



DATE: June 18, 2014

AGENDA ITEM # 2

**TO:** Design Review Commission  
**FROM:** David Kornfield, Planning Services Manager  
**SUBJECT:** 14-SC-16 – 1064 Laureles Drive

**RECOMMENDATION:**

Approve design review application 14-SC-16 subject to the listed findings and conditions

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**BACKGROUND**

The subject project was heard by the Design Review Commission on May 15, 2014 to consider an appeal of staff's denial. At their meeting the Commission received public testimony largely in support of the project but with some concerns about the massing on the right (north) side and the need for landscape mitigation. The Commission's discussion included concerns about the more complex character of the massing and formal design elements, the scale of certain design elements such as the garage and entry, and the height of the walls. Ultimately, the Commission continued their review with direction to reduce the bulk and consider landscape screening and consider the staff's recommendations to:

1. Reduce the height of the wall plates;
2. Simplify the wall and roof forms; and
3. Simplify the amount of design elements.

The meeting minutes and staff report to the Commission are attached for reference. Additionally, copies of the original building elevations attached.

**DISCUSSION**

To address the Commission's direction, the applicant made the following changes to the plans:

1. Lowered the roof and wall heights of the garage and laundry room elements by one foot (Front and Left Elevations);
2. Lowered the entry element by one foot (Front Elevation);
3. Lowered the wall and roof above the front bedroom by one foot, which removed one hip roof element (Front and Right Elevations, Roof Plan);
4. Removed the dormer above the garage (Front Elevation);
5. Removed the arched trim above the garage doors (Front Elevation);
6. Removed the faux balcony railing above the entry and the arched trim (Front Elevation);
7. Squared the window opening of the office window (Front Elevation);

8. Added stone to the low wall adjacent the office (Front Elevation); and
9. Added two 18-inch box-size screening trees in the northern, right side yard adjacent the taller bedroom walls (Landscape Plan).

Based on the above-mentioned changes, staff recommends that the Design Review Commission approve the revised plans subject to improving the riparian vegetation, providing the engineered slope stability study, and limiting grading and drainage to avoid overbank runoff. The applicant presented a preliminary slope stability study to staff that indicates that slope stability can be maintained.

Subsequent to the Commission's review, staff received a letter from the Santa Clara Valley Water District. Although the City has the land use authority, the Water District's concerns are based in the creek side development guidelines that we share. The Water District's input differs from the staff recommendation in the setback from the top of the creek bank. The Water District recommends that the project maintain a setback of 20 feet from the top of the creek bank. The project proposes a setback of approximately 10 feet from the top of the creek bank, which is similar to the existing structure. As discussed in the prior report, staff believes that the proposed setback is reasonable given the location of the existing structure and the development constraints from the narrow lot frontage and the shape of the parcel.

## **ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review under Section 15303 of the Environmental Quality Act because it involves construction of a single-family home.

Cc: A. and S. Rajendran, Owners  
Daniel Warren, Stotler Design Group, Applicant and Designer  
Katherine Turner, Assistant Engineer, Santa Clara Valley Water District

### **Attachments:**

- A. Design Review Commission Minutes dated May 15, 2014
- B. Memorandum to the Design Review Commission dated May 15, 2014
- C. Former Building Elevations
- D. Correspondence from the Santa Clara Valley Water District dated June 6, 2014

## FINDINGS

14-SC-16, 1064 Laureles Drive

With regard to design review for a single-family structure, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code, that:

- A. The proposed project complies with all provision of this chapter;
- B. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- D. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- E. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- F. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

## CONDITIONS

14-SC-16, 1064 Laureles Drive

1. The approval is based on the plans received on June 5, 2014 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. The landscape plan shall incorporate drought-tolerant, preferably native landscape in the riparian area as recommended by the Water District and as approved by the Planning Division.
3. The grading and drainage plan shall avoid overbank runoff.
4. The construction activities, including the removal of the existing structures, shall include appropriate measures to ensure that pollutants including sediment, construction debris and materials do not enter Adobe Creek and/or the creek bank area.
5. An encroachment permit must be obtained from the Engineering Division prior to doing any work within the public street right-of-way.
6. **Prior to the issuance of a Demolition Permit,**
  - a. Install tree protection fencing around the dripline of all trees to remain and install appropriate facilities to avoid impacts to Adobe Creek and/or the creek bank area. Any tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.
  - b. Provide a demolition plan showing the tree and creek protection measures.
7. **Prior to submittal for a Building Permit, the project plans shall contain and/or show:**
  - a. The conditions of approval shall be incorporated into the title page of the plans.
  - b. A slope stability analysis from a registered geotechnical engineer assuring that the building will not be damaged if the stream erodes or the creek bank fails and that the creek bank will not be damaged by the construction and placement of the structure.
  - c. Include on the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground." The tree protection fencing shall not be removed until all building construction has been completed unless authorized by the Planning Division.
  - d. Verification that the house will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code from a Qualified Green building Professional.
  - e. Fire sprinklers to be installed pursuant to Section 12.10 of the Municipal Code.

- f. The location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trench locations shall be shown on the plans and shall avoid the drip-lines of any trees.
  - g. The location of any air conditioning units on the site plan and the manufacturer's sound rating for each unit.
  - h. Compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).
8. **Prior to final inspection:**
- a. All front yard landscaping, screening trees and riparian vegetation shall be installed and/or maintained as required by the Planning Division.
  - b. Provide verification that the house was built in compliance with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code.
  - c. Provide an Elevation Certificate in accordance with the City's floodplain regulations.



The Commission discussed the project and gave their general support. Commissioner WHEELER stated his support for the project, said the design fits in, and would suggest a condition for the balcony wall and landscape plan. Vice-Chair KIRIK said the house was so well designed that it looks original; the balcony wall was not necessary, but supports the condition; and noted that the subject lot was lower than the lot to the east. Chair BLOCKHUS agreed with Vice-Chair KIRIK's comments. Commissioner MEADOWS stated that the project did not need a balcony wall to the roof to keep privacy.

MOTION by Commissioner MEADOWS to approve design review application 14-SC-11 per the staff report findings and conditions, with the following additional condition:

- Add a privacy wall to the east side.

Vice-Chair KIRIK suggested an amendment to the motion to condition a full height wall under the eave, then four-foot six-inches beyond that. Commissioner MEADOWS accepted the change to the motion and Commissioner WHEELER seconded  
THE MOTION CARRIED UNANIMOUSLY.

5. **14-SC-13 – Avalon Enterprises Inc. – 15 San Juan Court**

Design review for a two-story addition to an existing one-story house. The project includes 572 square feet on the second story and 1,243 square feet on the first story. *Project Planner: Dahl*

Senior Planner DAHL presented the staff report recommending approval of design review application 14-SC-13 subject to the findings and conditions and noted that the applicant and neighbor were requesting the removal of the required rear yard evergreen screening (condition No. 2), which staff supported.

The applicant and designer, Kacey Fitzpatrick, presented the project, noting that the design blended Craftsman and Ranch style elements to match the addition with the existing house. There were no other public comments.

The Commission discussed the project and expressed their general support, noted that it met the intent of the Design Review Guidelines and supported the removal of condition No. 2.

MOTION by Commissioner WHEELER, seconded by Commissioner MEADOWS, to approve design review application 14-SC-13 per the staff report findings and conditions, with the following change:

- Remove condition No. 2.

THE MOTION CARRIED UNANIMOUSLY.

6. **14-SC-16 – A. and S. Rajendran – 1064 Laureles Drive**

Appeal an administrative denial of a design review application for a new, one-story house. The proposal is for a 20-foot tall house with 3,872 square feet in floor area. *Project Planner: Davis*

Assistant Planner DAVIS presented the staff report recommending that the DRC uphold staff's administrative denial of design review application 14-SC-16 subject to the listed findings; and summarized staff's concerns about the 10-foot wall plates, articulated massing widening and profile that are out of scale.

Vice-Chair KIRIK asked about the timeframe of the application and Assistant Planner DAVIS stated that the initial submittal was in October of 2013 and staff had several meetings with the applicant.

Project architect, Scott Stotler, stated that the property at the rear adjacent to the creek was stable, he set the house back to preserve more openness at the cul-de-sac, the design is under developed in regards to Floor Area Ratio (FAR) and Lot Coverage, and the hip roofs and courtyard wall helps to minimize mass.

The property owner, Mr. Rajendran, stated that he was doing this house for his wife to help keep their marriage for another 38 years; cited examples of similar designs in the greater neighborhood; said the tall elements recede in design rather than project; that the cul-de-sac is wide, and part of the house has 10-foot eaves which relate to homes in the neighborhood.

Neighbor Bill Bares stated that the homes in the area were built in 1956; that it seems the neighborhood is in transition; that 10-foot walls are more common; he sees concern to limit change in balance; and gave his support for the project. Ramesh Nakra of Estrellita Way and friend to the applicant spoke in admiration of the new homes in the area and said they should blend in with the neighborhood. Neighbor Kevin Schick stated that he knows the applicant, agrees with the transitional character neighborhood, and supports the project. Neighbor Alice Chen gave her support for the project, but wants landscaping along on the north property line to address privacy concerns. The next door neighbor, Vishal Gauri, stated his support for the proposed design. There was no other public comment.

The Commission discussed the project and gave their comments. Vice-Chair KIRIK said he agreed with staff, that it was a somewhat complex design, looked like it belonged on a wider lot, and should lower the scale of the garage to reduce impact of the project on the street, and more formal design too. Commissioner WHEELER agreed with Vice-Chair KIRIK'S comments and said the entry seemed out-of-scale too. Commissioner MEADOWS stated that the wall plate, complex roof lines, and formality of style were concerns for her. Chair BLOCKHUS said that it was conflicting that the neighbors support the project, but also recognizes that there are design issues as it is a massive house and felt the Commission should continue or deny the project.

Architect Scott Stotler said the design has its walls stepped back with increased setbacks, and if owner agrees he could support lowering the entry and garage.

MOTION by Commissioner WHEELER, seconded by Commissioner MEADOWS, to continue design review application 14-SC-16 to consider the changes per staff to reduce bulk and mass and to consider landscape buffering.

THE MOTION CARRIED UNANIMOUSLY.

## **COMMISSIONERS' REPORTS AND COMMENTS**

Vice-Chair KIRIK asked if story poles and visual representations are discussed by the Design Review Commission. Planning Services Manager KORNFIELD explained the history and context of story poles to the Design Review Commission.

## **POTENTIAL FUTURE AGENDA ITEMS**

There was a consensus to discuss story poles and visual representations as a future agenda item.

# ATTACHMENT B



DATE: May 14, 2014

AGENDA ITEM # 6

**TO:** Design Review Commission

**FROM:** Sierra Davis, Assistant Planner  
David Kornfield, Planning Services Manager

**SUBJECT:** 14-SC-16 – 1064 Laureles Drive

## RECOMMENDATION:

Uphold the denial of design review application 14-SC-16 subject to the listed findings

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## PROJECT DESCRIPTION

This is an appeal of an administrative denial of a design review application for a new, one-story house with 3,872 square feet in floor area. The following table summarizes the project:

<b>GENERAL PLAN DESIGNATION:</b>	Single-family, Residential
<b>ZONING:</b>	R1-10
<b>PARCEL SIZE:</b>	17,723 square feet
<b>MATERIALS:</b>	Cement plaster, concrete tile roof, pre-cast sills and wall trim, stone veneer

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>LOT COVERAGE:</b>	2,702 square feet	3,907 square feet	6,203 square feet
<b>FLOOR AREA:</b>	2,644 square feet	3,872 square feet	4,522 square feet
<b>SETBACKS:</b>			
Front	47 feet	30 feet	25 feet
Rear	45 feet	39 feet	25 feet
Right side	10 feet	10 feet	10 feet
Left side	9 feet	10 feet	10 feet
<b>HEIGHT:</b>	14 feet	20 feet	20 feet

## BACKGROUND

The subject property is located in a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines (see Section 4.1). The homes in the neighborhood are predominantly one-story structures with low horizontal eave lines, consistent setbacks, simple forms and rustic

materials. There is one two-story project in the immediate vicinity to the south side of the subject property, which is under construction (see attached plans for 1060 Laureles Drive). The street has improved shoulders with gutters and does not have a consistent street tree pattern.

The goal with new construction in Consistent Character neighborhoods is to have design elements, materials and scale found within the neighborhood and sizes that are not significantly larger than other homes. The Guidelines emphasize projects that fit-in and lessen abrupt changes.

## **DISCUSSION**

### **Design Review**

While the proposed design has design integrity and high quality materials, staff could not make the findings to approve the project based on the project's bulk, scale and architectural relationship to the surrounding structures.

