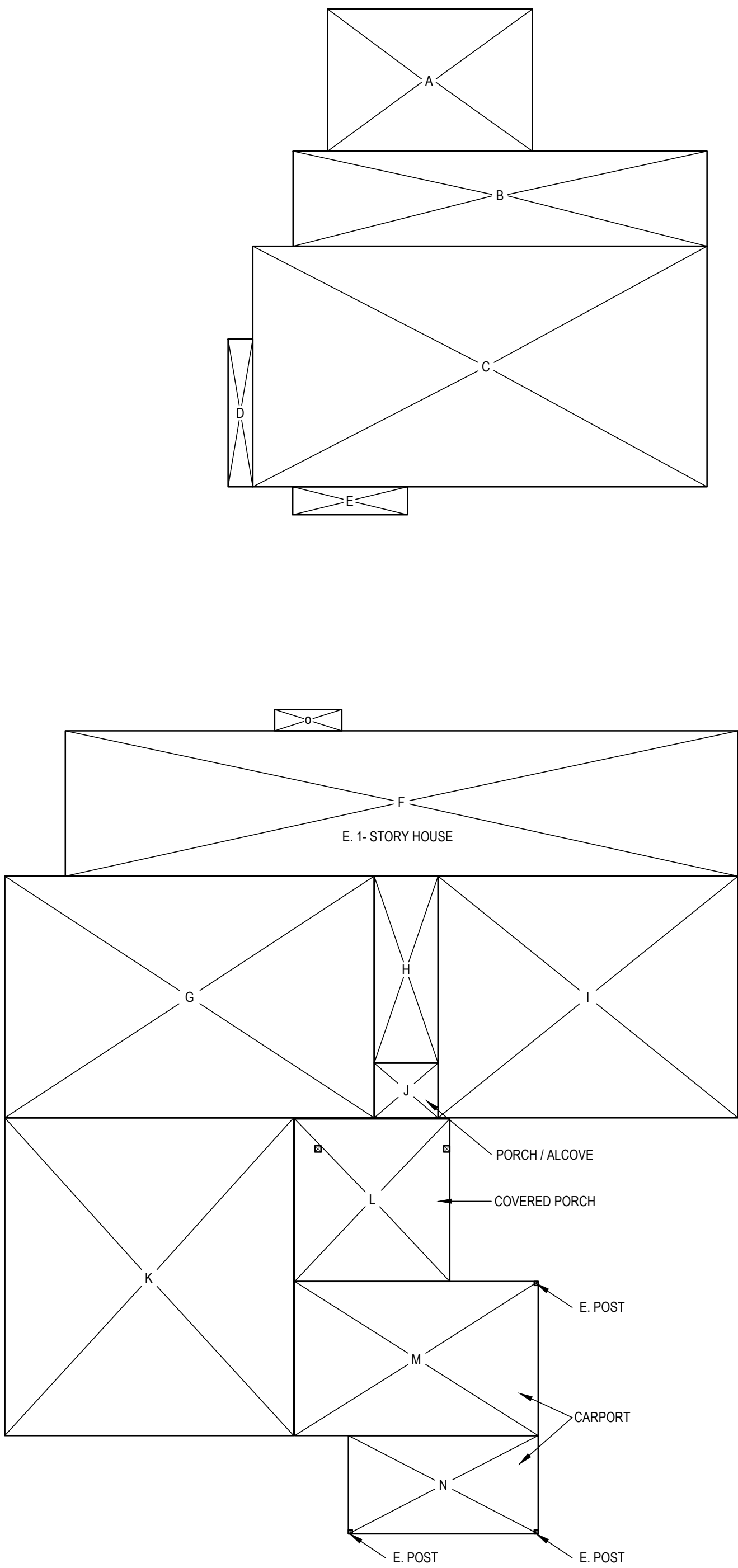


OF SHEETS



FLOOR AREA & COVERAGE

SCALE:1/8"=1'-0"

FLOOR AREA AND COVERAGE CALCULATIONS

Section	Dimensions	Area
A	15'-3" x 10'-7"	161.4 sq. ft.
B	30'-10" x 7'-1"	218.4 sq. ft.
C	33'-10" x 17'-11"	606.2 sq. ft.
F	50'-1" x 10'-10"	542.6 sq. ft.
G	27'-6" x 18'-0"	495 sq. ft.
H	4'-9" x 13'-11"	66.1 sq. ft.
I	22'-4" x 18'-0"	402 sq. ft.
K	21'-6" x 23'-8"	509 sq. ft.

TOTAL FLOOR AREA = 3000.7 sq. ft.

D	1'-10" x 11'-0"	20.2 sq. ft.
E	8'-6" x 2'-0"	19.4 sq. ft.
J	4'-9" x 4'-1"	19.4 sq. ft.
L	11'-6" x 12'-1"	139.7 sq. ft.
M	18'-0" x 11'-6"	207 sq. ft.
N	14'-0" x 7'-0"	98 sq. ft.
O	1'-7" x 5'-0"	8 sq. ft.

TOTAL LOT COVERAGE = 3512.4 sq. ft.

360 sq. ft. EXISTING STRUCTURES REMOVED (SHED)



GRAPHIC SCALE: 1/8" = 1'-0"



PROPOSED 1st FLOOR PLAN

WALL LEGEND

	WALLS/ DOORS/ ETC... TO BE REMOVED
	WALLS/ DOORS/ ETC... TO REMAIN
	N. WALLS

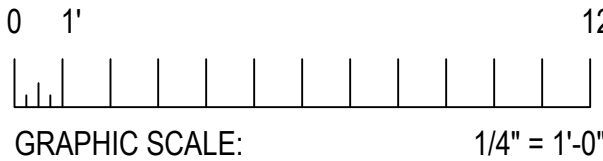
CODE EDITIONS:

2013 Calif Building Code
2013 Calif Mechanical Code
2013 Calif Plumbing Code
2013 Calif Electrical Code

FLOOR PLAN NOTES:

