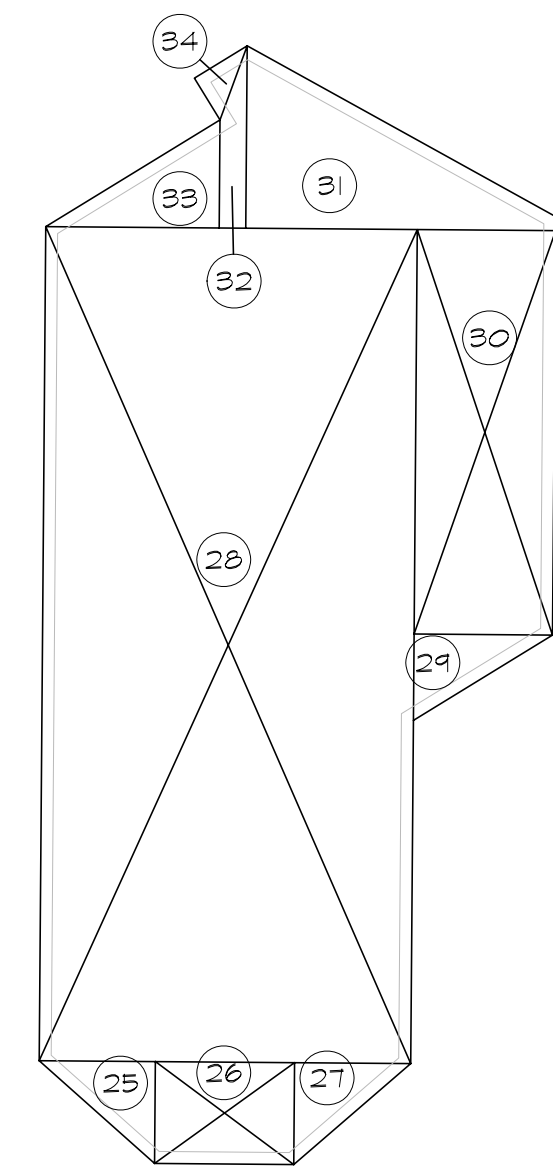
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Los Altos, California



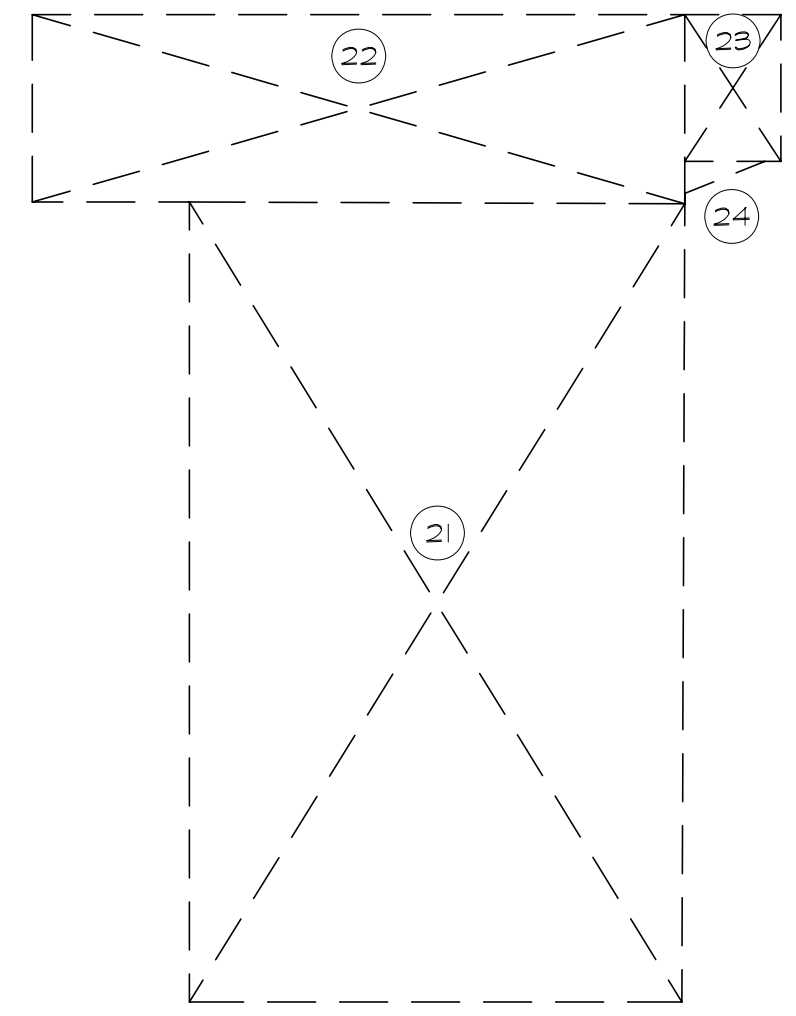
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COVERSHEET

Scale N.T.S., Project No. 1407, Date 6.24.14, Drawn By CB/RB, Sheet No.

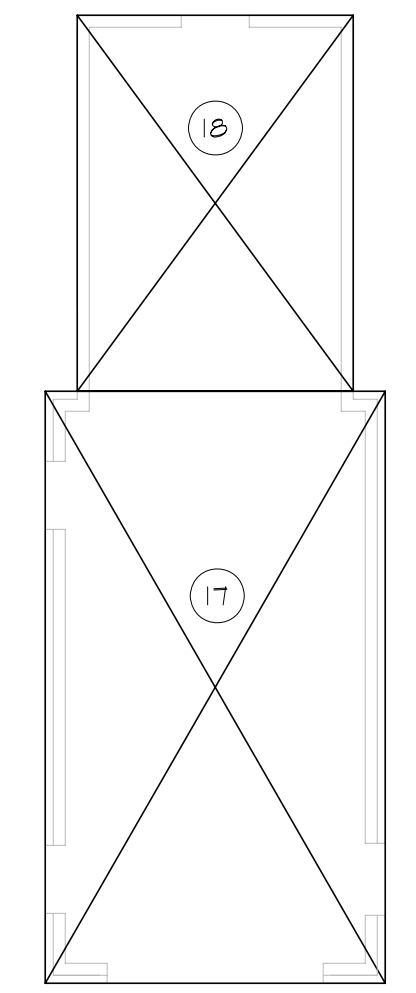
A0



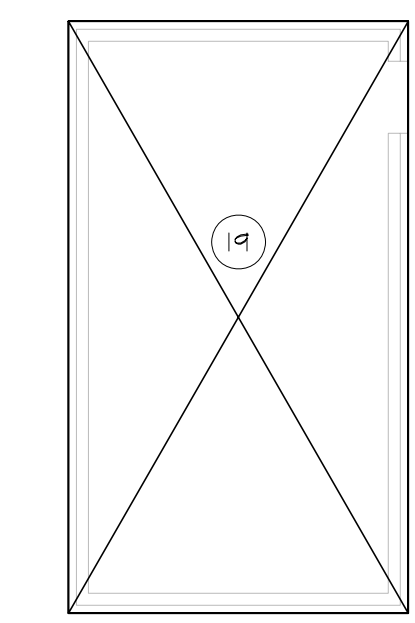
(E) COTTAGE



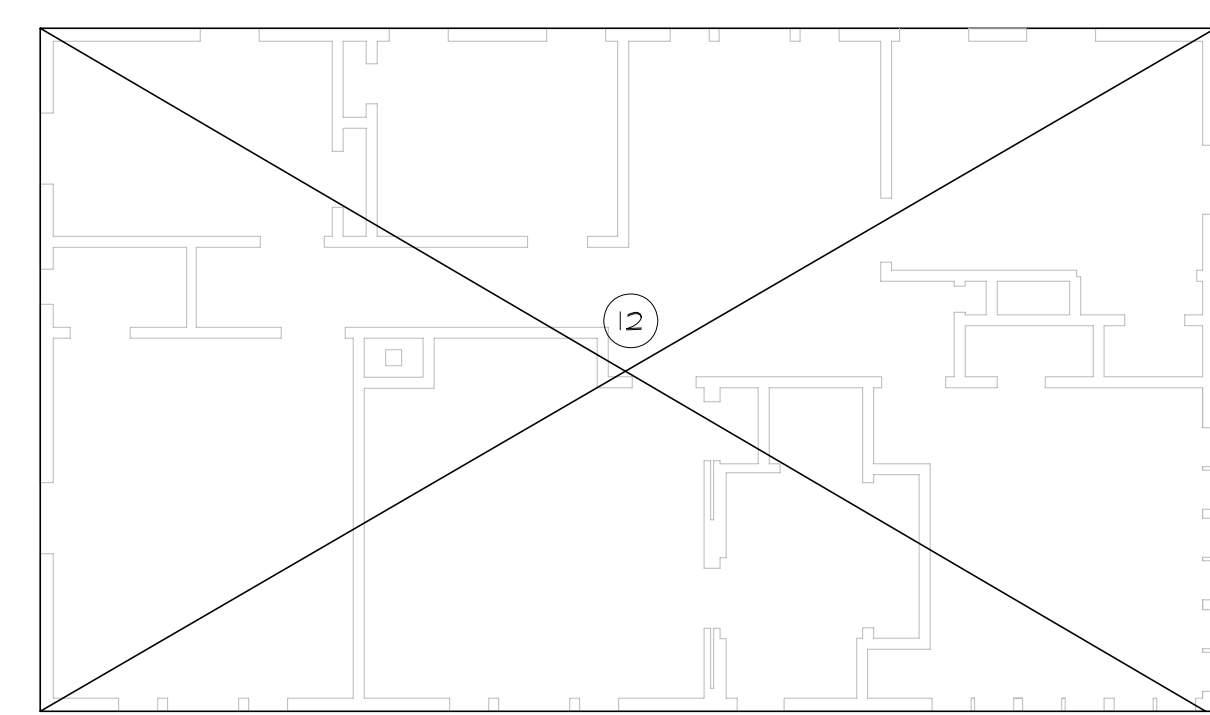
(E) GARAGE TO BE DEMOLISHED



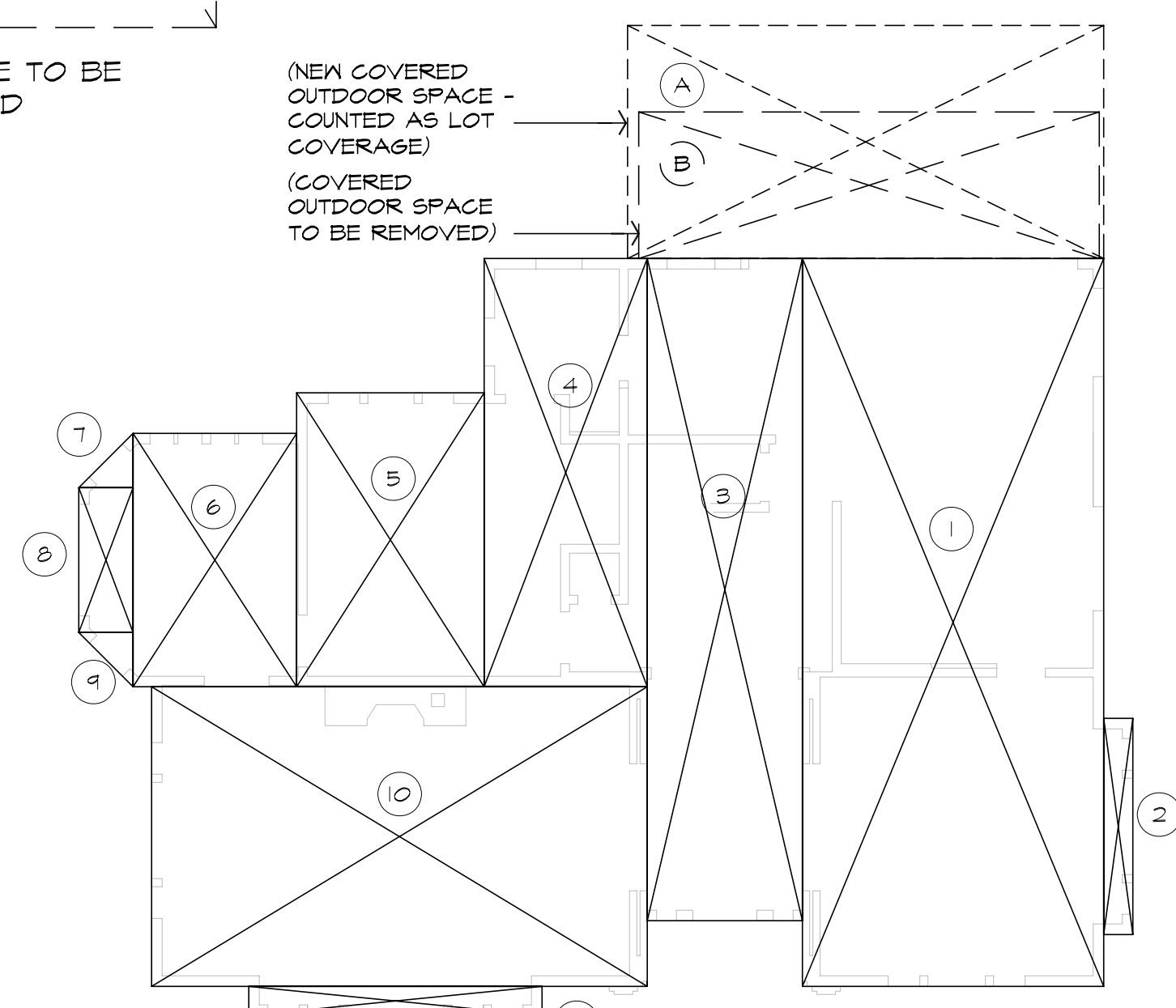
FIRST FLOOR OF NEW GARAGE



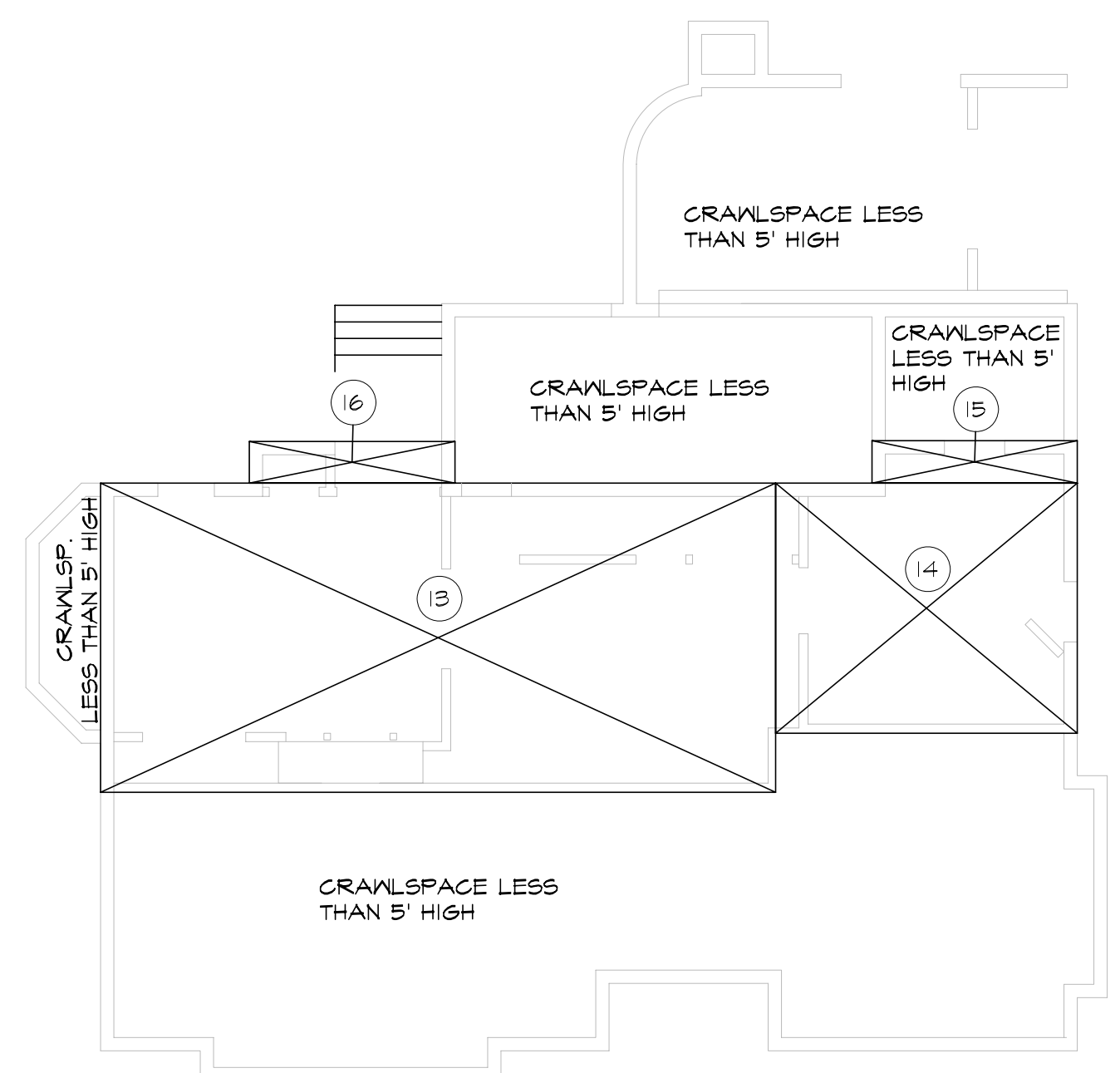
BASEMENT OF NEW GARAGE



SECOND FLOOR OF MAIN HOUSE



FIRST FLOOR OF MAIN HOUSE



BASEMENT FLOOR OF MAIN HOUSE

FLOOR AREA CALCULATIONS

NOTE: NONE OF THE ATTIC SPACE MEETS THE DEFINITION OF "HABITABLE SPACE" PER UBC (MINOR ERRORS FROM ROUNDING - TOTALS REPRESENT COMPUTER AIDED AREA CALCULATIONS)

(E) MAIN HOUSE		
FIRST FLOOR		
SECTION	DIMENSIONS	SQ.FT.
1	15'-6" X 31'-5 1/2"	580.60
2	1'-6" X 11'-1 1/2"	16.69
3	7'-12" X 34'-1"	272.00
4	8'-5" X 22'-0 1/2"	185.06
5	9'-8" X 15'-1 1/2"	145.89
6	8'-5" X 13'-0 1/2"	109.76
7	2'-9 1/2" X 2'-9 1/2" X 1/2	3.90
8	2'-9 1/2" X 7'-5 1/2"	20.82
9	2'-9 1/2" X 2'-9 1/2" X 1/2	3.90
10	25'-6" X 15'-5"	393.13
11	15'-1" X 1'-6"	22.63
FIRST FLOOR SUBTOTAL		1,754.32

SECOND FLOOR		
SECTION	DIMENSIONS	SQ.FT.
12	48'-7" X 28'-5 1/2"	1393.87
SECOND FLOOR SUBTOTAL		1393.87

BASEMENT* FLOOR		
SECTION	DIMENSIONS	SQ.FT.
13	33'-10" X 15'-6"	524.36
14	15'-2" X 12'-6"	188.37
15	10'-3" X 2'-1"	21.22
16	10'-3" X 2'-1"	21.22
BASEMENT SUBTOTAL		755.17

*NOT TECHNICALLY A BASEMENT BY PLANNING DEPARTMENT STANDARDS AS THE SURROUNDING GRADE IS LOWER THAN 2' BELOW FLOOR ABOVE. SPACE DOES MEET BUILDING CODE DEFINITION OF A BASEMENT, HOWEVER.