In our initial review we found that the entry element and the scale of the walls at the left side significantly departed from the character of the surrounding structures. In subsequent meetings with the applicant we determined that the overall scale of the 10-foot tall wall plate was of primary concern considering the orientation and shape of the cul-de-sac lot. The taller wall plates combined with the articulated widening of the structure, the relative complexity of the massing and roof forms and the overall 20-foot height, in staff's view, will create a design that will appear significantly larger and out of scale with the low-profile, smaller-scale structures within the neighborhood context. We were not as concerned with the higher, 13-foot tall wall plates on the left side and rear as they are set back and relate to the adjacent two-story construction. Sections 5.1 and 5.4 of the Guidelines address the City's architectural and bulk considerations.

We also note that the project uses certain design elements that may draw attention to the project's bulk and scale such as the vertical orientation of the arched windows and doors, the faux balcony above the entry and dormer above the garage; and the use of many different elements such as differing window shapes and trims and more ornate elements mixed with less formal elements that accentuate the project's differences with the character of the immediately surrounding structures. Section 5.7 of the Guidelines outline the considerations with regard to the use of materials and design elements.

We met several times with the applicant to discuss the concerns; however, we did not reach an accord on the compatibility concerns. The applicant subsequently appealed the administrative denial on the basis that "the design is fair and reasonable within the neighborhood."

### **Creekside Considerations**

In our review we determined that 10-foot setback of the northern wing of the proposed structure from the creek bank was appropriate, as with the removal of the pine tree near the northwestern corner of the structure, given the location of the existing structure and the lot's narrower frontage. In collaboration with the Santa Clara Valley Water District we consider a 25-foot setback guideline from the top of the creek bank for main structures on properties adjacent to the creek channel and

the relative slope stability. The purpose of the setback guideline is to maintain the natural appearance and habitat of the creekside area and to reduce erosion of the creek bank from structures.

Part of the proposed structure is within the slope stability setback area, which is a 2:1 slope up from the toe of the creek bank. The slope stability setback area is shown with a dashed line across the back of the lot. The slope stability setback area in this case also roughly defines the 25-foot setback guideline from the top of the creek bank (labeled Grade Break on the site plan). Staff is comfortable with the encroachment into the slope stability area given the profile of the creek channel and the ability to engineer a deeper foundation that will maintain the slope stability. It is also worth noting that the floodplain appears to be contained within the creek channel according to the project's civil engineer.

### **Alternatives**

Should the Commission support staff's analysis, and the applicant was willing to make changes, the Commission could continue its review of the application and direct the applicant to address the concerns such as by:

1. Reducing the height of the wall plates;
2. Simplifying the wall and roof forms; and
3. Simplifying the amount of design elements.

Should the Commission support the appeal with positive design review findings, then staff would recommend the following conditions:

- a. Provide appropriate replacement trees at or near the top of the creek bank to restore the riparian environment in the vicinity of the northwest corner of the rear yard;
- b. Provide an engineered slope stability plan showing how the structure will maintain slope stability; and
- c. Provide a grading and drainage plan that avoids runoff over the creek bank.

### **Miscellaneous**

The reference plans for 1060 Laureles Drive represent those approved by the Commission for the setback variance and design. This project was subsequently redesigned to meet code; however, the attached plans represent the relative design of the project. As constructed, this project is approximately two feet narrower than shown on the plans to meet the setback requirement; however, the basic design concept is accurate including the nine-foot tall wall plate and the low finished floor height.

The plans for the subject application have a typographical error with regard to the finished floor height shown on the elevations (Pages A3 and A4). The topographic finished floor height (i.e., 101.5 feet) is an outdated reference to a prior survey, which was subsequently converted to a different bench mark to coincide with the flood plain maps; the finished floor height is intended to be approximately six inches higher than the existing structure as shown on the Drainage and

Grading Plan (Page C1). The finished floor is shown relatively correct with regard to the existing and finished grades shown.

## **ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review under Section 15303 of the Environmental Quality Act because it involves construction of a single-family home.

cc: A. and S. Rajendran, Owners  
Daniel Warren, Stotler Design Group, Applicant and Designer

### Attachments:

- A. Application and Letter
- B. Area Map and Vicinity Map
- C. Plan Excerpts from 1060 Laureles Drive

## FINDINGS

14-SC-16, 1064 Laureles Drive

With regard to design review, the Design Review Commission finds in accord with Section 14.76.050 of the Municipal Code that:

- A. The orientation of the proposed structure in relation to the immediate neighborhood *will not* minimize the perception of excessive bulk and mass;
- B. General architectural considerations, including the character, size and scale of the design, the architectural relationship with the site and other buildings, building materials, and similar elements *are not* incorporated in order to insure the compatibility of the development with the character of adjacent buildings.





CITY OF LOS ALTOS
GENERAL APPLICATION

Type of Review Requested: (Check all boxes that apply)

Permit # 1106100

Table with 3 columns and 7 rows listing review types: One-Story Design Review, Two-Story Design Review, Variance(s), Lot Line Adjustment, Tentative Map/Division of Land, Subdivision Map Review, Sign Review, Sidewalk Display Permit, Use Permit, Tenant Improvement, Preliminary Project Review, Commercial Design Review, Multiple-Family Review, Rezoning, R1-S Overlay, General Plan/Code Amendment, Appeal, Other.

Project Address/Location: 1064 LAURELES DRIVE, LOS ALTOS

Project Proposal/Use: ONE-STORY RESIDENCE

Current Use of Property: ONE-STORY RESIDENCE

Assessor Parcel Number(s) 167-10-048 Site Area: 17,723 sq ft

New Sq. Ft.: 3386 Remodeled Sq. Ft.: - Existing Sq. Ft. to Remain: -

Total Existing Sq. Ft.: 2214 Total Proposed Sq. Ft. (including basement): 3386

Applicant's Name: A & S. RAJENDRAN

Home Telephone #: 650-218-3551 Business Telephone #: 650-941-7547

Mailing Address: 1064 LAURELES DR

City/State/Zip Code: LOS ALTOS, CA, 94022

Property Owner's Name: A & S. RAJENDRAN

Home Telephone #: 650-218-3551 Business Telephone #: 650-941-7547

Mailing Address: 1064 LAURELES DR

City/State/Zip Code: LOS ALTOS, CA, 94022

Architect/Designer's Name: SCOTT STOTLER Telephone #: 408-309-2163

\*\*\* If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. \*\*\*

(continued on back)

The City of Los Altos

April 29, 2014

Mr. David Kornfield

Ms. Sierra Davis

Subject: 1064 Laureles Drive (Permit No. 1105858)

Dear Mr. Kornfield and Ms. Davis,

We have received today by email your denial letter dated April 28, 2014.

You had informed us in person on February 25, 2014 that you will be denying our request. We corresponded the next day, on February 26, 2014, and agreed that we will appeal to the Design Review Commission as early as possible.

I hereby appeal your action, and since we have lost critical time, I would request that we be placed on the May 14<sup>th</sup> 2014 Design Review Commission agenda.

I strongly feel that my proposed design is fair and reasonable. I am requesting that I be treated equitably.

I have enclosed a check for \$550 towards the appeal fee.

Sincerely

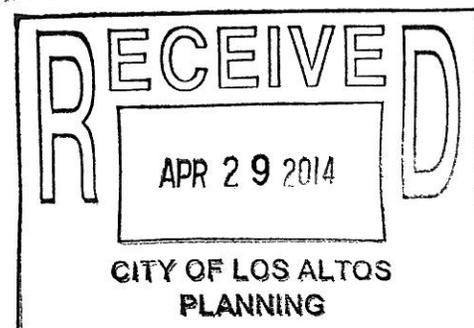


A Rajendran

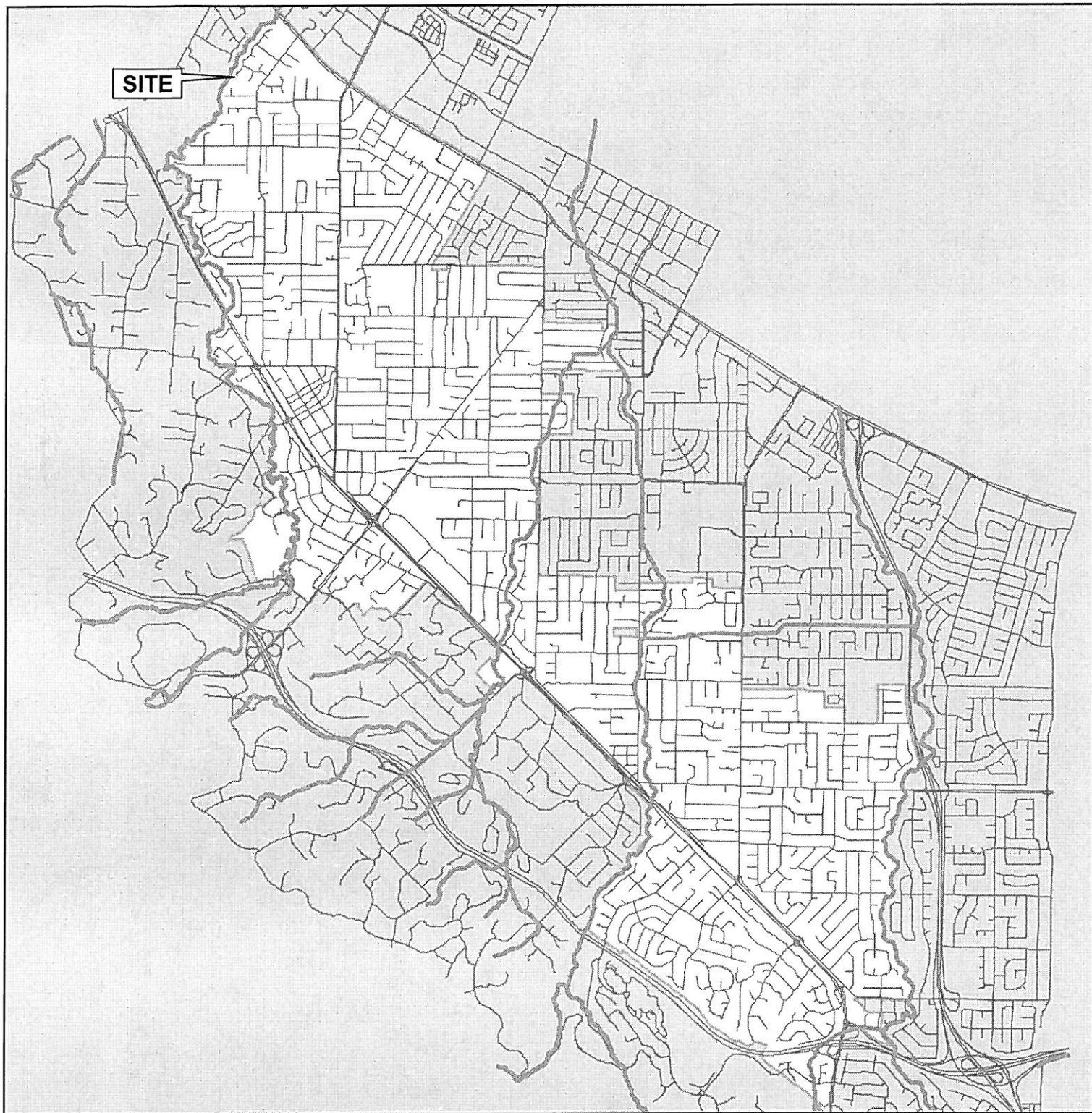
S Rajendran

1064 Laureles Drive

Los Altos, CA 94022



# AREA MAP



CITY OF LOS ALTOS

**APPLICATION:** 14-SC-16  
**APPLICANT:** A. and S. Rajendran  
**SITE ADDRESS:** 1064 Laureles Drive

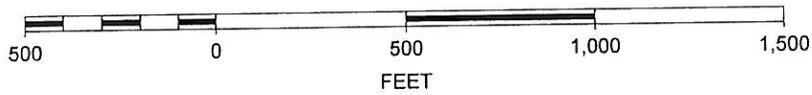


Not to Scale

# VICINITY MAP



SCALE 1 : 6,000



CITY OF LOS ALTOS

**APPLICATION:** 14-SC-16  
**APPLICANT:** A. and S. Rajendran  
**SITE ADDRESS:** 1064 Laureles Drive

### DRAINAGE NOTES

- 1- ALL DOWNSPOUTS AND FOUNDATION PERIMETER DRAINS TO BE CONNECTED TO SPLASH BLOCKS AWAY FROM BUILDING
- 2- SURFACE DRAINAGE TO FLOW THROUGH GRASS SWALES
- 3- NOT USED
- 4- NO TREES TO BE REMOVED
- 5- SLOPE GRADE AWAY FROM BUILDING 5% FOR A DISTANCE OF 5' AWAY FROM BUILDING PROVIDE 2% SLOPE ON IMPERVIOUS SURFACES
- 6- NOT USED
- 7- ENSURE PROPER LOT DRAINAGE PER CHAPTER 11 CPC 2007 FOR LOCATION OF CATCH BASINS TO THE PROPERTY LINES
- 8- THE RUNOFF SHOULD REMAIN ON THE PROPERTY NOT BE TAKEN TO A PUBLIC WAY

### DIMENSIONS NOTES

- 1- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE ANY CONSTRUCTION
- 2- CONTRACTOR TO STAKE PROPERTY LINES WITH SURVEYOR AND USE SETBACKS FOR ADDITION LAY-OUT

### NOTE: NO TREES TO BE REMOVED

#### TREE PROTECTION MEASURES, 11.08.120 - Tree protection during construction.

- Protected trees designated for preservation shall be protected during development of a property by compliance with the following, which may be modified by the planning director.
- A. Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree. The fence shall be a minimum of four feet in height and shall be set securely in place. The fence shall be of a sturdy but open material (i.e. chainlink) to allow visibility to the trunk for inspections and safety. There shall be no storage of any kind within the protective fencing.
  - B. The existing grade level around a tree shall normally be maintained out to the dripline of the tree. Alternate grade levels may be approved by the planning director.
  - C. Chain wells shall be installed whenever impervious surfaces will be placed over the root system of a tree (the root system generally extends to the outermost edges of the branches).
  - D. Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
  - E. No signs, wires, or any other object shall be attached to the tree.

