

# CalGreen Mandatory Measures

**4.1.1. PLANNING & DESIGN-SITE DEVELOPMENT**  
 4.102.2: A PLAN IS DEVELOPED & IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.  
 4.102.3: THE SITE SHALL BE PLANNED & DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS, CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEMS WILL MANAGE ALL SURFACE WATER FLOWS.  
**4.2. ENERGY EFFICIENCY**  
 4.201: LOW-RISE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY THE CALIFORNIA ENERGY STANDARDS.  
**4.3. WATER EFFICIENCY & CONSERVATION**  
 4.303.1: INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS:  
 1. WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED.  
 2. A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED.  
 4.403.2: WHEN USING THE CALCULATION METHODS SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES.  
 4.303.3 PLUMBING FIXTURES (WATER CLOSETS & URINALS) & FITTINGS (FAUCETS & SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.  
 OUTDOOR WATER USE:  
 4.304.1 AUTOMATIC IRRIGATION SYSTEMS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOILED-BASED.  
**4.4. MATERIAL CONSERVATION & RESOURCE EFFICIENCY**  
 4.406.1: JOINTS & OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN FLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.  
 4.408.1: A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE  
 4.408.2 WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.  
 4.410: AN OPERATION & MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.  
**4.5. ENVIRONMENTAL QUALITY**  
 4.503.1: FIREPLACES ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE, WOOD STOVES, PELLET STOVES & FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.  
 POLLUTANT CONTROL:  
 4.504.1 DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.  
 4.504.2: ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS.  
 4.504.2.2: PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.  
 4.504.2.3: SEORAL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LLIMITS FOR ROC & OTHER TOXIC COMPOUNDS.  
 4.504.2.4: DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.  
 4.504.3: CARPET & CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.  
 4.504.4: 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAMS.  
**INTERIOR MOISTURE CONTROL**  
 4.505.2: VAPOR RETARDERS & CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.  
 4.505.3: MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL & FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.  
**INDOOR AIR QUALITY & EXHAUST**  
 4.506.1 EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM.  
**ENVIRONMENTAL COMFORT**  
 4.507.1: WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MIN. INSULATION VALUE OF R-4.2.  
 4.507.2: DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENTS IS SELECTED USING THE FOLLOWING METHODS:  
 1. ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT.  
 2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 19-D (MANUAL D) OR EQUIVALENT.  
 3. SELECT HEATING & COOLING EQUIPMENT ACCORDING TO ACCA 36-S (MANUAL S) OR EQUIVALENT.  
**INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS**  
 102.11: HVAC SYSTEM INSTALLERS ARE TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.  
 102.2: SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED & ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.  
 103.1: VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

# General Notes

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF STOTLER DESIGN GROUP PRIOR TO COMMENCING.
- VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.
- ALL WORK TO BE IN CONFORMANCE WITH:  
 CALIFORNIA BUILDING CODE - 2010 EDITION,  
 CALIFORNIA RESIDENTIAL CODE - 2010 EDITION,  
 CALIFORNIA FIRE CODE - 2010 EDITION,  
 CALIFORNIA PLUMBING CODE - 2010 EDITION,  
 CALIFORNIA ELECTRICAL CODE - 2010 EDITION,  
 CALIFORNIA MECHANICAL CODE - 2010 EDITION,  
 CALIFORNIA ENERGY CODE - 2010 EDITION,  
 CALIFORNIA GREEN BUILDING CODE - 2010 EDITION,  
 AND ALL PERTINENT STATE AND LOCAL CODES AND ORDINANCES.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- SLOPE ALL FINISH GRADES MIN. 4% 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE & LANDSCAPED AREAS & SLOPE GRADE 2% MIN. & PAVED AREAS
- SEPARATE PERMITS ARE REQUIRED FOR OCCUPANCY AND ALL FUTURE TENANT IMPROVEMENTS.
- SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL & PLUMBING WORK.
- ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR.
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.
- ALL EARTHWORK AND SITE DRAINAGE, INCLUDING DRILLED PIER, SPREAD FOOTING, AND MAT SLAB EXCAVATIONS, SHIMMING POOL EXCAVATION, SUBGRADE PREPARATION BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, UTILITY TRENCH BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED MARCH 30, 2011. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-326-0440) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST AS NECESSARY THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.