- All exterior walls to be 2x6 at 24" O.C. U.O.N.
- All dimensions to face of finish, U.O.N.
- All non normal angles in plan to be verified.
- All plumbing shall be separated from structure with plumbing piping insulation.
- Provide clear space in front of all water closets a minimum of 30" wide by 24".
- Consult owner for heights of all shower heads.
- Provide 2x blocking at all hooks and towel rods.
- 1/2" gypsum board typical. 5/8" gyp. brd. at framing spaced at 24" O.C.
Provide 1/2" type 'X' gyp. brd. as noted on plans.
- All glazing in ingress & egress doors except jalousies shall be tempered.
- All glazing in sliding and swinging doors shall be tempered.
- Provide 18"x24" underfloor access within 20" of plumbing clearouts, CBC 2306, CPC 707.10
- Provide 22"x30" attic access (30"x30" with attic equipment), CBC 1505.1, CMC 508
- Provide cross ventilation for attic and rafter bays, 1" minimum air space above insulation, CBC 1505.3
- Fireblock concealed spaces in accordance with CBC Section 708
- All firestopping shall comply with Section 708
- Exposed wood framing shall be pressure treated or decay resistant, CBC 2306
- 10% light & vent, 1/2 open, CBC 1203
- Emergency escape @ bedrooms, CBC 310.4
- Smoke detectors in hallways, bedrooms and at each story, CBC 310.9
- Carbon monoxide detector required, CBC 420.4
- Stairway requirements, CRC 311.7
- Safety glass, CBC 2406
-at tubs & showers
-within 24" of a door
-within 18" of the floor
-at stairways and landings
- 36" landing @ exterior doors, CRC R311.3
- 1/2" type 'X' gypsum board between garage (shop) & residence, including support, CBC 302.4
- 1/2" type 'X' gypsum board in closets under stairways, CBC 1003.3.9.10
- Provide fluorescent lighting in kitchen and bedrooms, Title 24
- Seismic strap & thermal expansion tank @water heater, CPC 510.5 & 608.3
- Outside combustion air for water heater and furnace, CPC 507, CMC 703
- Dryer vent 14" max length, CMC 504.3
- Minimum 36 inch deep landing required outside all exterior doors not more than 7 1/2 inches lower than threshold for in-swinging doors and not more than 1 1/2 inch lower than threshold for out-swinging doors, CRC R311.3

SCALE:1/4"=1'-0"



GRAPHIC SCALE: 1/4" = 1'-0"

DESIGN REVIEW

REVISIONS

BY



SUSTAINABLE HOMES
DESIGN • BUILD
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Design by:
KACEY FITZPATRICK

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151 Mountain View Ave.
Los Altos, CA 94024

PROPOSED FLOOR PLAN
FLOOR AREA AND COVERAGE
CALCULATIONS

REMODEL/ ADDITION FOR:

Au-Valdez Residence
15 San Juan Ct. Los Altos, CA 94022

DRAWN
My Cad Drafter™

CHECKED
KF

DATE
06/05/14

SCALE
AS NOTED

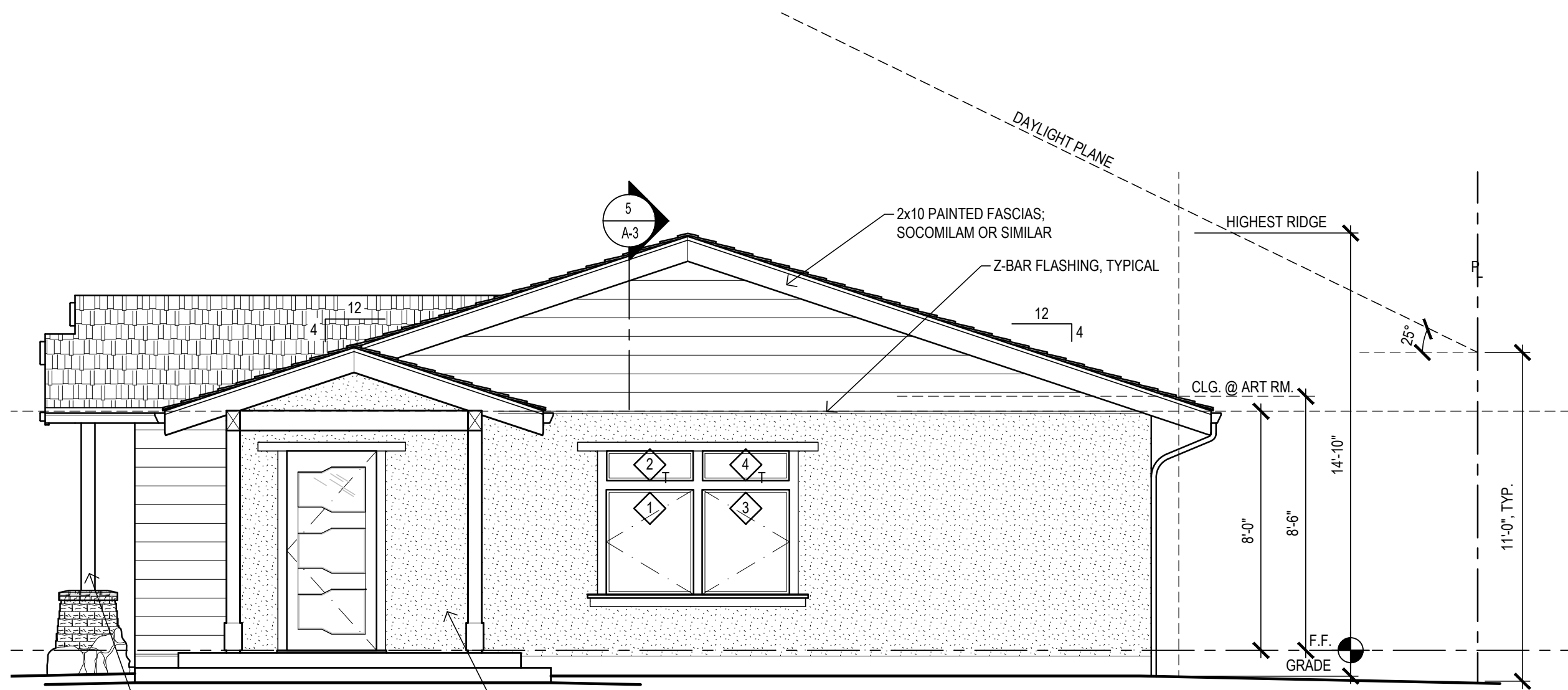
JOB NO.

