

# CalGreen Mandatory Measures

**4.1 PLANNING & DESIGN-SITE DEVELOPMENT**  
 4.106.2: A PLAN IS DEVELOPED & IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.  
 4.106.3: THE SITE SHALL BE PLANNED & DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEMS WILL MANAGE ALL SURFACE WATER FLOWS.  
**4.2 ENERGY EFFICIENCY**  
 4.201: LOW-RISE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY THE CALIFORNIA ENERGY STANDARDS.  
**4.3 WATER EFFICIENCY & CONSERVATION**  
 4.303.1: INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS:  
 1. WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED.  
 2. A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED.  
 4.403.2: WHEN USING THE CALCULATION METHODS SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES  
 4.303.3 PLUMBING FIXTURES (WATER CLOSETS & URINALS) & FITTINGS (FAUCETS & SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.  
**OUTDOOR WATER USE:**  
 4.304.1 AUTOMATIC IRRIGATION SYSTEMS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOILED-BASED.  
**4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY**  
 4.406.1: JOINTS & OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN FLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.  
 4.408.1: A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE  
 4.408.2 WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.  
 4.410: AN OPERATION & MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.  
**4.5 ENVIRONMENTAL QUALITY**  
 4.503.1: FIREPLACES ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOOD STOVES, PELLET STOVES & FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.  
**POLLUTANT CONTROL:**  
 4.504.1 DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.  
 4.504.2: ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS.  
 4.504.2.2: PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.  
 4.504.2.3: SEORAL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LLIMITS FOR ROC & OTHER TOXIC COMPOUNDS.  
 4.504.2.4: DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.  
 4.504.3: CARPET & CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.  
 4.504.4: 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAMS.  
**INTERIOR MOISTURE CONTROL:**  
 4.505.2: VAPOUR BARRIERS & CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.  
 4.505.3: MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL & FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.  
**INDOOR AIR QUALITY & EXHAUST**  
 4.506.1 EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM.  
**ENVIRONMENTAL COMFORT**  
 4.507.1: WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MIN. INSULATION VALUE OF R-4.2.  
 4.507.2: DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENTS IS SELECTED USING THE FOLLOWING METHODS:  
 1. ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT.  
 2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 19-D (MANUAL D) OR EQUIVALENT.  
 3. SELECT HEATING & COOLING EQUIPMENT ACCORDING TO ACCA 36-S (MANUAL S) OR EQUIVALENT.  
**INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS**  
 102.11: HVAC SYSTEM INSTALLERS ARE TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.  
 102.2: SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED & ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.  
 103.1: VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLNS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

# General Notes

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF STOTLER DESIGN GROUP PRIOR TO COMMENCING.
- VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.
- ALL WORK TO BE IN CONFORMANCE WITH:  
 CALIFORNIA BUILDING CODE - 2013 EDITION,  
 CALIFORNIA RESIDENTIAL CODE - 2013 EDITION,  
 CALIFORNIA FIRE CODE - 2013 EDITION,  
 CALIFORNIA PLUMBING CODE - 2013 EDITION,  
 CALIFORNIA ELECTRICAL CODE - 2013 EDITION,  
 CALIFORNIA MECHANICAL CODE - 2013 EDITION,  
 CALIFORNIA ENERGY CODE - 2013 EDITION,  
 CALIFORNIA GREEN BUILDING CODE - 2013 EDITION,  
 AND ALL PERTINENT STATE AND LOCAL CODES AND ORDINANCES.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- SLOPE ALL FINISH GRADES MIN. 4% 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE \* LANDSCAPED AREAS & SLOPE GRADE 2% MIN. \* PAVED AREAS
- SEPARATE PERMITS ARE REQUIRED FOR OCCUPANCY AND ALL FUTURE TENANT IMPROVEMENTS. SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL & PLUMBING WORK.
- ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES, DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR.
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.
- ALL EARTHWORK AND SITE DRAINAGE, INCLUDING DRILLED PIER, SPREAD FOOTING, AND MAT SLAB EXCAVATIONS, SWIMMING POOL, EXCAVATION, SURGRADE PREPARATION BENEATH HARDSCAPE, UTILITY TRENCH BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED MARCH 30, 2011. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-326-0440) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST AS NECESSARY THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.

# Fire Department Notes

- THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5".
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

# Deferred Approvals

DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL

- FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPERATE PERMIT.
- FEEDER SCHEDULE SHALL BE PROVIDED PRIOR TO INSTALLATION.

# Drawing Index

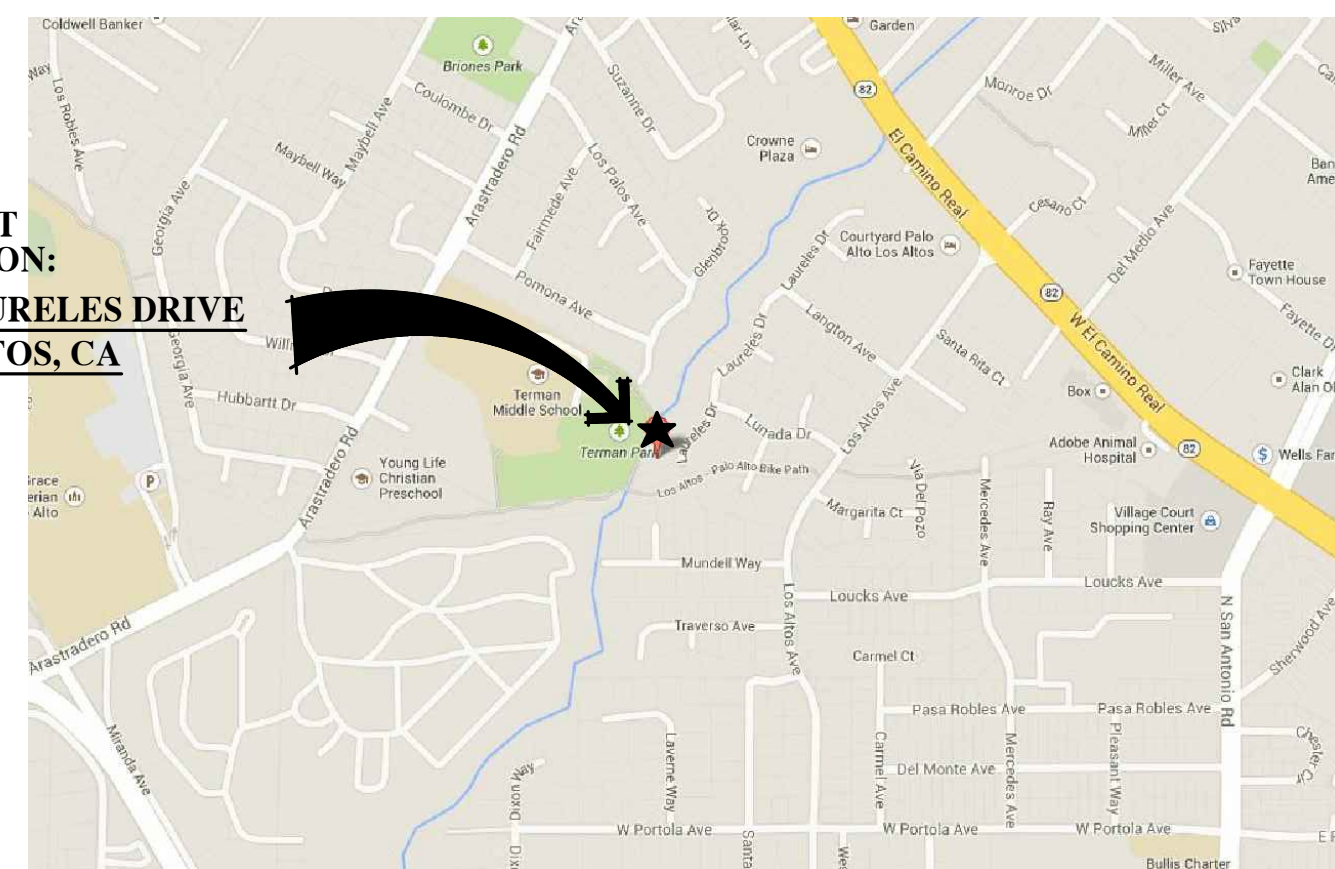
- T1 Title Sheet
- T1.1 FAR Calculations
- CIVIL
  - C1 Grading and Drainage Plan
  - C2 Sections and Details
  - T1 Topographic Plan
- ARCHITECTURAL
  - A1 Architectural Site Plan
  - A2 Entry Level Floor Plan
  - A3 Exterior Elevations
  - A4 Exterior Elevations
  - A5 Section
  - A6 Roof Plan
- LANDSCAPE
  - L1 Landscape Plan

# Project Data

PROJECT ADDRESS:	1064 Laureles Los Altos, Ca 94024		
A P N:	167-10-04		
ZONE DISTRICT:	R1-10		
OCCUPANCY:	R3/U		
CONSTRUCTION TYPE:	VB		
<b>ZONING COMPLIANCE:</b>			
NET LOT AREA:	17723 S.F. (NET)		
	EXISTING	PROPOSED	ALLOWED/REQD
LOT COVERAGE:	2702.00 S.F. (15.2%)	3907.00 S.F. (22%)	6203.05 S.F. (35%)
FLOOR AREA:	2644.00 S.F. (14.9%)	3872.00 S.F. (21.8%)	6203.05 S.F. (35%)
SETBACKS:			
FRONT:	46'-7"	29'-10"	25'
REAR:	45'-3"	39'-2"	25'
RIGHT SIDE:	10'-0"	10'-0"	10'
LEFT SIDE:	9'-4"	10'-0"	10'
HEIGHT:	13.5'	20'	19'-11"
<b>SQUARE FOOTAGE BREAKDOWN: EXISTING CHANGE IN TOTAL PROPOSED</b>			
HABITABLE LIVING AREA:	2214.00 S.F.	1172.00 S.F.	3386.00 S.F.
<i>(includes habitable basement areas)</i>			
NON-HABITABLE AREA:	588.00 S.F.	102.00 S.F.	486.00 S.F.
<i>(does not include covered porches or open structures)</i>			
<b>LOT CALCULATIONS:</b>			
NET LOT AREA:			17723 S.F.
FRONT YARD HARDSCAPE AREA:			294 S.F. (31%)
<i>(hardscape area in the front yard setback shall not exceed 50%)</i>			
<b>LANDSCAPING BREAKDOWN:</b>			
TOTAL HARDSCAPE AREA (existing and proposed):			5170 S.F.
EXISTING SOFTSCAPE (undisturbed) AREA:			8449 S.F.
NEW SOFTSCAPE AREA:			4104 S.F.
<i>(sum of all three should equal the site's net lot area)</i>			
<b>SCOPE OF WORK:</b>			
DEMO EXISTING RESIDENCE AND CONSTRUCT A NEW 1-STORY SINGLE FAMILY RESIDENCE WITH AN ATTACHED GARAGE.			