### SITE PLAN NOTES

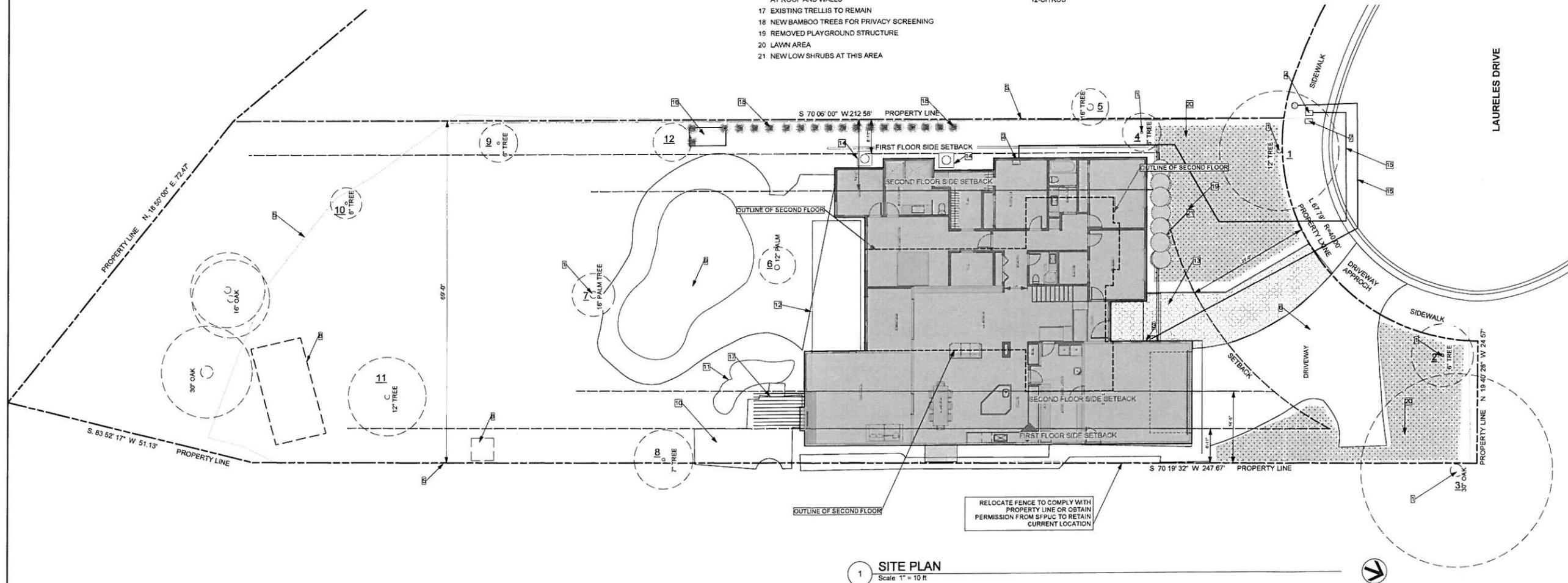
- 1 EXISTING TREE, PROTECT DURING CONSTRUCTION PER CITY GUIDELINES
- 2 RELOCATED GAS METER
- 3 NEW ELECTRICAL METER
- 4 EXISTING JP
- 5 EXISTING WOOD FENCE
- 6 EXISTING DRIVEWAY
- 7 EXISTING WATER MAIN
- 8 EXISTING SHED TO BE REMOVED
- 9 EXISTING SWIMMING POOL, NO CHANGES
- 10 EXISTING BRICK PAVED SURFACE
- 11 EXISTING POND
- 12 PROPOSED WOOD DECK WITH OPEN SKY TRELIS ABOVE
- 13 NEW PERCOLATING PAVERS OVER SAND
- 14 AC UNIT
- 15 UNDERGROUND UTILITIES LINES TO AVOID (E) TREE DRIPLINE
- 16 (E) POOL EQUIPMENT SHED TO RECEIVE SOUND INSULATION AT ROOF AND WALLS
- 17 EXISTING TRELIS TO REMAIN
- 18 NEW BAMBOO TREES FOR PRIVACY SCREENING
- 19 REMOVED PLAYGROUND STRUCTURE
- 20 LAWN AREA
- 21 NEW LOW SHRUBS AT THIS AREA

### TREE INVENTORY

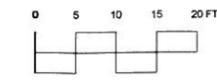
- 1-SOUTHERN MAGNOLIA
- 2-SOUTHERN MAGNOLIA
- 3-OAK
- 4-APRICOT
- 5-SABAL PALMETTO
- 6-CHUSAN PALM
- 7-SABAL PALMETTO
- 8-LOQUAT
- 9-DWARF BARLETT PEAR
- 10-LOQUAT
- 11-PLUM
- 12-CITRUS

### HARDSCAPE / SOFTSCAPE CALCULATION

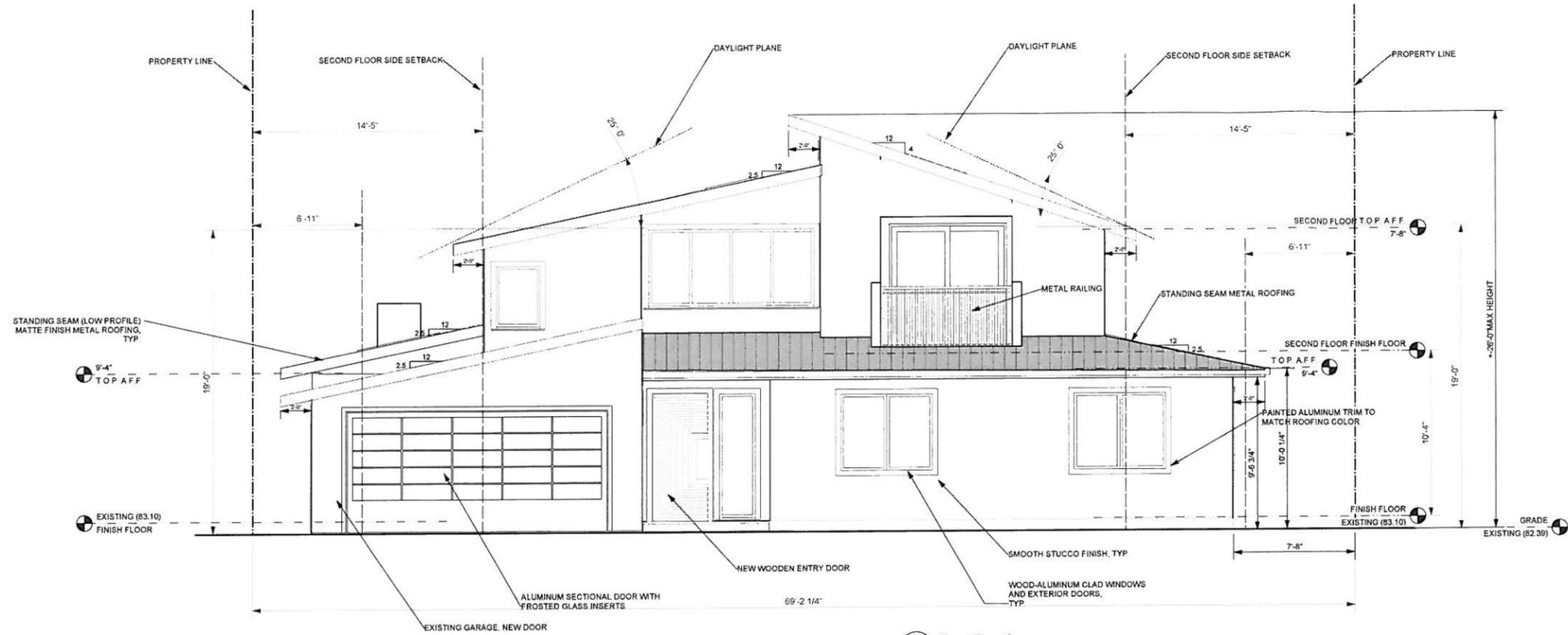
- (E)-POOL PAVED DECK AREA 1,512 SQ FT
- (E)-REAR PAVED BRICK AREA BY FAMILY ROOM 224 SQ FT
- (E)-DRIVEWAY AND SIDE CONCRETE WALK 1,056 SQ FT
- (N)-PAVED AREA FRONT WALK-LANDING 439 SQ FT
- (N)-HOUSE FOOTPRINT 3,688 SQ FT
- TOTAL HARDSCAPE 6,919 SQ FT
- LOT AREA 17,516 SQ FT
- RATIO 6,919 SQ FT / 17,516 = 39% (INCLUDING RESIDENCE)



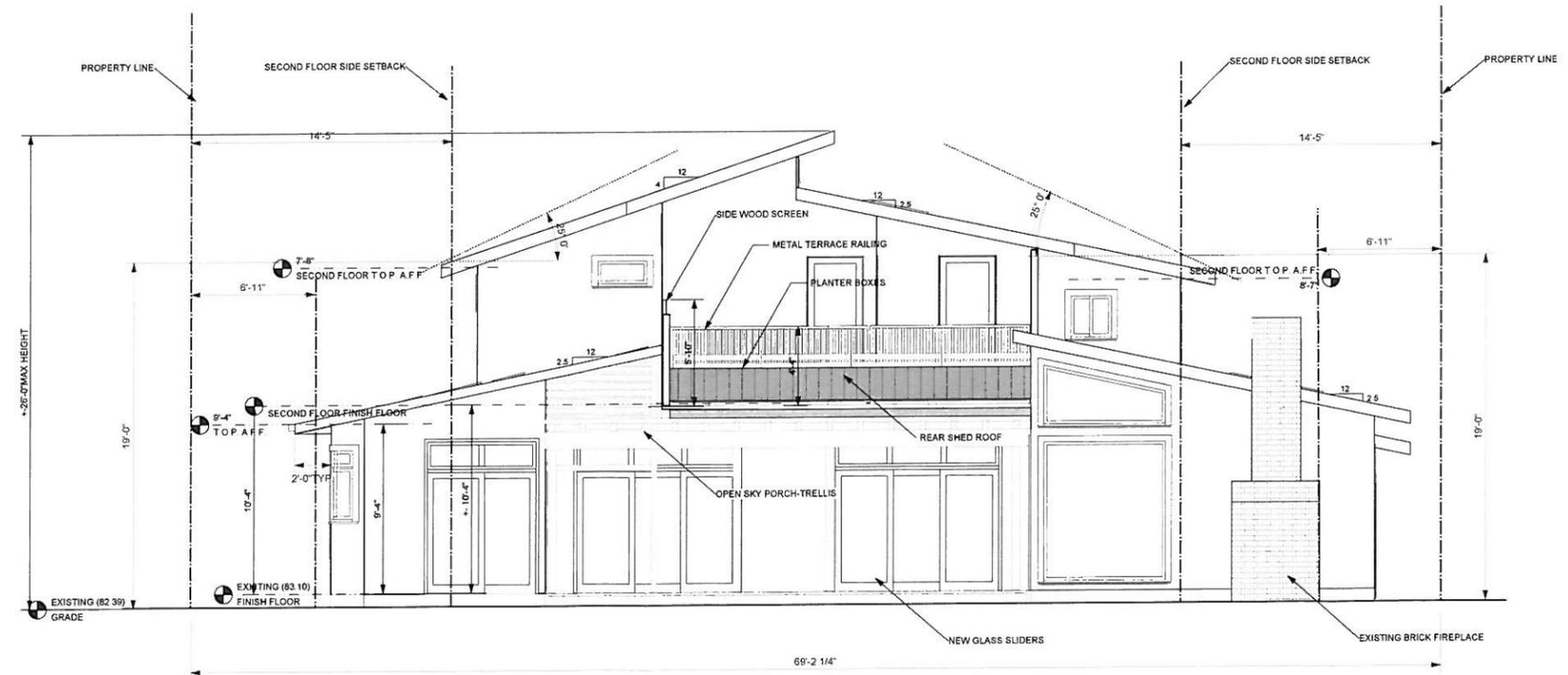
1 SITE PLAN  
Scale 1" = 10 FT



Revision	Revision	Revision	<b>GAURI RESIDENCE</b> 1060 Laureles Dr. Los Altos CA	SITE PLAN 052113
Revision	Revision	Revision		
Sheet Scale - AS NOTED	Drawn By DG	Reviewed By DG	2/10/2013	
Davide Giannella A.I.A.				
acadia architecture				
644 N. Santa Cruz Ave. Suite 6 Los Gatos, California 95030 T 408-219-0601 dg@acadia-architecture.com				
ACADIA-ARCHITECTURE ALL RIGHTS RESERVED				
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF ACADIA-ARCHITECTURE AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ACADIA-ARCHITECTURE				
12-31-13				
<b>A 1.1</b>				