SHEET

A-2

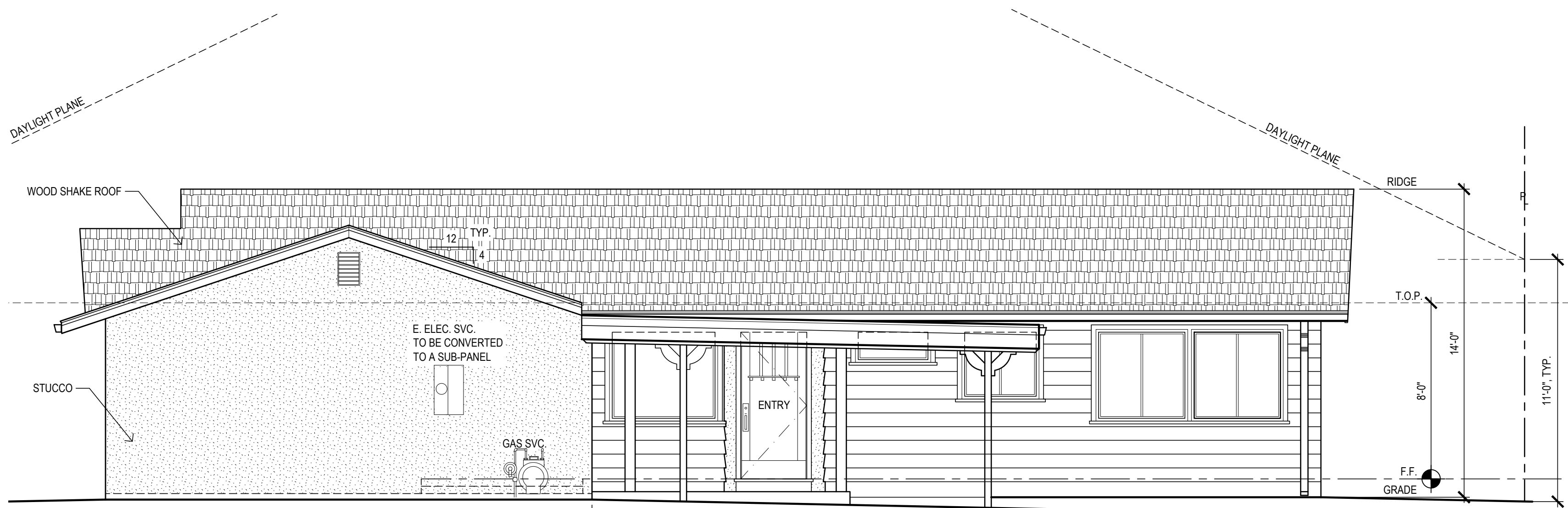
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SHEETS



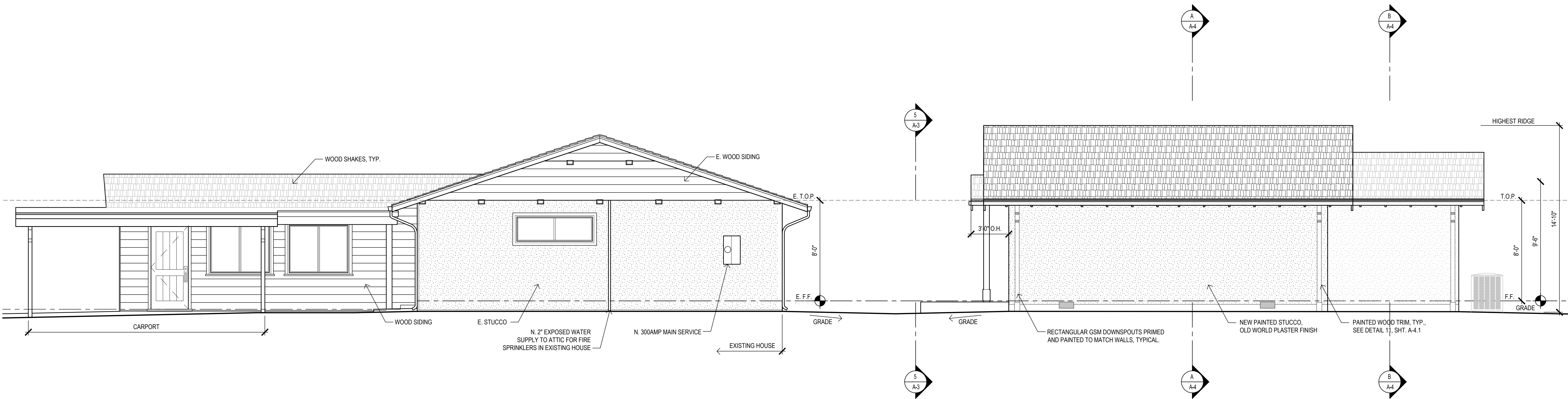
5 PROPOSED SOUTH ELEVATION
AT ADDITION

SCALE: 1/4"=1'-0"



1 PROPOSED SOUTH ELEVATION
FRONT-UNCHANGED

SCALE: 1/4"=1'-0"



2 PROPOSED EAST ELEVATION
RIGHT SIDE

SCALE: 1/4"=1'-0"