TOTAL HOUSE FLOOR AREA =	755.17 + 1,754.32 + 1,393.87 =	3,903.36
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NEW GARAGE		
SECTION	DIMENSIONS	SQ.FT.
17	14'-2" X 24'-8"	349.44
18	11'-6" X 15'-8"	180.17
GARAGE TOTAL AREA		529.61
19**	14'-2" X 24'-8"	349.44

** BASEMENT, MEETS PLANNING REQUIREMENTS FOR BASEMENTS (LESS THAN 2' FROM GRADE TO FLOOR ABOVE) AND THEREFORE DOES NOT COUNT TOWARDS FLOOR AREA

EXISTING COTTAGE		
SECTION	DIMENSIONS	SQ.FT.
25	4'-10" X 4'-3" / 2	10.26
26	5'-9" X 4'-3"	24.44
27	4'-10" X 4'-3" / 2	10.26
28	15'-6" X 34'-9"	538.62
29	5'-10" X 3'-8" / 2	10.70
30	5'-10" X 16'-10"	98.12
31	(7' + 7'-7") / 2 X 12'-11"	53.29
32	(4'-6" + 7'-7") / 2 X 1'-1"	6.52
33	7'-3" X 4'-6" / 2	16.31
34	2'-7" X 1'-1" / 2	1.39
COTTAGE SUBTOTAL		769.91

TOTAL FLOOR AREA		
SECTION	DIMENSIONS	SQ.FT.
EXISTING HOUSE		3,903.36
EXISTING COTTAGE		769.91
NEW GARAGE		529.61
TOTAL FLOOR AREA		5,202.88

LOT COVERAGE		
SECTION	DIMENSIONS	SQ.FT.
A (NEW PORCH)	24'-6" X 12'	293.82
(E) HOUSE		1,754.32
NEW GARAGE		529.61
(E) COTTAGE		769.91
TOTAL LOT COVERAGE		3,347.66

(E) GARAGE TO BE DEMOLISHED		
SECTION	DIMENSIONS	SQ.FT.
21	33'-3" X 20'-6"	681.63
22	27'-2 X 7'-9"	210.57
23	4'-0" X 6'-0"	24
24	1'-4" X 3'-4" / 2	2.21
(E) GARAGE TOTAL AREA		918.41

(E) PORCH TO BE DEMOLISHED		
SECTION	DIMENSIONS	SQ.FT.
B	23'-8" X 7'-6"	177.52

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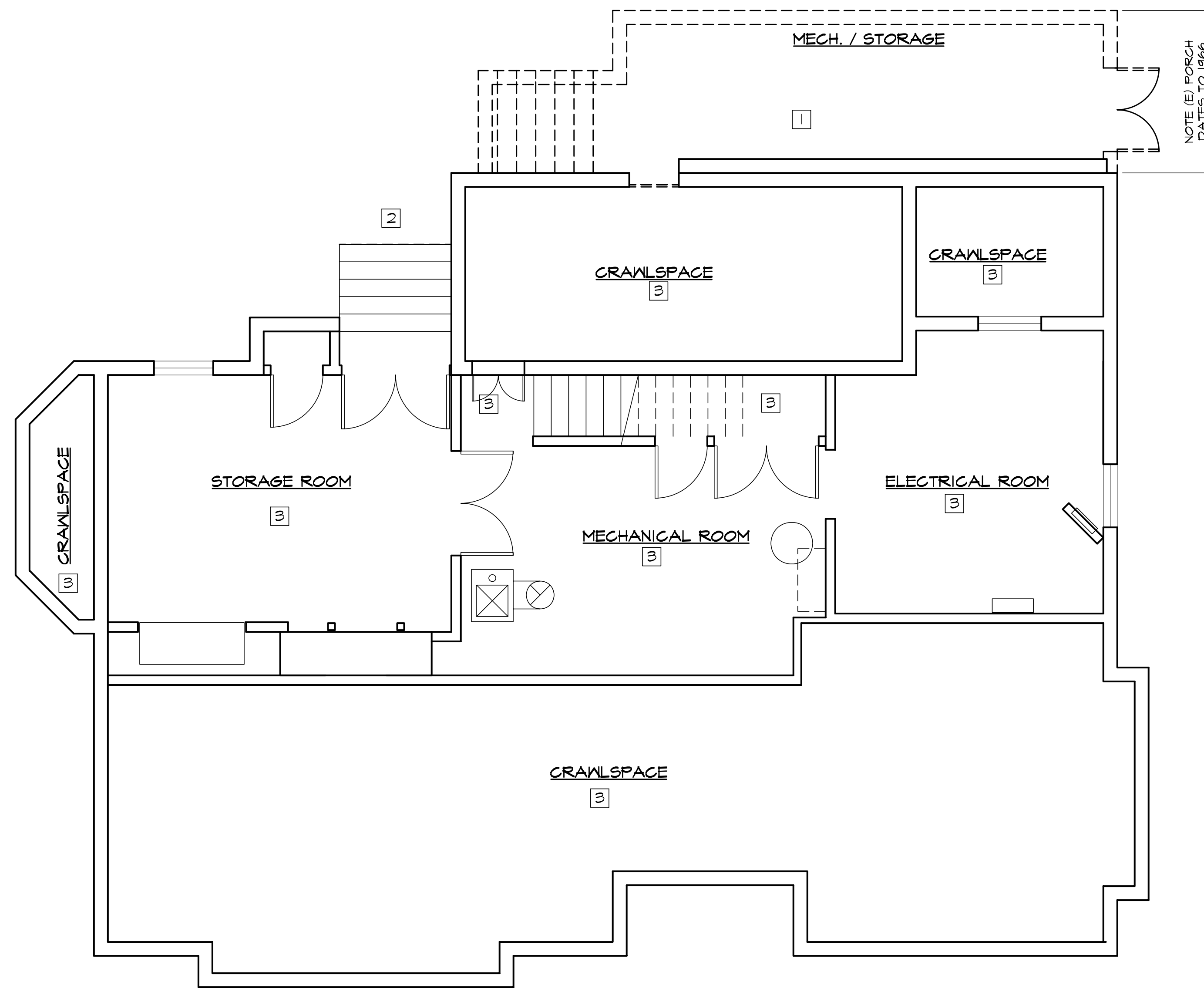
CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

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Sheet Title
 AREA CALCULATIONS

Scale	N.T.S.
Project No.	1407
Date	7.1.14
Drawn By	CB/RB
Sheet No.	



DEMOLITION LEGEND

- ① SHEET NOTE REFERENCE.
- (E) CONSTRUCTION TO REMAIN.
- - - - (E) CONSTRUCTION TO BE REMOVED.
- - - - UPPER CABINET LINE.

DEMOLITION NOTES

- ① REMOVE ENTIRE (E) PORCH STRUCTURE. EXCAVATE AS NEEDED FOR NEW FOOTINGS.
- ② EXCAVATE FOR FOOTINGS FOR EXTENSION OF EXISTING BASEMENT ACCESS STAIR.
- ③ NO WORK IN THESE AREAS EXCEPT AS NECESSARY FOR CHANGES TO PLUMBING, ELECTRICAL AND MECHANICAL SYSTEMS FOR ROOMS ABOVE.

Submittal:

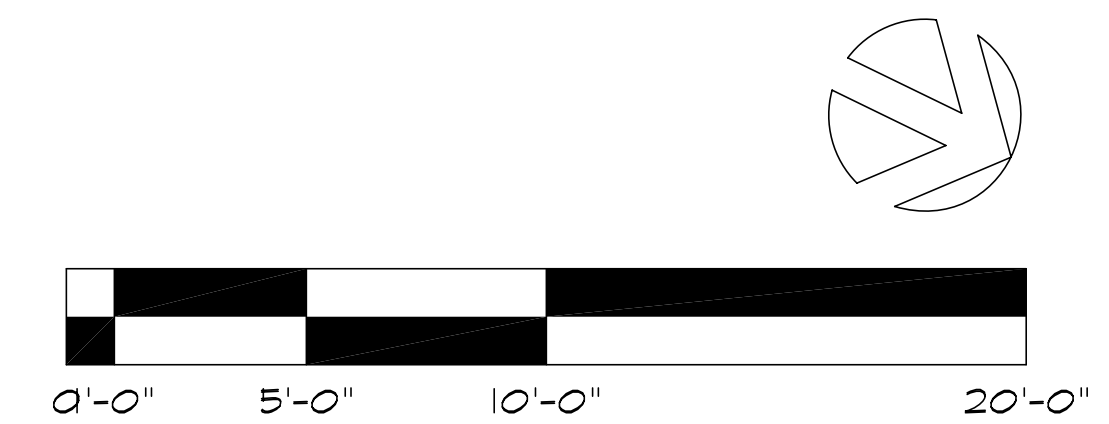
CLIENT REVIEW	6.12.14
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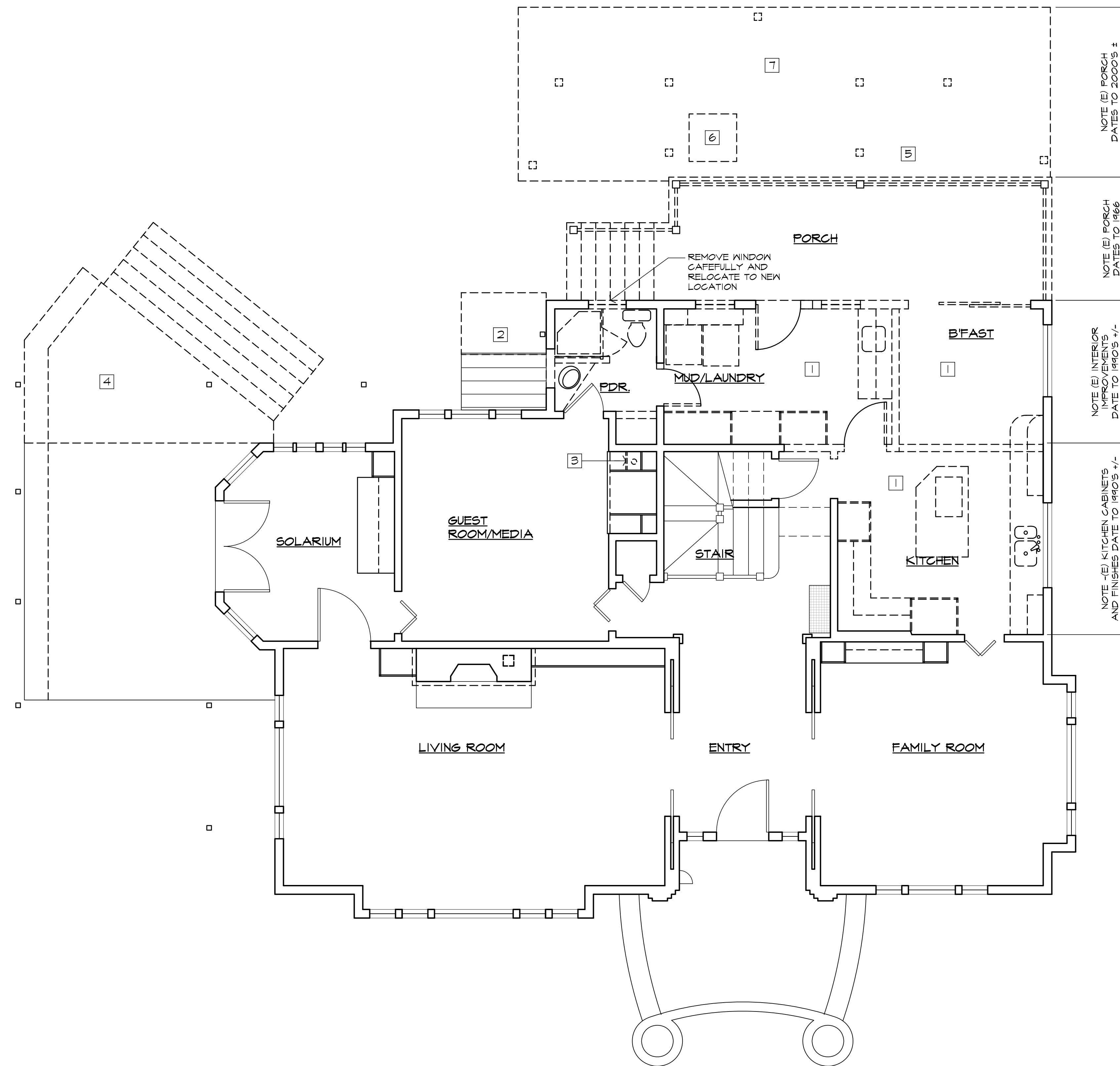


Sheet Title
**BASEMENT
 DEMOLITION
 PLAN**

Scale	1/4" = 1'-0"
Project No.	1407
Date	9.11.14
Drawn By	CB/RB
Sheet No.	



Basement Demolition Plan



DEMOLITION LEGEND

- 1 SHEET NOTE REFERENCE.
- (E) CONSTRUCTION TO REMAIN.
- (E) CONSTRUCTION TO BE REMOVED.
- UPPER CABINET LINE.

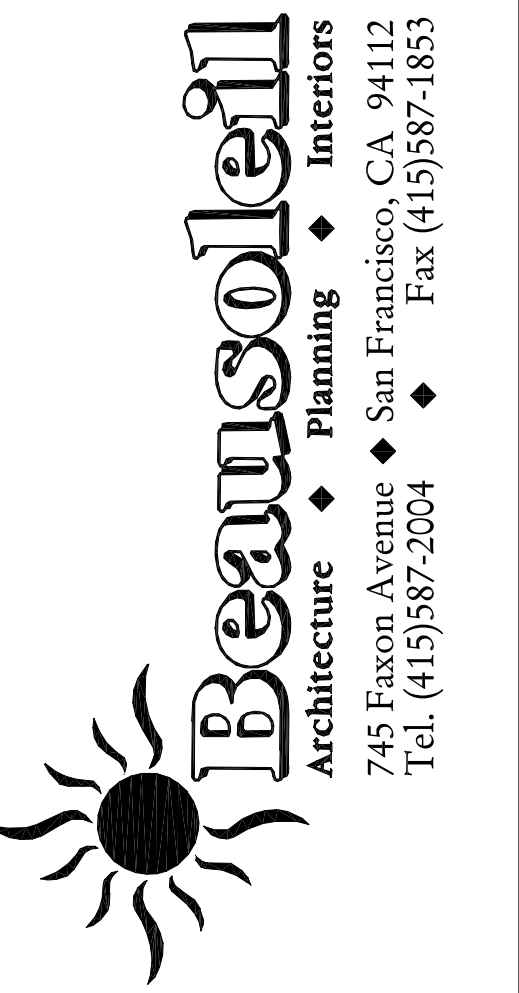
DEMOLITION NOTES

- 1 REMOVE ALL INTERIOR FLOOR, WALL AND CEILING FINISHES DOWN TO BARE STRUCTURE
- 2 EXCAVATE FOR FOOTINGS FOR EXTENSION OF EXISTING BASEMENT ACCESS STAIR
- 3 REMOVE (E) BACK PANEL AND MODIFY CABINET AS NEEDED FOR NEW PIPING RISERS
- 4 REMOVE PORTION OF (E) DECK AND STAIRS - SEE LANDSCAPE DRAWINGS FOR EXTENT OF WORK
- 5 EXCAVATE AS REQUIRED FOR NEW EXTENDED PORCH
- 6 REMOVE (E) A.C. UNIT AND CONC. PAD
- 7 REMOVE (E) TRELLIS, SUPPORTING POSTS AND FOOTINGS

Submittal:

CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

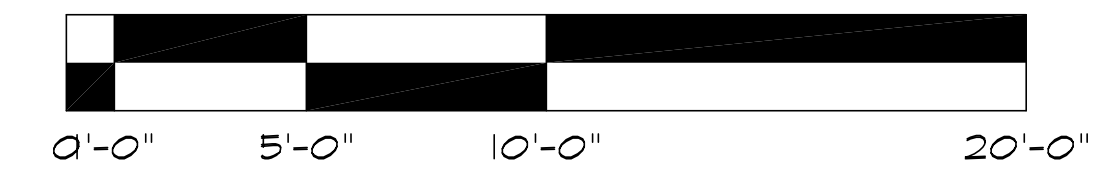
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○ First Floor Demolition Plan

Sheet Title
**FIRST FLOOR
 DEMOLITION
 PLAN**

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

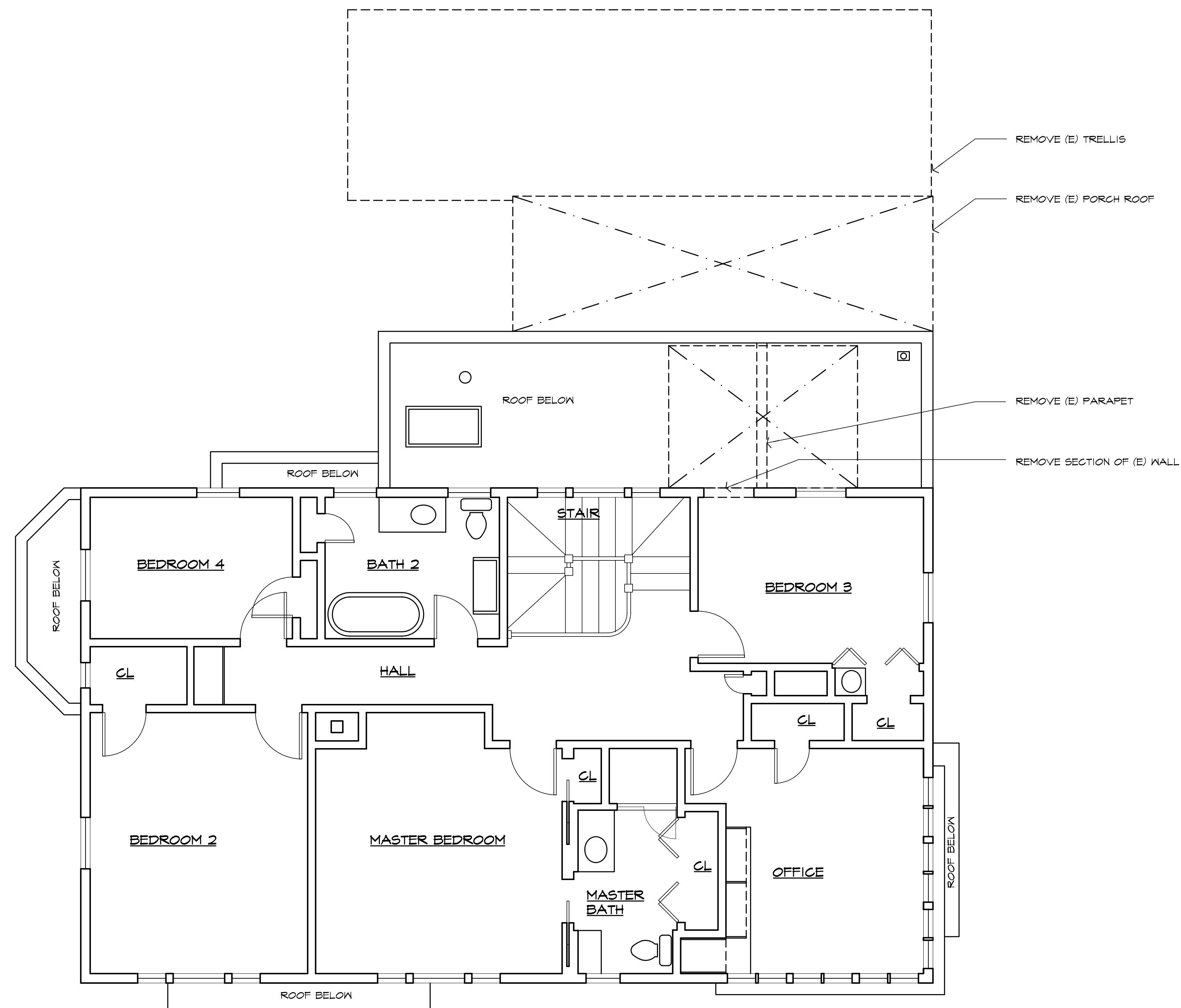


A2.2

DEMOLITION LEGEND

- SHEET NOTE REFERENCE.
- (E) CONSTRUCTION TO REMAIN.
- (E) CONSTRUCTION TO BE REMOVED.
- UPPER CABINET LINE.