# Vicinity Map

PROJECT LOCATION:  
 1064 LAURELES DRIVE  
 LOS ALTOS, CA



# Consultants

**CIVIL ENGINEER**  
 Alvarez & Associates  
 82 North Capitol Avenue  
 San Jose, CA 95127  
 (408) 729-3734

**TITLE 24/GREENPOINT DOCUMENTATION**  
 Yamilia Kennett & Associates  
 15231 Perry Lane  
 Morgan Hill, CA 95037  
 (408) 779-5402

**SOILS/GEOTECHNICAL ENGINEER**  
 Earth Investigations Consultants  
 P.O. Box 795  
 Pacifica, CA 94044  
 (650) 557-0262

Los Altos, California

# Laureles Residence

1064 Laureles Drive



349 FIRST STREET, SUITE A  
 LOS ALTOS, CALIFORNIA 94022  
 PHONE: (650) 559-0438  
 FAX: (650) 559-0458  
 E-MAIL: info@stotlerdesigngroup.com

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

REVISIONS			

DRAWING TITLE	Title Sheet
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

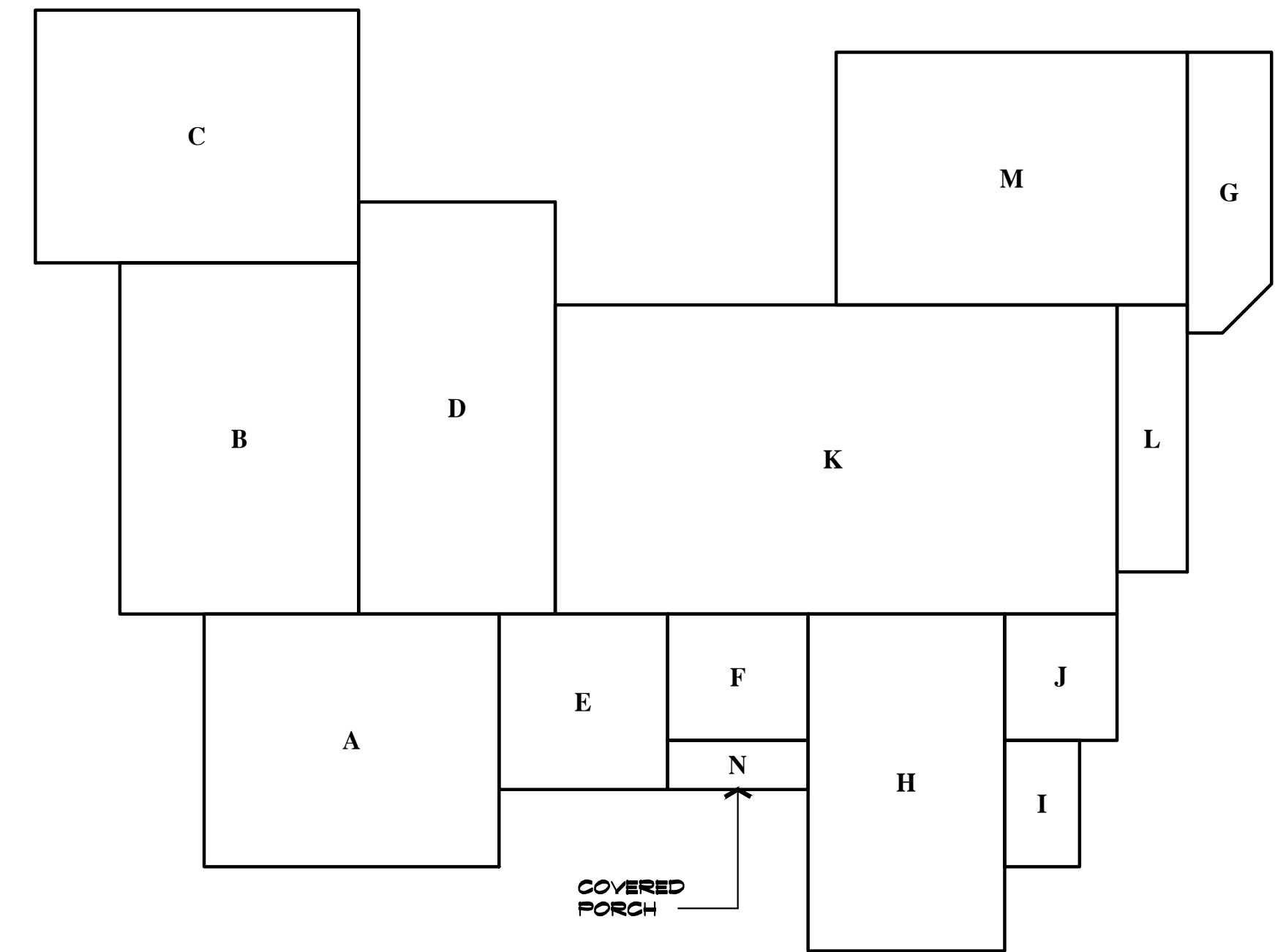
DATE	MAY 20, 2014
SCALE	SEE PLAN
PROJECT MANAGER	DCW
DRAWN	606
JOB NO.	1308
SHEET	

T1

# Floor Area Diagram



349 FIRST STREET, SUITE A  
 LOS ALTOS, CALIFORNIA 94022  
 PHONE: (650) 559-0438  
 FAX: (650) 559-0458  
 E-MAIL: info@stotlerdesigngroup.com



Entry Level

Scale: 1" = 10' - 0"

## Area Calculations

SECTION	AREA
<b>ENTRY LEVEL</b>	
A	21'-0" X 18'-0" = 378'
B	17'-0" X 25'-0" = 425'
C	23'-0" X 18'-0" = 414'
D	14'-0" X 29'-4" = 411'
E	12'-0" X 12'-6" = 150'
F	10'-0" X 9'-0" = 90'
G	IRREGULAR = 113'
H	14'-0" X 24'-0" = 336'
I	5'-4" X 9'-0" = 48'
J	8'-0" X 9'-0" = 72'
K	40'-0" X 22'-0" = 880'
L	5'-0" X 13'-0" = 65'
M	25'-0" X 18'-0" = 450'
<b>ENTRY LEVEL TOTAL FAR</b> 3872'	
<b>MAX. ALLOWED FAR</b> 6203'	
<b>LOT COVERAGE</b>	
N	10'-0" X 3'-6" = 35' (COVERED PORCH)
<b>TOTAL LOT COVERAGE</b> 3907'	
<b>MAX ALLOWED COVERAGE</b> 6203'	

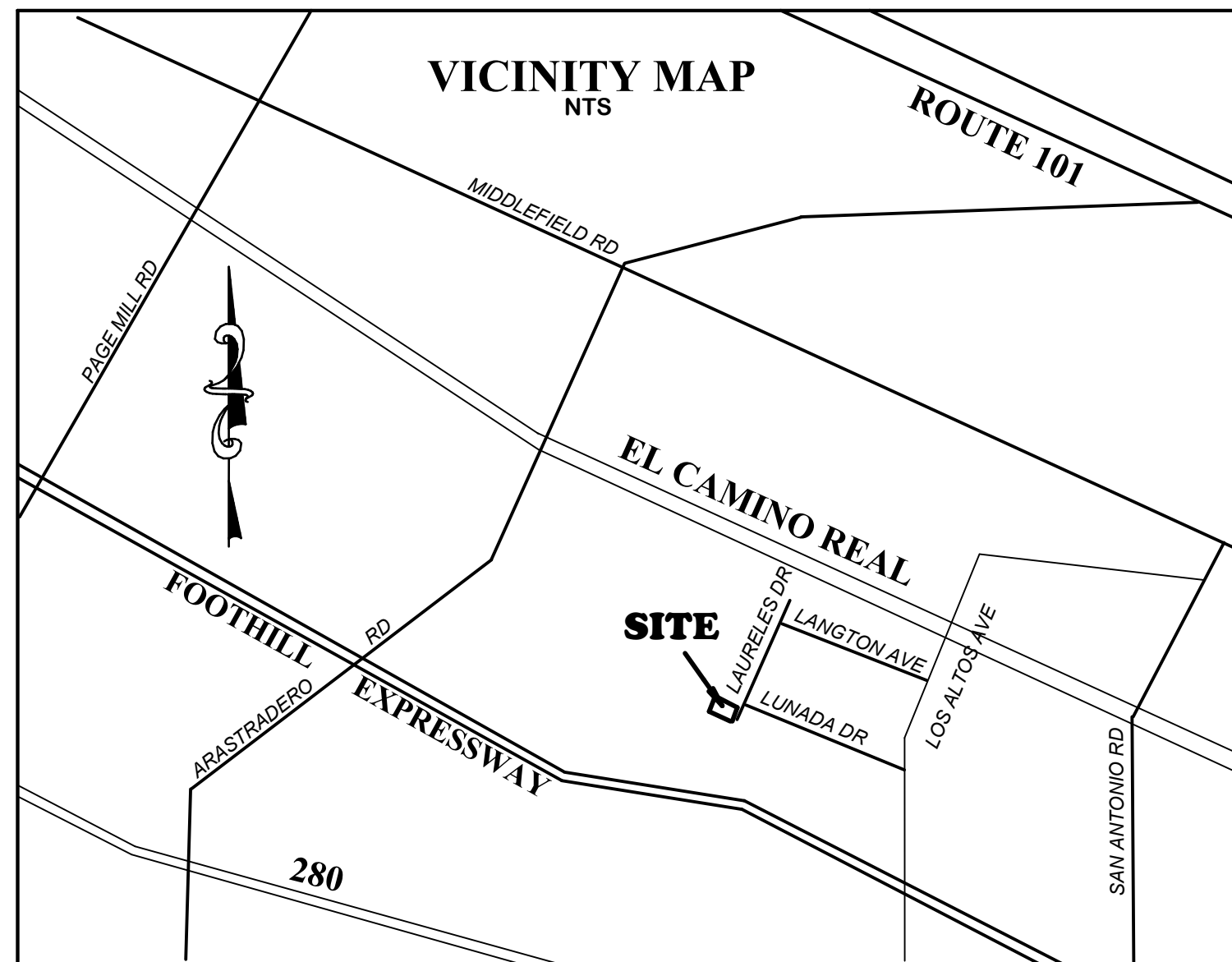
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE LIMITED TO THE ORIGINAL PROJECT AND SHALL NOT BE REPRODUCED, COPIED, REPRODUCED, OR PUBLISHED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STOTLER DESIGN GROUP. THE ACCEPTANCE OF THESE PLANS AND SPECIFICATIONS SHALL BE BOUND TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS

DRAWING TITLE	<b>FAR/ Coverage Diagram</b>
JOB TITLE	<b>Laureles Residence</b>
JOB ADDRESS	<b>1064 Laureles Drive Los Altos, California</b>

DATE	<b>MAY 20, 2014</b>
SCALE	<b>N.T.S.</b>
PROJECT MANAGER	<b>DCW</b>
DRAWN	<b>606</b>
JOB NO.	<b>1308</b>
SHEET	

**T1.1**



### GRADING & DRAINAGE CONSTRUCTION NOTES

- ① SLOPE AREA AROUND BUILDING PERIMETER AWAY FROM FOUNDATION @ 5% MIN. FOR AT LEAST FIVE FEET (3') AND DIVERT TO POSITIVE OUTFALL. 2% FOR ALL GRASSY AREAS AND 1% MINIMUM FOR HARDSCAPE AREAS- TYP ALL FINE GRADING SHALL BE DONE IN MANNER TO PROMOTE POSITIVE DRAINAGE, PREVENT EROSION, PREVENT PONDING, AND TO DIRECT FLOWS (EITHER SHEET OR CONCENTRATED) TO APPROPRIATE OUTFALL - TYP. INSTALL WATTLE BARRIER FOR SEDIMENT CONTROL.
- ② PLACE SPLASH BLOCKS AT ALL DOWNSPOUTS PER DETAIL.
- ③ CONSTRUCT VEGETATED / GRASSY SWALE AND INLETS AS SHOWN PER DETAIL.
- ④ CONSTRUCT PAD & NEW FOUNDATION PER SOILS & STRUCTURAL RECOMMENDATIONS.
- ⑤ INSTALL NEW SEEPAGE PIT / BUBBLER BOX (OPTIONAL) AS SHOWN PER DETAIL.
- ⑥ CONSTRUCT NEW SS LATERAL VERIFY LOCATION IN THE FIELD.
- ⑦ CONSTRUCT NEW JOINT TRENCH AND WATER METER AS REQUIRED USE CITY STANDARD DETAIL FOR ALL TRENCHING IN PUBLIC RIGHT-OF-WAY.

**LEGAL DESCRIPTION OF SITE:**  
 LOT 31 OF TRACT NO 2930  
 BOOK 133 OF MAPS, PAGE 36

### EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)
FOUNDATION PAD	32	75
SEEPAGE PITS / SWALES	28	5
POOL	0	90
EXPORT	110	

NOTE:  
 EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY.  
 CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.  
 TABLE DOES NOT REFLECT CONCRETE REMOVAL OR PLANTER MATERIAL.