1 Front Elevation  
Scale: 1/4" = 1'-0"



2 Rear Elevation  
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
GAURI RESIDENCE		
1060 Laureles Dr. Los Altos CA		
EXTERIOR ELEVATIONS		
052113		
Sheet Scale - AS NOTED	Drawn By DG	Reviewed By DG
2/10/2013		

Davide Giannella A.I.A.



acadia  
architecture

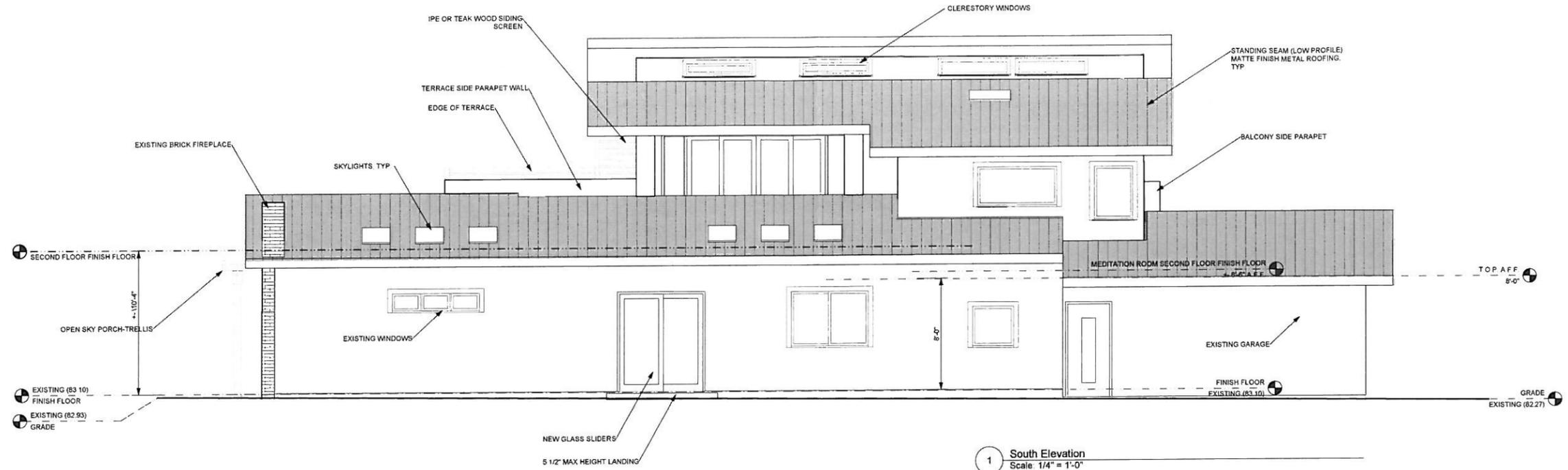
644 N. Santa Cruz Ave. Suite 6  
Los Gatos, California 95030  
T: 408-219-0601  
dg@acadia-architecture.com

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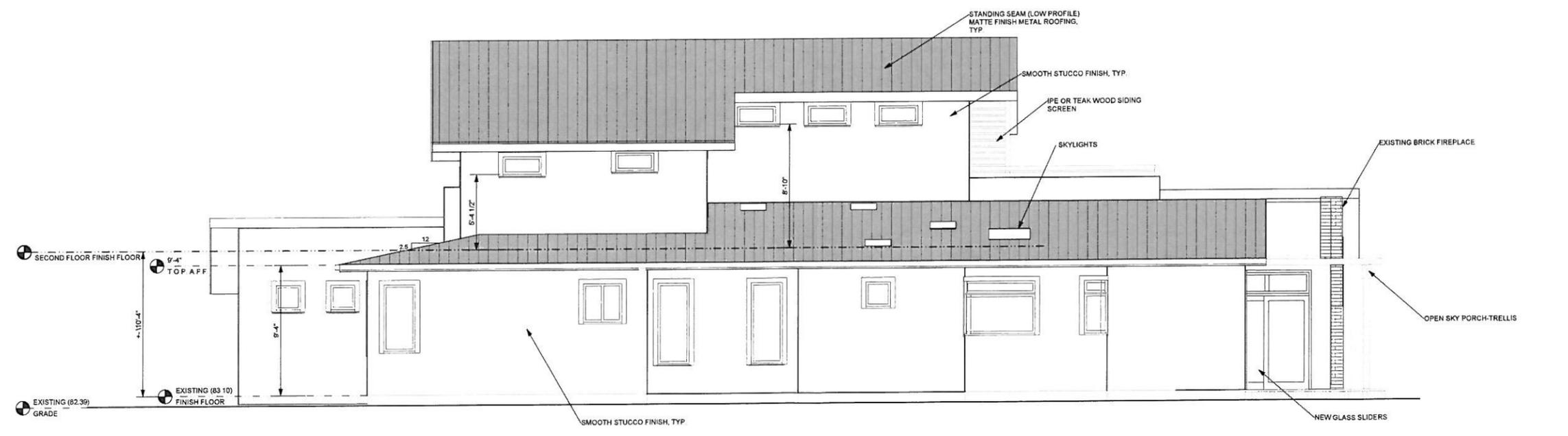
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12-31-13

A 3.0



1 South Elevation  
Scale: 1/4" = 1'-0"



2 North Elevation  
Scale: 1/4" = 1'-0"

Revision
Revision
Revision

**GAURI RESIDENCE**  
1060 Laureles Dr. Los Altos CA

052113  
EXTERIOR ELEVATIONS  
Sheet Scale - AS NOTED  
Drawn By DG  
Reviewed By DG  
21/05/2013

Davide Giannella A.I.A.



**acadia**  
architecture

644 N. Santa Cruz Ave Suite 6  
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12-31-13

**A 3.1**

**From:** Annamalai rajendran [rajzunic@yahoo.com]  
**Sent:** Saturday, May 10, 2014 11:35 AM  
**To:** Jude Kirik; Sally Meadows; David Blockhus; Tracey Moison; Steve Wheeler  
**Cc:** Sierra Davis; Scott Stotler  
**Subject:** 14-SC-16- 1064 Laureles Drive - Applicant's response  
**Attachments:** Appeal Letter Design Review Commission Los Altos May 2014.pdf; 1064 Laureles Project Los Altos May 2014.pdf; Neighbors approval letters May 2014.pdf

Dear Design Review Commission,

I am A. Rajendran, the applicant and I am responding to City's recent letter addressed to you regarding my property design. Attached are 3 documents for your consideration. First is my letter response. Second attachment is the photos of properties mentioned in the letter. Third is the endorsement from neighbors.

If you come to visit our property, please feel free to knock on our door. We will be happy to show the house around and answer any questions you may have.

We would be honored if we could meet with you one on one before the hearing set for May 14th. We could go to a coffee place or may be meet in our property or any other place that is convenient to you.

Please feel free to call me on my cell number: 650-218-3551.

Looking forward to meeting you.

Regards

A. Rajendran (Raj)

Design review Commission

May 9, 2014

The City of Los Altos

Subject: Appeal for approval for 1064 Laureles Drive, Los Altos

The Planning Division has denied our application with specific regard to the height of the wall plates and the overall profile.

As background, we have resided at 1064 Laureles Drive for over twenty-three years, have raised our family, and have now decided to rebuild our outdated residence. We love our neighborhood, the cul-de-sac location, and wish to reside here the rest of our lives. We are excited about entering this next chapter of our lives by tearing down the existing residence and rebuilding our house in 2014. We wish to enjoy our retirement years in this new residence and upgrade our immediate North Los Altos neighborhood.

Our permit request is for replacement of a single story residence thus smaller in scale than our two immediate neighbors' residences. The neighbor across the street has a two story house, and the City of Los Altos recently approved our next door neighbor's plans to elevate from the current one story house to a large two story structure with more than 4000 sq ft of floor area. Also there are two more two story homes in our cul-de-sac that are large in size, larger than our proposed design. Our proposed home is certainly not the largest in our immediate neighborhood and we are not in violation of any code.

We disagree with the claim that our neighborhood is a consistent character neighborhood. There is a total of 9 homes in our cul-de-sac. There are 4 two-story homes (door numbers 1060, 1071, 1104 and 1092) and there are 4 single story homes excluding our own. Of these 9 homes, only the homes with door numbers 1081 and 1089 have remained as they were constructed years ago. The remaining have been either built new or extensively remodeled. There has been much development and therefore we believe the "consistent neighborhood characterization" is not accurate.

We also disagree that we should compare our proposed design only with the five homes in the immediate neighborhood, per the Planning Division. In our opinion, such a neighborhood definition is extremely narrow in scope, and excludes some of the 9 residences on our cul-de-sac.

The City has expressed concerns in three specific areas:

1. Wall plate height of 10 feet ( and front eave height of 10 ft 6 inches)
2. The wall and roof forms; and
3. The amount of design elements.

Let's address each issue separately in the context of our specific plans and of new construction projects in the immediate North Los Altos neighborhood.

#1. Our current front plate height in some places is already at 10 feet. In fact, for at least one third of the length along the front portion of our property, the plate height is 9.25 feet or above. Only the garage

and the bedroom have front plate heights at lower levels. In between the garage and bedroom, the plate height is indeed at 9 1/4 feet or above.

We find that several homes in the immediate neighborhood constructed recently have plate heights at 10 feet or higher despite their neighboring homes being significantly smaller. Following are examples most of which have photo documentation.

(A.) 1173 Orilla Ct is just off of Laureles Drive and very close to our home. This property has a front eave height of 10 ft 6 inches at one end and 10 ft 9 inches at another end and up to 12 ft or so of front eave height in between. The two neighbors in the opposite row with door numbers 1177 and 1179 Orilla Ct have front eaves height of 7 ft 9 inches. There is a huge difference in scale and mass between the new construction and the neighbors.

(B.) 881 Santa Rita Ave is in the nearby neighborhood. This new house has been built with front eave height ranging from 10 ft 6 inches at one end to 12 ft 3 inches at the other end of the home. The immediate neighbor 900 Santa Rita Ave has a front eave height of 7 ft 9 inches and the neighbor at 894 Santa Rita Ave has front eave height of 7 ft 6 inches. Again these differences are significant.

(C.) 340 Chamisal Ave is also in neighborhood proximity. The new construction is estimated to measure 10 ft 6 inches front eaves height and the neighbor at 326 Chamisal has only 7 ft 1 inch front eave height.

(D.) 484 West Portola Ave has 11 ft 6 inches front eave height on one end and 12 ft 3 inches at the other end. At the side where the eave height 11 ft and 6 inches, the set back is less than 10 feet at 9 ft 6 inches. This property has mass and scale that is huge compared to the neighbors. The neighbor at 453 Portola Ave has about 7 ft 6 inches front eave height.

(E.) 412 Mundell Way has just recently started new construction. This single story residence has much larger scale and mass than the neighborhood. Plate height appears to be 10 ft and neighborhood plate heights hover around 8 ft.

The above mentioned new construction projects have all been approved. Our proposal is much less abrupt given that we already have 9.25 feet to 10 feet plate height at some places and our 1060-neighbor's first story plate height is at 9 ft 4 inches per my conversation with our neighbor and their second story is at 17 ft 6 inches. The 1074-neighbor on the other side has side eave height (on the side that faces us) at approximately 10 ft 6 inches and the garage eave height all around is lower.