DEMOLITION NOTES



Submittal:

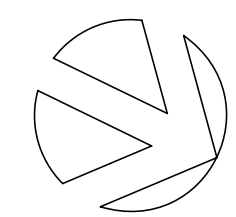
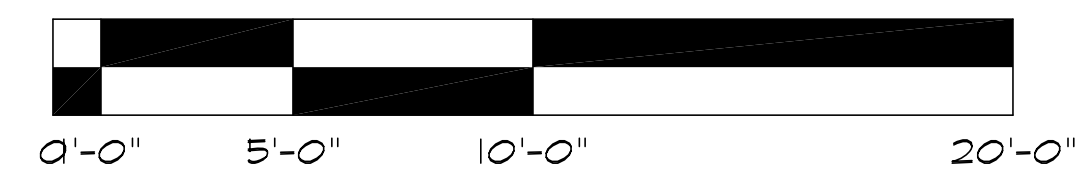
CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

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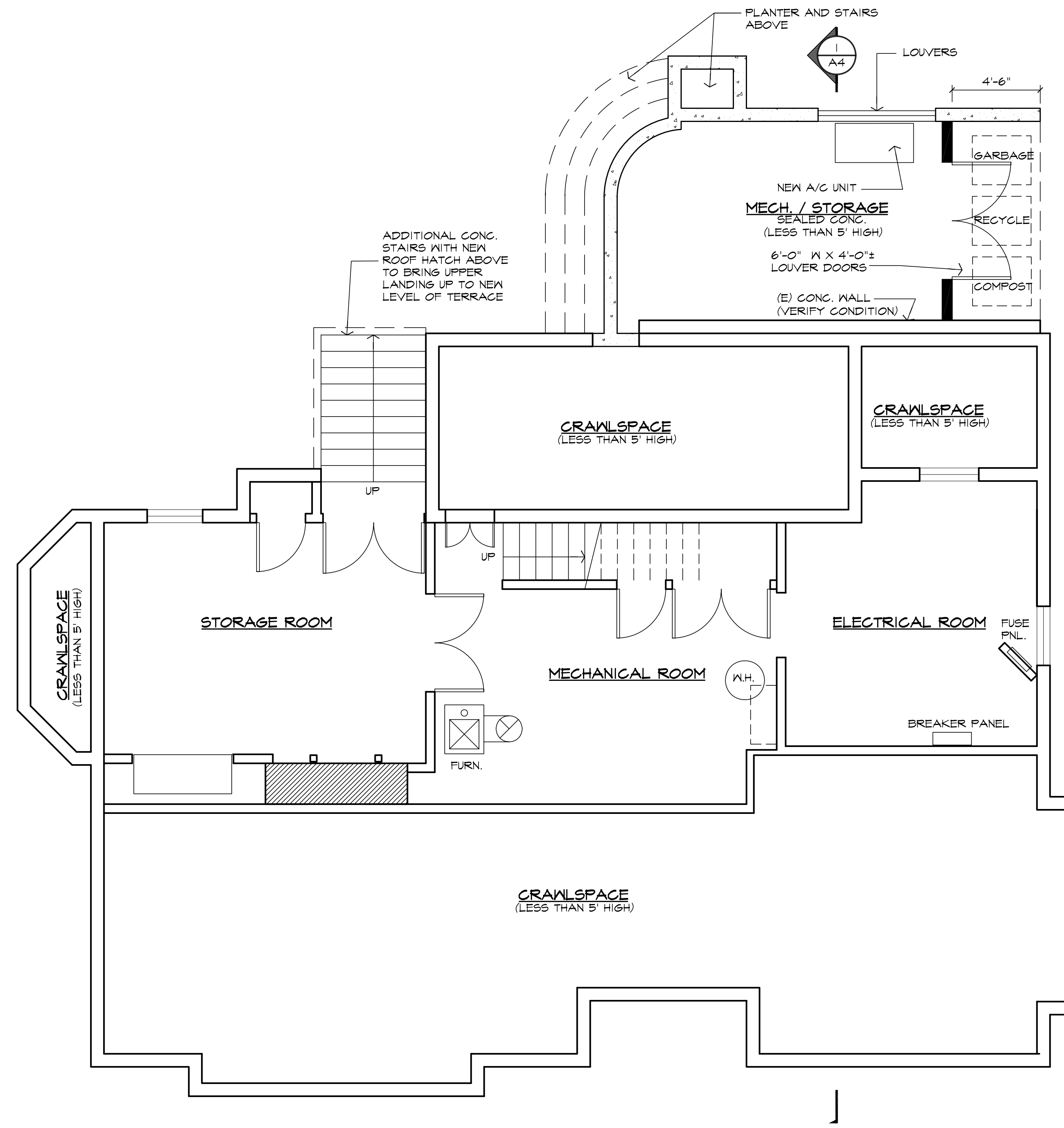


Sheet Title
**SECOND FLOOR
 DEMOLITION
 PLAN**

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	



○ Second Floor Demolition Plan



LEGEND AND NOTES

- NEW CONSTRUCTION:
WALLS ARE 2X4 STUDS,
TYPICAL, U.O.N.
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONCRETE CONSTRUCTION
- ELEMENT ABOVE
- CABINET ABOVE OR ELEMENT BELOW
- WOOD SHELF AND ROD

Submittal:

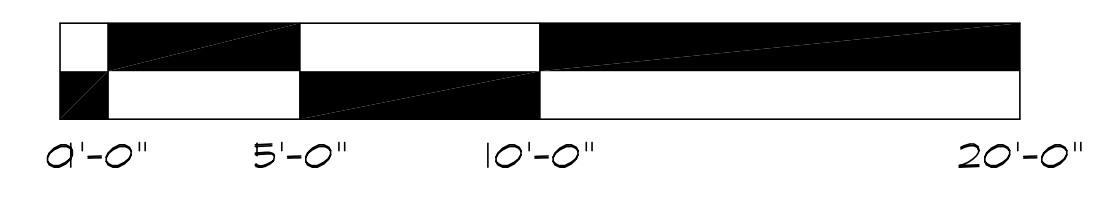
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HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

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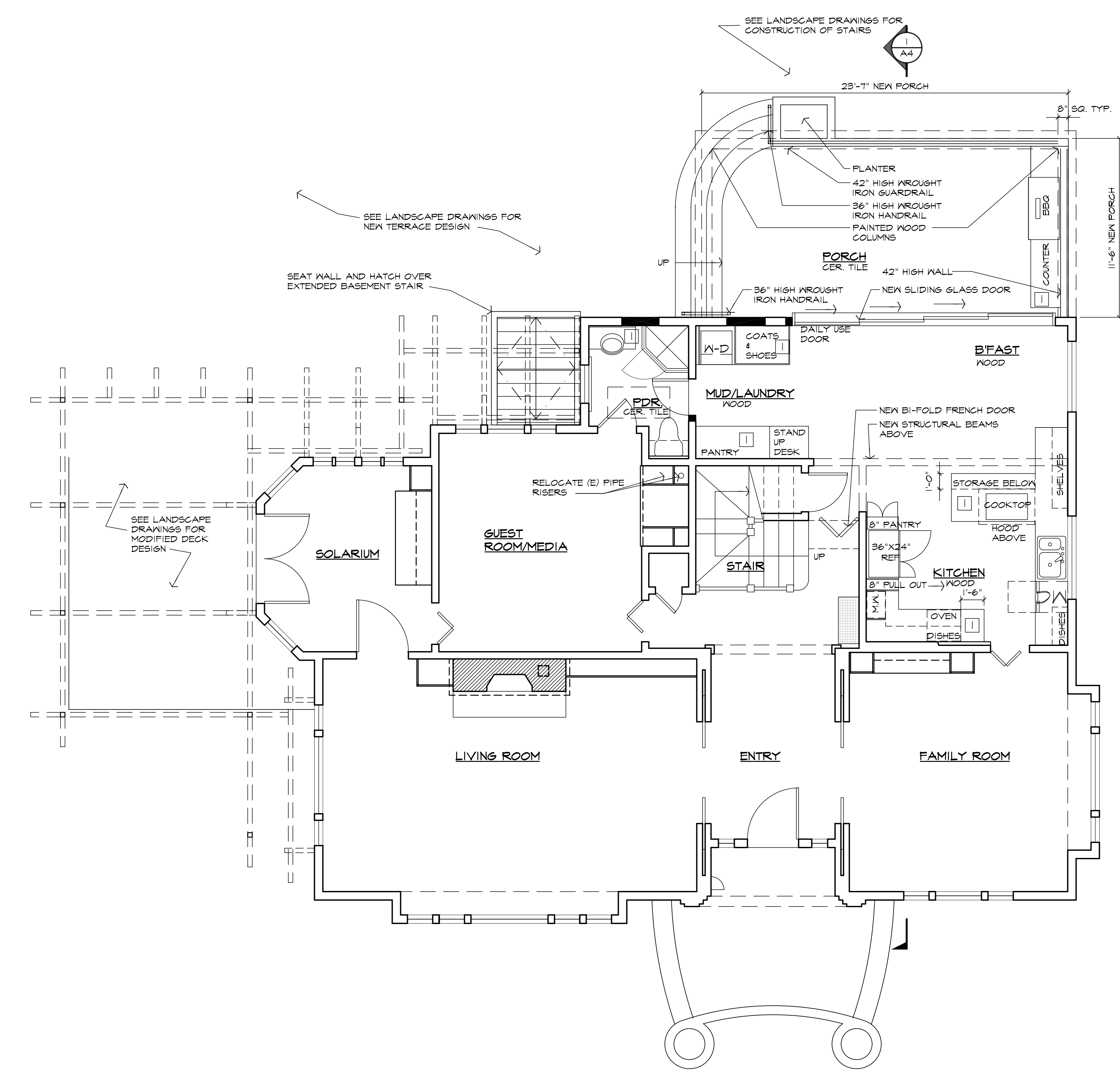
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Sheet Title
**BASEMENT
 PROPOSED
 PLAN**

Scale	1/4" = 1'-0"
Project No.	1407
Date	9.11.14
Drawn By	CB/RB
Sheet No.	



○ Basement Floor Plan



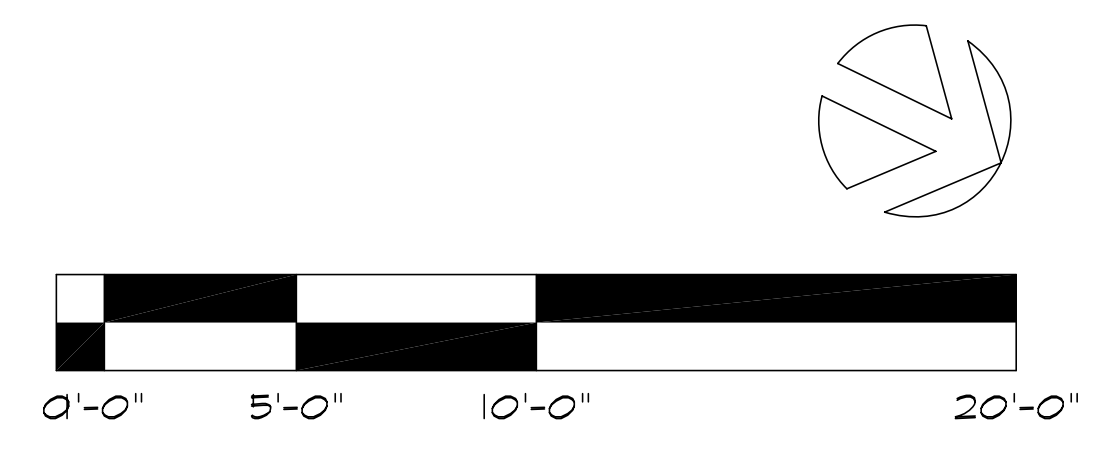
LEGEND AND NOTES

- NEW CONSTRUCTION. WALLS ARE 2X4 STUDS, TYPICAL, U.O.N.
- EXISTING CONSTRUCTION TO REMAIN
- ELEMENT ABOVE
- CABINET ABOVE OR ELEMENT BELOW
- WOOD SHELF AND ROD

FLOOR PLAN NOTES

- 1 CABINETS / SHELVING AS SELECTED BY OWNER
- 2 CLOSET SHELF AND POLE

○ First Floor Plan



Submittal:

CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

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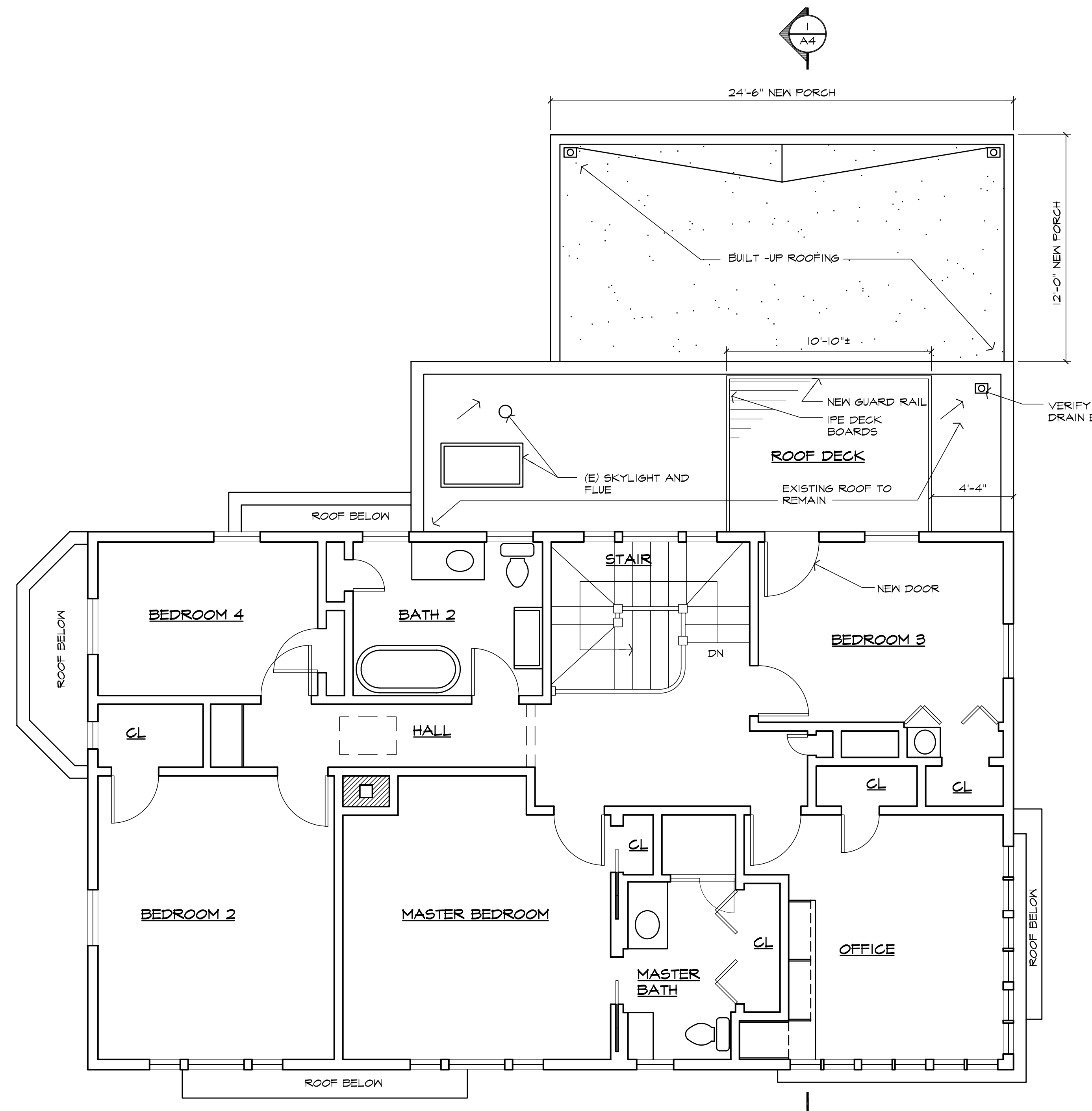
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Sheet Title
**FIRST FLOOR
 PROPOSED
 PLAN**

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

A2.5



LEGEND AND NOTES

- NEW CONSTRUCTION:
WALLS ARE 2X4 STUDS,
TYPICAL, U.O.N.
- EXISTING CONSTRUCTION TO REMAIN
- ELEMENT ABOVE
- CABINET ABOVE OR ELEMENT BELOW
- WOOD SHELF AND ROD

FLOOR PLAN NOTES

- 1 CABINETS / SHELVING AS SELECTED BY OWNER
- 2 CLOSET SHELF AND POLE

Submittal:

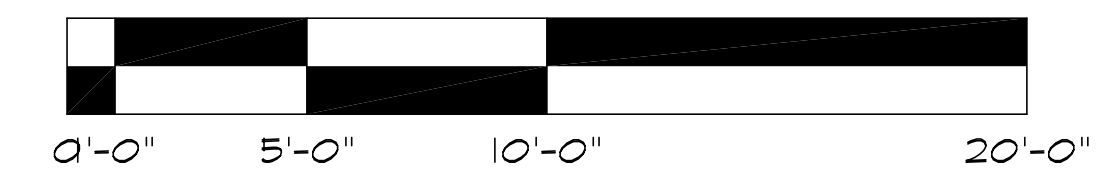
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HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

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Sheet Title
**SECOND FLOOR
 PROPOSED
 PLAN**

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	



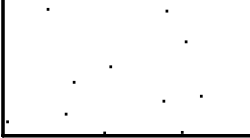
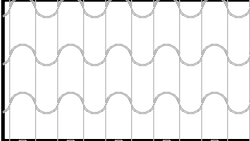
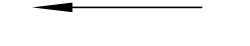

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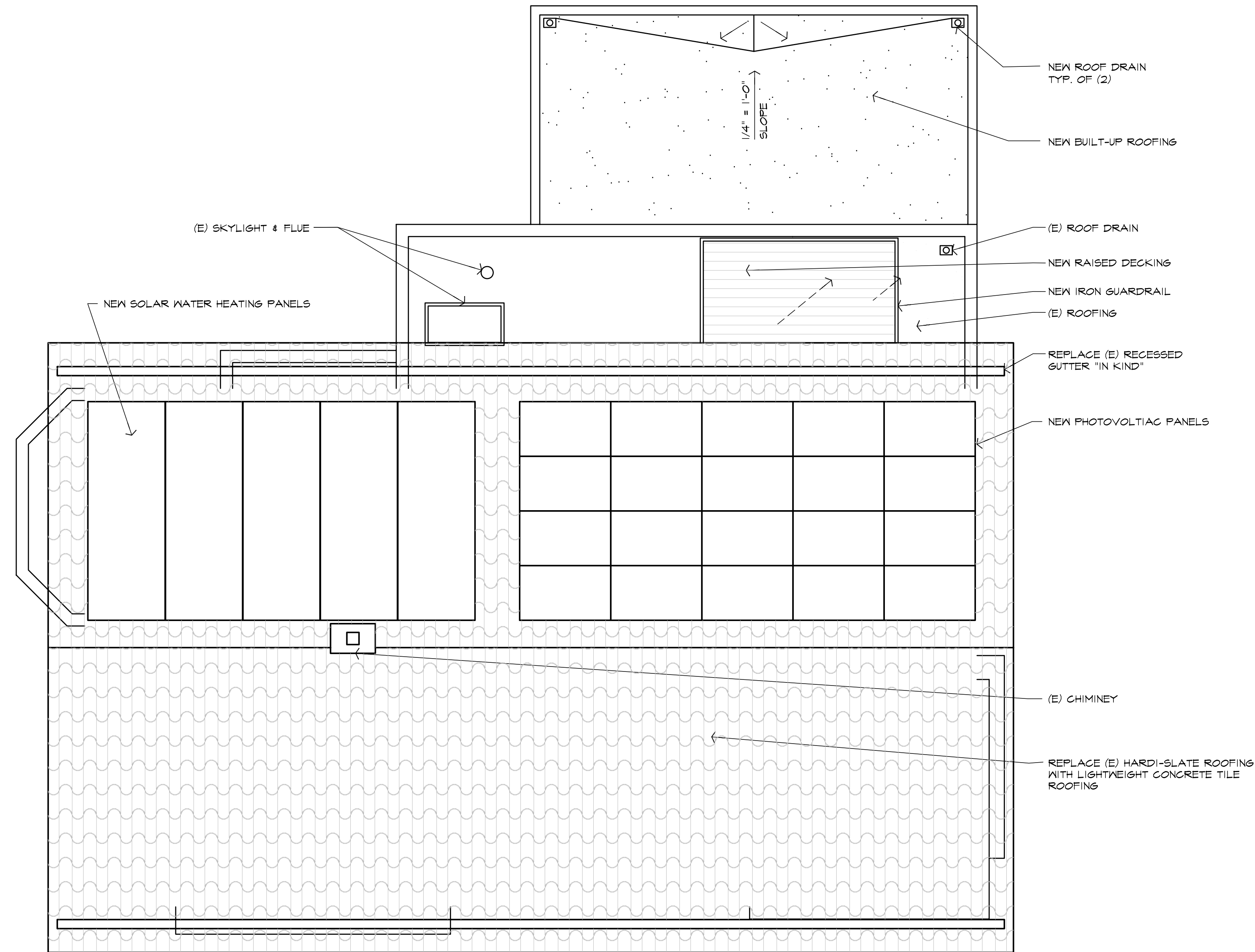
○ Second Floor Plan

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CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

LEGEND AND NOTES

-  BUILT-UP ROOFING, 1/4" : 12" MINIMUM SLOPE
-  BUILT-UP ROOFING, 1/4" : 12" MINIMUM SLOPE
-  INDICATES DIRECTION OF DOWNSLOPE
-  DOWN SPOUT