### IMPERVIOUS AREAS TABLE

	Area	Area
PRE-DEVELOPMENT		
EXIST. HOUSE:	0.08 acres	3525.59 sq ft
EXIST. PAVEMENT	0.10 acres	4333.92 sq ft
<b>TOTAL</b>	<b>0.18 acres</b>	<b>7859.51 sq ft (44.3%)</b>
POST-DEVELOPMENT		
NEW ROOF AREA:	0.105 acres	4584 sq ft
COURTYARD:	0.01 acres	284 sq ft
REAR PATIO & LANDINGS	0.01 acres	364 sq ft
NEW DRIVEWAY & WALKWAYS	0.02 acres	925 sq ft
<b>TOTAL</b>	<b>0.145 acres</b>	<b>6157 sq ft (34.7%)</b>
<b>TOTAL CHANGE =</b>	<b>-</b>	<b>- 1702</b>

**TREE NOTES:**  
 SPECIES OF TREES TO BE DETERMINED BY AN ARBORIST.  
 DRIP LINES ARE NOT SHOWN ON THIS MAP AND ARE TO BE MEASURED IN THE FIELD.  
 ONLY TREES LARGER THAN 8 INCHES IN DIAMETER ARE SHOWN ON THIS MAP.

**DISCLAIMER:**  
 ALVAREZ AND ASSOCIATES, INC. OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

**NOTE:**  
 THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-442-2944). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE. CURBLINE OFFSETS ARE TO FACE OF CURB. MANHOLES AND FLAT GRATE OFFSETS ARE TO THEIR RESPECTIVE CENTERS. HOODED CATCH BASINS ARE MEASURED FROM THE TOP OF HOOD AND INVERTS FOR MANHOLES ARE MEASURED FROM THE RIM. THE TOPOGRAPHY CONTROL LINE(S) DEPICTED ON THIS MAP IS BASED ON FOUND MONUMENTS, A SPLIT OF IMPROVEMENTS OR A COMBINATION THEREOF. THE TOPOGRAPHY CONTROL LINE(S) SHOULD NOT BE TAKEN AS REPRESENTING THE RECORD CENTERLINE OF THE STREETS.  
 IF UNDERGROUND UTILITIES ARE SHOWN ON THIS MAP THEN THEY HAVE BEEN LOCATED PER "USA" MARKINGS.

### LEGEND

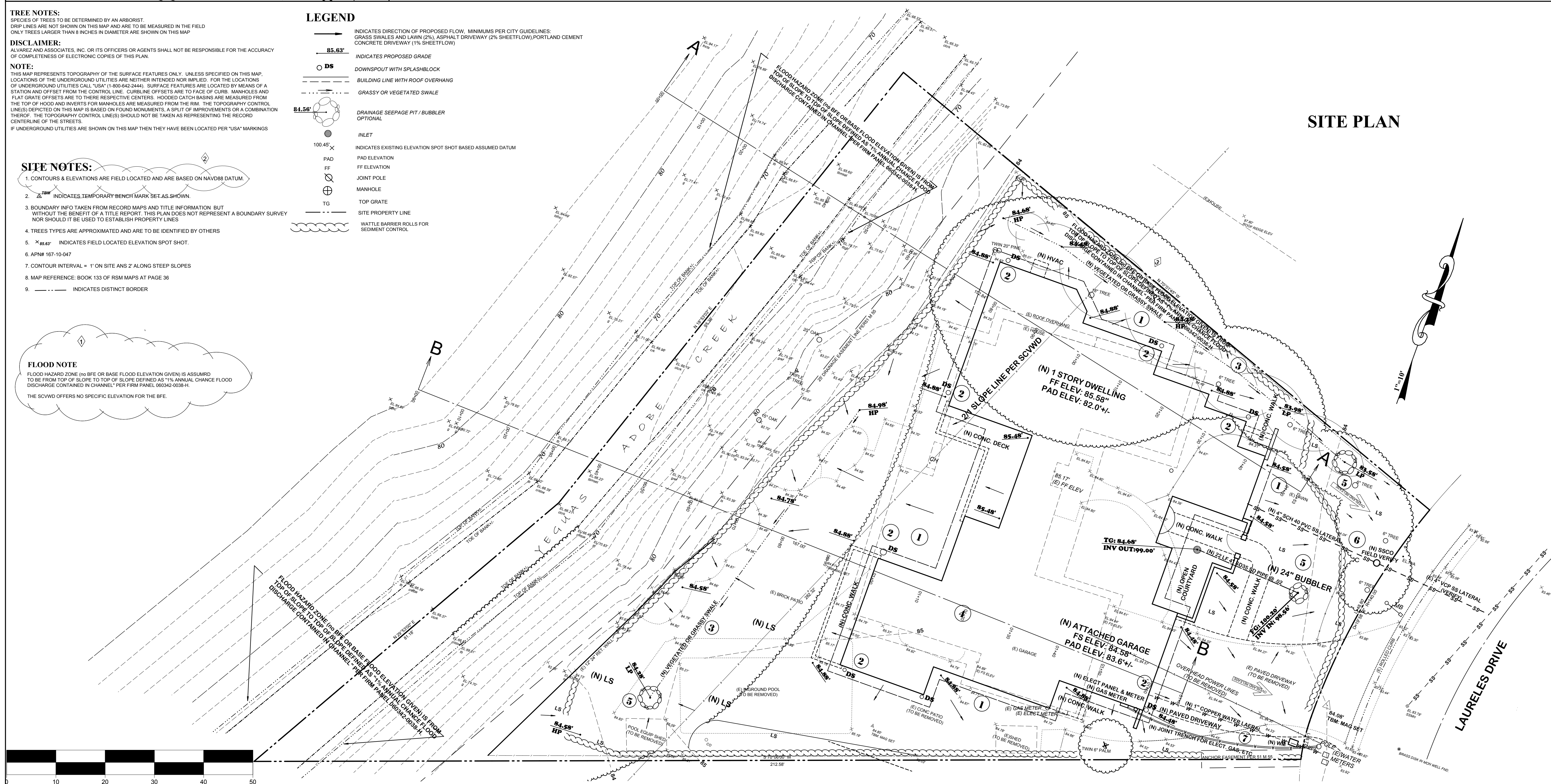
- INDICATES DIRECTION OF PROPOSED FLOW. MINIMUMS PER CITY GUIDELINES: GRASS SWALES AND LAWN (2%), ASPHALT DRIVEWAY (2% SHEETFLOW), PORTLAND CEMENT CONCRETE DRIVEWAY (1% SHEETFLOW)
- 85.63' INDICATES PROPOSED GRADE
- DS DOWNSPOUT WITH SPLASHBLOCK
- BUILDING LINE WITH ROOF OVERHANG
- GRASSY OR VEGETATED SWALE
- 84.56' DRAINAGE SEEPAGE PIT / BUBBLER OPTIONAL
- INLET
- INDICATES EXISTING ELEVATION SPOT SHOT BASED ASSUMED DATUM
- PAD PAD ELEVATION
- FF FF ELEVATION
- ⊕ JOINT POLE
- ⊕ MANHOLE
- TG TOP GRATE
- SITE PROPERTY LINE
- WATTLE BARRIER ROLLS FOR SEDIMENT CONTROL

### SITE NOTES:

1. CONTOURS & ELEVATIONS ARE FIELD LOCATED AND ARE BASED ON NAVD88 DATUM.
2. △ TBM INDICATES TEMPORARY BENCH MARK SET AS SHOWN.
3. BOUNDARY INFO TAKEN FROM RECORD MAPS AND TITLE INFORMATION. BUT WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY NOR SHOULD IT BE USED TO ESTABLISH PROPERTY LINES.
4. TREES TYPES ARE APPROXIMATED AND ARE TO BE IDENTIFIED BY OTHERS.
5. × 85.63' INDICATES FIELD LOCATED ELEVATION SPOT SHOT.
6. APN# 167-10-647
7. CONTOUR INTERVAL = 1' ON SITE ANS 2' ALONG STEEP SLOPES
8. MAP REFERENCE: BOOK 133 OF RSM MAPS AT PAGE 36
9. --- INDICATES DISTINCT BORDER

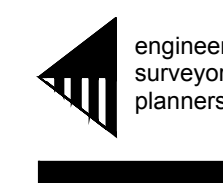
### FLOOD NOTE

FLOOD HAZARD ZONE (NO BFE OR BASE FLOOD ELEVATION GIVEN) IS ASSUMED TO BE FROM TOP OF SLOPE TO TOP OF SLOPE DEFINED AS 1% ANNUAL CHANCE FLOOD DISCHARGE CONTAINED IN CHANNEL - PER FIRM PANEL 060342-0038-H.  
 THE SCVWD OFFERS NO SPECIFIC ELEVATION FOR THE BFE.



### SITE PLAN

ALVAREZ & ASSOCIATES  
 82 NORTH CAPITOL AVENUE  
 SAN JOSE, CA 95127  
 (408) 272-7529



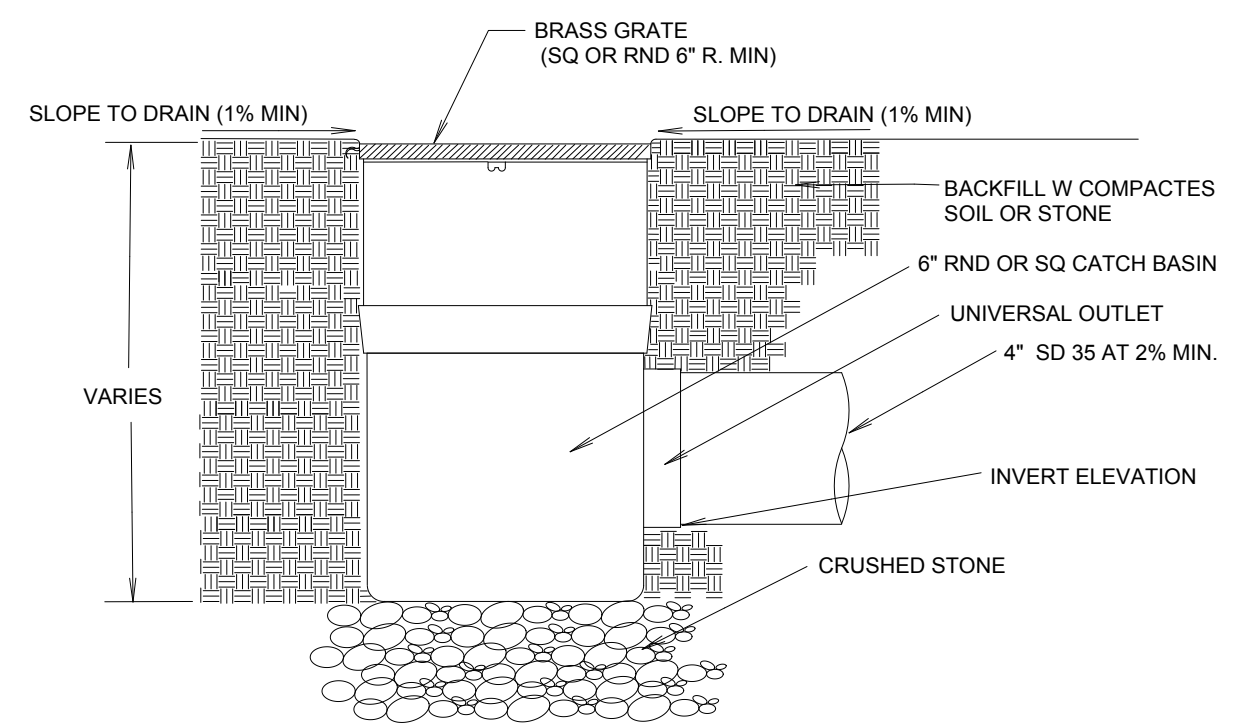
**DRAINAGE & GRADING PLAN**  
 1064 Laureles Drive  
 Los Altos, CA  
 SANTA CLARA COUNTY  
 CALIFORNIA