#2& #3. Plans for the front entrance are recessed, with 50 feet setback from the curb, thereby positioning the front entrance further from the street than the garage, office, and courtyard. Our plans are in full compliance with height restrictions stipulated in the City's code.

Concerns about scale and mass in our plans are dwarfed by homes in the immediate neighborhood:

- A. 1104 Laureles Drive, just 4 homes away has a huge entry way.
- B. New single story residence nearby at 330 Yerba Santa Avenue have tall entry way; and
- C. A two-story house at 186 Yerba Buena Ave has a tall entry

The two story residences adjoining our property are imposing in their scale and mass, and while two story homes are subject to differing codes, our proposed design is much smaller in scale and mass than our neighbors. Our design is 650 sq ft less than the allowable maximum FAR.

Consideration should also be allowed for the fact that our property sits directly on a cul-de-sac which spans fifty feet in diameter. This diameter exceeds in several paces the width of a major thoroughfare, such as Los Altos Avenue, which contains several residences with imposing front entrances and tall plate heights in excess of our proposed design.

Our dream is to construct a single story residence that provides an attractive environment for our retirement years as well as enhancing our cul-de-sac neighborhood. We have collaborated closely with our designer, Scott Stotler, who has designed over 50 homes in Los Altos over the years, to respect City building codes and also be respectful of our surrounding neighbors in the design of our new residence. We feel our new home incorporates our family-centric lifestyle while enhancing our cul-de-sac environment.

We have personally contacted every single home owner on our cul-de-sac, to discuss our plans, review architectural drawings and answer any questions or concerns. Every neighbor appreciated our efforts to engage them in the process. All have given verbal approval and some have given their approval in writing.

We respectfully request the Design Review Commission to accept these plans as submitted, devoid of any structural changes which would force us to reconsider a major financial investment of this magnitude and result in a less satisfying long term experience.

A & S Rajendran

1064 Laureles Drive Los Altos 94022

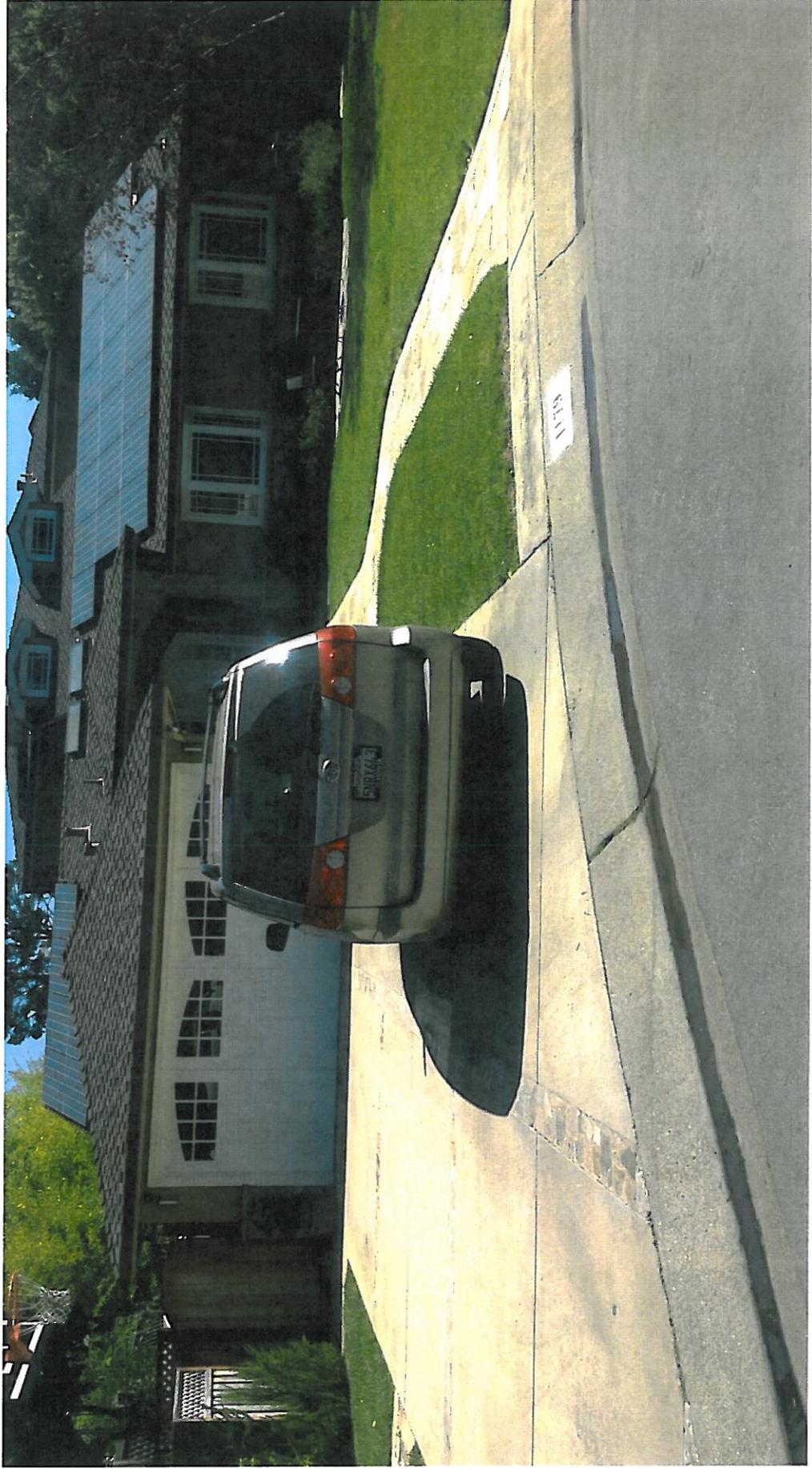
# 1064 Laureles Project

Review of neighborhood homes

1173 Orilla Ct. Front eave height 10' 6", 10' 9" and above. Vertical windows. Wavy roof



1179 Orilla Ct; front eave height only 7'9"



1177 Orilla Ct. Front eave height only 7'9"



881 Santa Rita Ave. Front eave height  
from 10'6" to 12' 3"



881 Santa Rita Ave – front eave height  
10' 6" to 12' 3"



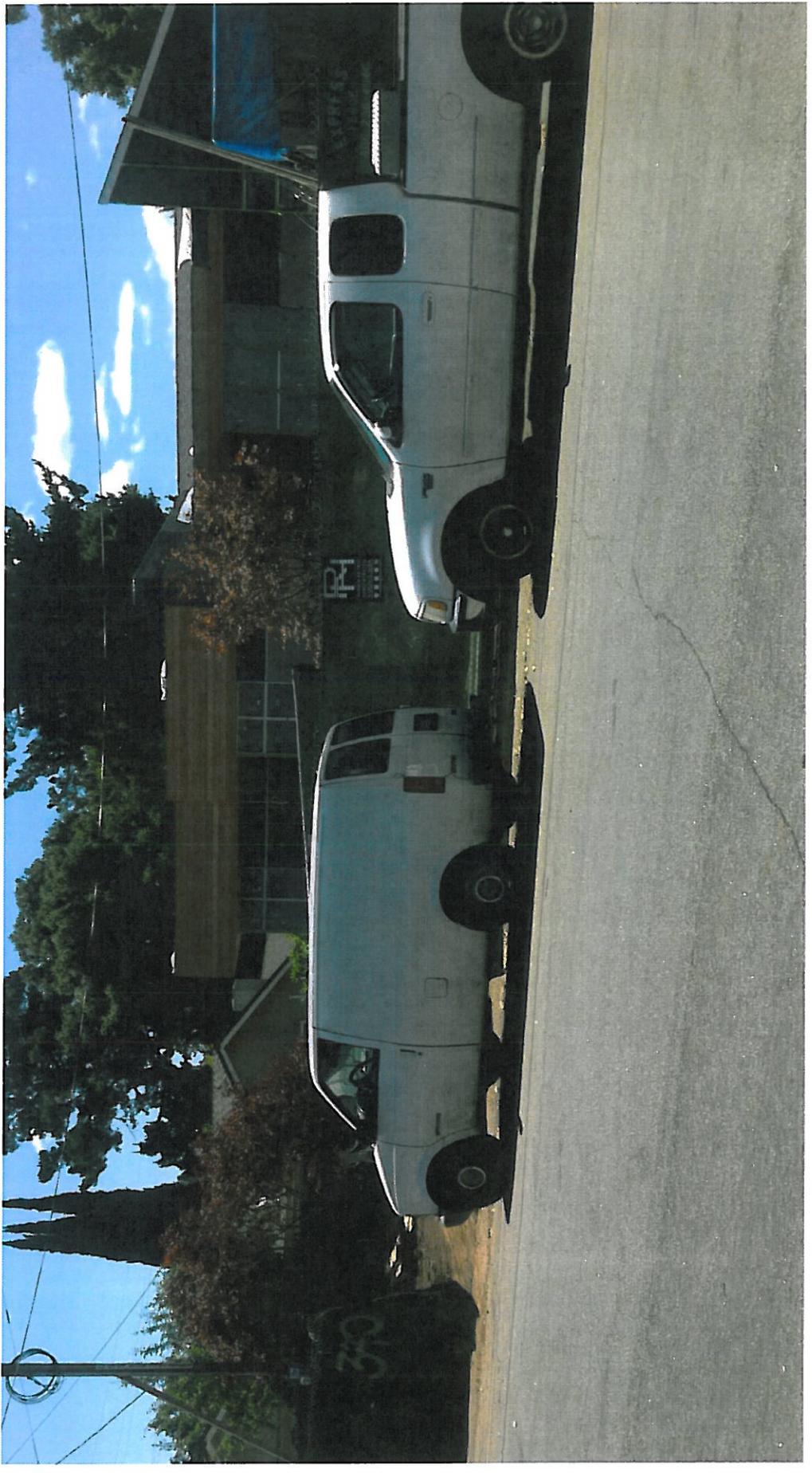
900 Santa Rita – front eave height of  
only 7'9"



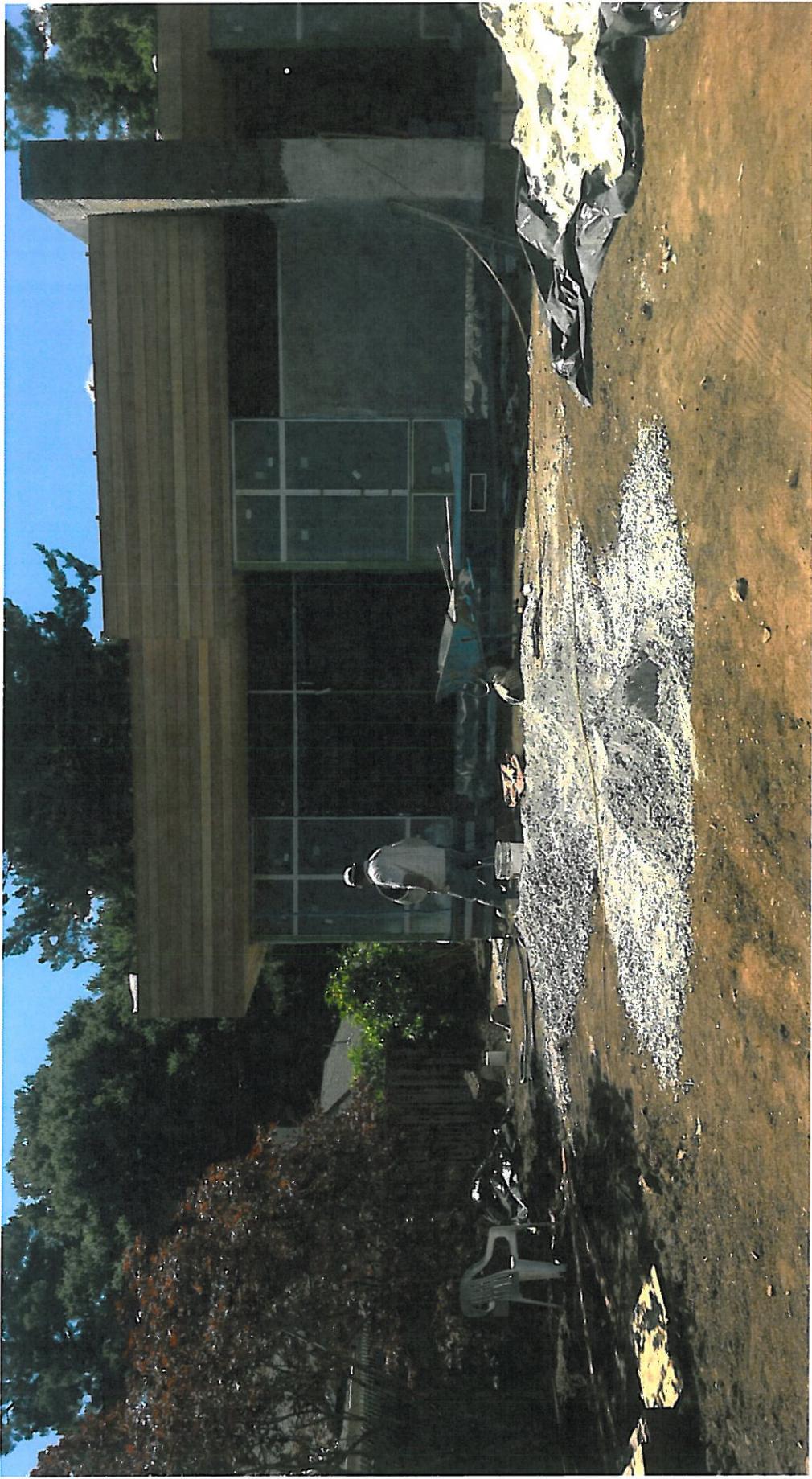
894 Santa Rita – front eave height of  
only 7'6"