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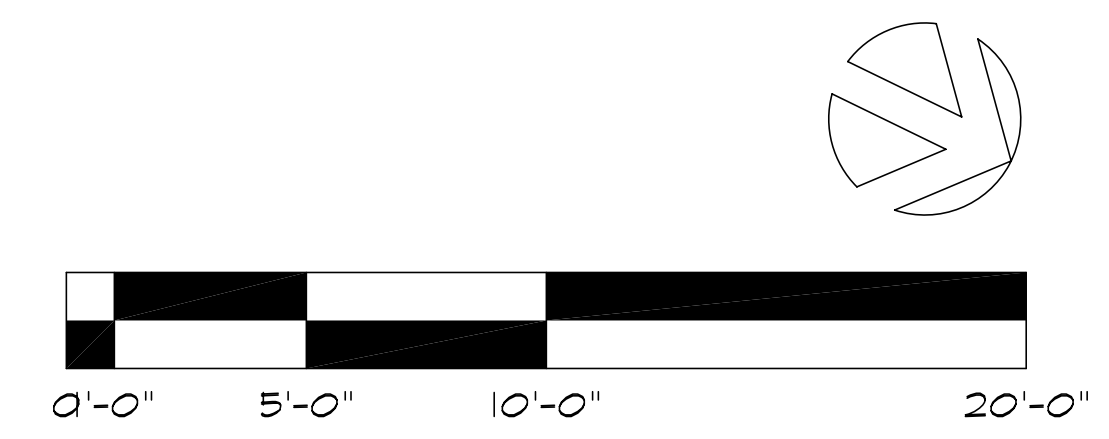


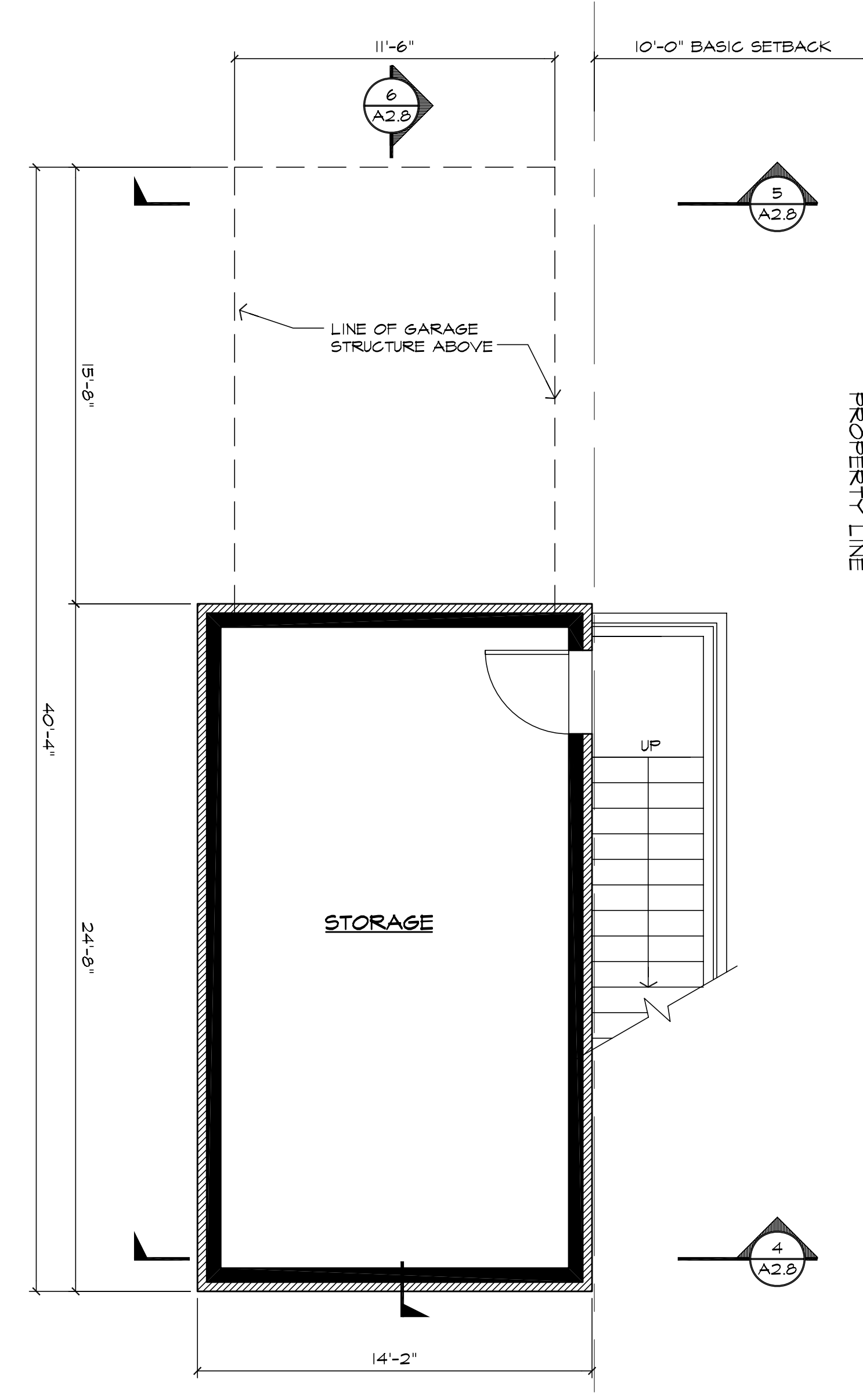
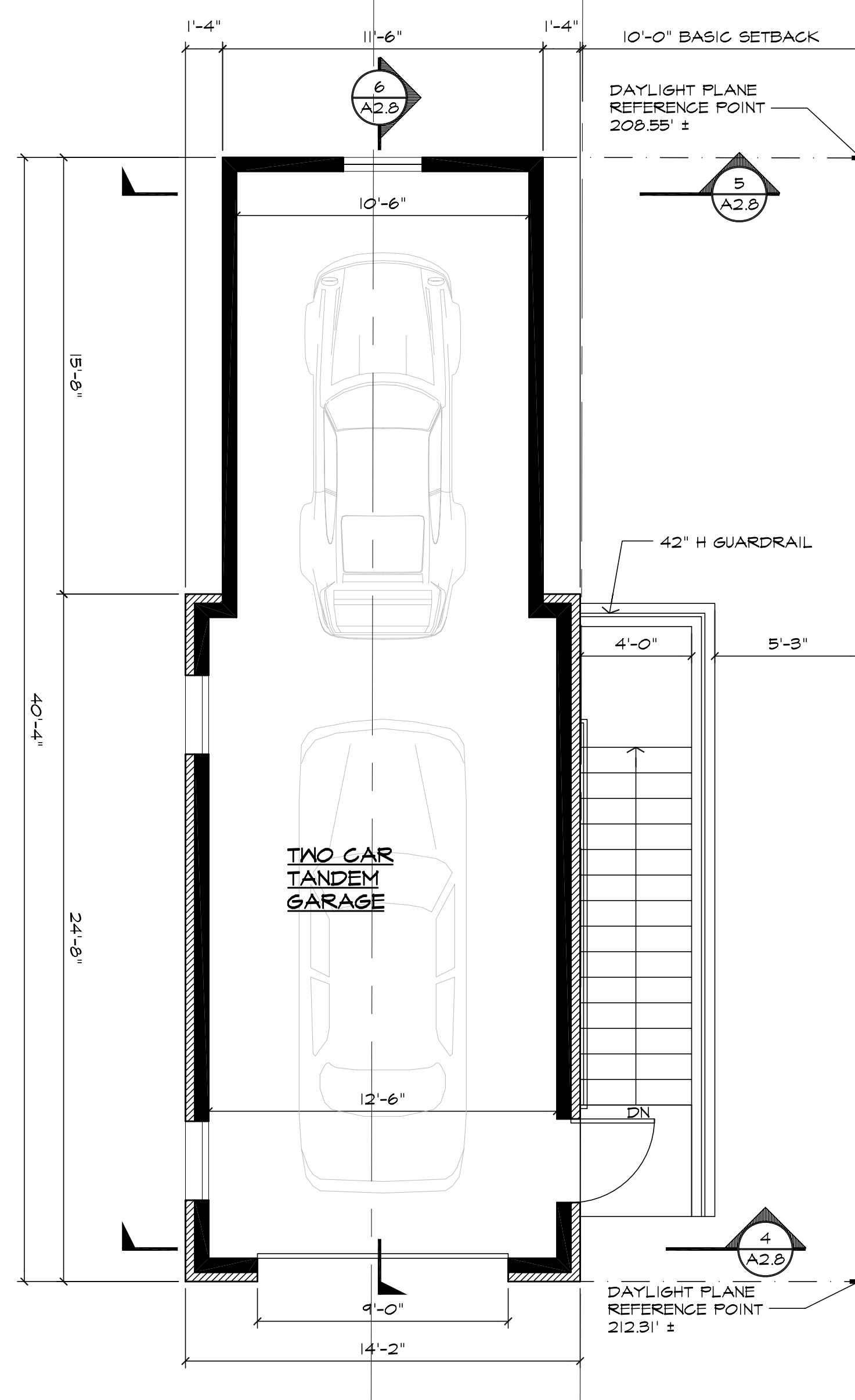
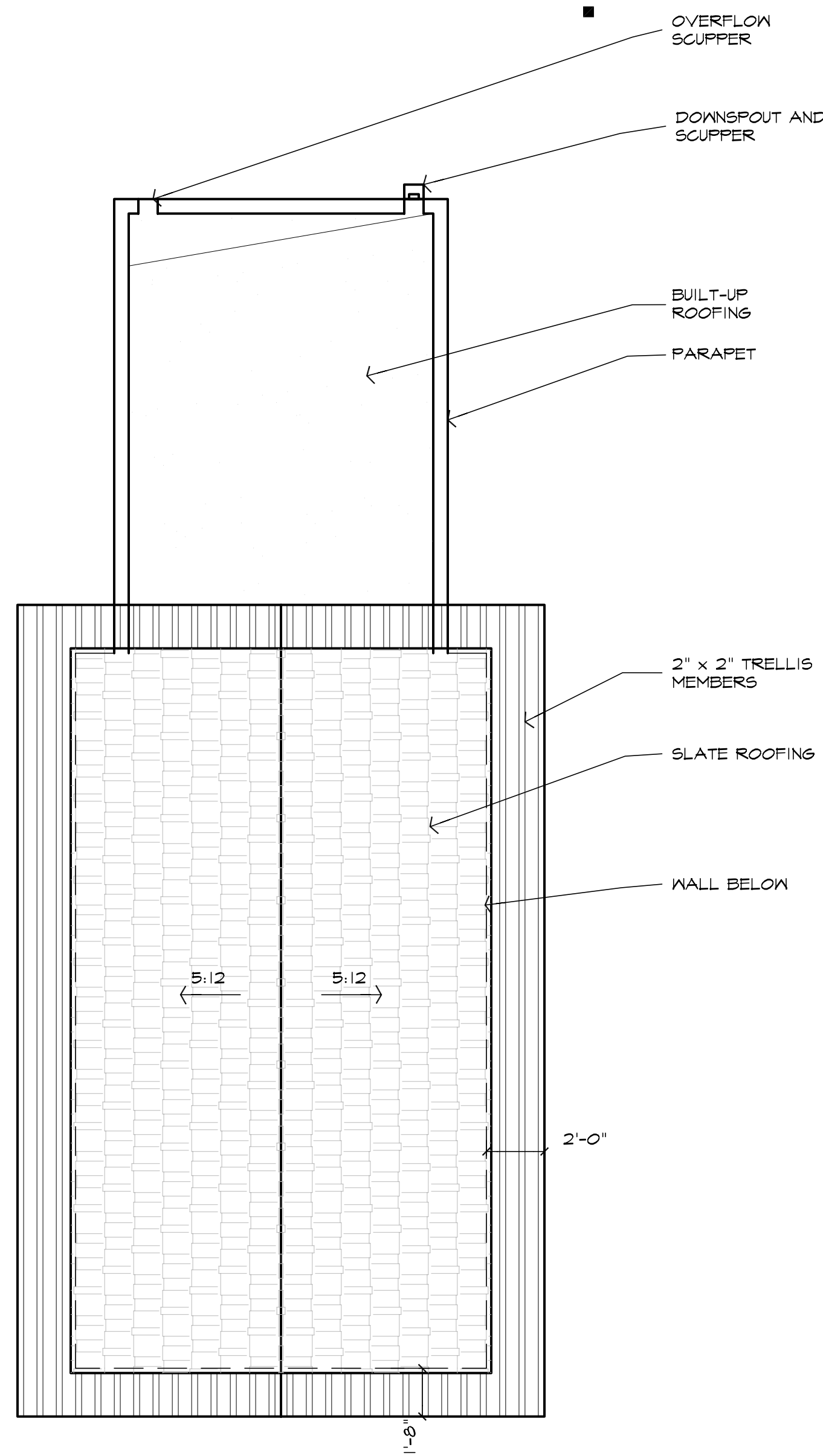
Sheet Title
ROOF PLAN

Scale	1/4" = 1'-0"
Project No.	1407
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A2.7

Roof Plan

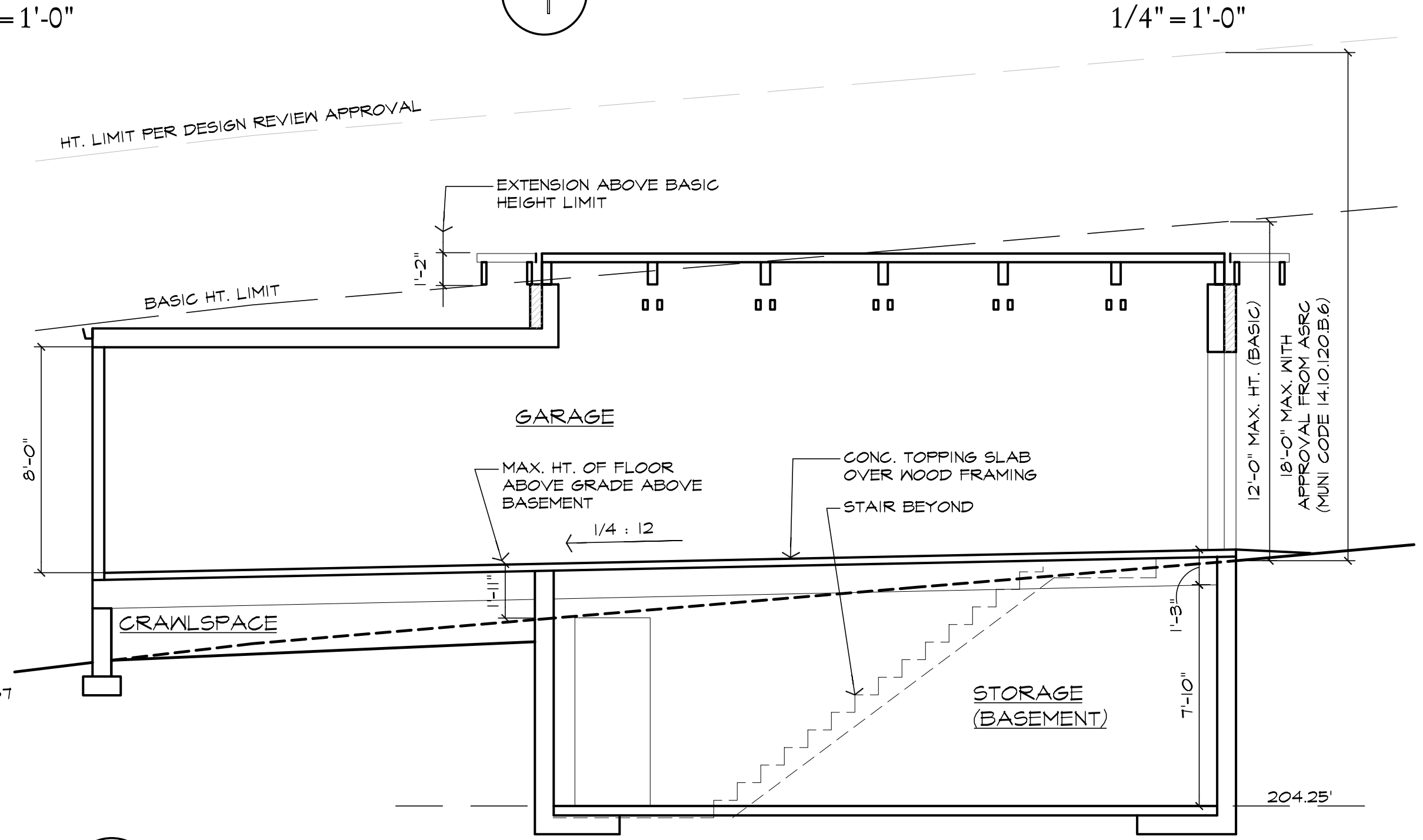
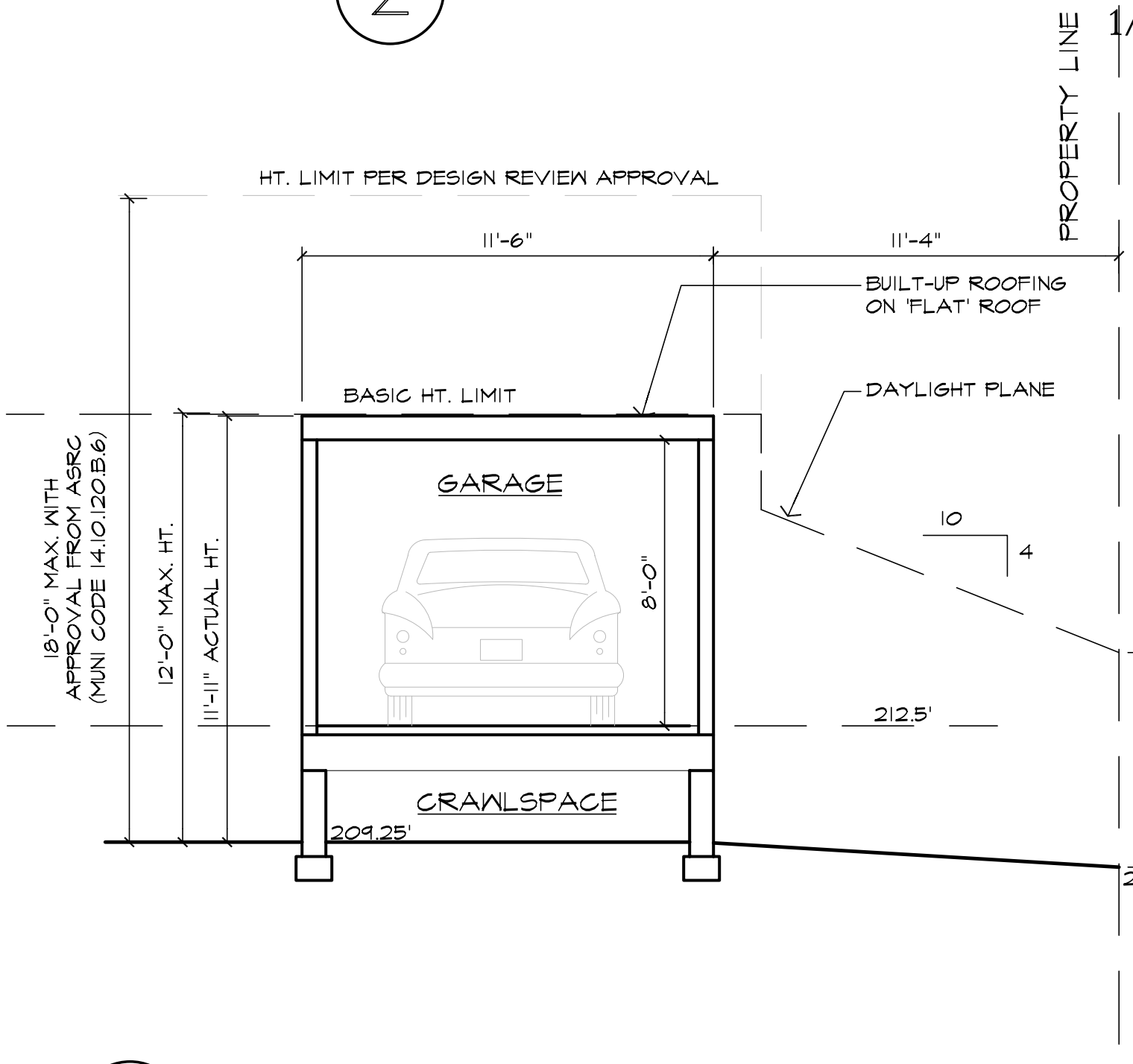
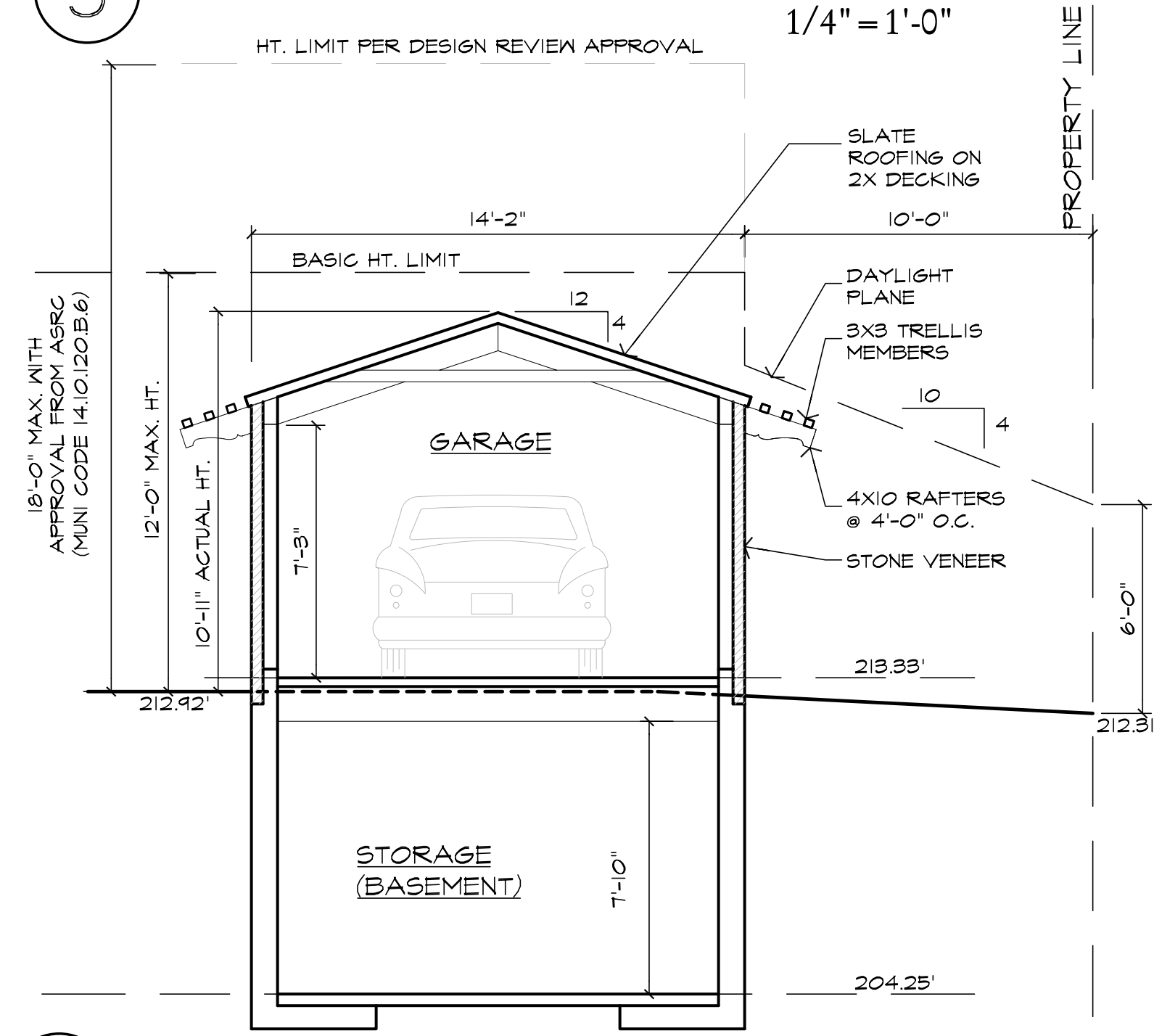