SCALE: AS NOTED

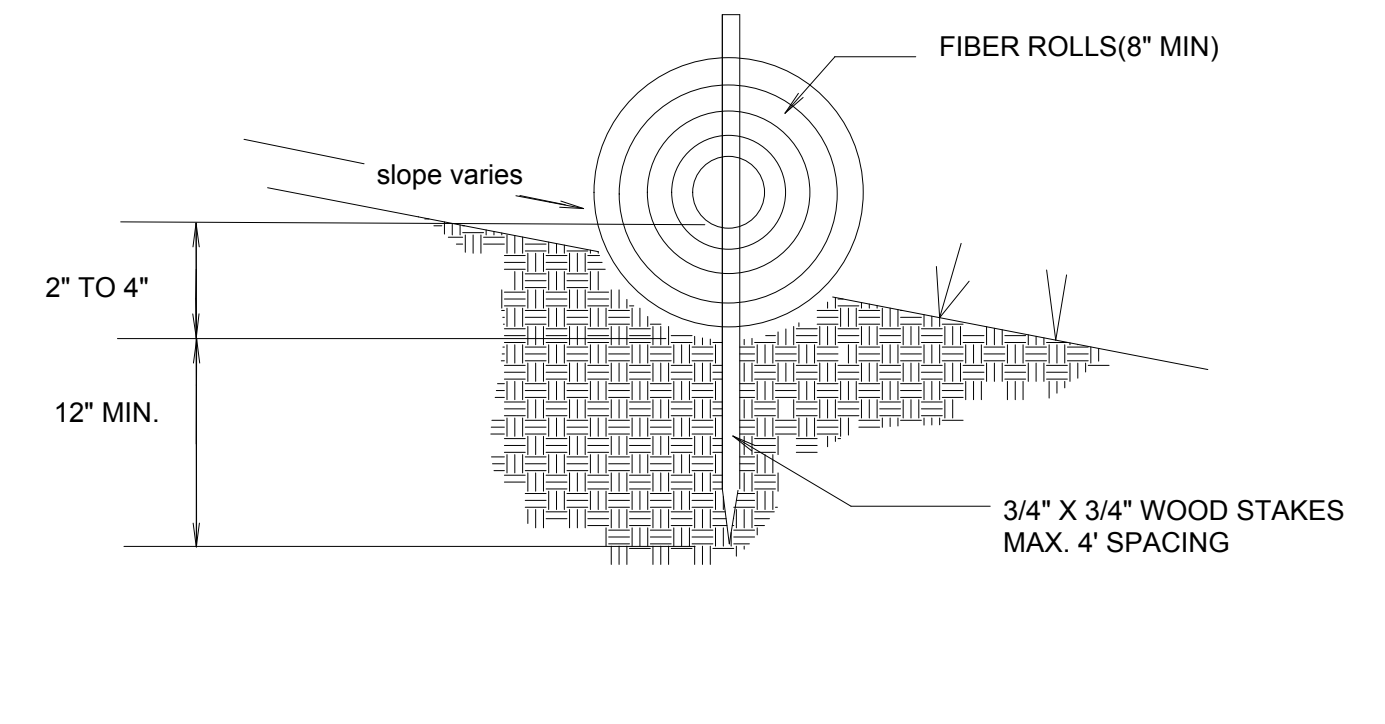
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**C - 1**