DESIGN REVIEW

REVISIONS	BY



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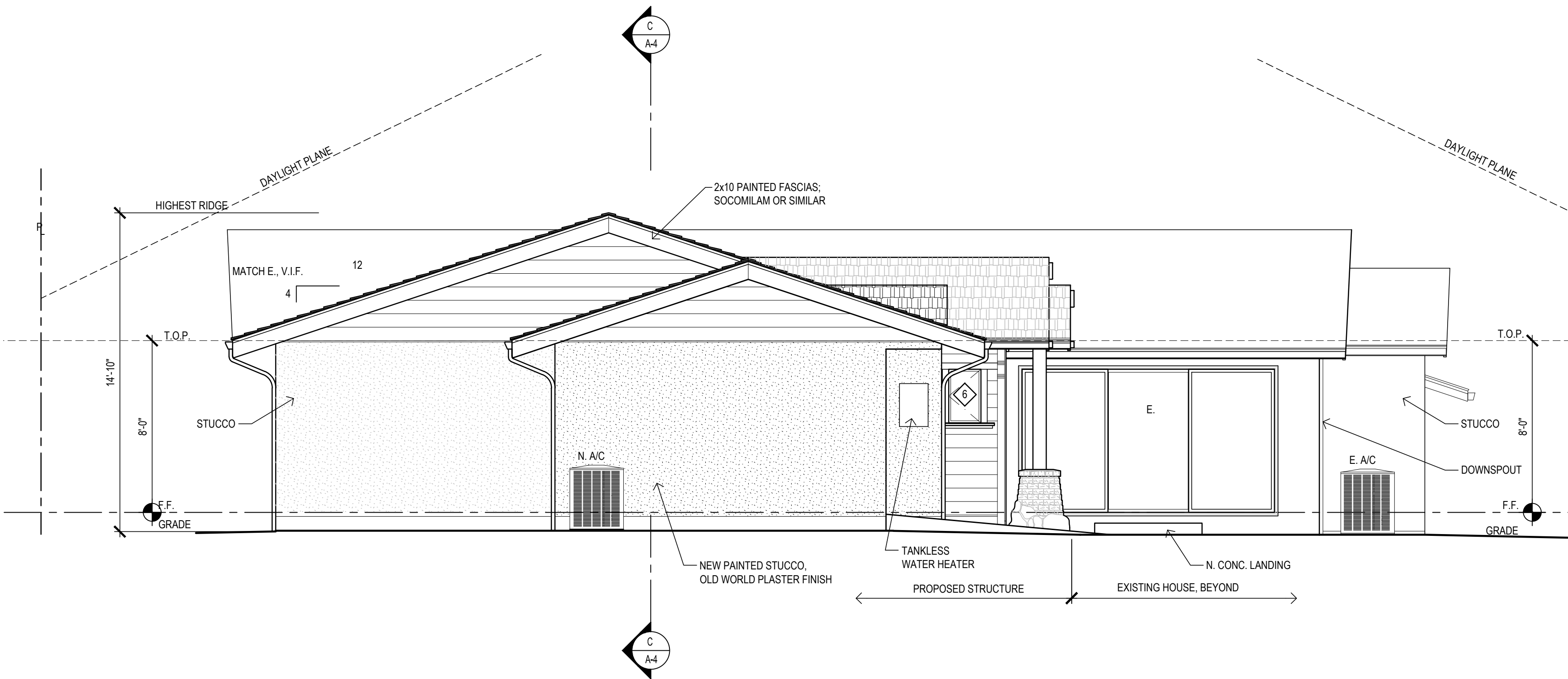
Design by:
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PROPOSED
ELEVATIONS

REMODEL / ADDITION FOR:
Au-Valdez Residence
15 San Juan Ct. Los Altos, CA 94022

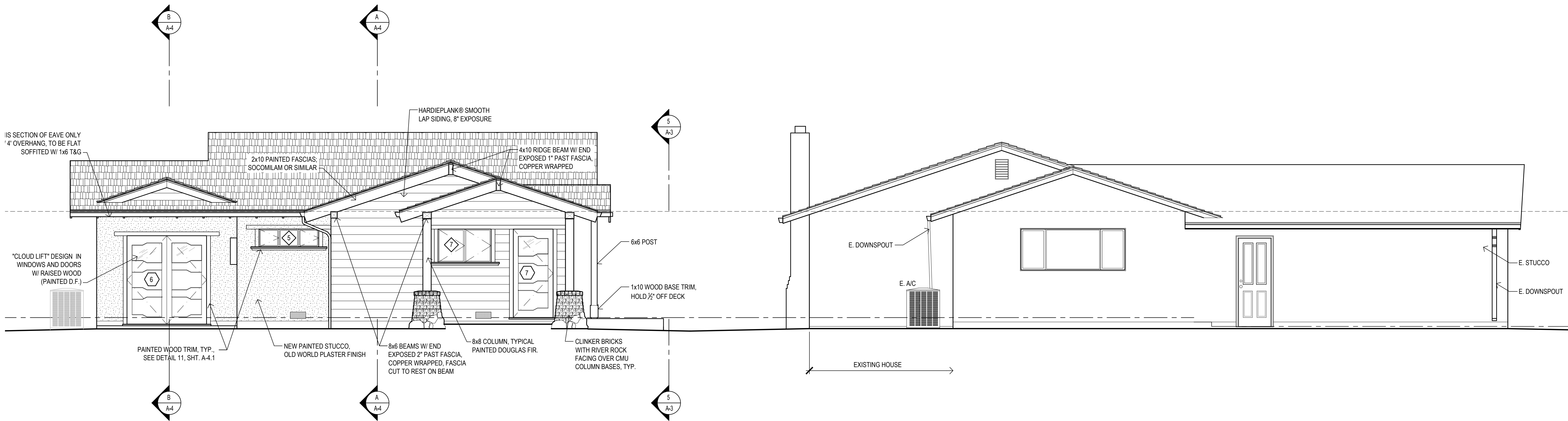
DRAWN My Cad Drafter™
CHECKED KF
DATE 06/04/14
SCALE AS NOTED
JOB NO.
SHEET

A-3



3 PROPOSED NORTH ELEVATION
REAR

SCALE: 1/4"=1'-0"



4 PROPOSED WEST ELEVATION
LEFT SIDE

SCALE: 1/4"=1'-0"