3 Garage Roof Plan 1/4" = 1'-0"

2 Garage Floor Plan 1/4" = 1'-0"

1 Garage Basement Plan 1/4" = 1'-0"



6 Garage Section 1/4" = 1'-0"

5 Garage Section 1/4" = 1'-0"

4 Garage Section 1/4" = 1'-0"

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CLIENT REVIEW	6.12.14
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Sheet Title
 GARAGE PLAN
 ROOF PLAN
 AND SECTIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

A2.8



1 Proposed East (Front) Elevation

1/4" = 1'-0"



2 Existing East (Front) Elevation

1/4" = 1'-0"

Submittal:

CLIENT REVIEW	6.12.14
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DESIGN REVIEW	9.12.14

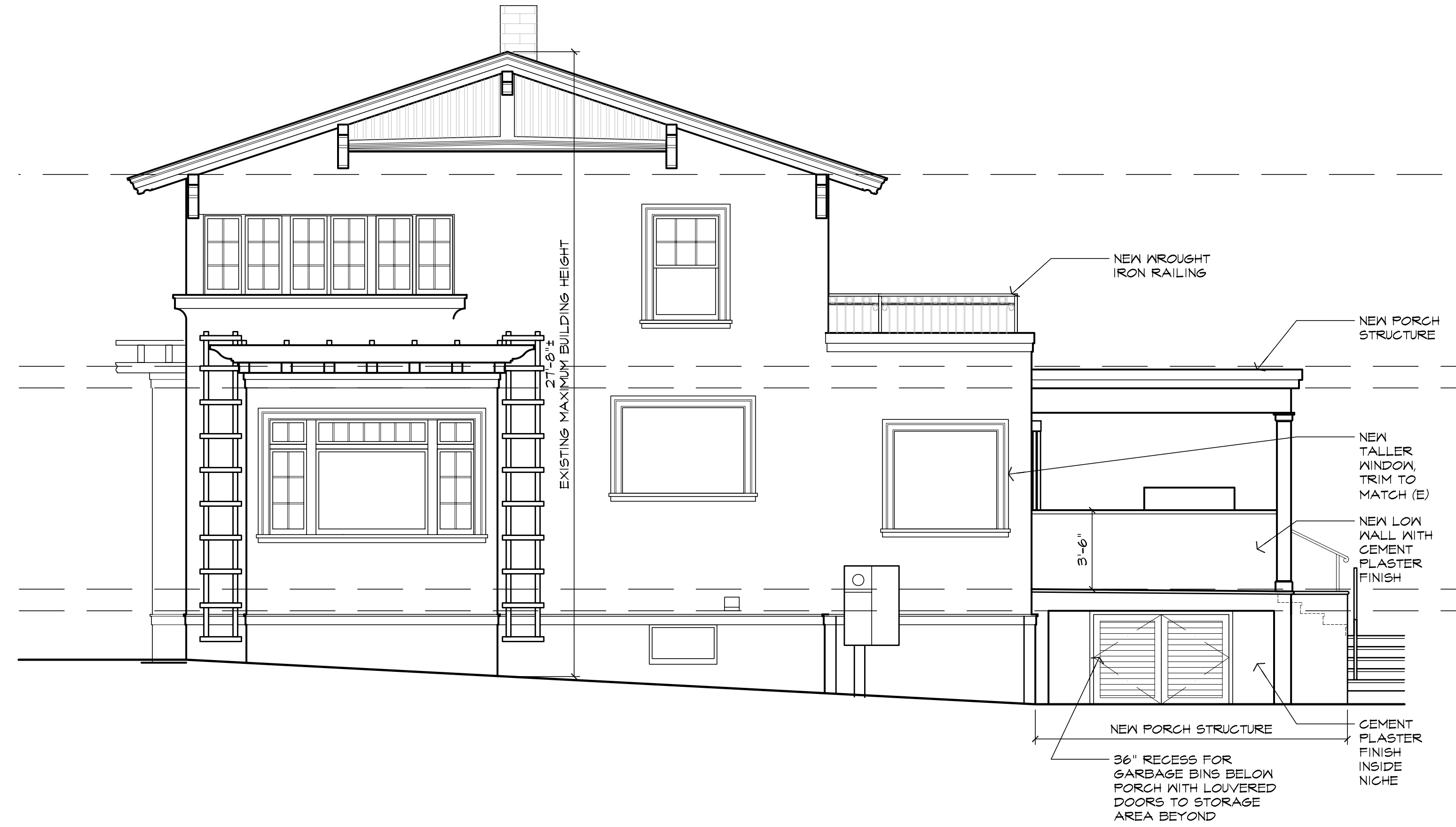
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Sheet Title
 ELEVATIONS

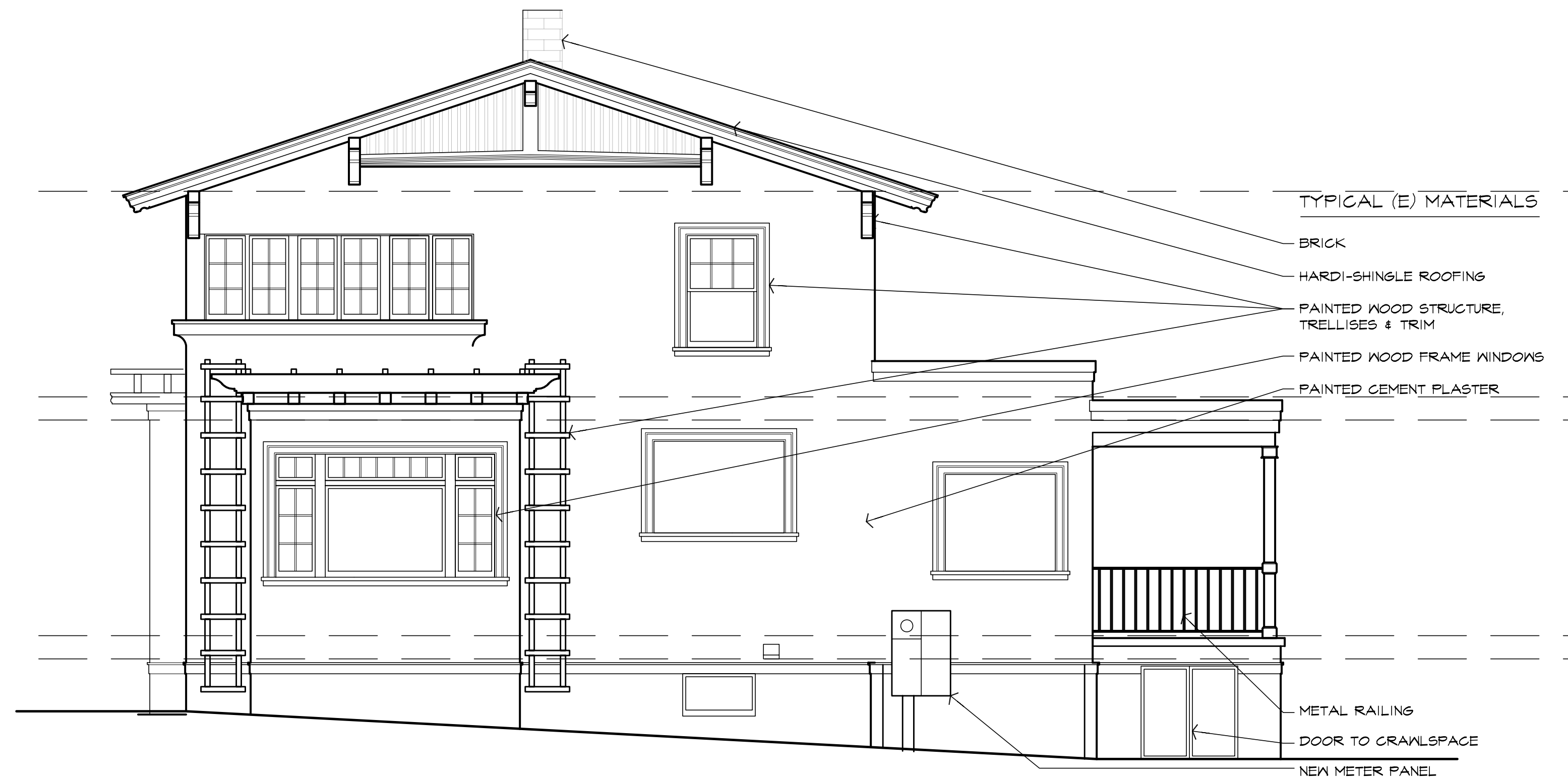
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Project No.	1407
Date	6.23.14
Drawn By	RB
Sheet No.	

A3.1



1 Proposed North (Right) Elevation

1/4" = 1'-0"



2 Existing North (Right) Elevation

1/4" = 1'-0"

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CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
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Sheet Title
 ELEVATIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
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Sheet No.	

A3.2



1 Proposed West (Rear) Elevation
1/4" = 1'-0"

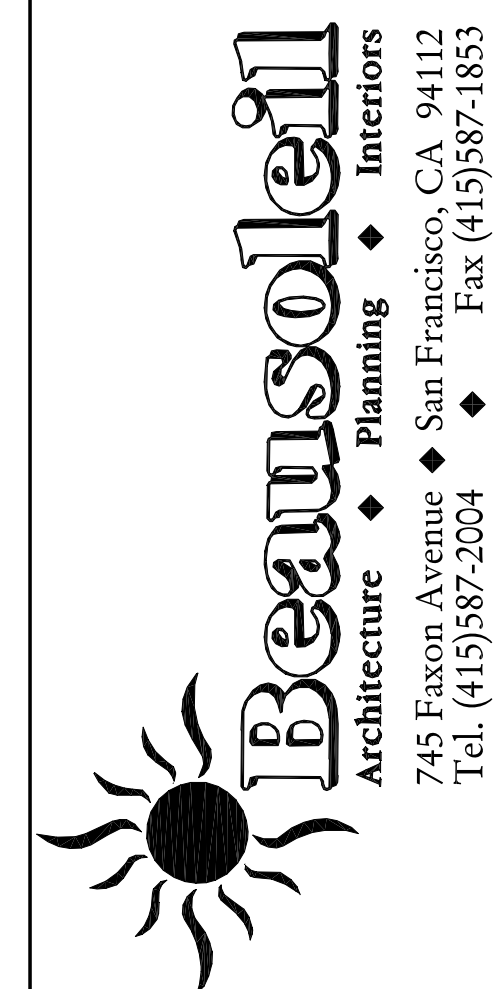


2 Existing West (Rear) Elevation
1/4" = 1'-0"

Submittal:

CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

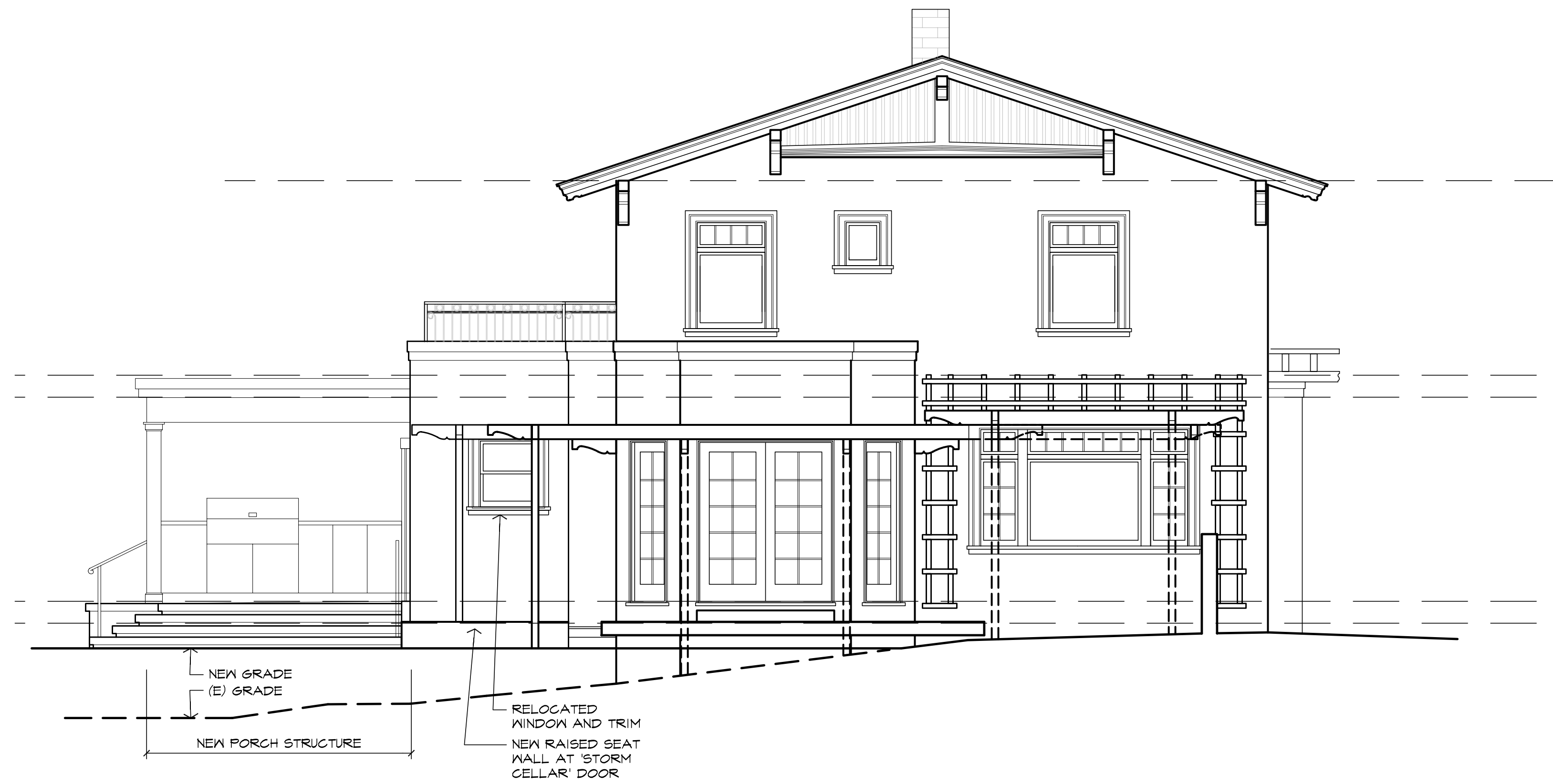
Hitz Residence
452 University Avenue
Los Altos, California



Sheet Title
ELEVATIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	RB
Sheet No.	