1 OF 2



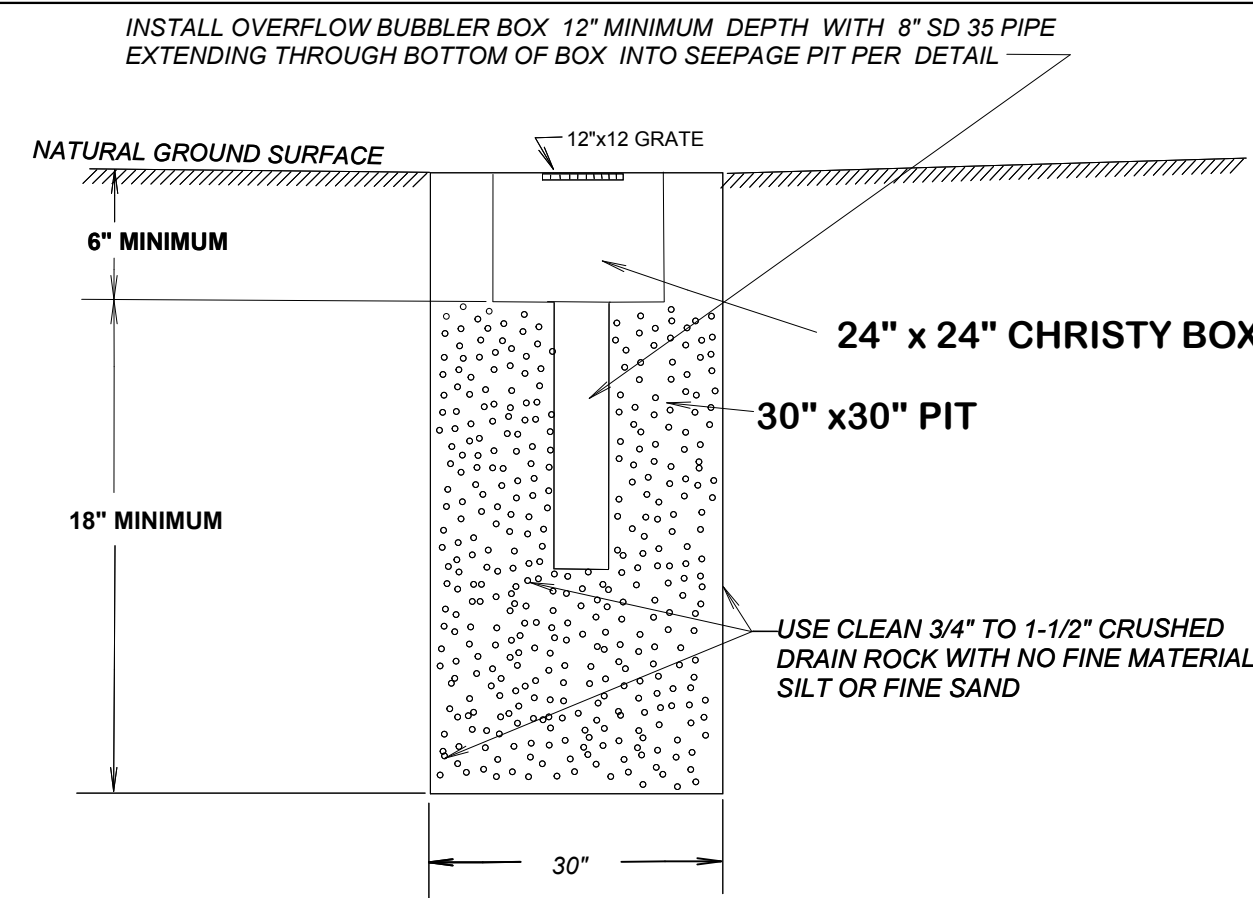
**INLET DETAIL**

**4**  
**C-1**



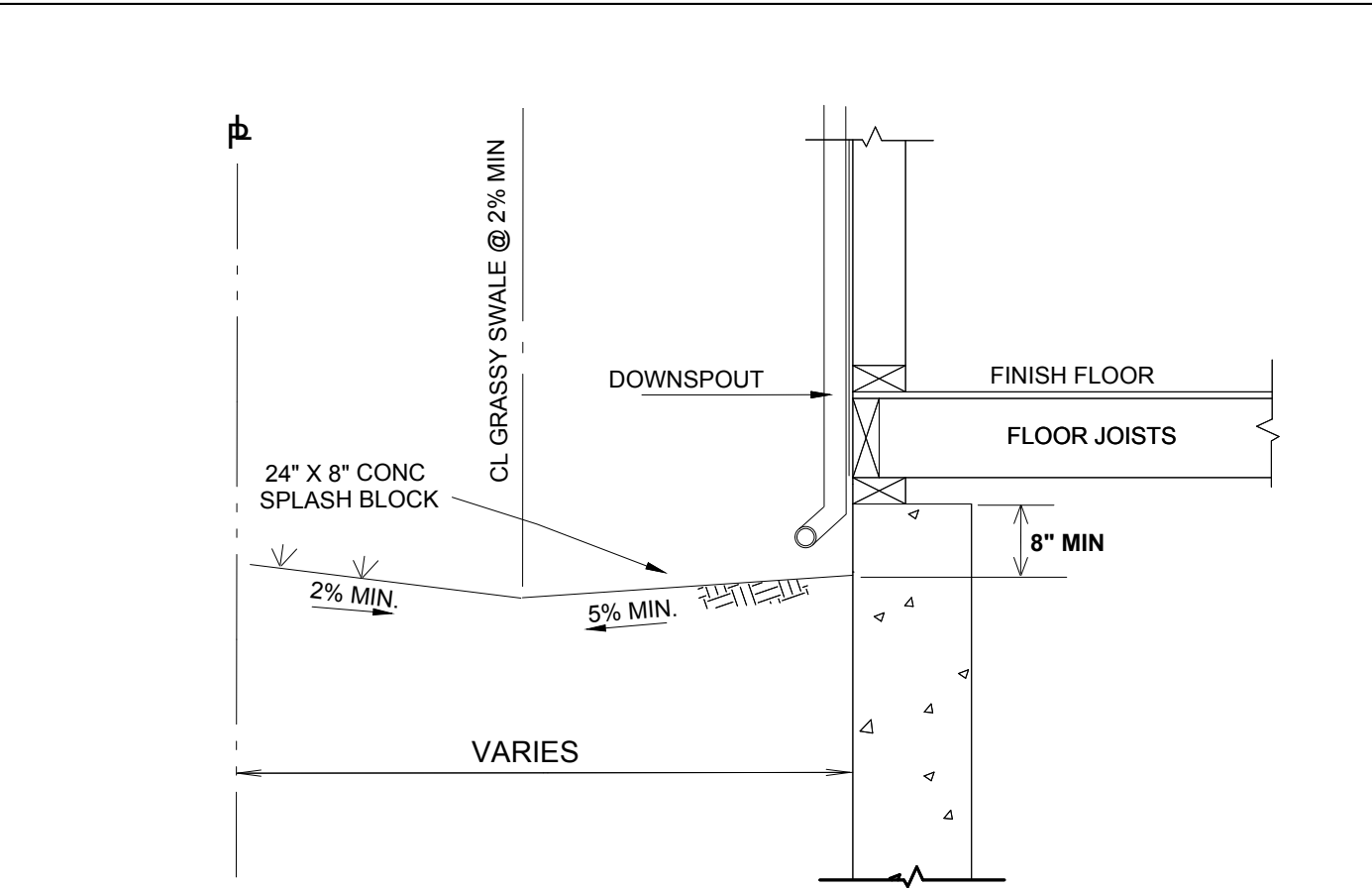
**WATTLE BARRIER DETAIL**

**5**  
**C-1**



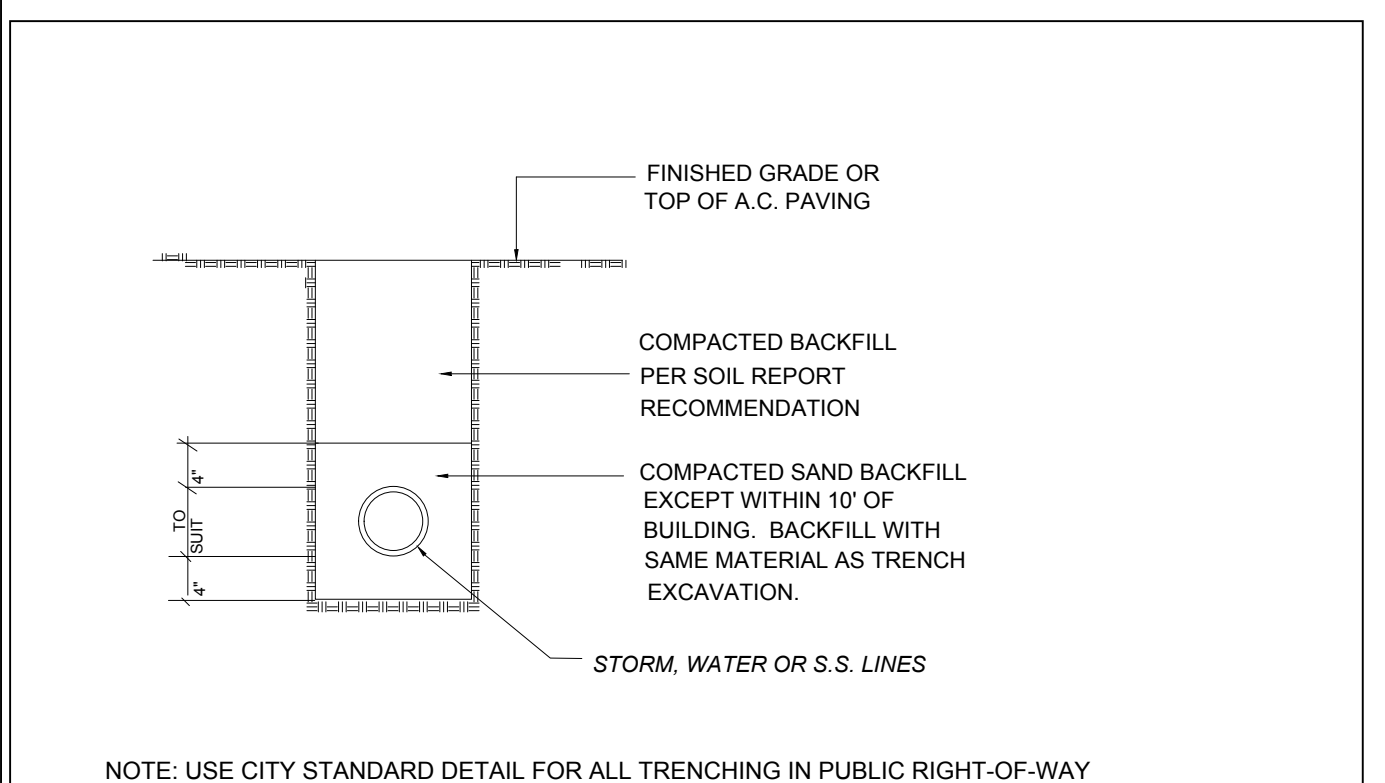
**OPTIONAL SEEPAGE PIT DRAIN DETAIL**

**1**  
**C-1**



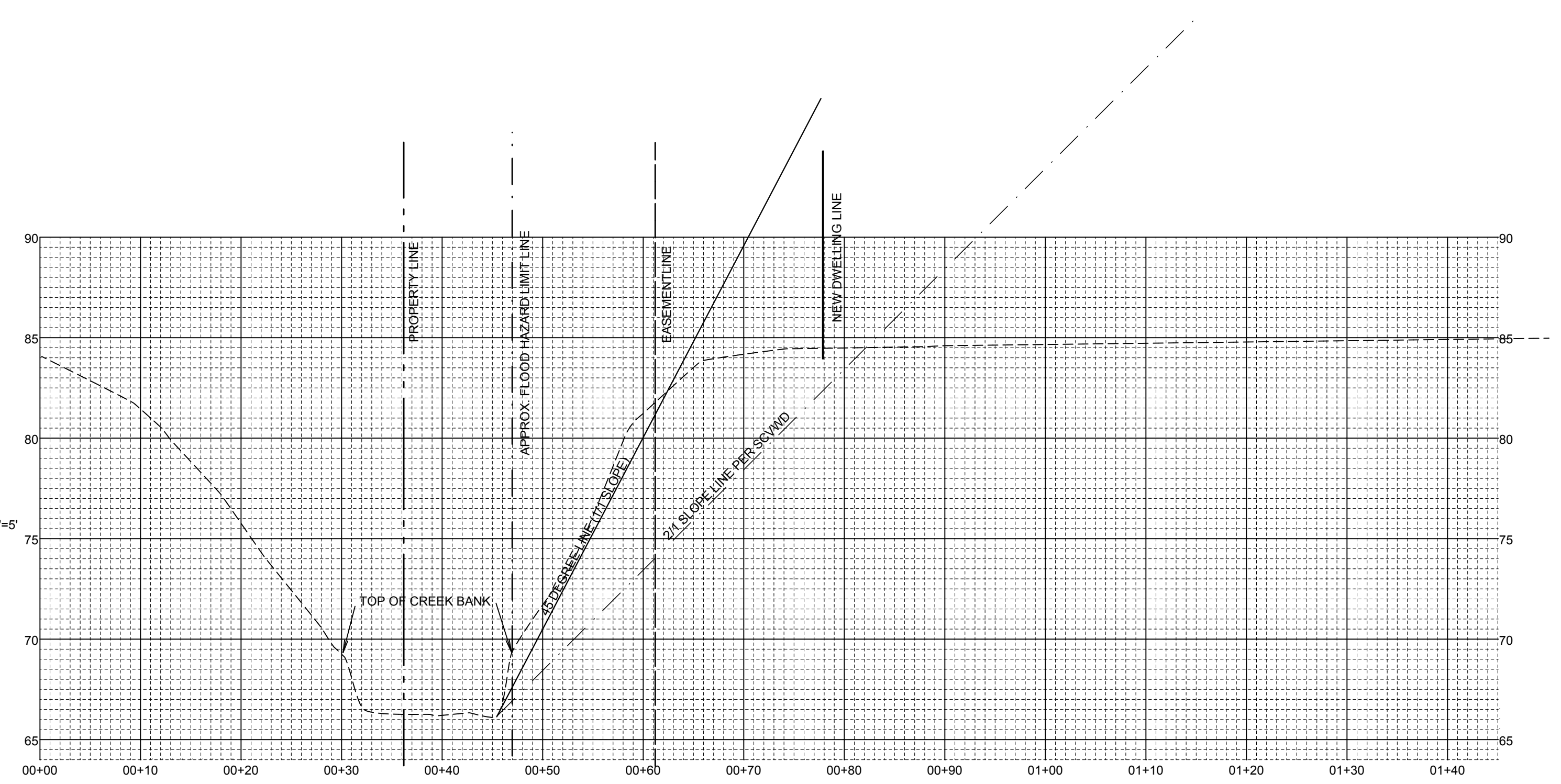
**GRASSY SWALE & DOWNSPOUT SPLASH BLOCK DETAIL**

**2&3**  
**C-1**

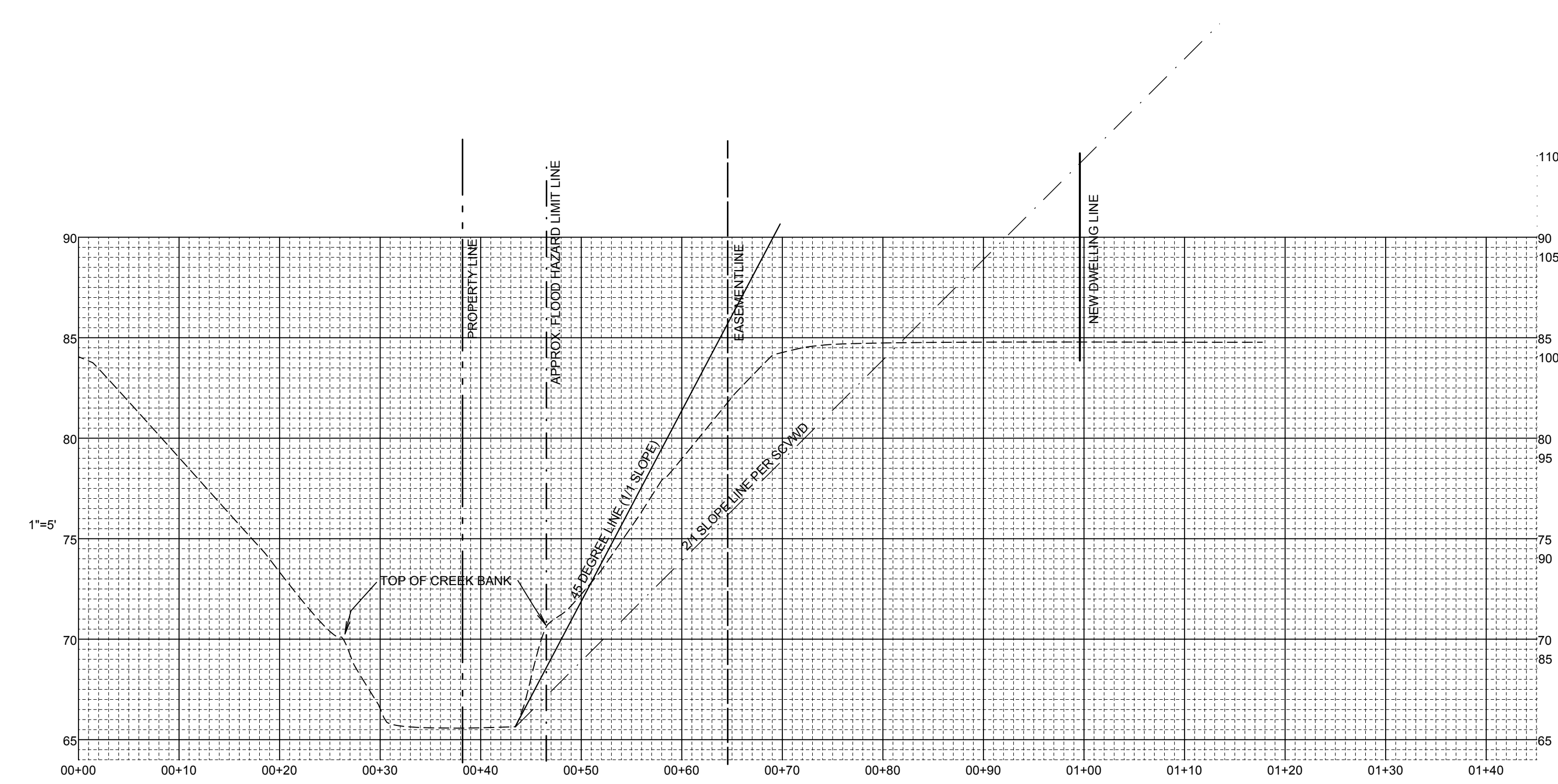


**PIPE LINE BACKFILL DETAIL**

**6**  
**C-1**



**A-A**

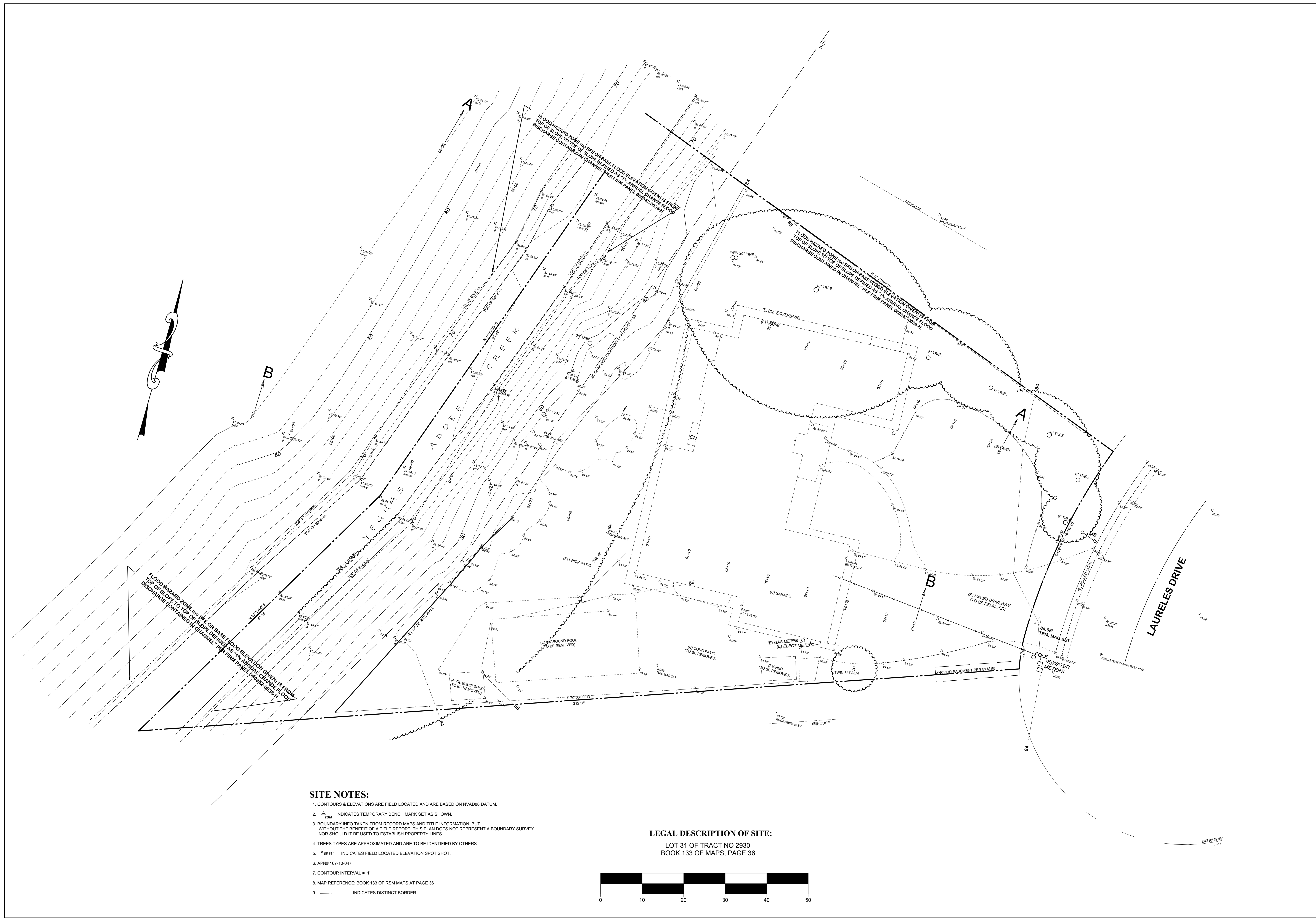


**B-B**

Revision	Date	By	Chkd
ADDED FLOOD NOTE	03/17/14	JLK	AA
ADDED NOTE REGARDING CONVERSION TO INVERT ELEVATION	03/17/14	JLK	AA
REVISED FLOW OF DRAINAGE	03/17/14	JLK	AA

ALVAREZ & ASSOCIATES  
82 NORTH CAPITOL AVENUE  
SAN JOSE, CA 95127  
(408) 272-7529

**DRAINAGE & GRADING PLAN**  
1064 Laureles Drive  
Los Altos, CA  
SANTA CLARA COUNTY  
CALIFORNIA



**SITE NOTES:**

1. CONTOURS & ELEVATIONS ARE FIELD LOCATED AND ARE BASED ON NVAD88 DATUM.
2. INDICATES TEMPORARY BENCH MARK SET AS SHOWN.
3. BOUNDARY INFO TAKEN FROM RECORD MAPS AND TITLE INFORMATION BUT WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY NOR SHOULD IT BE USED TO ESTABLISH PROPERTY LINES.