DESIGN REVIEW

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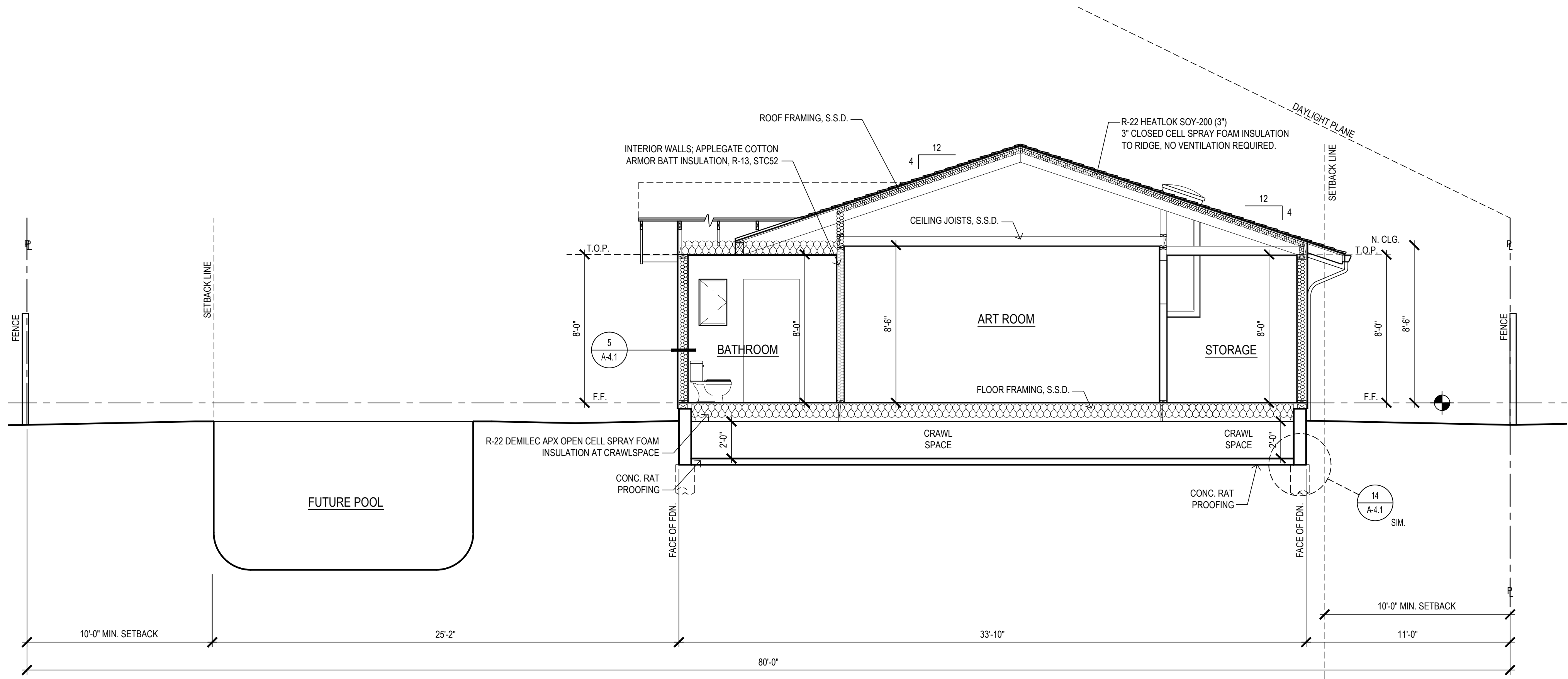
PROPOSED
ELEVATIONS

REMODEL / ADDITION FOR:
Au-Valdez Residence
15 San Juan Ct. Los Altos, CA 94022

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CHECKED KF
DATE 06/04/14
SCALE AS NOTED
JOB NO.
SHEET

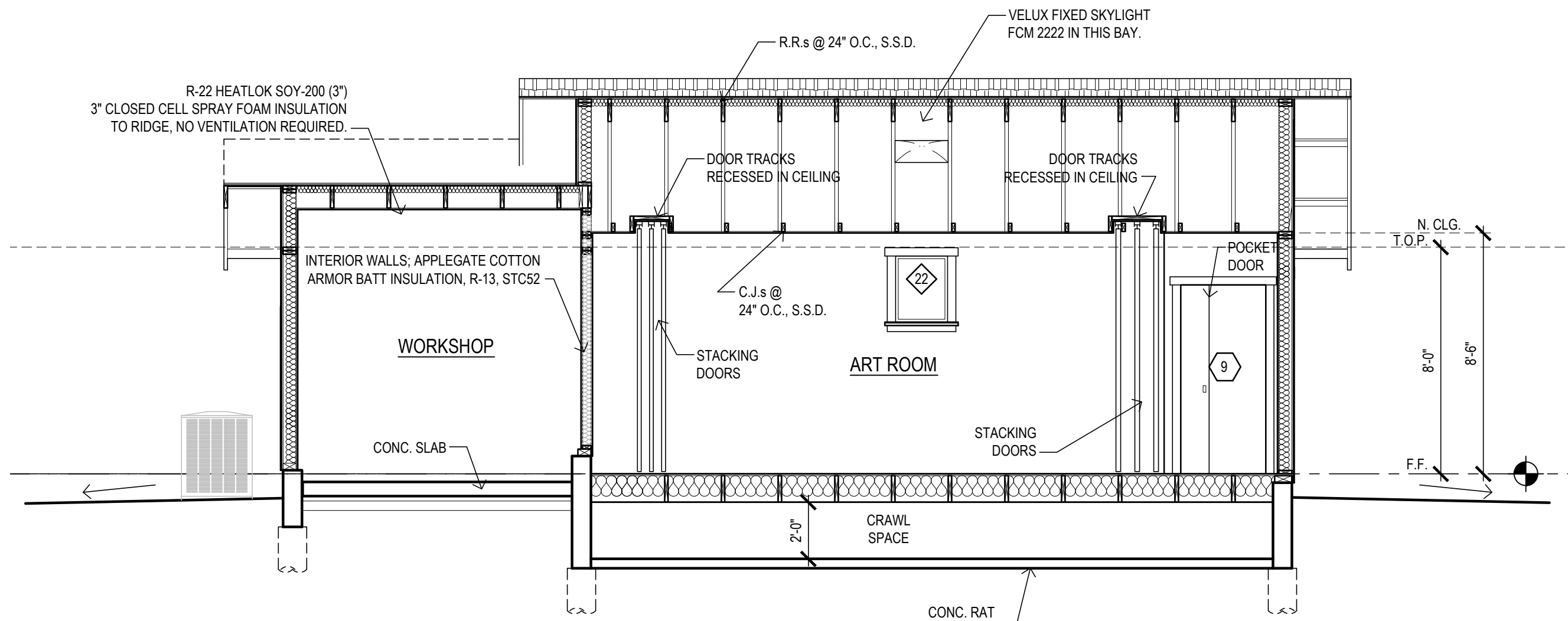
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OF SHEETS