# Drawing Index

- T1 Title Sheet
- T1.1 FAR Calculations
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  - E1 Entry Level Exterior Lighting Plan

# Fire Department Notes

- THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.25".
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SLEEPING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

# Deferred Approvals

DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL

- FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPERATE PERMIT.
- FEEDER SCHEDULE SHALL BE PROVIDED PRIOR TO INSTALLATION.

# Project Data

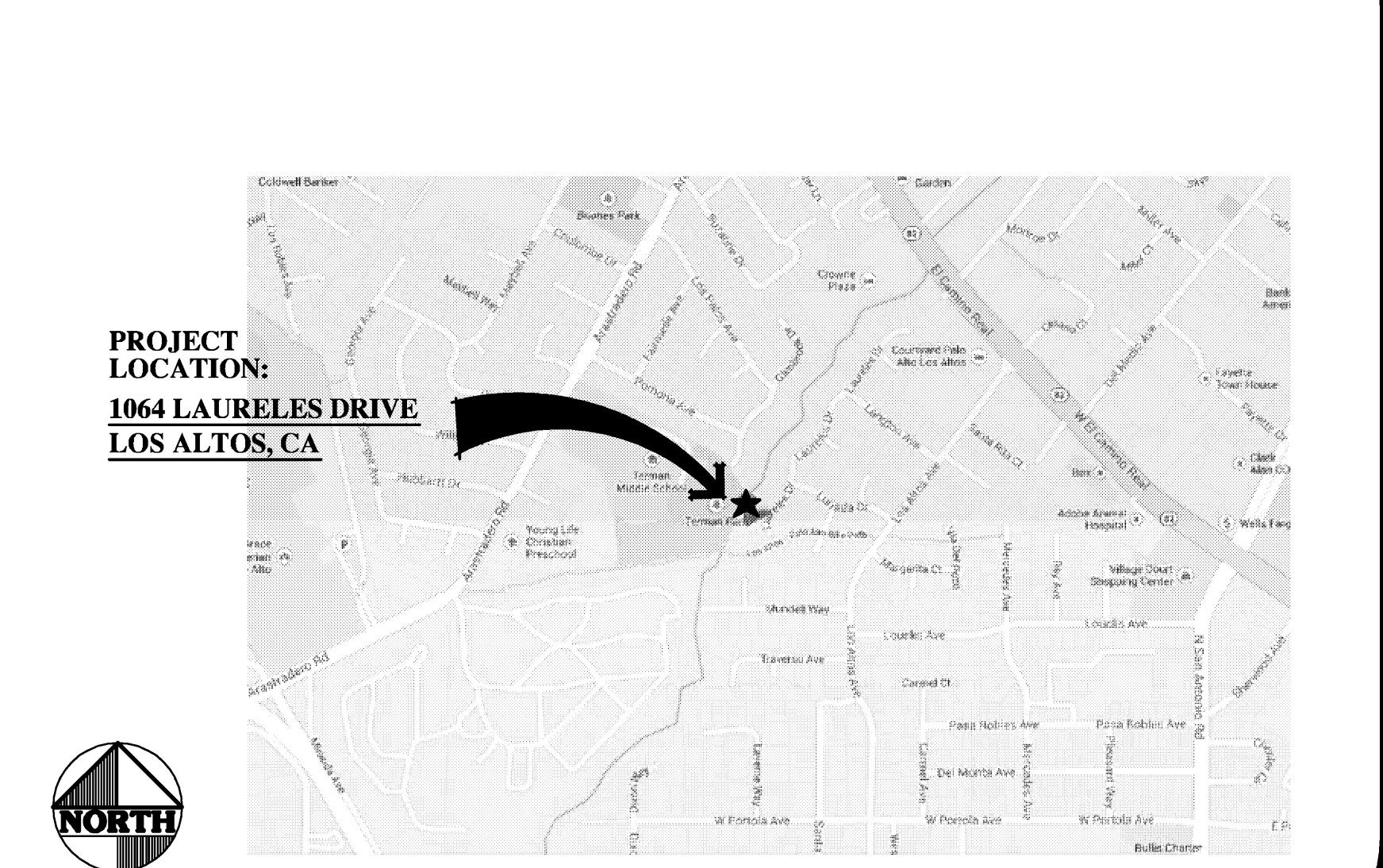
PROJECT ADDRESS: 1064 Laureles  
 Los Altos, Ca 94024  
 A P N: 167-10-04  
 ZONE DISTRICT: R1-10  
 OCCUPANCY: R3/U  
 CONSTRUCTION TYPE: VB