4. TREES TYPES ARE APPROXIMATED AND ARE TO BE IDENTIFIED BY OTHERS.
5.  $\times_{85.63}$  INDICATES FIELD LOCATED ELEVATION SPOT SHOT.
6. APN# 167-10-047
7. CONTOUR INTERVAL = 1'
8. MAP REFERENCE: BOOK 133 OF RSM MAPS AT PAGE 36
9. - - - - - INDICATES DISTINCT BORDER

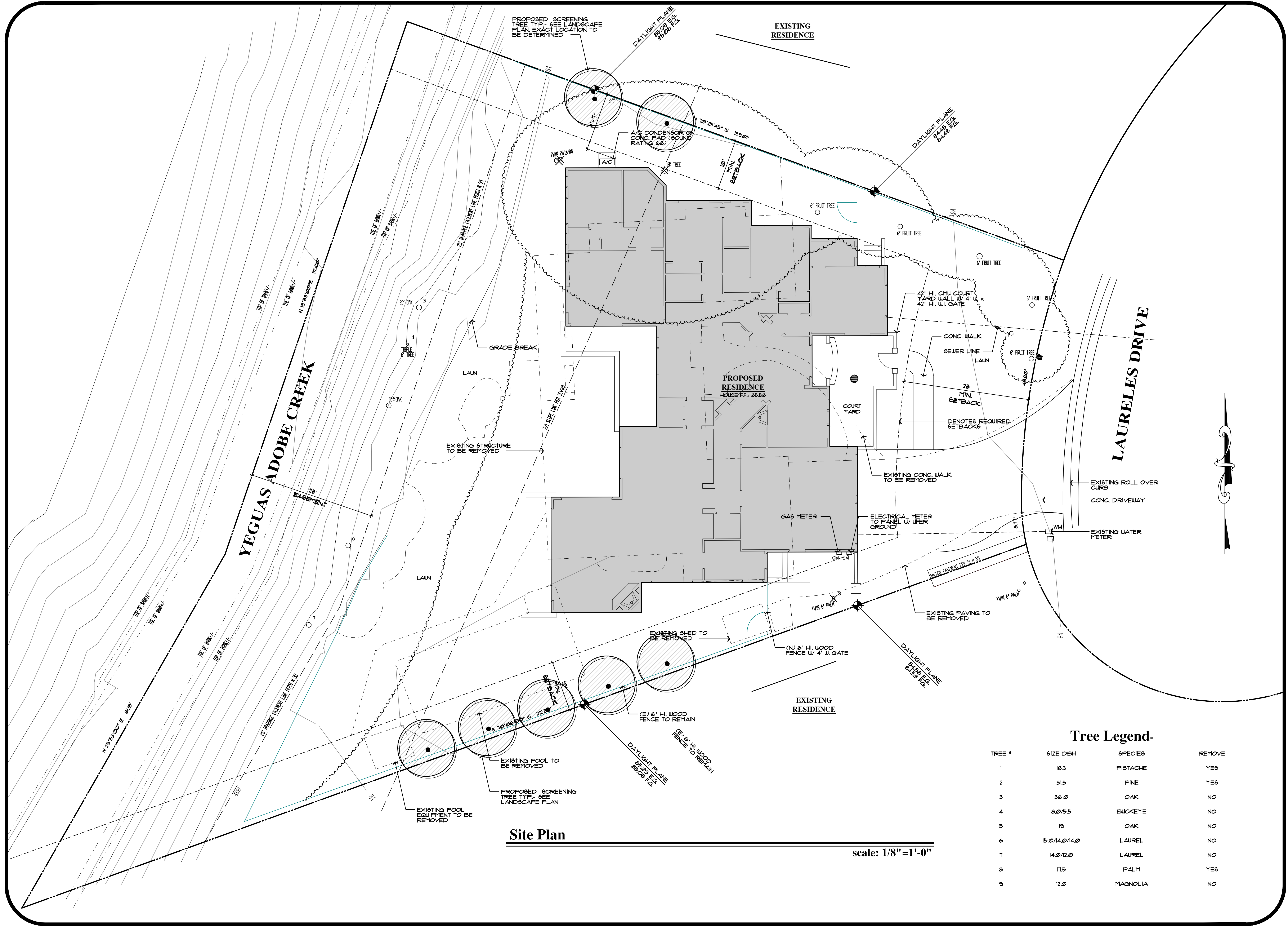
**LEGAL DESCRIPTION OF SITE:**

LOT 31 OF TRACT NO 2930  
BOOK 133 OF MAPS, PAGE 36



Child	By	Date	Revision	No.	
AA	JLK	03/17/14	ADDED FLOOD NOTE	1	
AA	JLK	03/17/14	ADDED NOTE REGARDING CONVERSION TO NAVD88 DATUM	2	
<p>Date: 06-25-13 Drawn By: JLK</p>					
<p><b>ALVAREZ &amp; ASSOCIATES</b> 82 NORTH CAPITOL AVENUE SAN JOSE, CA 95127 (408) 272-7529</p>					
<p><b>TOPOGRAPHICAL PLAN</b> 1064 Laureles Drive Los Altos, CA SANTA CLARA COUNTY CALIFORNIA</p>					
SCALE: AS NOTED					
SHEET: <b>T - 1</b>					
1 OF 1					

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**Site Plan**

scale: 1/8"=1'-0"

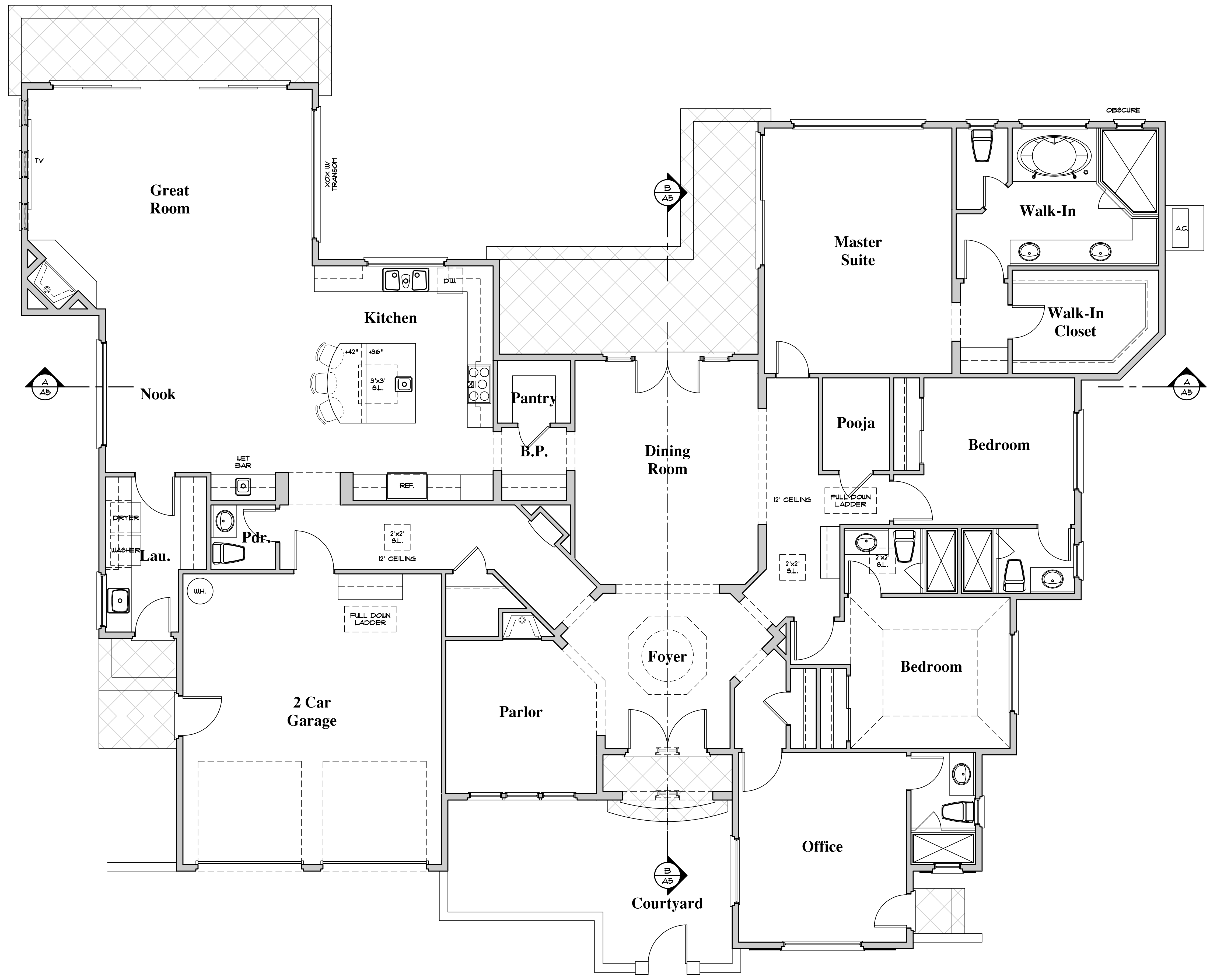
**Tree Legend.**

TREE #	SIZE DBH	SPECIES	REMOVE
1	18.3	PISTACHE	YES
2	31.5	PINE	YES
3	36.0	OAK	NO
4	8.0/5.5	BUCKEYE	NO
5	19	OAK	NO
6	15.0/14.0/14.0	LAUREL	NO
7	14.0/12.0	LAUREL	NO
8	11.5	PALM	YES
9	12.0	MAGNOLIA	NO