A3.3



1 Proposed West (Left) Elevation

1/4" = 1'-0"



2 Existing West (Left) Elevation

1/4" = 1'-0"

Submittal:

CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

Hitz Residence

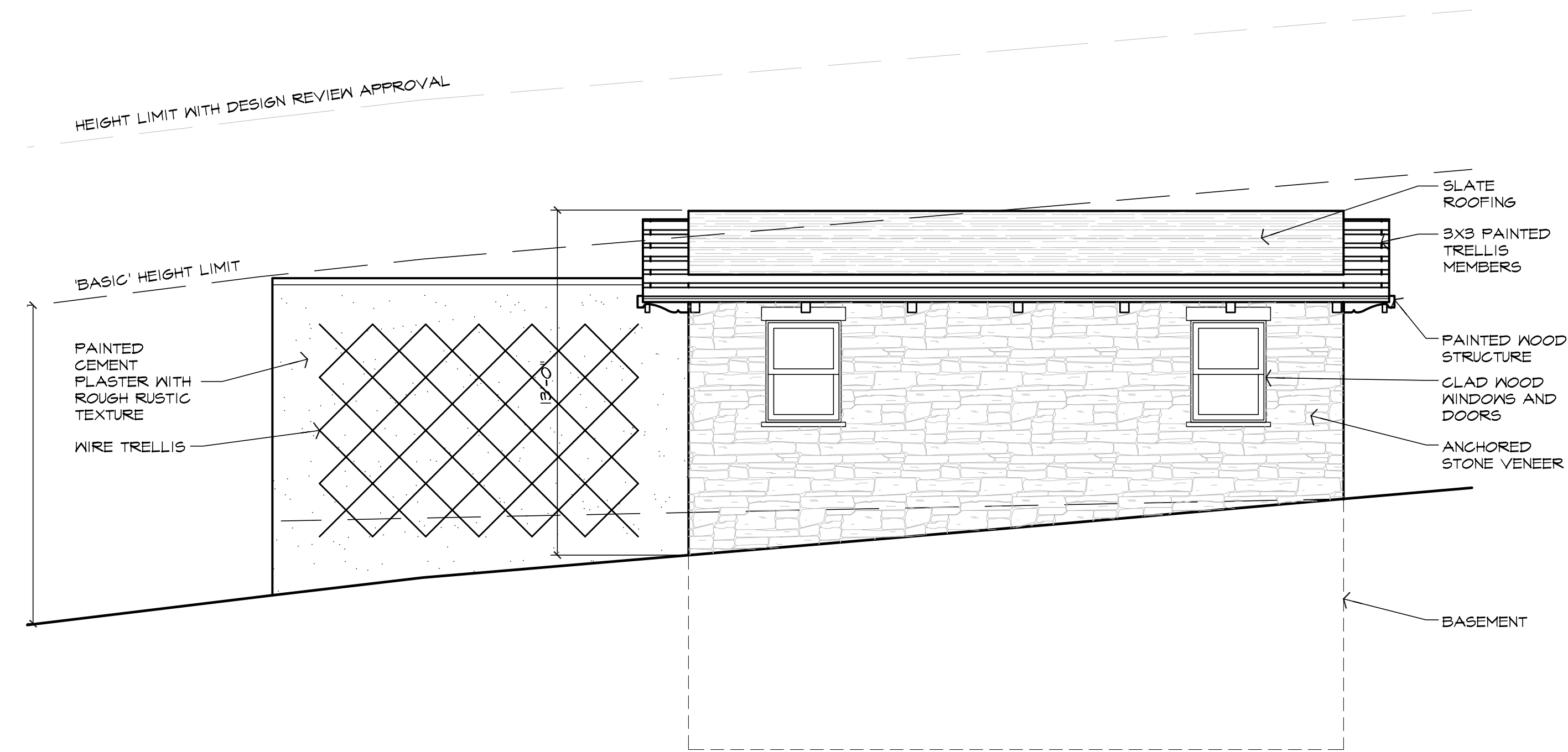
452 University Avenue
Los Altos, California



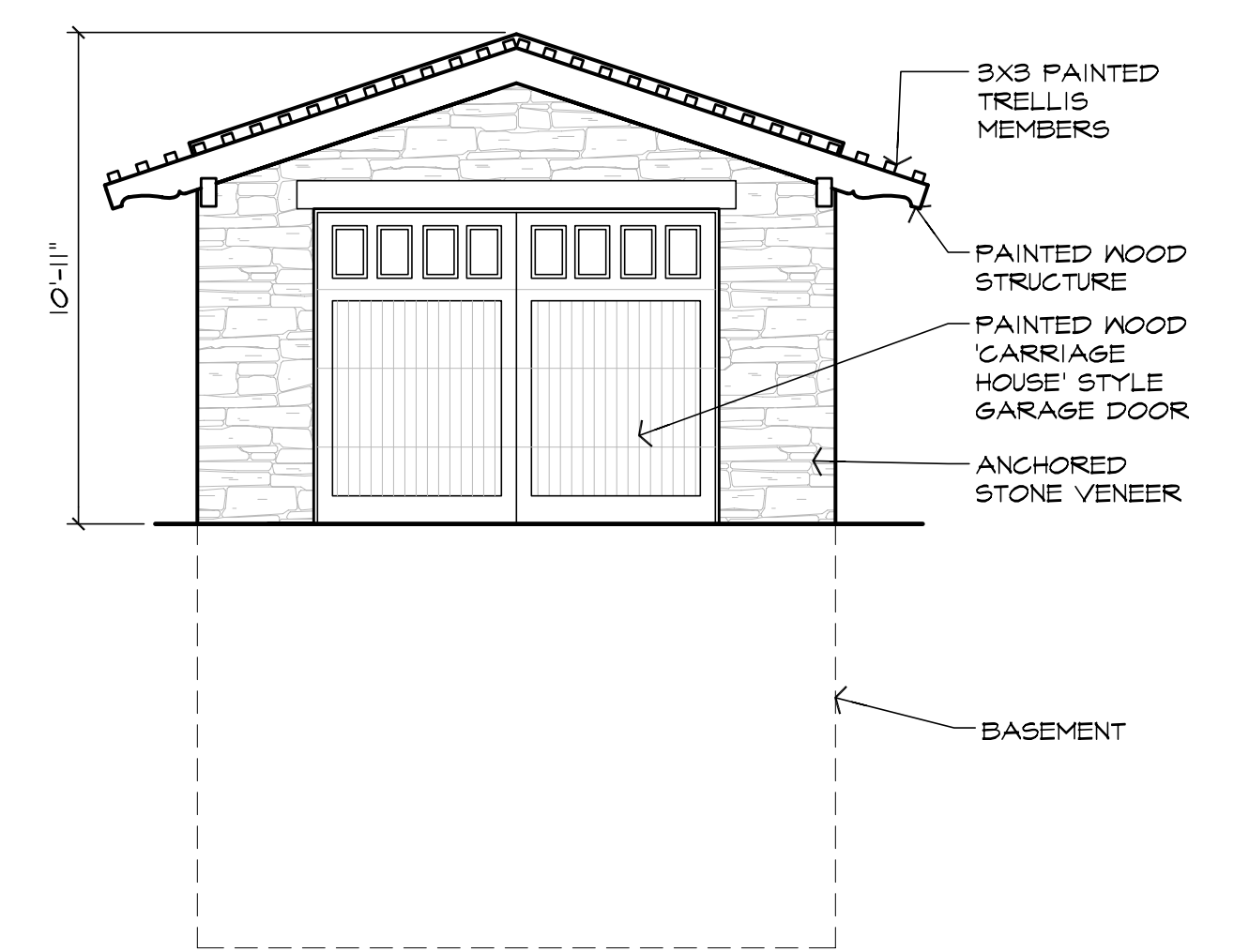
Sheet Title
ELEVATIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	RB
Sheet No.	

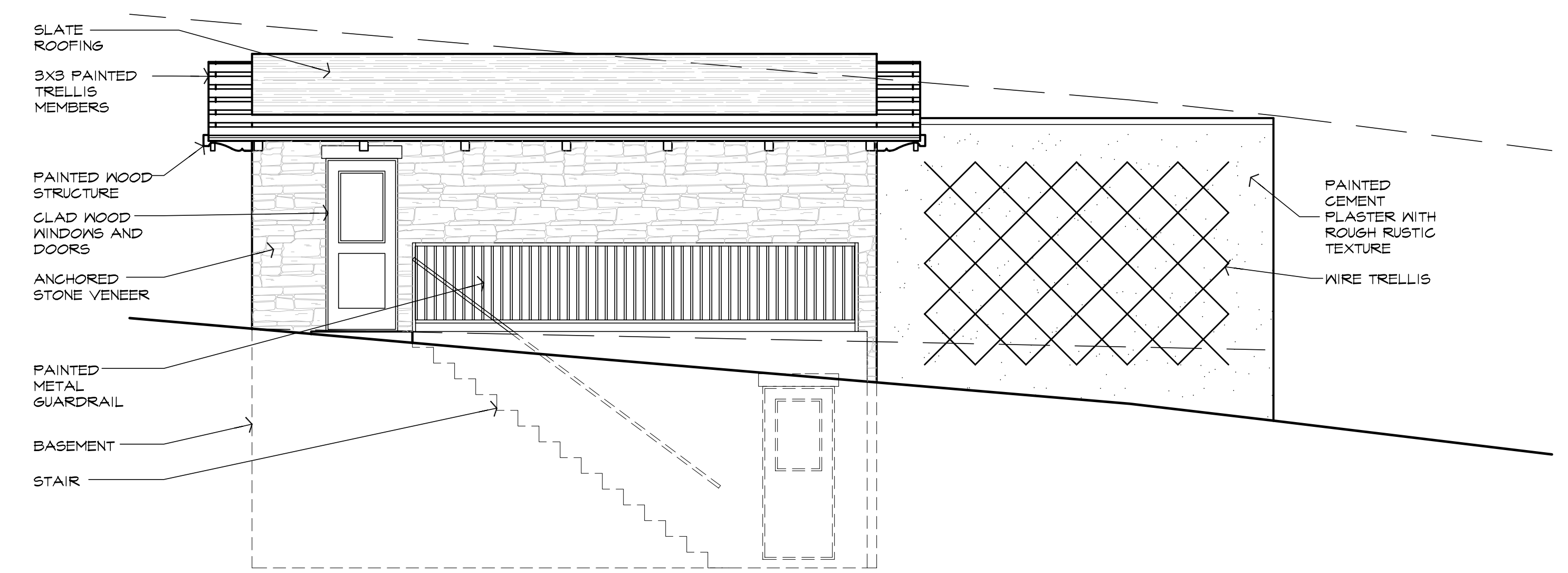
A3.4



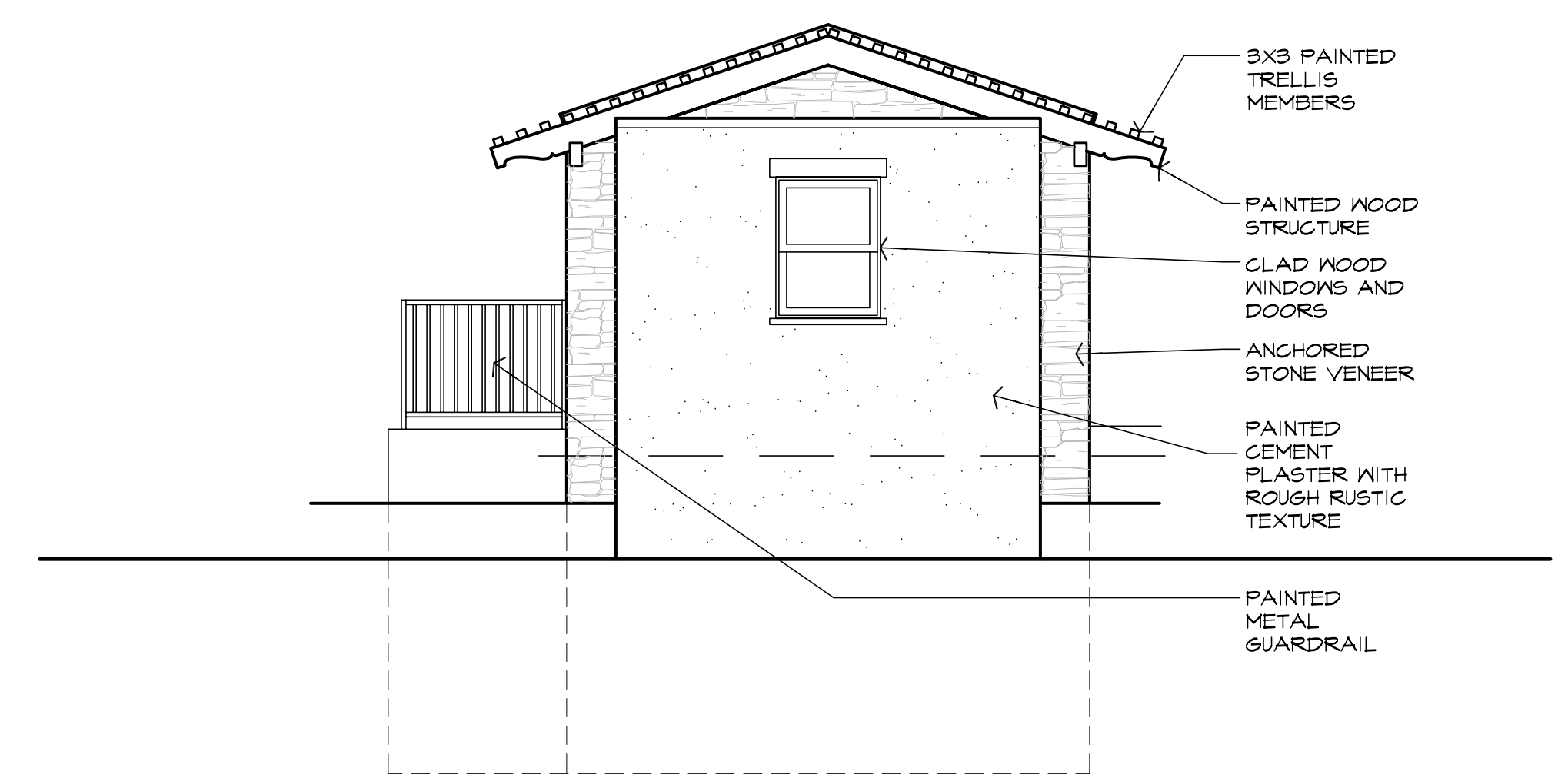
2 South (left side) Elevation



1 East (front) Elevation



4 North (right side) Elevation



3 West (rear) Elevation

Submittal:

CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

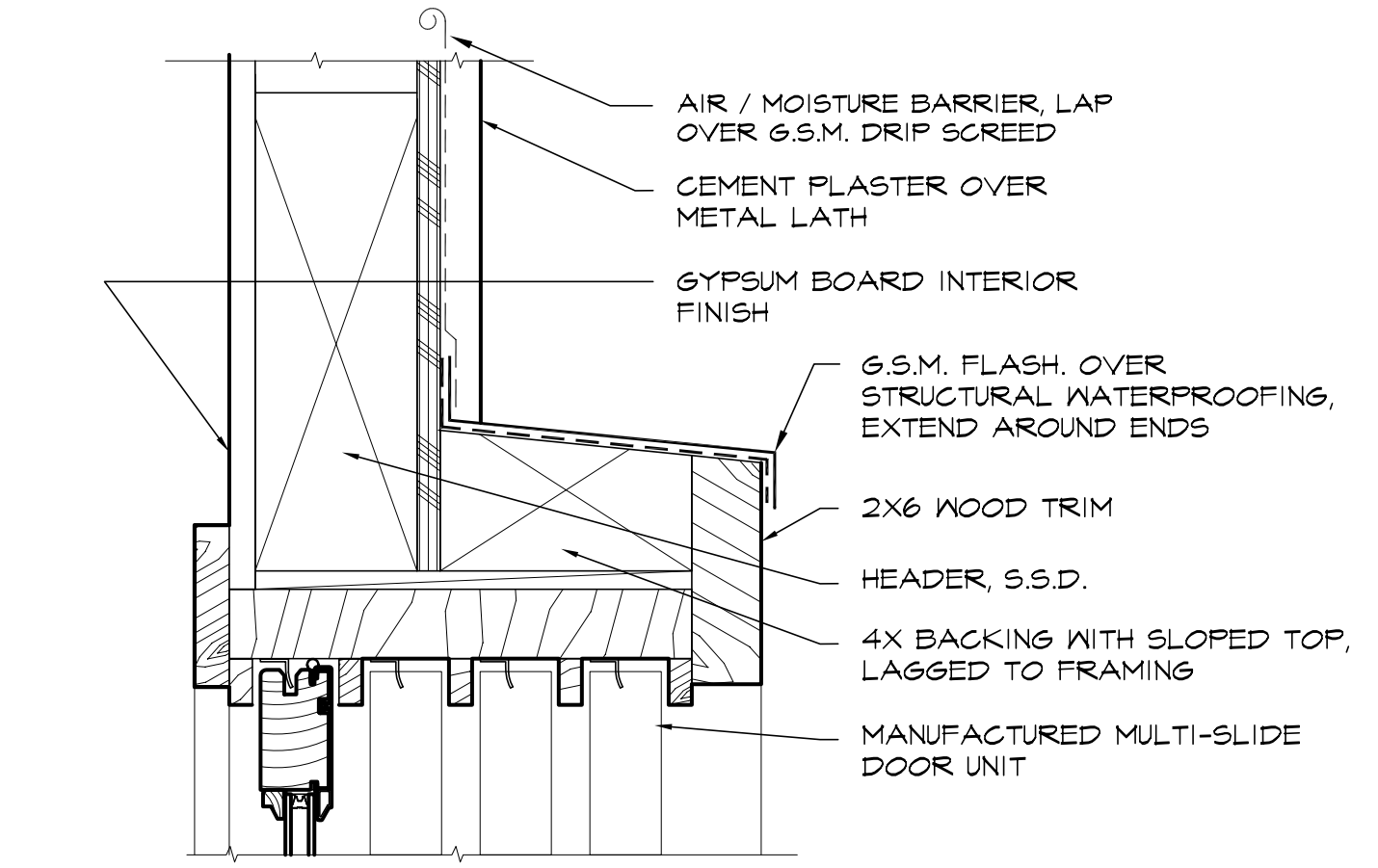
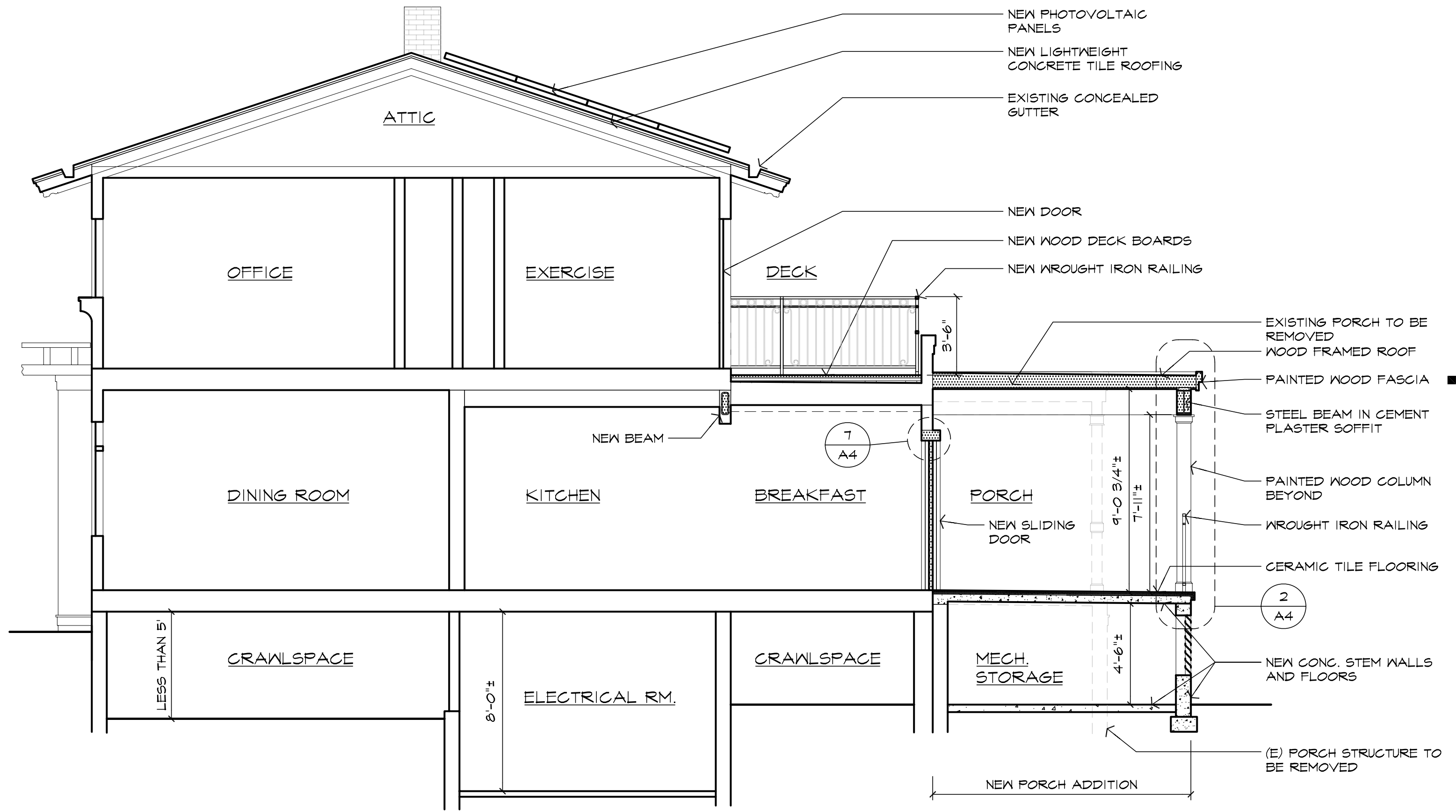
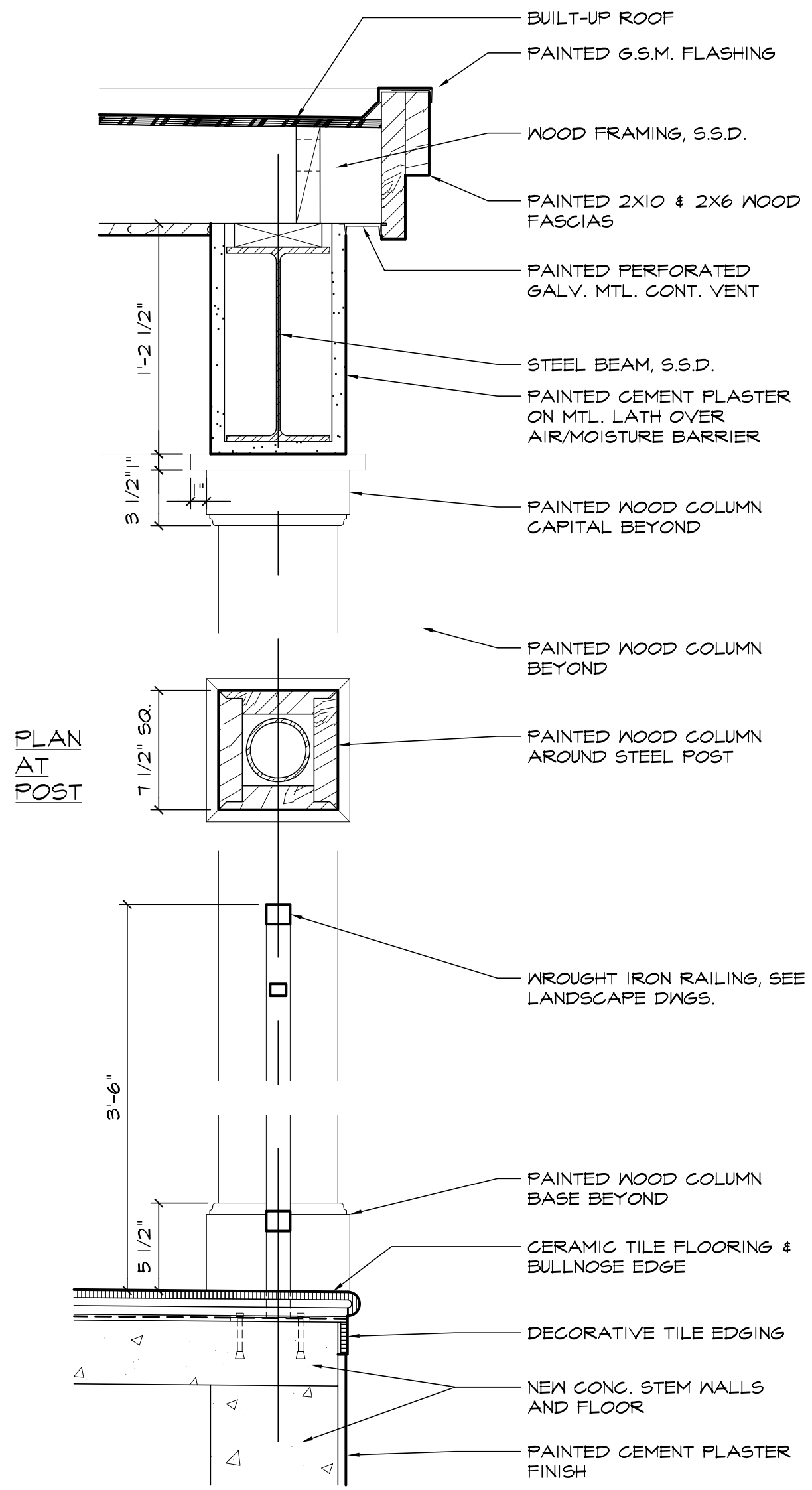
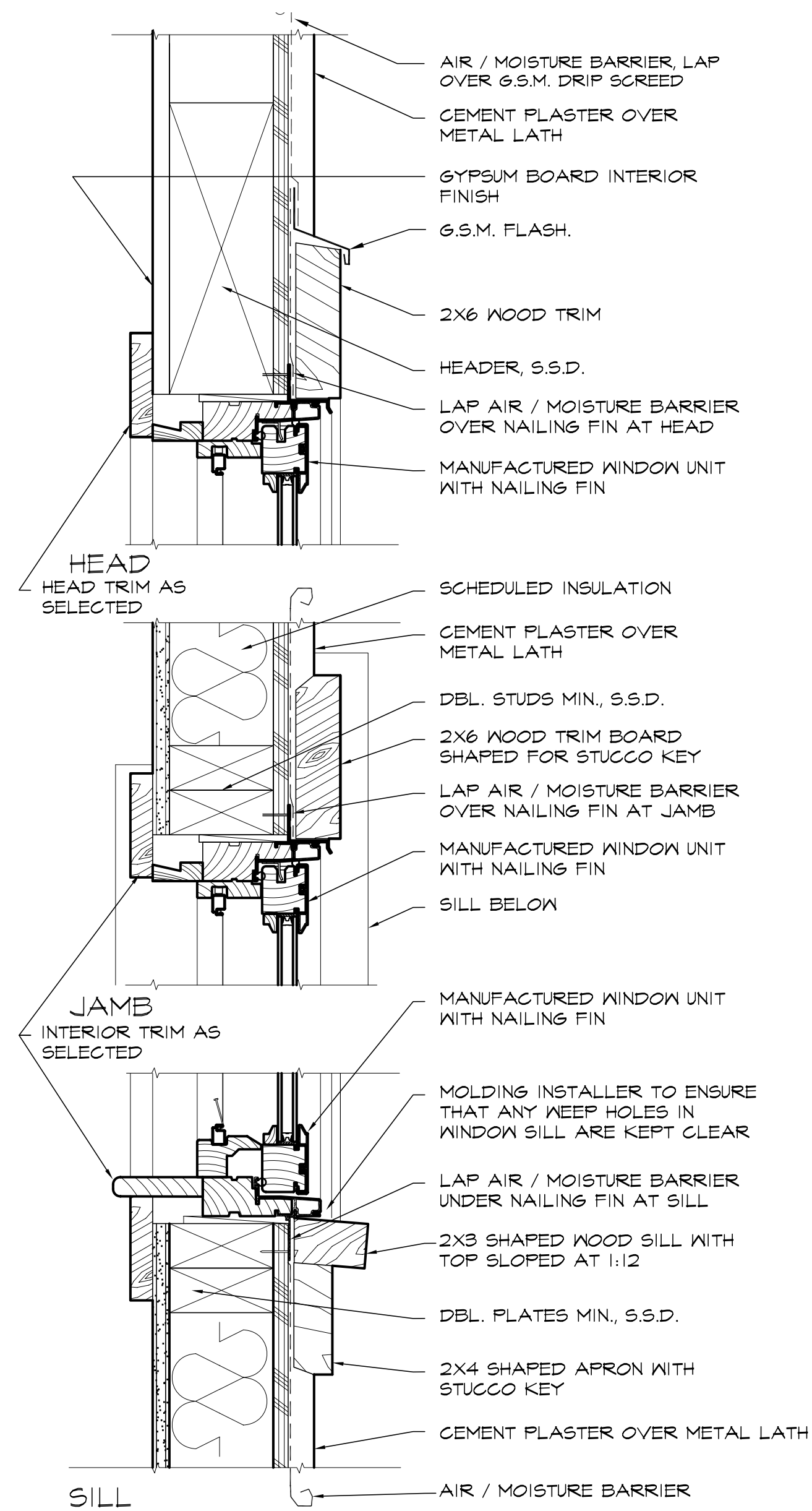
Hitz Residence
 452 University Avenue
 Los Altos, California