PROJECT SUMMARY TABLE:

NET LOT AREA:	17723 S.F. (NET)		
	EXISTING	CHANGE IN	TOTAL PROPOSED
% OF FRONT YARD PAVING:	1200.00 S.F.	543.00 S.F.	657.00 S.F.
HABITABLE LIVING AREA:	2214.00 S.F.	1172.00 S.F.	3386.00 S.F.
NON-HABITABLE AREA:	588.00 S.F.	67.00 S.F.	521.00 S.F.
	EXISTING	PROPOSED	ALLOWED/REQ'D
LOT COVERAGE:	2702.00 S.F. (15.2%)	3907.00 S.F. (22%)	6203.05 S.F. (35%)
FLOOR AREA:	2644.00 S.F. (14.9%)	3872.00 S.F. (21.8%)	6203.05 S.F. (35%)
SETBACKS:			
FRONT:	VARIABLES	VARIABLES	25'
REAR:	VARIABLES	VARIABLES	25'
RIGHT SIDE:	VARIABLES	VARIABLES	10'
LEFT SIDE:	VARIABLES	VARIABLES	10'
HEIGHT:	13.5'	20'	20'

SCOPE OF WORK:  
 DEMO EXISTING RESIDENCE AND CONSTRUCT A NEW 1-STORY SINGLE FAMILY RESIDENCE WITH AN ATTACHED GARAGE.

# Vicinity Map



# Consultants

**CIVIL ENGINEER**  
 Alvarez & Associates

**TITLE 24/GREENPOINT DOCUMENTATION**  
 Yarmila Kennett & Associates  
 15231 Perry Lane  
 Morgan Hill, CA 95037  
 (408) 779-5402

(408) 729-3734

Los Altos, California

# Laureles Residence

1064 Laureles Drive



349 FIRST STREET, SUITE A  
 LOS ALTOS, CALIFORNIA 94022  
 PHONE: (650) 559-0438  
 FAX: (650) 558-0458  
 E-MAIL: info@stotlerdesigngroup.com