REVISIONS

DRAWING TITLE	Site Plan
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	MAY 20, 2014
SCALE	1/8" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	SDG
JOB NO.	1308
SHEET	



**Entry Level Floor Plan**

3,386 sq. ft. Entry Level  
486 sq. ft. Attached Garage

scale: 1/4"=1'-0"



349 FIRST STREET, SUITE A  
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REVISIONS

DRAWING TITLE	<b>Floor Plan</b>
JOB TITLE	<b>Laureles Residence</b>
JOB ADDRESS	1064 Laureles Drive Los Altos, California

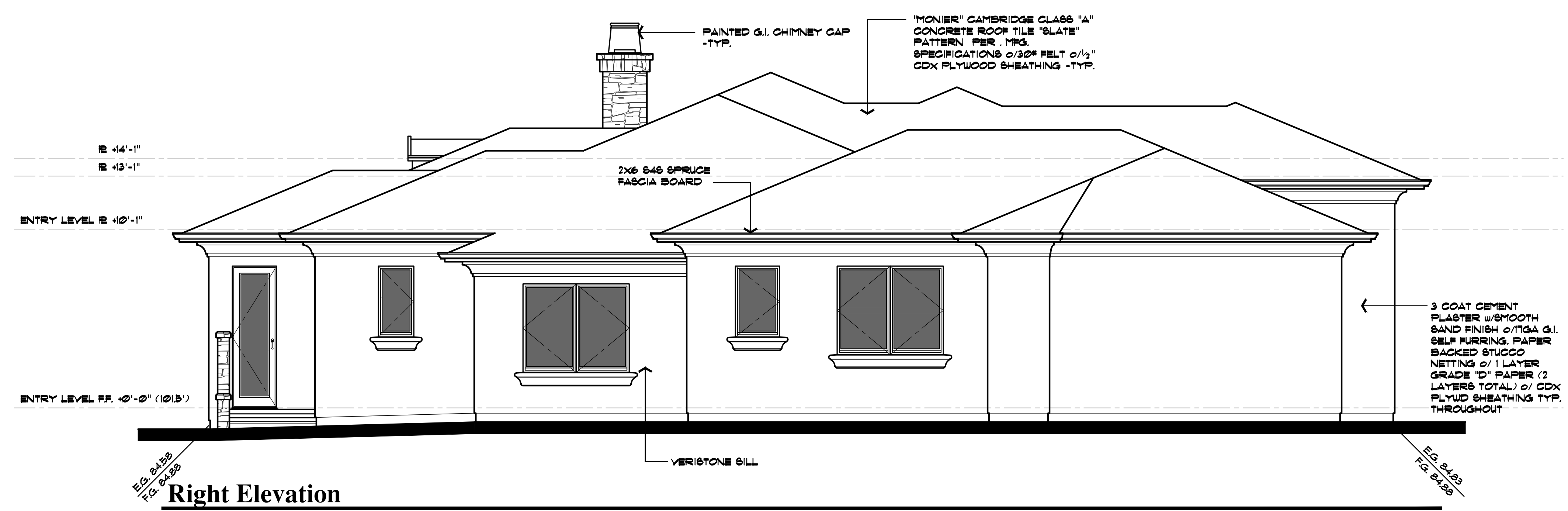
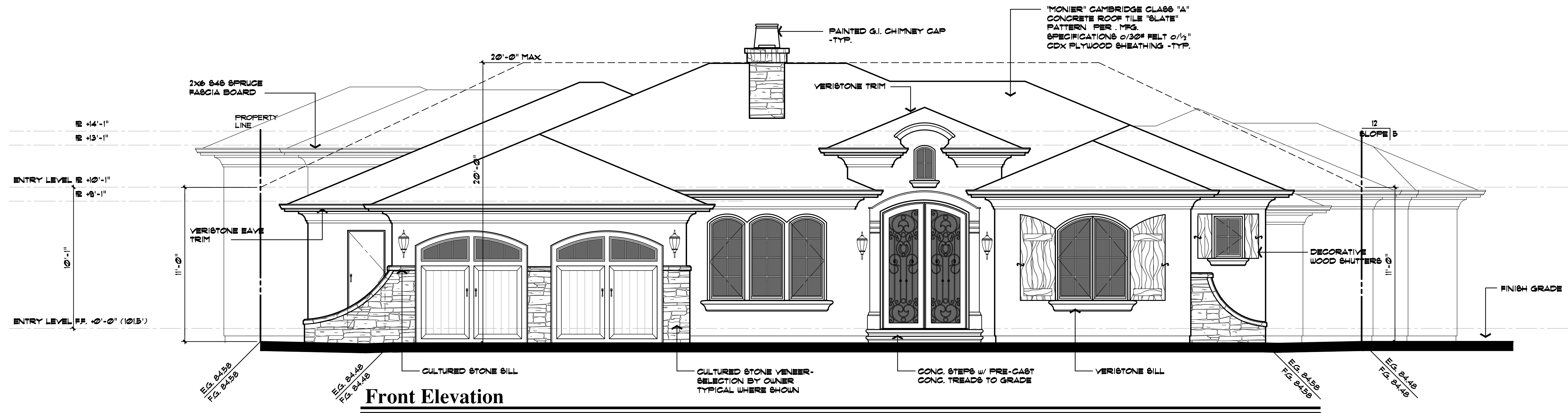
DATE	<b>MAY 20, 2014</b>
SCALE	1/4" = 1'-0"
PROJECT MANAGER	<b>DCW</b>
DRAWN	<b>606</b>
JOB NO.	<b>1308</b>
SHEET	

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REVISIONS

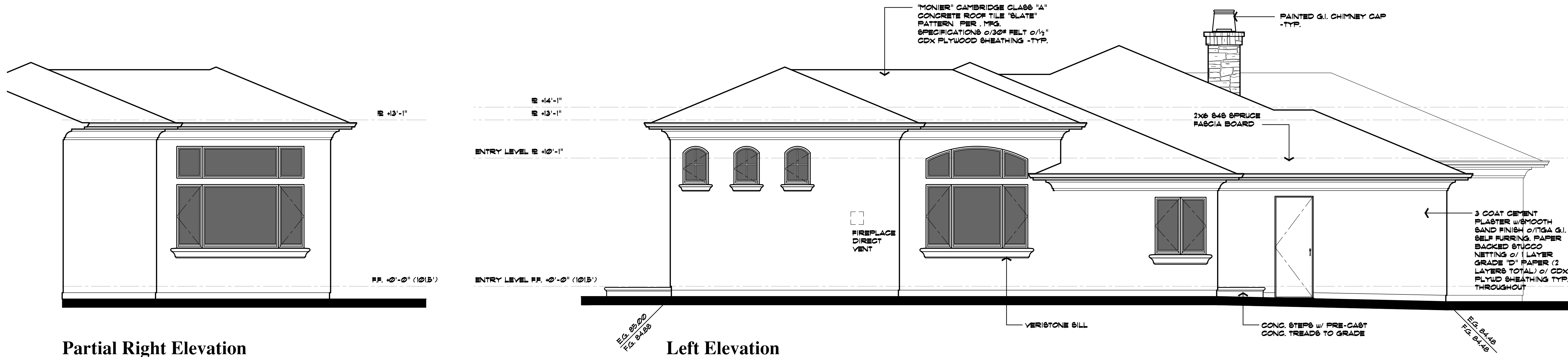
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JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	MAY 20, 2014
SCALE	1/4" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	EDG
JOB NO.	1308
SHEET	



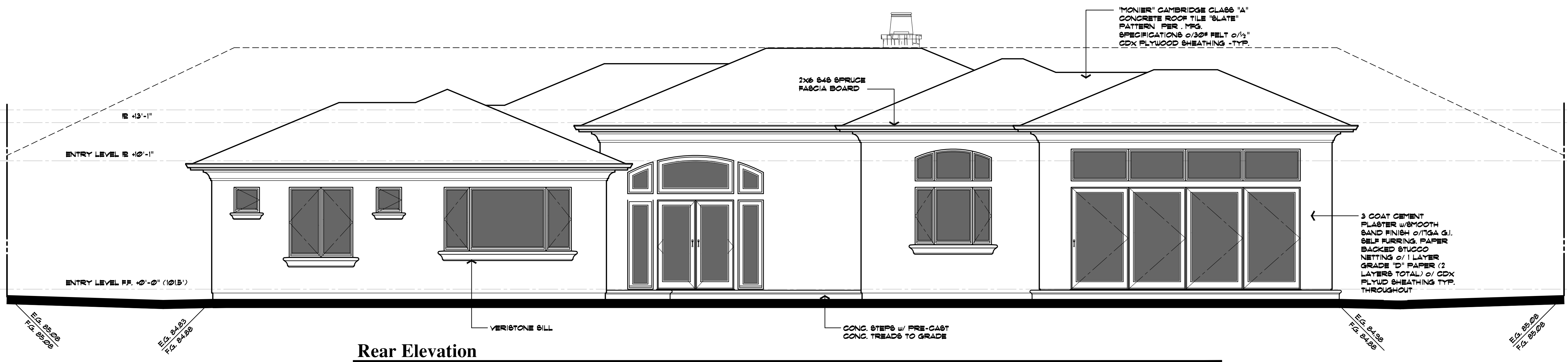


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**Partial Right Elevation**

**Left Elevation**



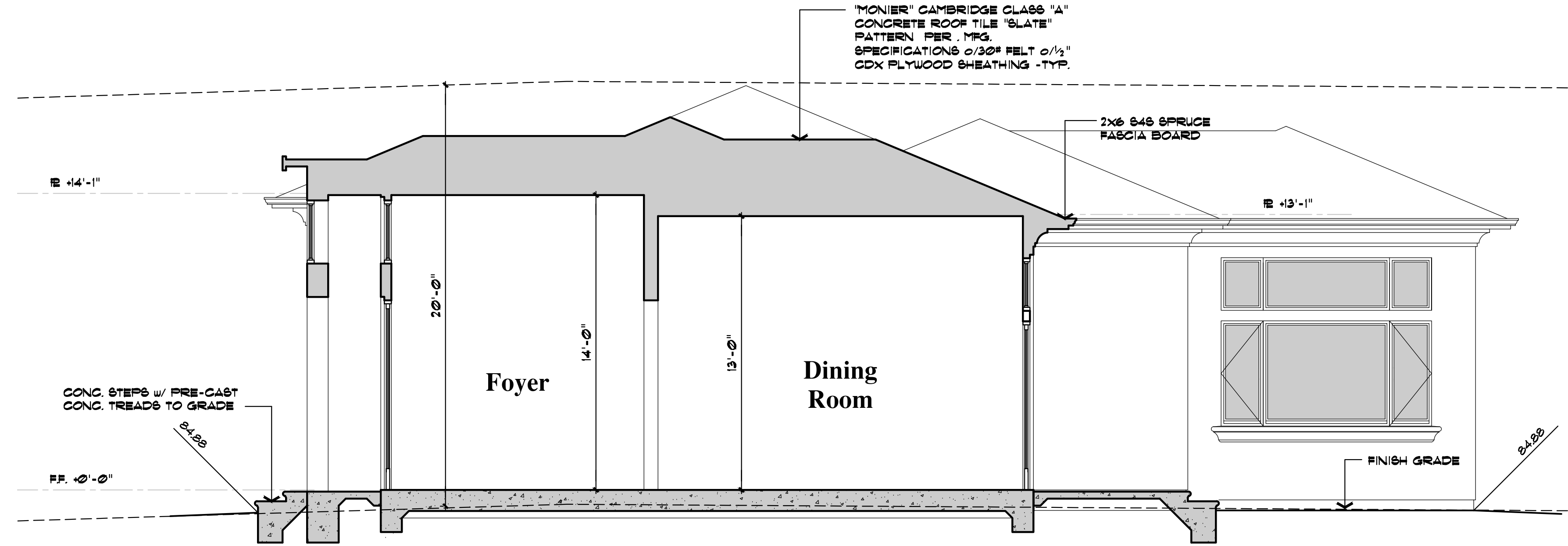
**Rear Elevation**

REVISIONS	
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DRAWING TITLE	Exterior Elevations
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