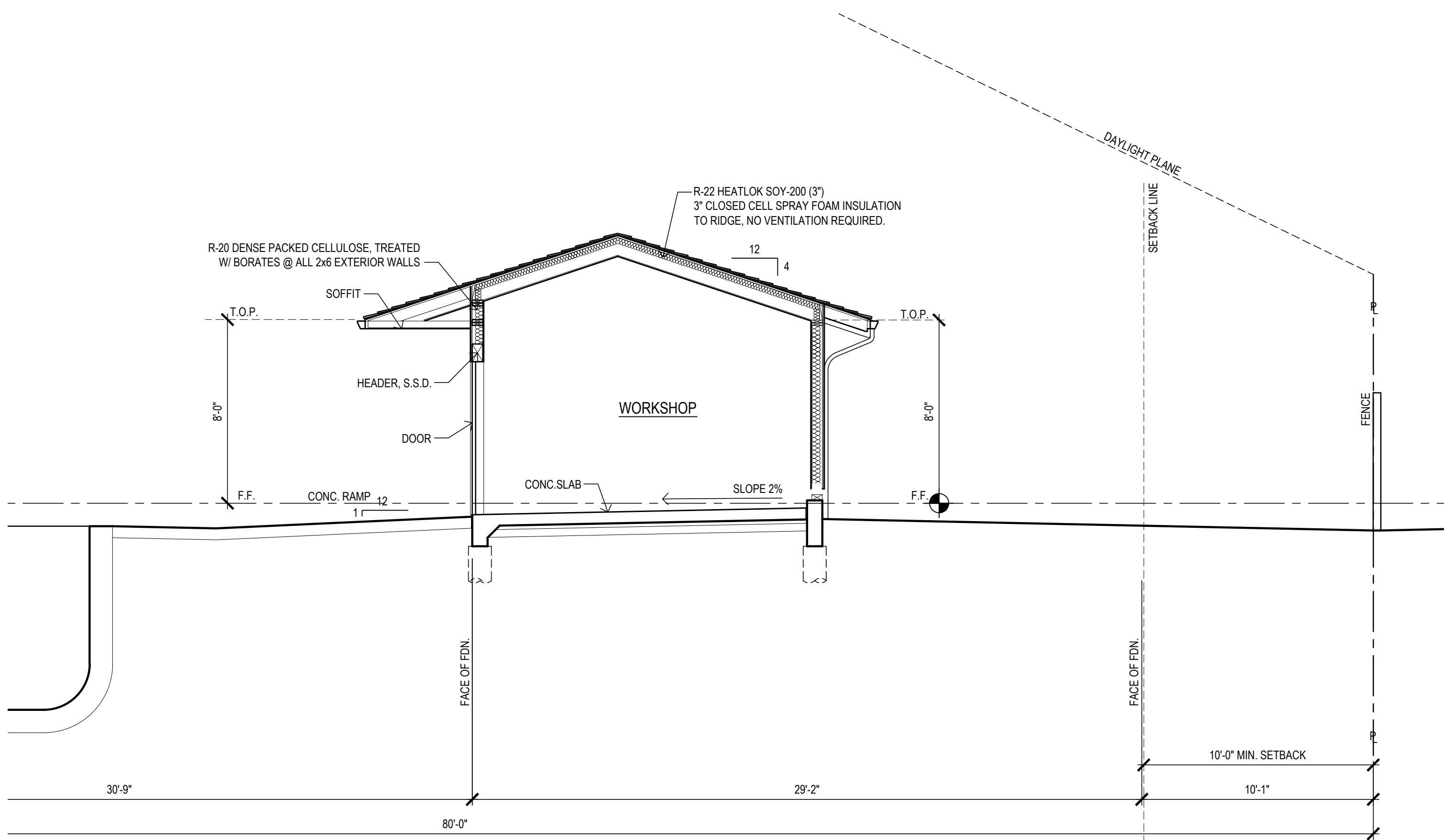
A PROPOSED BUILDING SECTION

SCALE: 1/4"=1'-0"



C PROPOSED BUILDING SECTION

SCALE: 1/4"=1'-0"



B PROPOSED BUILDING SECTION

SCALE: 1/4"=1'-0"