Sheet Title
 GARAGE
 ELEVATIONS
 AND SECTIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

A3.5



Submittal:

CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
DESIGN REVIEW	9.12.14

Hitz Residence
452 University Avenue
Los Altos, California

Beausoleil
Architecture & Interiors
745 Faxon Avenue
San Francisco, CA 94112
Tel. (415) 587-2004 Fax (415) 587-1853

Sheet Title
SECTIONS, DETAILS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	RB
Sheet No.	

A4

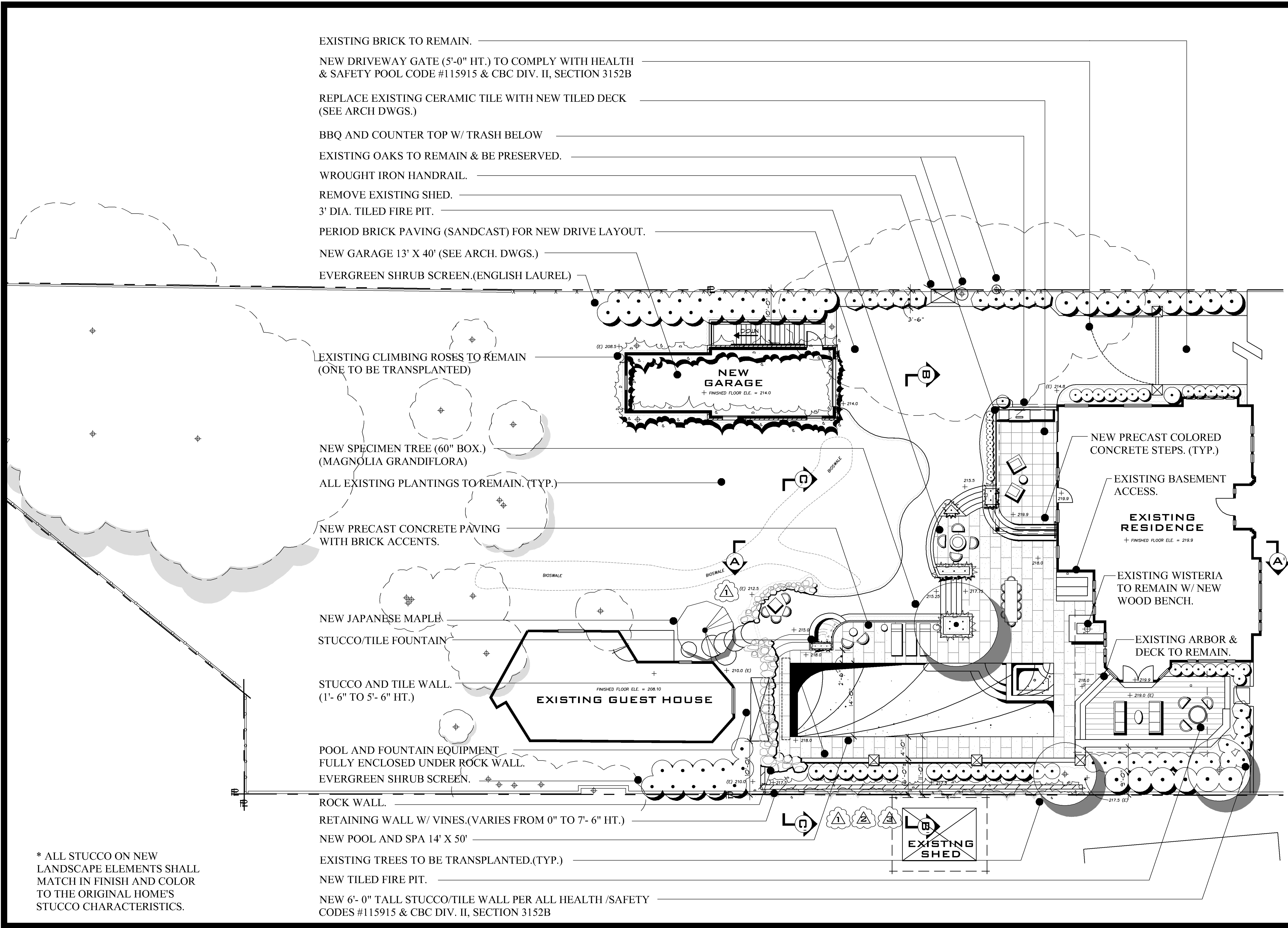
- EXISTING BRICK TO REMAIN.
- NEW DRIVEWAY GATE (5'-0" HT.) TO COMPLY WITH HEALTH & SAFETY POOL CODE #115915 & CBC DIV. II, SECTION 3152B
- REPLACE EXISTING CERAMIC TILE WITH NEW TILED DECK (SEE ARCH DWGS.)
- BBQ AND COUNTER TOP W/ TRASH BELOW
- EXISTING OAKS TO REMAIN & BE PRESERVED.
- WROUGHT IRON HANDRAIL.
- REMOVE EXISTING SHED.
- 3' DIA. TILED FIRE PIT.
- PERIOD BRICK PAVING (SANDCAST) FOR NEW DRIVE LAYOUT.
- NEW GARAGE 13' X 40' (SEE ARCH. DWGS.)
- EVERGREEN SHRUB SCREEN.(ENGLISH LAUREL)

- EXISTING CLIMBING ROSES TO REMAIN (ONE TO BE TRANSPLANTED)
- NEW SPECIMEN TREE (60" BOX.) (MAGNOLIA GRANDIFLORA)
- ALL EXISTING PLANTINGS TO REMAIN. (TYP.)
- NEW PRECAST CONCRETE PAVING WITH BRICK ACCENTS.

- NEW JAPANESE MAPLE
- STUCCO/TILE FOUNTAIN
- STUCCO AND TILE WALL. (1'- 6" TO 5'- 6" HT.)
- POOL AND FOUNTAIN EQUIPMENT FULLY ENCLOSED UNDER ROCK WALL.
- EVERGREEN SHRUB SCREEN.

- ROCK WALL.
- RETAINING WALL W/ VINES.(VARIES FROM 0" TO 7'- 6" HT.)
- NEW POOL AND SPA 14' X 50'
- EXISTING TREES TO BE TRANSPLANTED.(TYP.)
- NEW TILED FIRE PIT.
- NEW 6'- 0" TALL STUCCO/TILE WALL PER ALL HEALTH /SAFETY CODES #115915 & CBC DIV. II, SECTION 3152B

* ALL STUCCO ON NEW LANDSCAPE ELEMENTS SHALL MATCH IN FINISH AND COLOR TO THE ORIGINAL HOME'S STUCCO CHARACTERISTICS.



ROBERT MOWAT ASSOCIATES
 LANDSCAPE ARCHITECTURE + LAND PLANNING
 2068 Third Street Suite 6 San Francisco, California 94107
 Phone 415.777.4656 Fax 415.777.0420
 www.rmatlandscape.com

HITZ RESIDENCE
 452 University Ave
 Los Altos, Ca 94022

PRELIMINARY
 LANDSCAPE
 PLAN

DATE 6-30-14
 REVISIONS
 8-25-14 10' SETBACK/MISC.
 8-29-14 WALL PAVING REVISIONS
 9-11-14 RET. WALL/FIRE PIT REV.

SCALE 1/8"=1'-0"
 NORTH

SHEET
LP-1
 OF 4

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LAYOUT LEGEND

- PROPERTY LINE
- INDICATES EXISTING LANDSCAPE
- INDICATES NEW LANDSCAPE
- ✕ ✕ ✕ INDICATES EXISTING WIRE FENCE
- — — INDICATES EXISTING WOOD FENCE
- — — INDICATES EXISTING STEEL FENCE
- ⊕ EXISTING TREES OR SHRUBS
- ⊕ EXISTING TREE CANOPY

IMPERVIOUS SURFACE CALCULATIONS

EXISTING

EXISTING GARAGE, GREENHOUSE, BONUS ROOM AND SHED TO BE REMOVED = 963 S.F.
 EXISTING PORCH TO BE REMODELED = 218 S.F.
 EXISTING DECK TO BE REMOVED = 182 S.F.
 EXISTING DRIVEWAY AND HARDSCAPE TO BE REMOVED = 3,561 S.F.

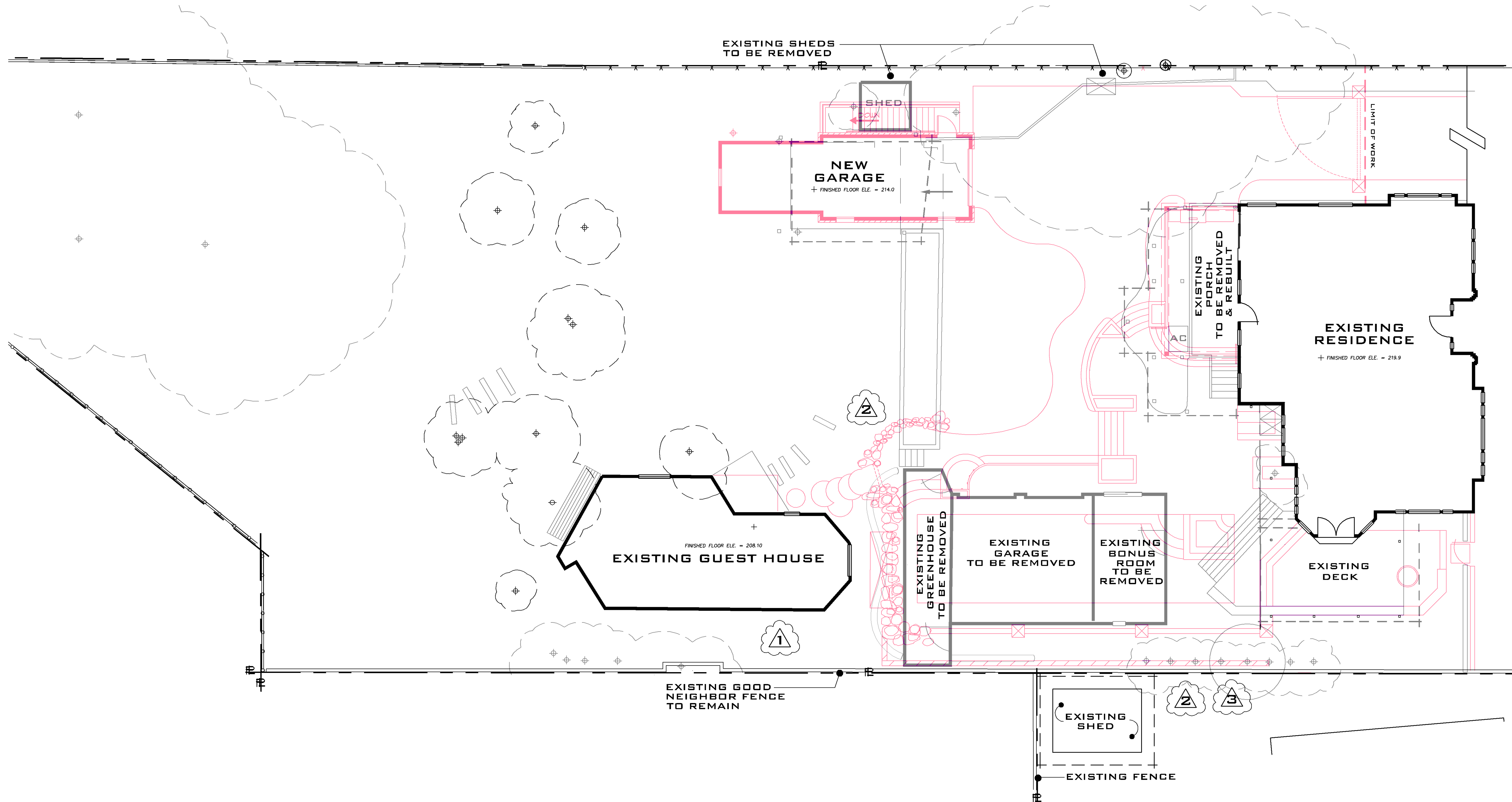
TOTAL IMPERVIOUS SURFACE REMOVED = 4,924 S.F.

NEW

NEW GARAGE = 580 S.F.
 NEW PORCH = 278 S.F.
 NEW DECK = 31 S.F.
 NEW POOL AND SPA = 700 S.F.
 NEW DRIVEWAY AND HARDSCAPE = 3,039 S.F.

TOTAL IMPERVIOUS SURFACE ADDED = 4,628 S.F.

NET IMPERVIOUS COVERAGE = (-296) S.F.