# 340 Chamisal ave – tall front eave



# 340 Chamisal Ave – tall front eave



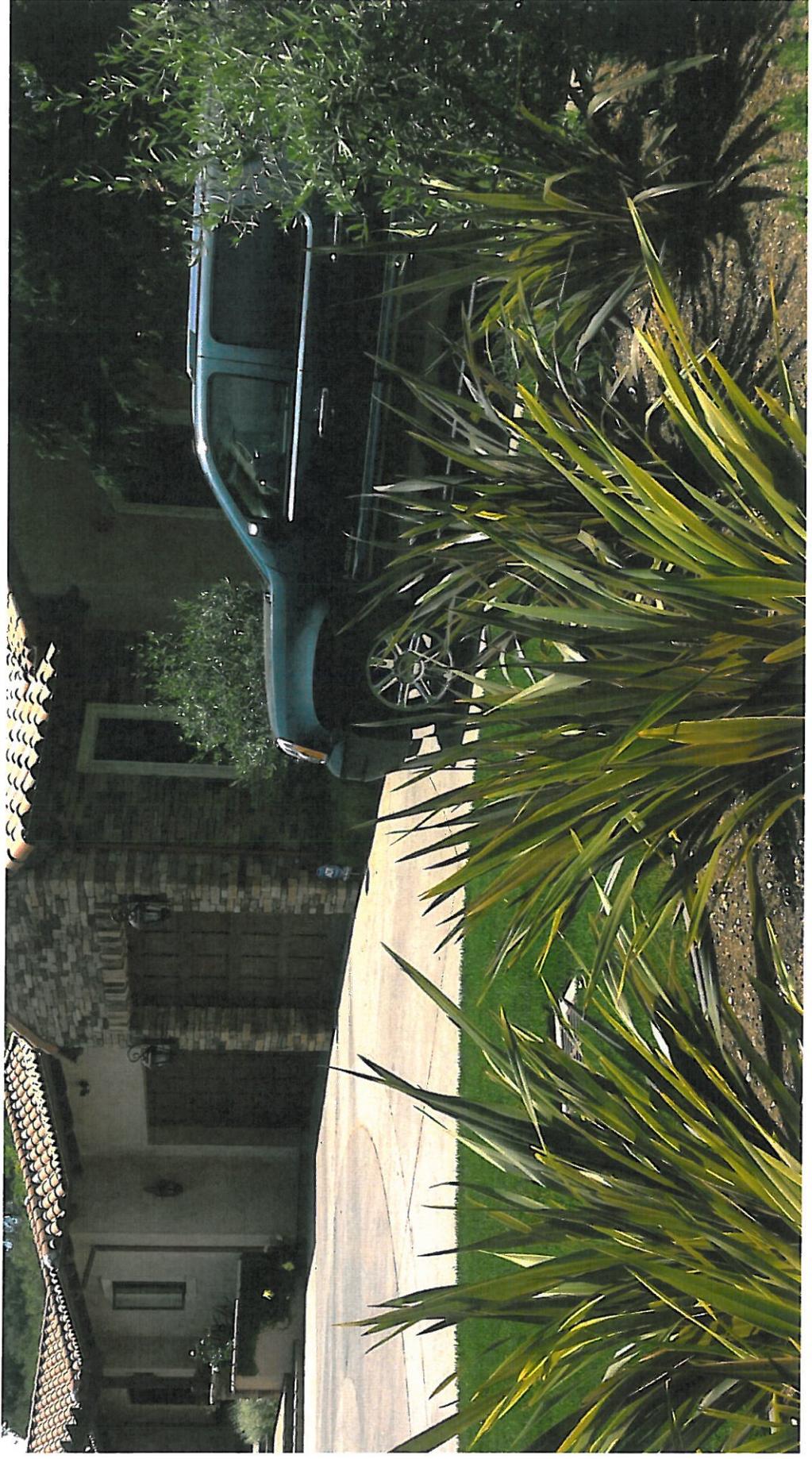
# Neighbor at 320 Chamisal Ave – very low front eave



484 Portola Ave – front eave height  
11'6" one end 12'3" at the other end



# 484 Portola Ave – scale and mass



453 Portola Ave neighbor front eave

7'6"



Design Review Commission  
City of Los Altos

May 8, 2014

Subject: 1064 Laureles Drive Project

Dear Design Review Commission:

We have reviewed A. and S. Rajendran's application for a new, one-story house at 1064 Laureles Drive. We note that the proposed house has a total floor area including garage of 3,872 square feet.

We fully endorse their plans, do not deem it excessive in any manner, and consider their new house an enhancement to our neighborhood.

We recommend and request that you approve their plan as is.

Sincerely,



Chen

Judy

1074 Laureles Drive,

Los Altos, 94022

Design Review Commission  
City of Los Altos

May 8, 2014

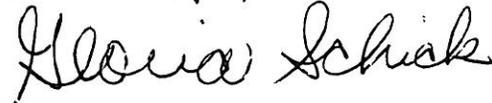
Subject: 1064 Laureles Drive Project

Dear Design Review Commission:

We have reviewed Raj's application and architectural drawings for the single story structure consisting of a 3386 square foot residence and a 486 square feet garage.

We fully endorse his plans, do not deem it excessive in any manner, and consider his new house an enhancement to our neighborhood.

Sincerely,



Kevin Schick

Gloria Schick

1092 Laureles Drive,

Los Altos, 94022

Design Review Commission  
City of Los Altos

May 8, 2014

Subject: 1064 Laureles Drive Project

Dear Design Review Commission:

We have reviewed A. and S. Rajendran's application for a new, one-story house at 1064 Laureles Drive. We note that the proposed house has a total floor area including garage of 3,872 square feet.

We fully endorse their plans, do not deem it excessive in any manner, and consider their new house an enhancement to our neighborhood.

We recommend and request that you approve their plan as is.

Sincerely,

  
Keith Cook  
  
Susan Cook

1089 Laureles Drive,

Los Altos, 94022

Design Review Commission  
City of Los Altos

May 8, 2014

Subject: 1064 Laureles Drive Project

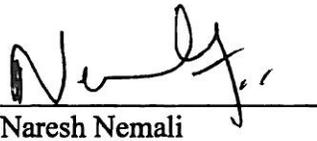
Dear Design Review Commission:

We have reviewed A. and S. Rajendran's application for a new, one-story house at 1064 Laureles Drive. We note that the proposed house has a total floor area including garage of 3,872 square feet.

We fully endorse their plans, do not deem it excessive in any manner, and consider their new house an enhancement to our neighborhood.

We recommend and request that you approve their plan as is.

Sincerely,



Naresh Nemali



Vanita Nemali

1084 Laureles Drive,

Los Altos, 94022

Design Review Commission  
City of Los Altos

May 9, 2014

Subject: 1064 Laureles Drive Project

Dear Design Review Commission:

I have reviewed Raj's application and architectural drawings for the single story structure consisting of a 3386 square foot residence and a 486 square feet garage.

We fully endorse his plans, do not deem it excessive in any manner, and consider his new house an enhancement to our neighborhood.

Sincerely,

  
Jane Scott

1081 Laureles Drive,

Los Altos, 94022

4320 El Camino Real

- 68-D-328 - Golden Pavilion
- 69-SC-01 - Golden Pavilion Los Altos
- 71-D-391 - Golden Pavilion
- 71-UP-117 - Golden pavilion
- 79-SC-64 - Allied Restaurant
- 92-UP-09 - Royal Palace Restaurant/Four Seasons Inn
- 99-SC-04 - Four Seasons Assoc. LLC
- 99-GPA-01 - Four Seasons Assoc., LLC
- 99-CA-01 - Four Seasons Assoc., LLC
- 99-D-03 - Four Seasons Assoc., LLC
- 99-Z-01 - Four Seasons Assoc., LLC
- 99-UP-06 - Four Seasons Assoc., LLC
- 99-V-09 - Four Seasons Assoc., LLC
- 13-D-01 - T. Rivellini/Four Seasons Assoc.
- 13-LLA-01 - Four Seasons Associates LLC/  
Camino Altos 4300, Inc. and  
Four Seasons Assoc. LLC

- \* 167-10-087  
VAR. 45  
58-UP-04  
74-UP-162  
74-D-467  
88-SC-62  
88-SC-65  
89-D-01  
89-V-01

- \* 167-10-088  
VAR. 135  
65-UP-62  
65-D-253  
66-UP-71  
67-V-274  
67-D-304  
67-UP-79  
68-V-280

- 70-D-361  
70-V-338

PORTION of  
94-Z-05  
94-GPA-03  
94-CA-05

- \* 167-10-094  
72-UP-129  
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94-CA-05