REVISIONS	BY



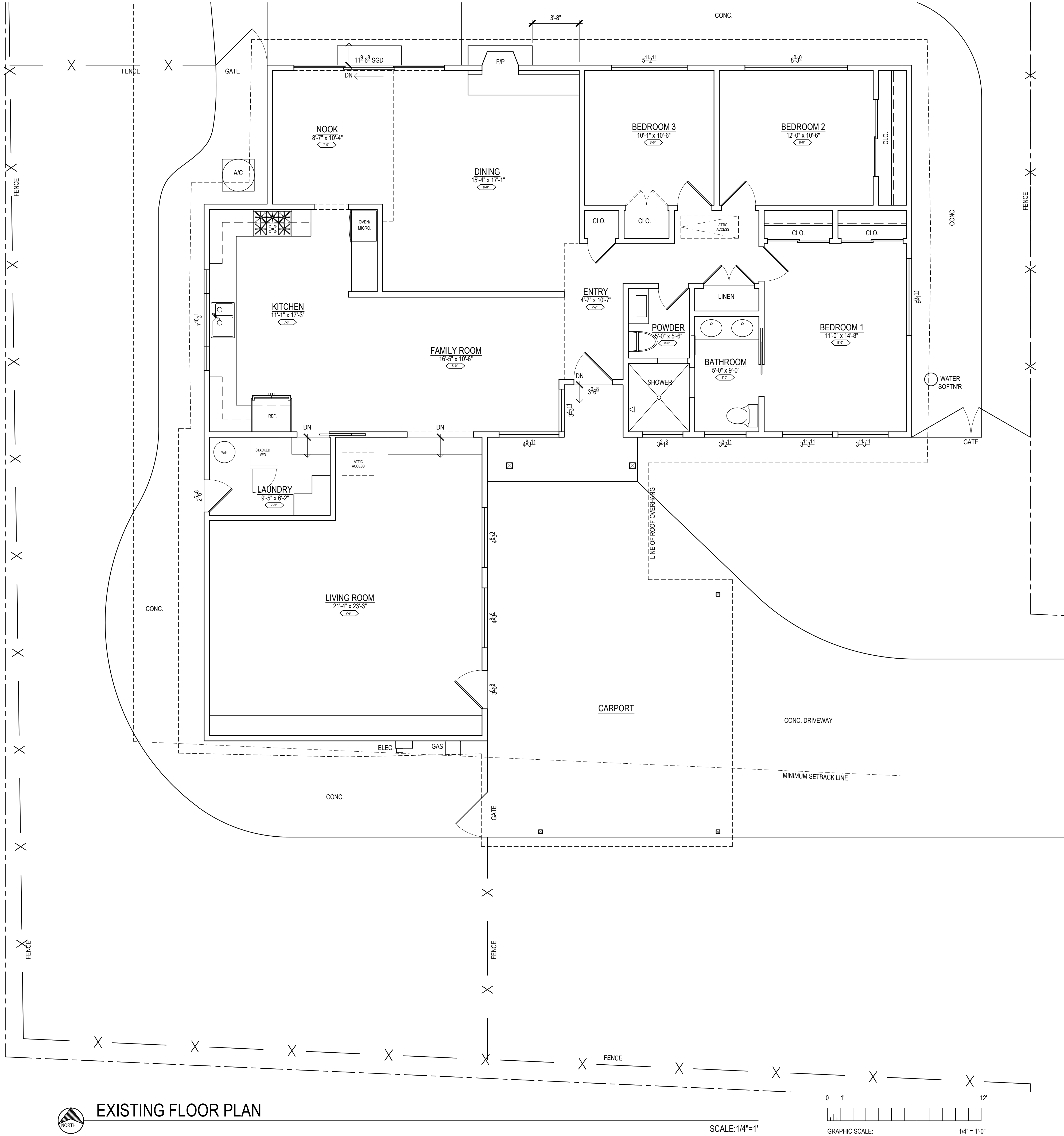
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PROPOSED
BUILDING
SECTIONS

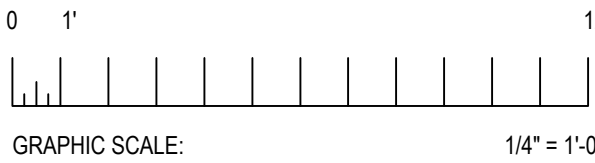
REMODEL / ADDITION FOR:
Au-Valdez Residence
15 San Juan Ct. Los Altos, CA 94022

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CHECKED KF
DATE 06/05/14
SCALE AS NOTED
JOB NO.
SHEET
A-4
OF
SHEETS



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'



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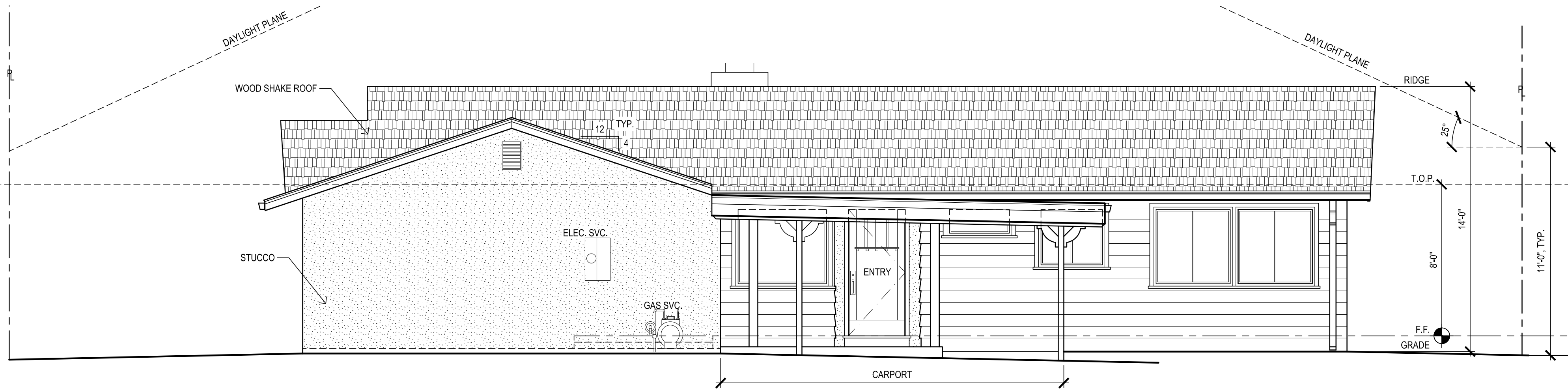
EXISTING
FLOOR PLAN