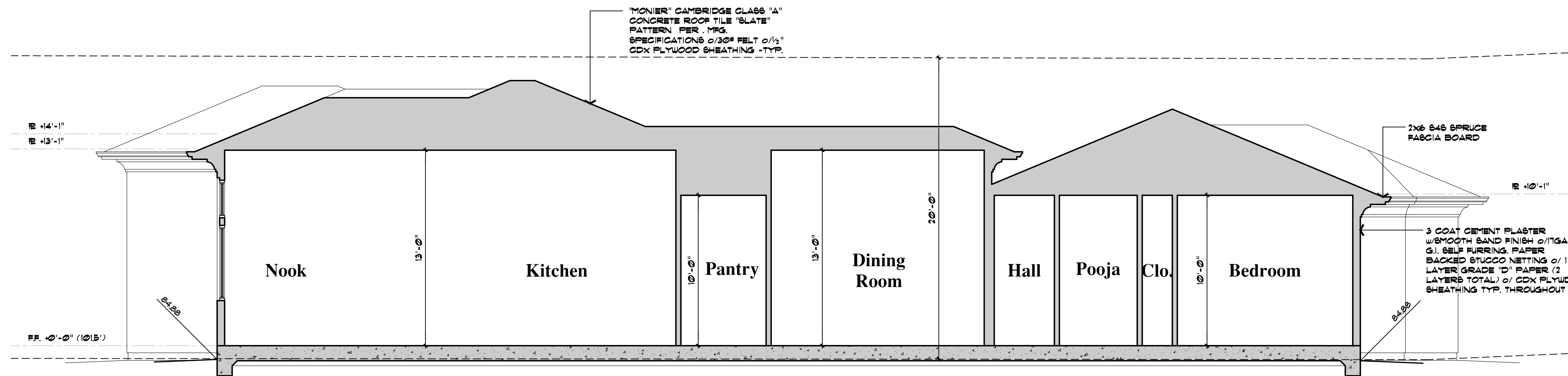
DATE	MAY 20, 2014
SCALE	1/4" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	EDG
JOB NO.	1308
SHEET	

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Section B-B

scale: 1/4"=1'-0"



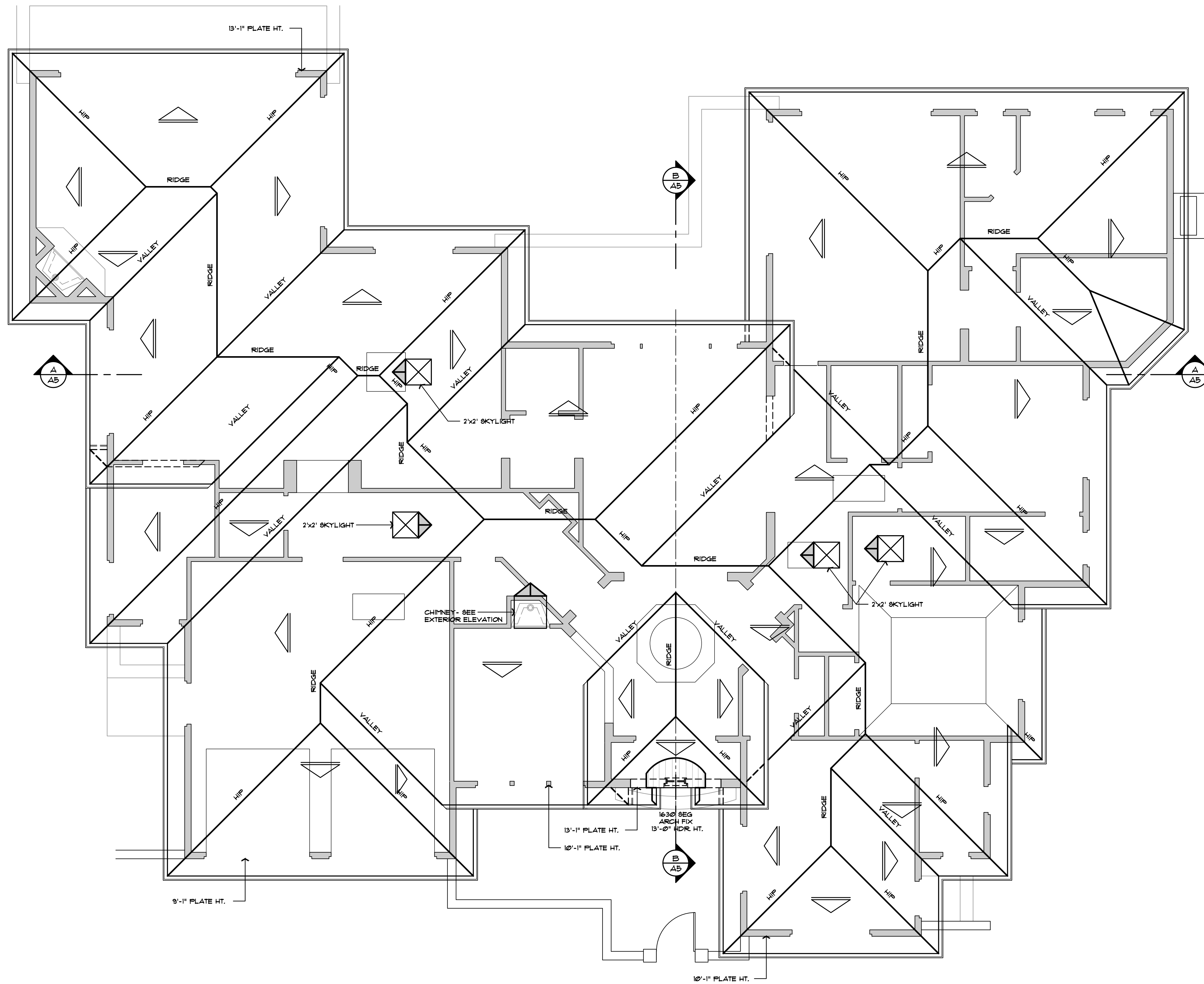
Section A-A

scale: 1/4"=1'-0"

REVISIONS

DRAWING TITLE	Building Sections
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	MAY 20, 2014
SCALE	1/4" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	606
JOB NO.	1308
SHEET	



### Roof Plan

**ROOF PLAN NOTES:**

- ROOF SLOPE IS TO BE 5:12 (U.O.)
- ARROWS INDICATE DIRECTION OF ROOF SLOPE.
- OVERHANGS ARE TO BE 18" AT EAVES & 18" AT RAKES (U.O.)
- PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER U.B.C. TYPICAL
- INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
- INSTALL 5" x 26 GAUGE FASCIA GUTTER W/ DOWNSPOUTS AS REQUIRED.
- PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL
- CLASS "A" CONCRETE ROOF TILE PATTERN PER . MFG. SPECIFICATIONS
- 30# FELT
- 1/2" CDX PLYWOOD SHEATHING - TYP.

scale: 1/4"=1'-0"



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REVISIONS

DRAWING TITLE	Roof Plan
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	MAY 20, 2014
SCALE	1/4" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	SDG
JOB NO.	1308
SHEET	

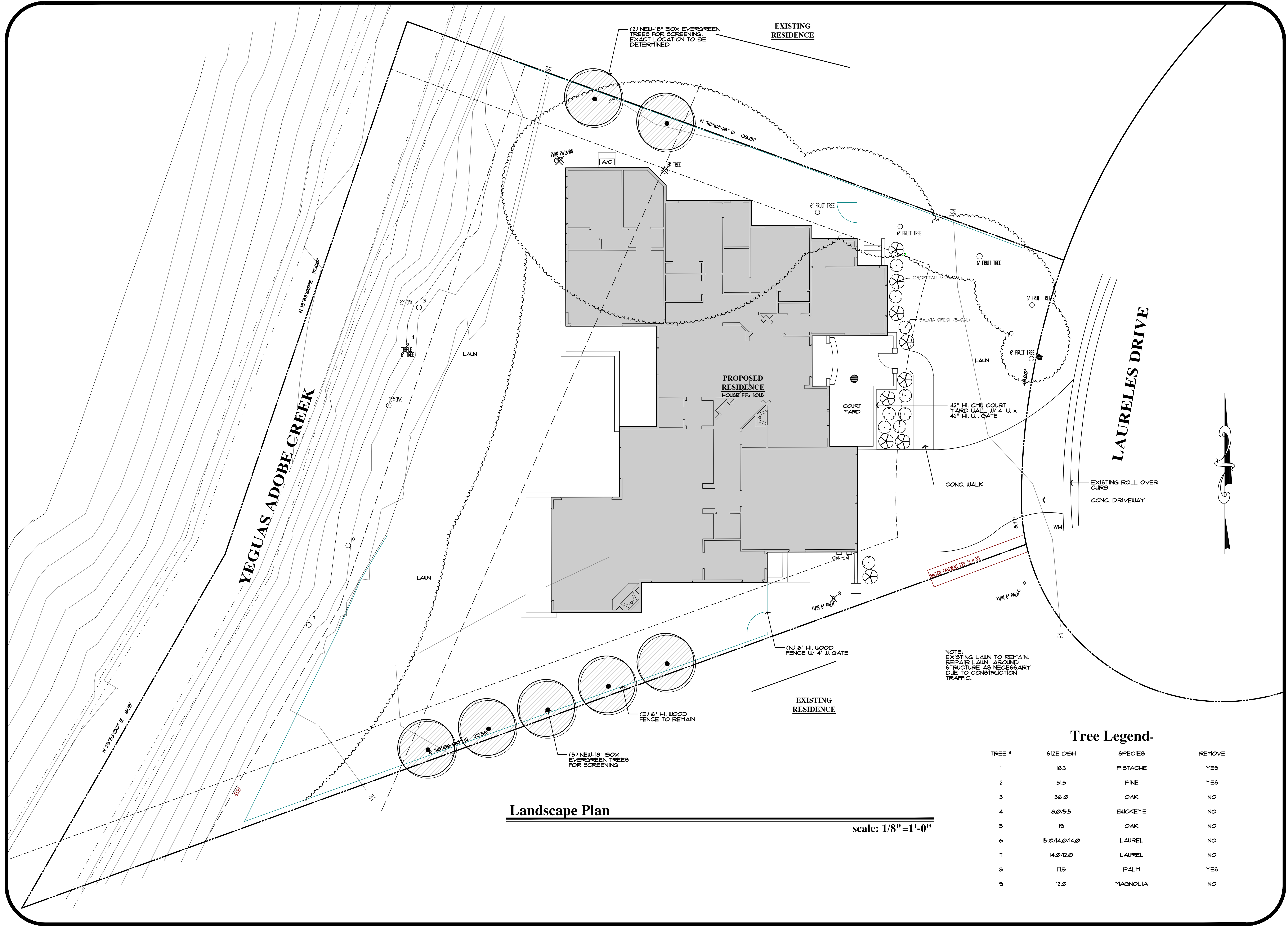
A6

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REVISIONS

DRAWING TITLE	Landscape Plan
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	MAY 20, 2014
SCALE	1/8" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	SDG
JOB NO.	1308
SHEET	



**Landscape Plan**

scale: 1/8"=1'-0"

**Tree Legend.**

TREE #	SIZE DBH	SPECIES	REMOVE
1	18.3	PISTACHE	YES
2	31.5	PINE	YES
3	36.0	OAK	NO
4	8.0/5.5	BUCKEYE	NO
5	19	OAK	NO
6	15.0/14.0/14.0	LAUREL	NO
7	14.0/12.0	LAUREL	NO
8	11.5	PALM	YES
9	12.0	MAGNOLIA	NO