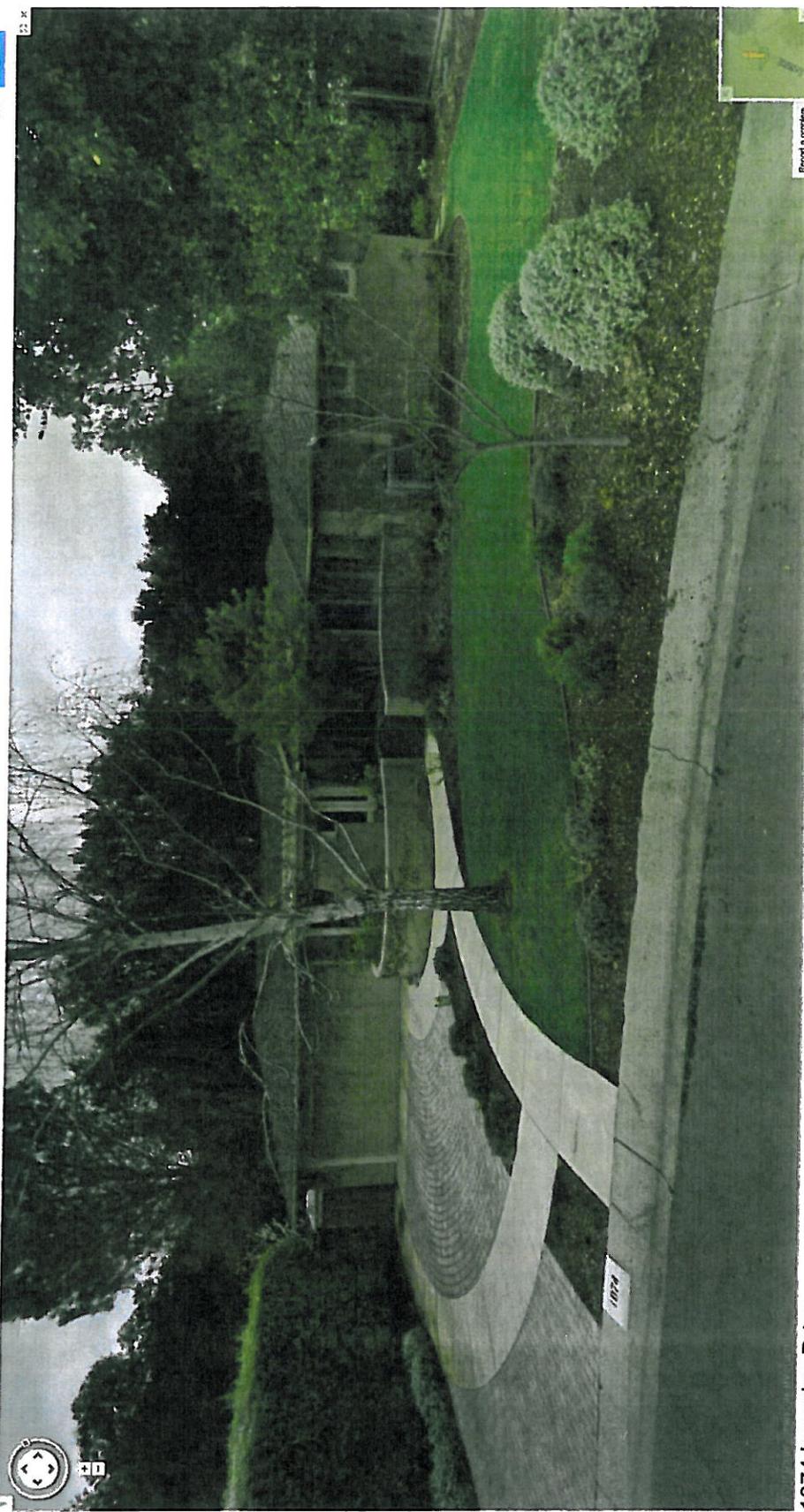




1064 Laureles Drive, Los Altos, CA

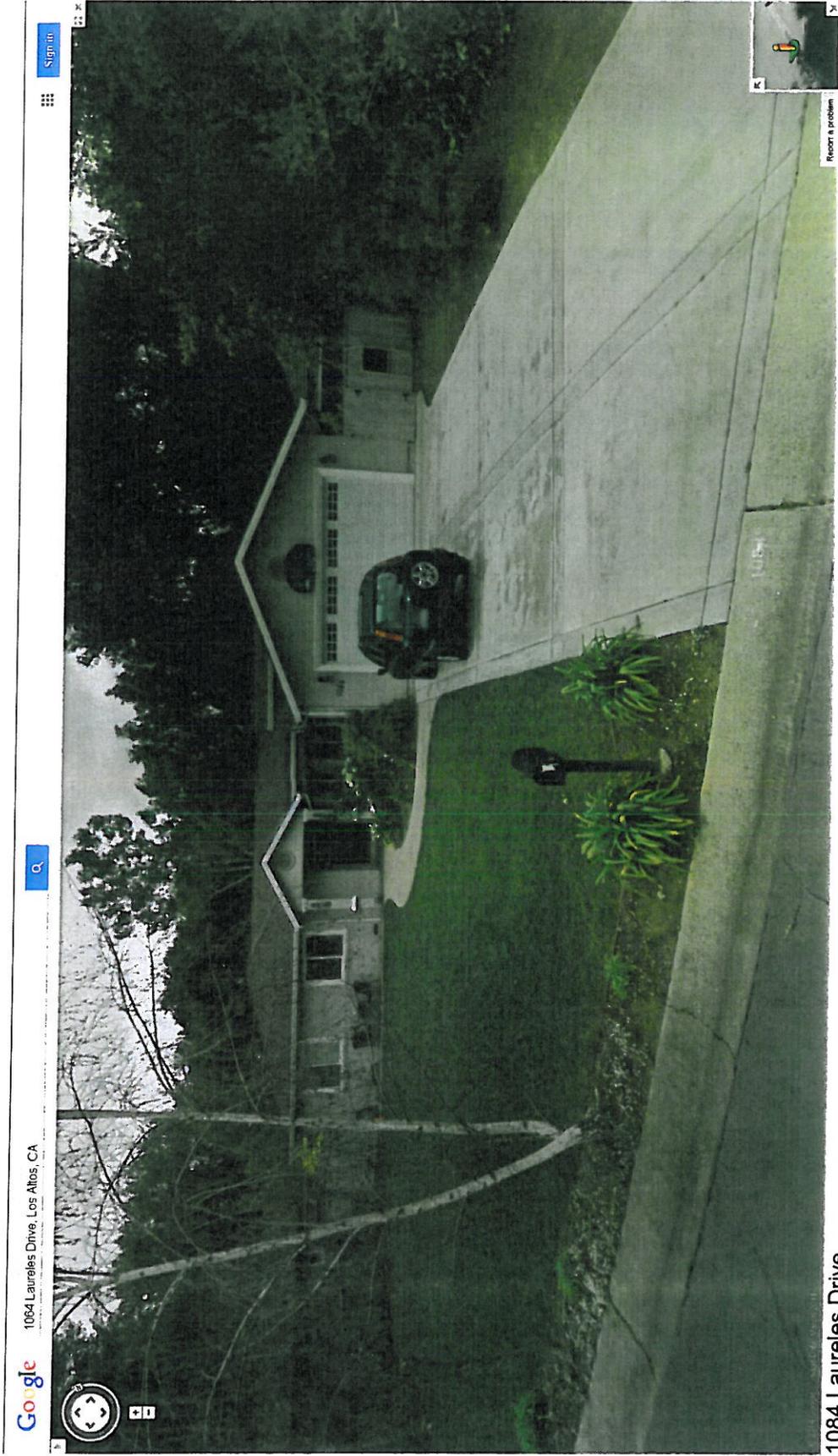


Sign in

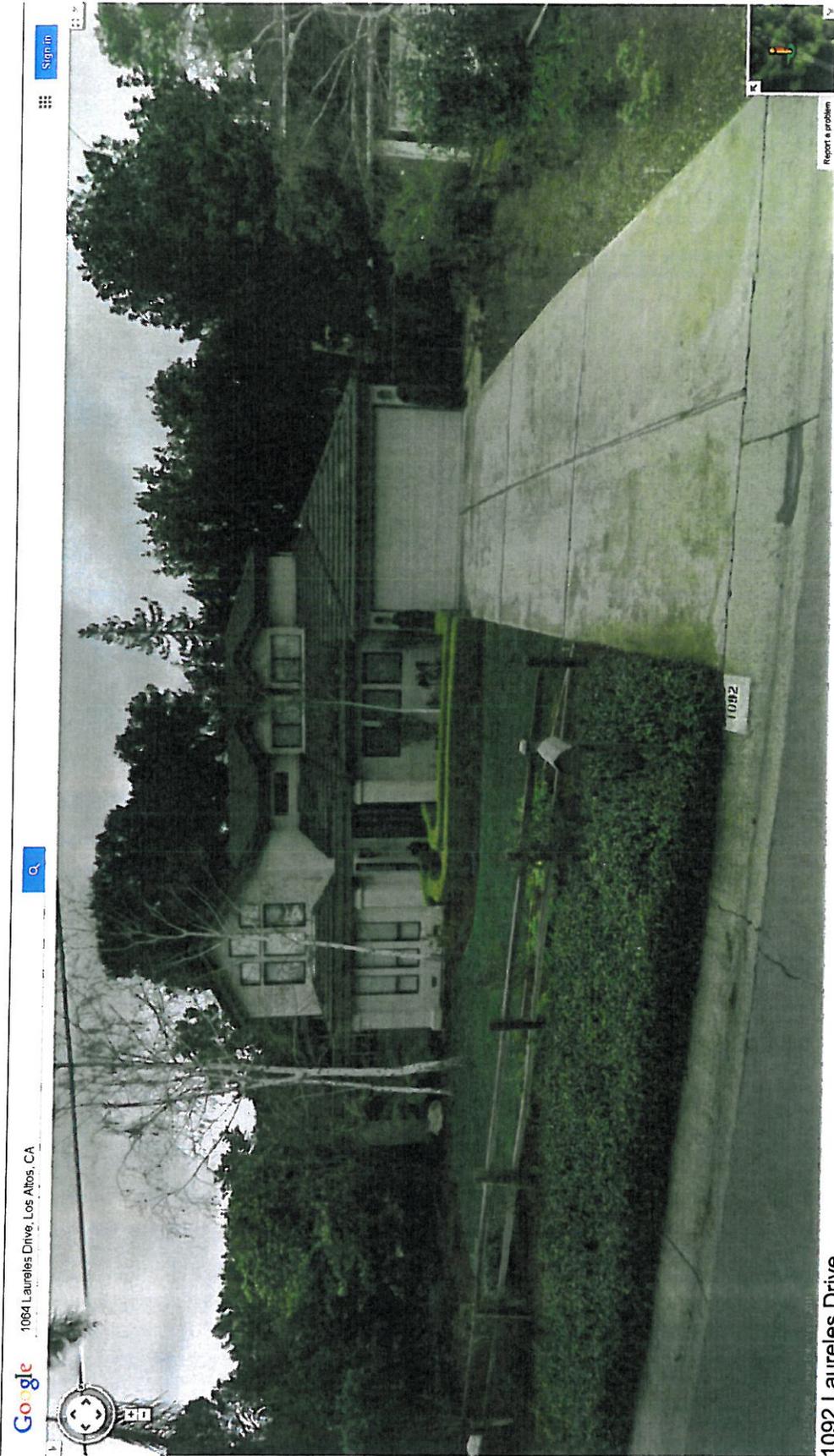


1074 Laureles Drive

Reset to previous



1084 Laureles Drive



1092 Laureles Drive



1089 Laureles Drive

Report a problem

Google

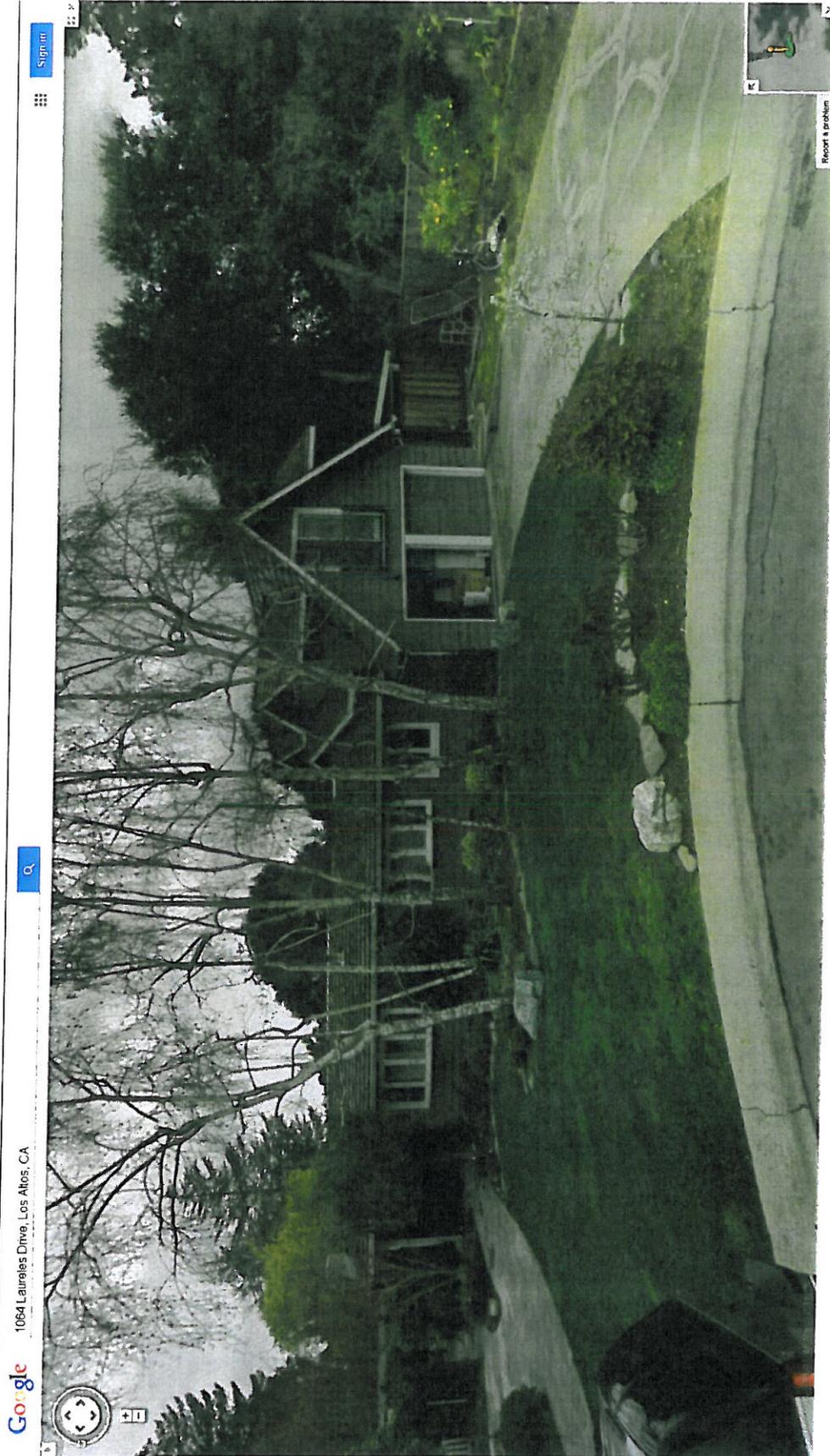
1064 Laureles Drive, Los Altos, CA



Sign in



1081 Laureles Drive



Google 1064 Laureles Drive, Los Altos, CA

Q

Sign out



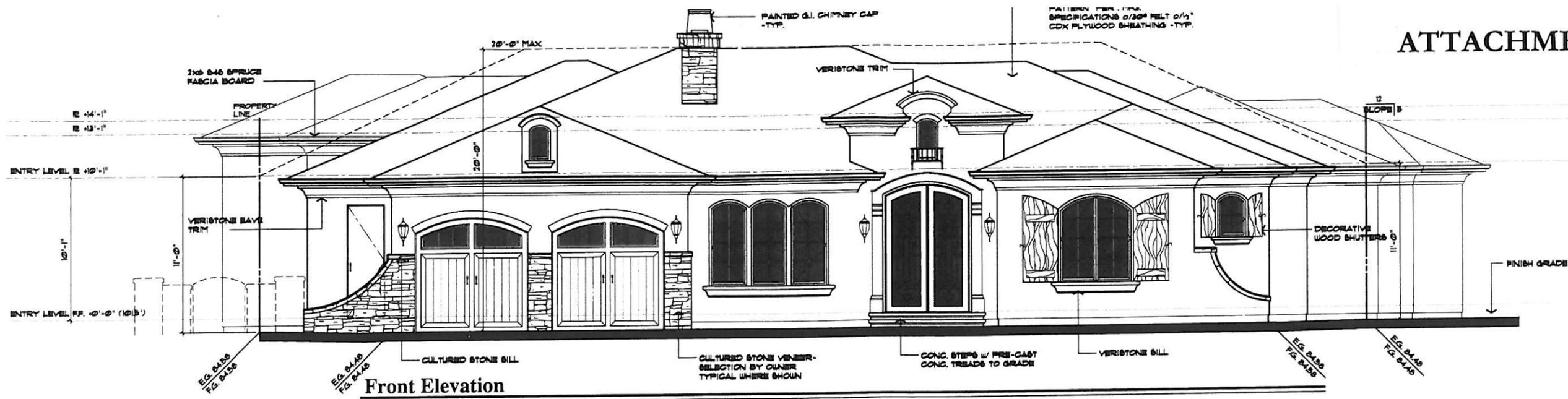
22 x



Report a problem



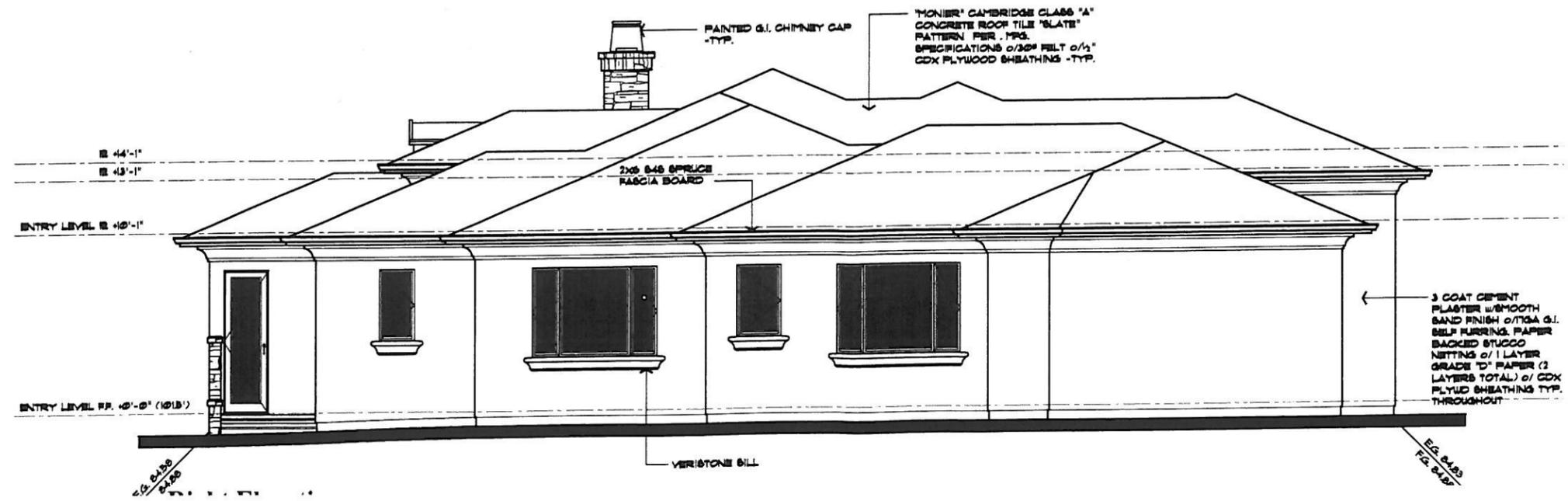
1064 Laureles Drive (subject property)



Front Elevation



Front Elevation- With Courtyard



stotler design group

349 FIRST STREET  
LOS ALTOS, CALIFORNIA  
PHONE: (650) 948-1111  
FAX: (650) 948-1111  
E-MAIL: info@stotlerdesign.com

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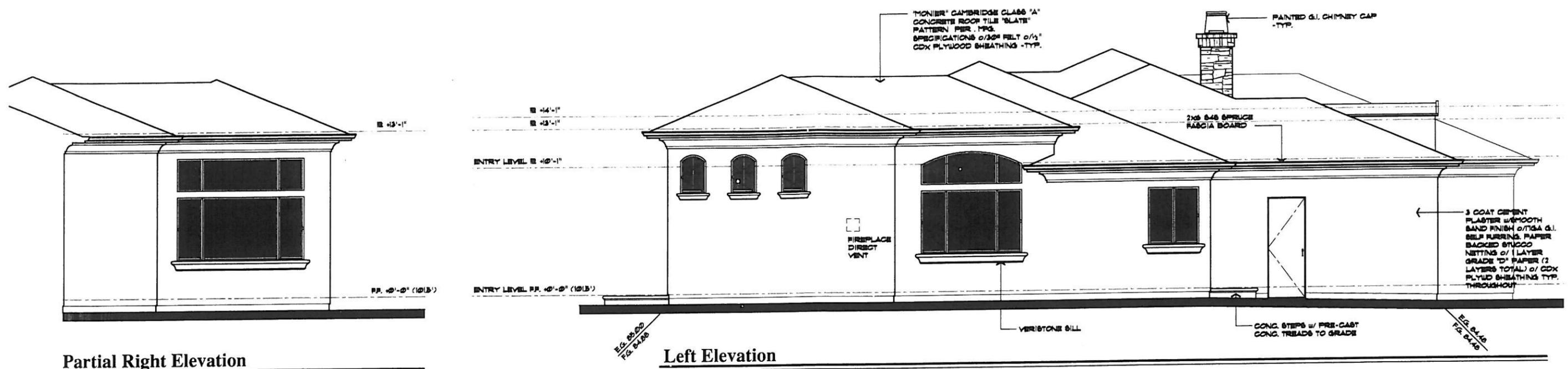
REVISIONS

Exterior Elevations  
Laureles Residence

DRAWING TITLE  
JOB TITLE

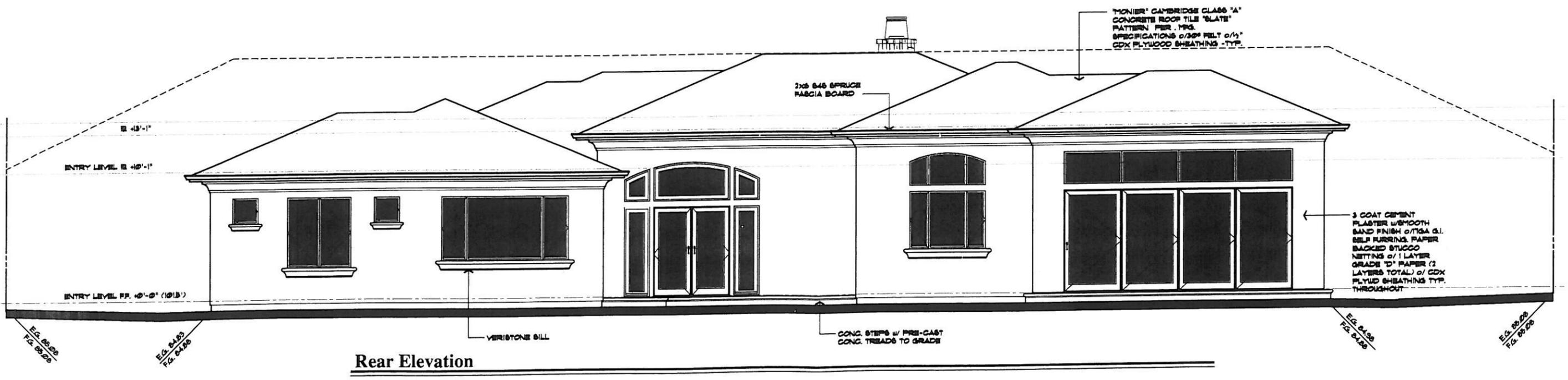
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MARCH 12, 2008  
SCALE  
1/4" = 1'-0"  
PROJECT MANAGER  
DCW  
DRAWN  
BOG  
JOB NO.  
1308  
SHEET

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Partial Right Elevation

Left Elevation



Rear Elevation

REVISIONS

DRAWING TITLE  
**Exterior Elevations**

JOB TITLE  
**Laureles Residence**

JOB ADDRESS  
**1064 Laureles Drive**

DATE  
**MARCH 12, 2011**

SCALE  
**1/4" = 1'-0"**

PROJECT MANAGER  
**DCU**

DRAWN  
**BDG**

JOB NO.  
**1308**

SHEET

File: 32997  
Adobe Creek

June 6, 2014

Mr. James Kammerer  
Alvarez and Associates  
82 North Capitol Avenue  
San Jose, CA 95127

Subject: 1064 Laureles Drive

Dear Mr. Kammerer:

Santa Clara Valley Water District (District) staff has reviewed the topographical, grading and drainage plans for 1064 Laureles Drive, received on March 20, 2014.

The District has a 25-foot wide drainage easement within the property over Adobe Creek which runs along the western portion of the subject property. In accordance with the District's Water Resource Protection Ordinance, any work within District right of way is subject to review and issuance of a District permit prior to any construction.

Redevelopment of the site needs to be done in accordance with the "Guidelines and Standards for Land Use Near Streams" including, but not limited to the following:

- Any landscaping on the site should be drought tolerant ornamentals or drought tolerant non-local California natives. Invasive species are to be avoided. If locally native species are proposed, they should be grown from Adobe Creek watershed propagules to protect the genetic integrity of the existing locally native species and in accordance with the "Guidelines and Standards for Land Use Near Stream". Please refer to the District's website at [www.valleywater.org](http://www.valleywater.org) for more information regarding the Guidelines and Standards.
- Drainage from downspouts and any developed paved areas should be directed to vegetated areas prior to discharge to the storm drainage system when possible to protect surface water quality. Drainage from the site is not to be directed overbank to Adobe Creek. Site drainage should be directed to the existing storm drain system.
- Measures should be taken to ensure that pollutants including sediment, construction debris and materials are not allowed to enter Adobe Creek.
- Sheet C-2, Section A-A shows the new dwelling within the 2:1 slope stability setback area and within approximately 10 feet from the top of bank. For structures within this setback area, a slope stability analysis from a registered geotechnical engineer should be considered. The purpose of this analysis is to assure that the building will not be damaged if the stream erodes or fails and that the stream bank will not be damaged by the construction and placement of the structure. As a minimum, and in accordance with

Mr. James Kammerer  
Page 2  
June 9, 2014

the "Guidelines and Standards For Land Use Near Streams", the dwelling should be located a minimum of 20 feet from top of bank.

According to the Federal Emergency Management Agency's current Flood Insurance Rate Map No.06085C0038H dated May 18, 2009, the majority of this site is located in Zone X (shaded), which is areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood. A small portion of the site is located within Zone A which is areas with no base flood elevations determined.

According to District records, the HEC-RAS model for this area shows that the 100-year water surface elevation is 75 feet NAVD88 and approximately 5 feet below the top of the bank at a depth approximately 12 to 13 feet.

If you have any questions, please contact me at (408) 630-2586 or email me at [kturner@valleywater.org](mailto:kturner@valleywater.org). Please reference District File No. 32997 on any future correspondence regarding this project.

Sincerely,



Kathrin A. Turner  
Assistant Engineer  
Community Projects Review Unit

Enclosure: HEC -RAS worksheet

cc: Mr. David Kornfield, City of Los Altos Planning Department ([dkornfield@losaltosca.gov](mailto:dkornfield@losaltosca.gov))

S. Tippets, U. Chatwani, C. Haggerty, K. Turner, File

32997\_56748kt06-09