REMODEL/ ADDITION FOR:
Au-Valadez Residence
15 San Juan Ct. Los Altos, CA 94022

PHONE NUMBER

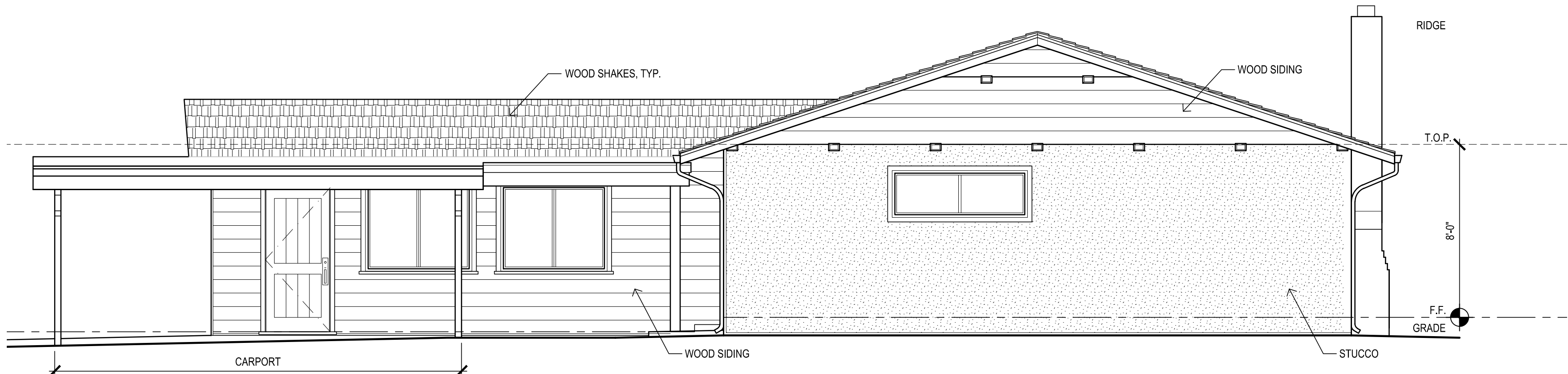
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CHECKED KF
DATE 02/03/14
SCALE AS NOTED
JOB NO.
SHEET

A-7



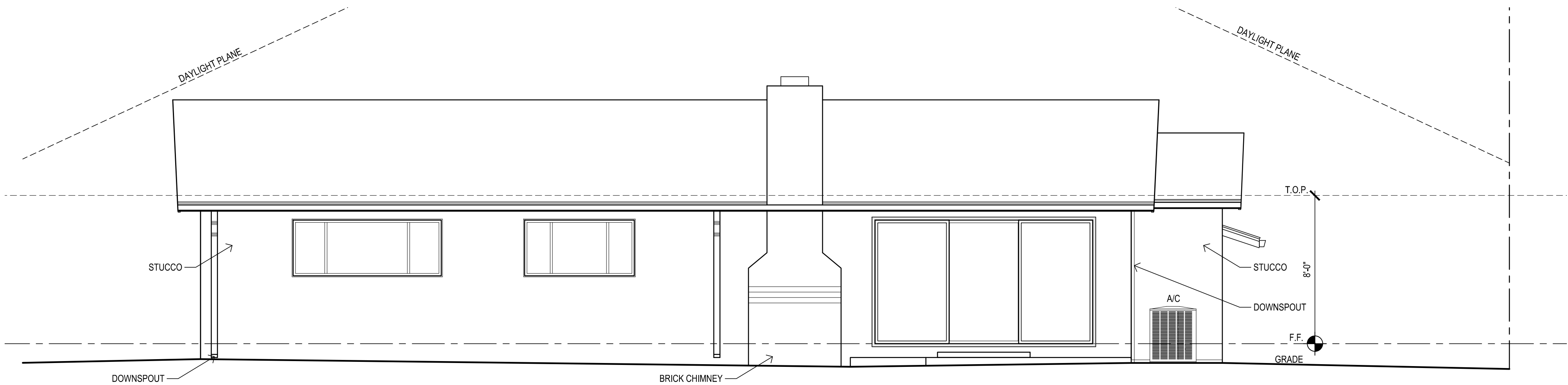
E. SOUTH ELEVATION

SCALE: 1/4"=1'-0"



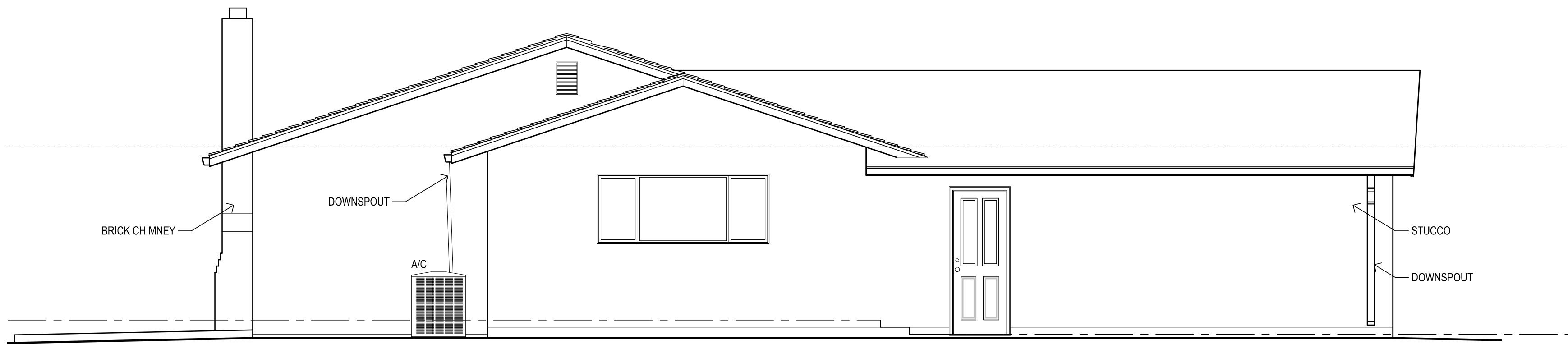
E. EAST ELEVATION

SCALE: 1/4"=1'-0"



E. NORTH ELEVATION

SCALE: 1/4"=1'-0"



E. WEST ELEVATION

SCALE: 1/4"=1'-0"

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Los Altos, CA 94024

EXISTING
ELEVATIONS

REMODEL / ADDITION FOR:
Au-Valdez Residence
15 San Juan Ct. Los Altos, CA 94022
PHONE NUMBER

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CHECKED KF
DATE 02/03/14
SCALE AS NOTED
JOB NO.
SHEET

A-8

OF SHEETS