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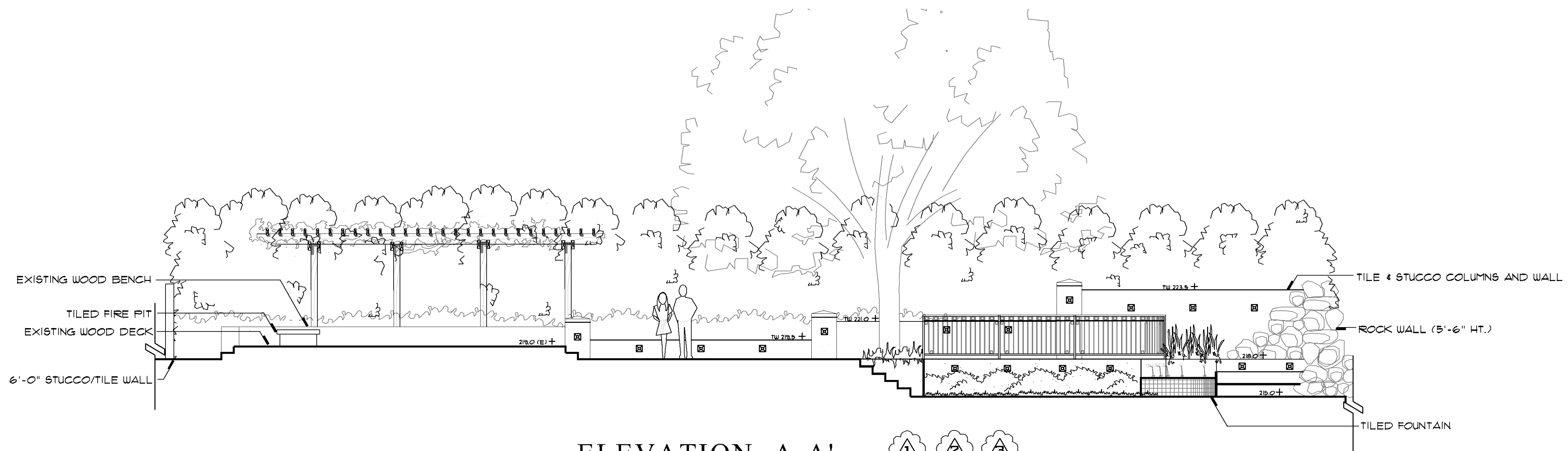
EXISTING AND NEW
 OVERLAY
 SITE PLAN

DATE 4-30-14
 REVISIONS 8-8-14
 GENERAL SITE PLAN REVISIONS
 8-29-14 WALL PAVING REVISIONS
 9-11-14 RET. WALL/FIRE PIT REV.

SCALE 1/8"=1'-0"
 NORTH

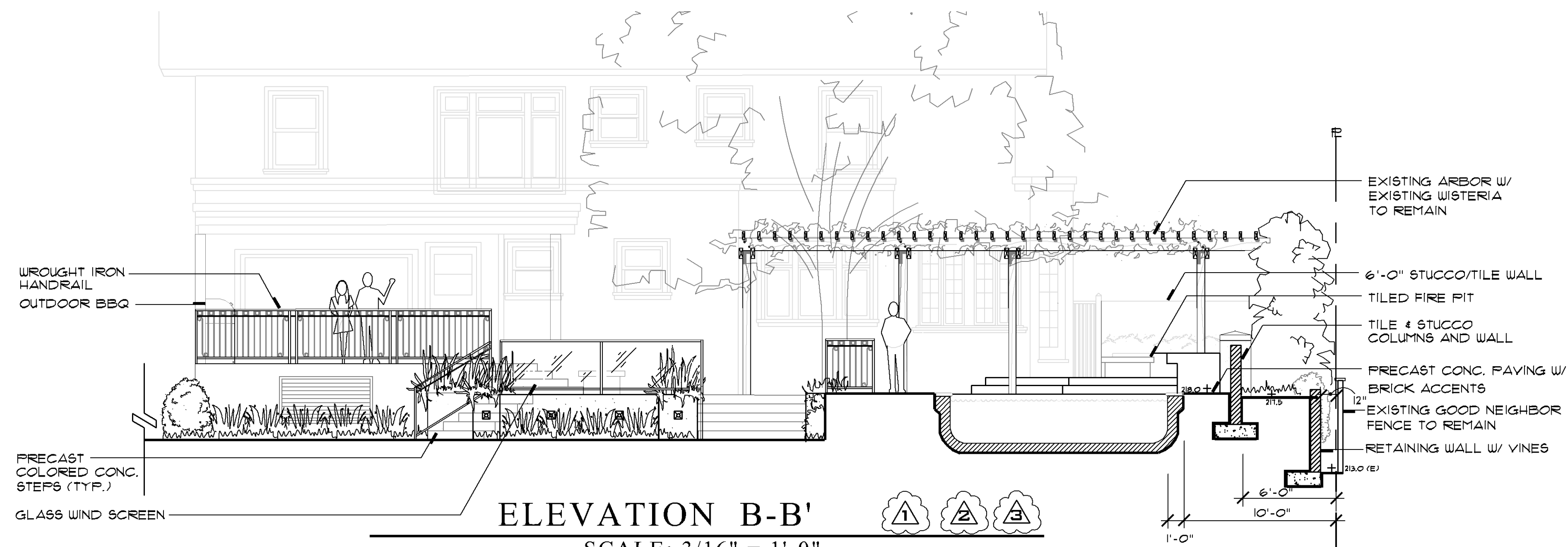
SHEET
LP-2
 OF 4

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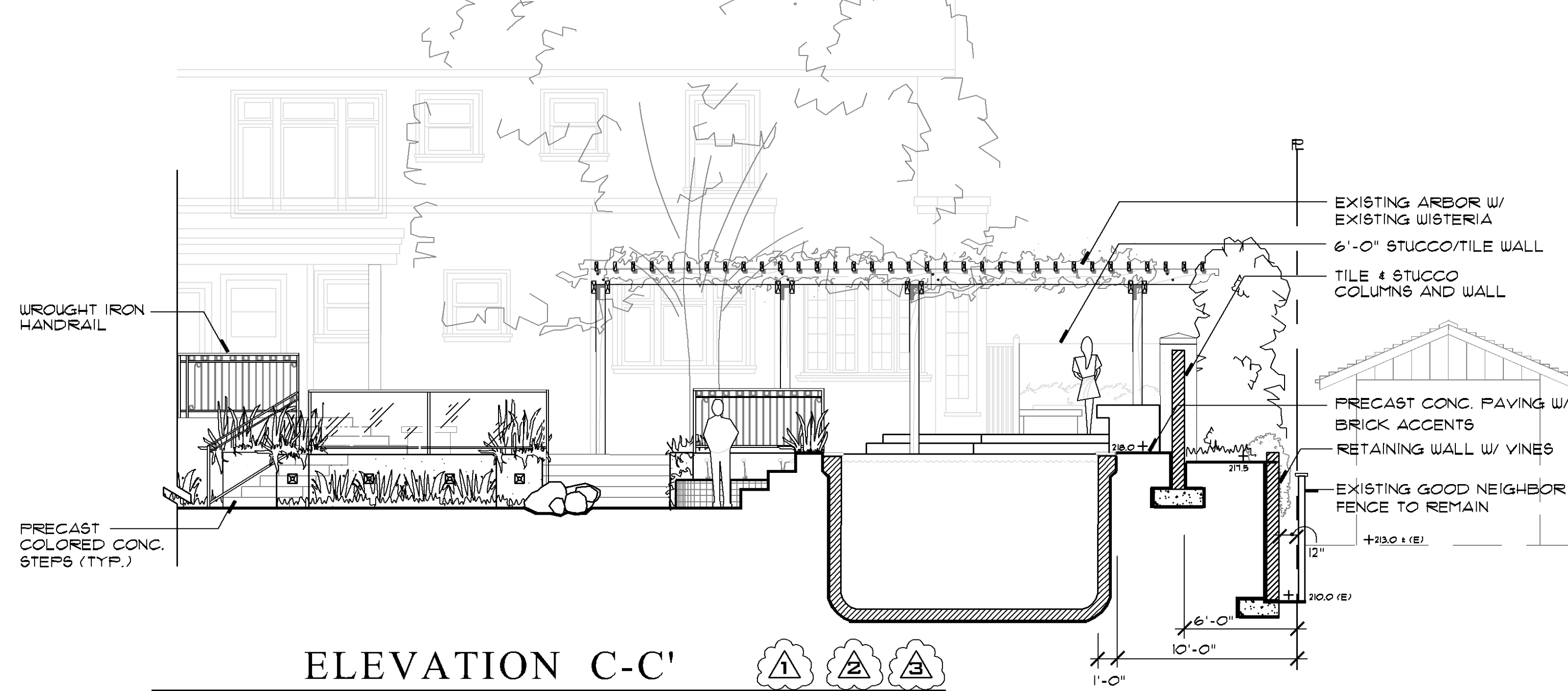
ELEVATION A-A'

SCALE: 3/16" = 1'-0"



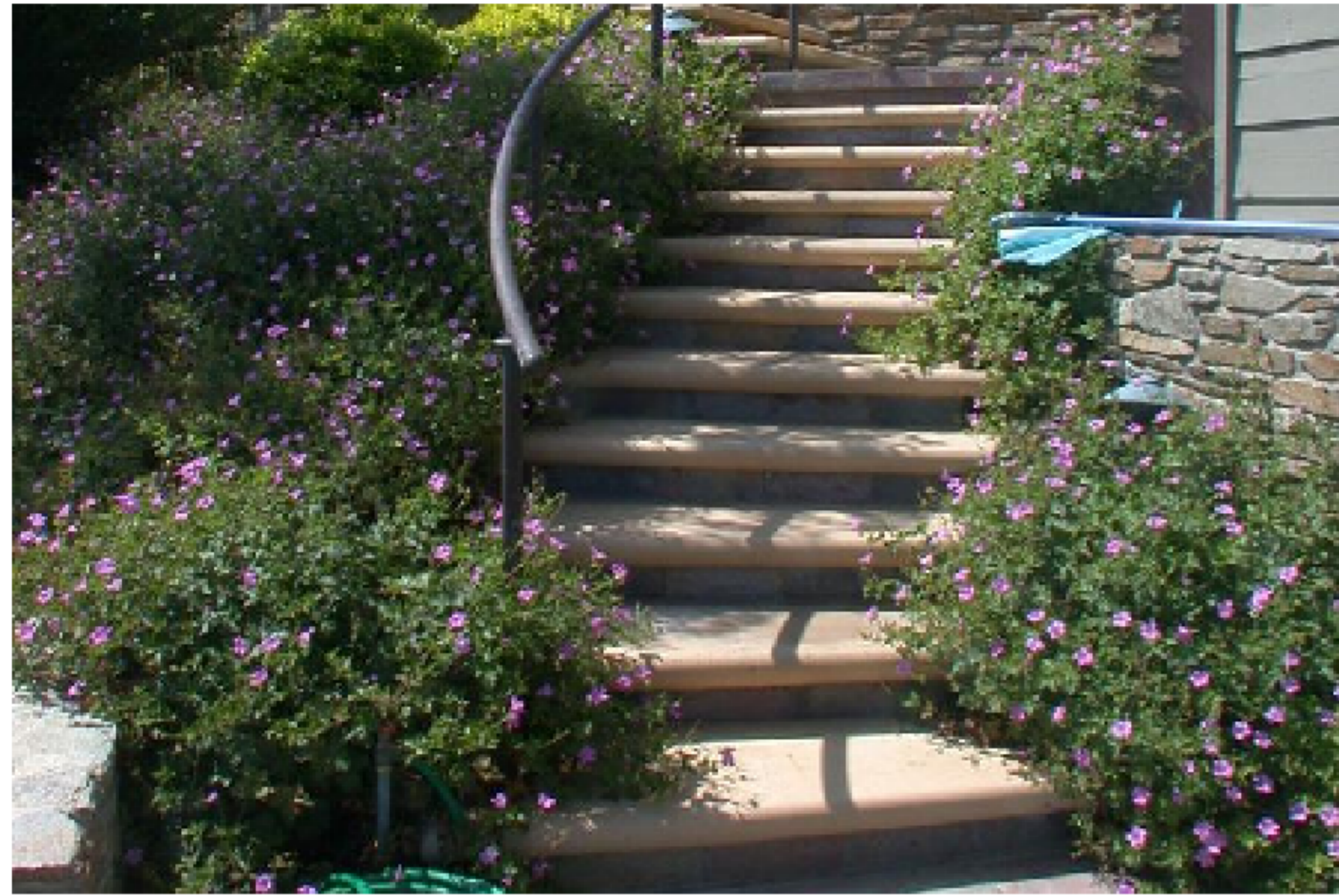
ELEVATION B-B'

SCALE: 3/16" = 1'-0"



ELEVATION C-C'

SCALE: 3/16" = 1'-0"



PRECAST CONCRETE STEPS



PRECAST CONCRETE PAVING



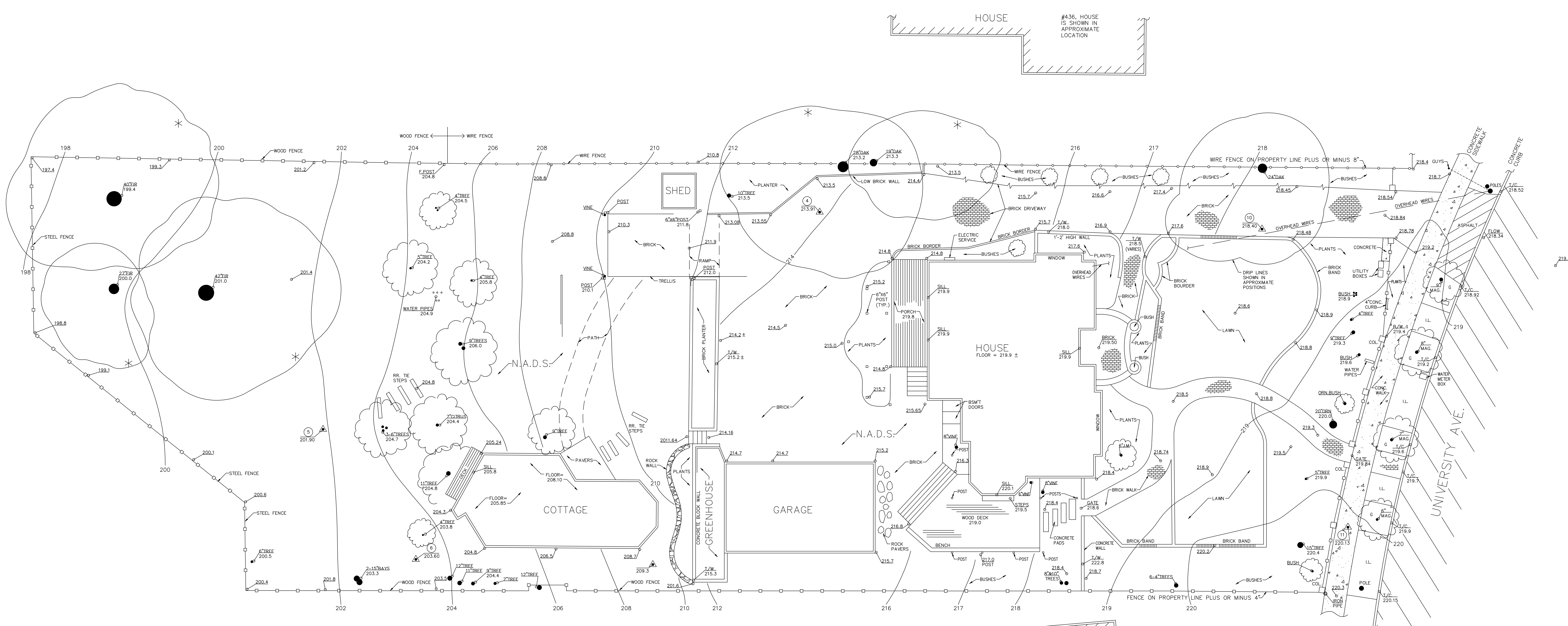
**RUSTIC CUT CARMEL VALLEY STONE
W/ BRICK ACCENTS.**



TILE



**WROUGHT IRON RAILING
(DESIGN TO BE DETERMINED)**



LEGEND

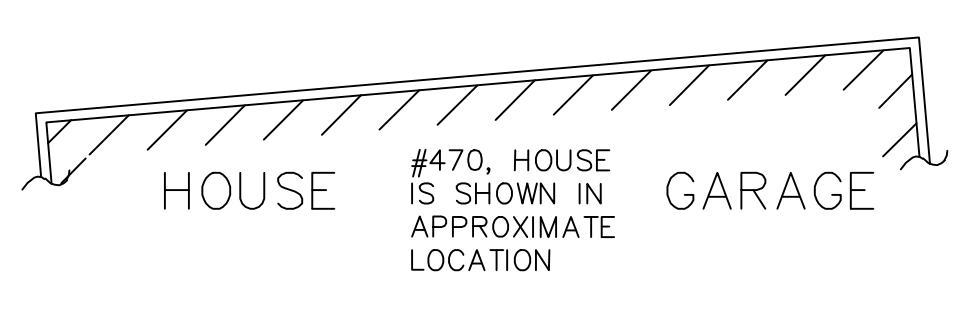
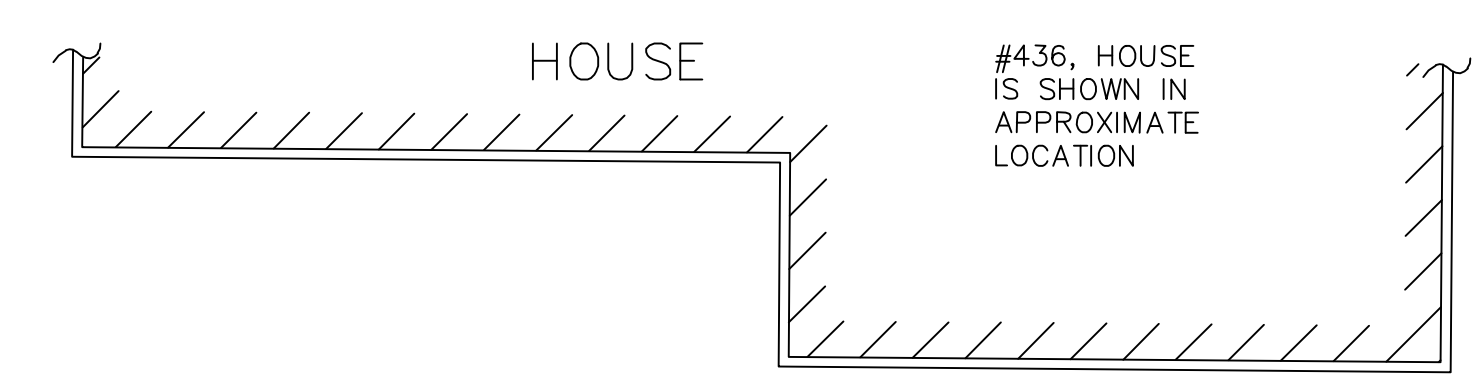
N.A.D.S. = NOT ALL DETAILS SHOWN
 T/W = TOP OF WALL
 T/C = TOP OF CURB
 B/W = BACK OF WALK
 COL = COLUMN
 I.L. = IMITATION LAWN
 G = GRAVEL
 * = TREE DRIP LINES ARE SHOWN APPROXIMATE

ELEVATION DATUM USED:
 12' ELEVATION 1985.07 NAVD 88
 TOWN OF LOS ALTOS HILLS BENCH MARK,
 LOCATED AT THE TOP OF A CONCRETE WALL
 AT THE SOUTHEASTERLY CORNER OF THE
 BRIDGE ON BURKE ROAD AT THE TOWN
 LIMITS NEAR FOOTHILL EXPRESSWAY.

NOTE:
 EASEMENT, PLAN LINES, SETBACK
 LINES AND GEOLOGIC CONDITIONS, IF
 ANY, AND UNLESS SHOWN, NOT
 SHOWN.

NOTE:
 NOT ALL UNDERGROUND UTILITY LINES
 MAY BE SHOWN ON THIS MAP. U.S.A.
 MUST BE CONTACTED TO DETERMINE
 LOCATIONS OF ALL UTILITY LINES PRIOR
 TO ANY DIGGING.

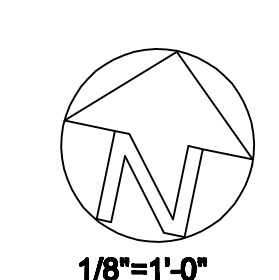
NOTE:
 THIS IS A TOPOGRAPHIC MAP NOT A
 BOUNDARY SURVEY. LINES SHOWN ARE
 DERIVED FROM RECORD DATA, AND MAY
 VARY SOMEWHAT FROM ABSOLUTE
 BOUNDARY LOCATIONS.



TOPOGRAPHY
 OF A PORTION OF LANDS OF
DAVID HITZ
 452 UNIVERSITY AVE. - LOS ALTOS, CA. - 02-11-2014

ROGER E. DODGE, LS 3295
DODGE ASSOC. SURVEYING
 20652 CHAPARRAL CIRCLE
 PENN VALLEY, CA 95946
 (530)432-6212, FAX (530)432-6443

REVISED 2-18-2014
 ADD AND/OR REVISE VARIOUS DETAILS.
 REVISED 6-4-2014
 ADD TOPO TO EAST 1/2 OF LOT



1/8"=1'-0"

ROGER E. DODGE
 LS 3295
 STATE OF CALIFORNIA