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REVISIONS

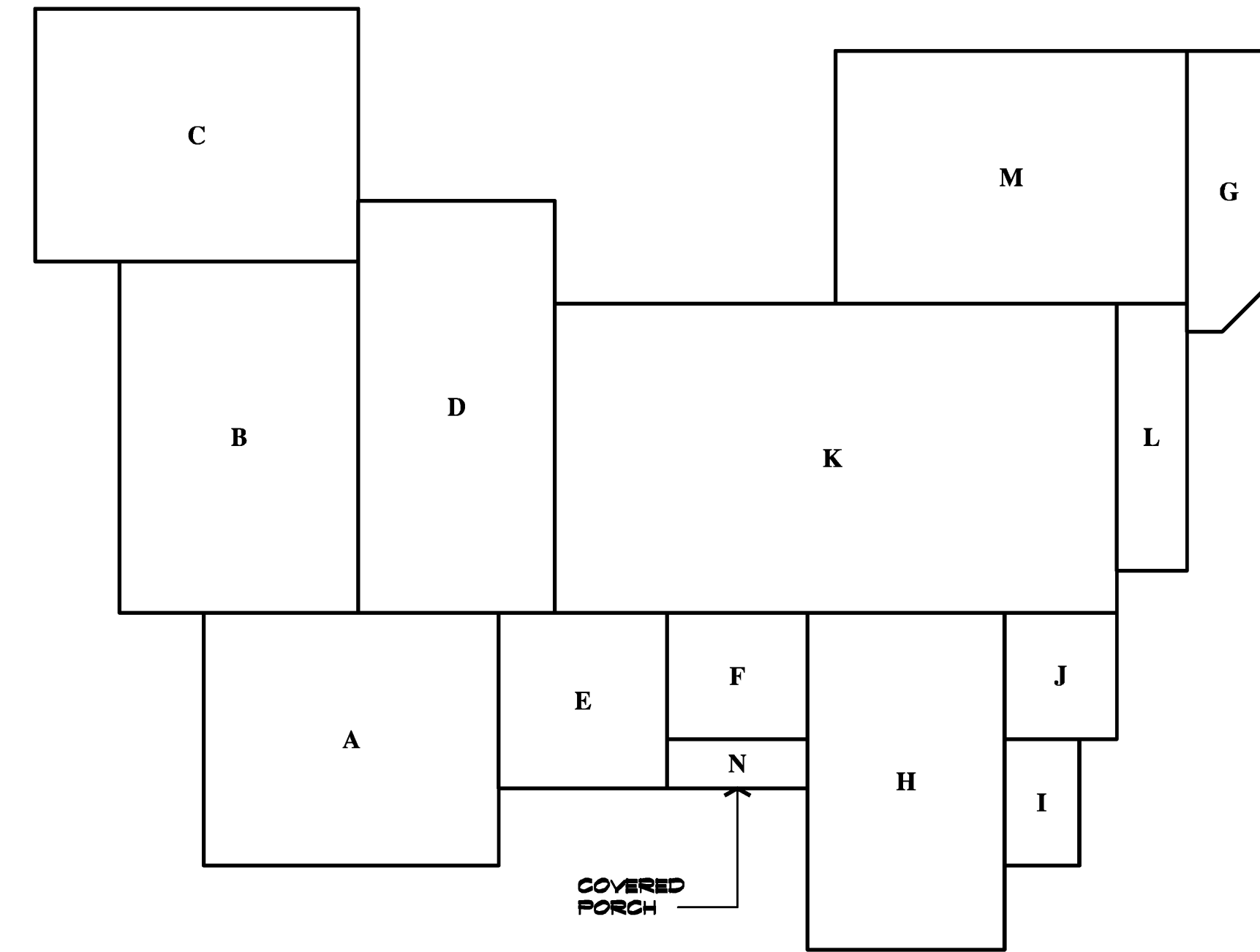
NO.	DATE	DESCRIPTION

DRAWING TITLE	Title Sheet
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	OCT. 10, 2013
SCALE	SEE PLAN
PROJECT MANAGER	DCW
DRAWN	EDG
JOB NO.	1308
SHEET	T1

T1

# Floor Area Diagram



Entry Level

Scale: 1" = 10' - 0"

## Area Calculations

SECTION	AREA
<b>ENTRY LEVEL</b>	
A	21'-0" x 19'-0" = 378'
B	11'-0" x 25'-0" = 425'
C	23'-0" x 18'-0" = 414'
D	14'-0" x 29'-4" = 411'
E	12'-0" x 12'-6" = 150'
F	10'-0" x 9'-0" = 90'
G	IRREGULAR = 113'
H	14'-0" x 24'-0" = 336'
I	5'-4" x 9'-0" = 48'
J	8'-0" x 9'-0" = 72'
K	40'-0" x 22'-0" = 880'
L	5'-0" x 13'-0" = 65'
M	25'-0" x 18'-0" = 450'
<b>ENTRY LEVEL TOTAL FAR</b> 3872'	
<b>MAX. ALLOWED FAR</b> 6203'	
<b>LOT COVERAGE</b>	
N	10'-0" x 3'-6" = 35' (COVERED PORCH)
<b>TOTAL LOT COVERAGE</b> 3907'	
<b>MAX ALLOWED COVERAGE</b> 6203'	



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REVISIONS

DRAWING TITLE	<b>FAR/ Coverage Diagram</b>
JOB TITLE	<b>Laureles Residence</b>
JOB ADDRESS	<b>1064 Laureles Drive Los Altos, California</b>

DATE	<b>OCT. 10, 2013</b>
SCALE	<b>N.T.S.</b>
PROJECT MANAGER	<b>DCW</b>
DRAWN	<b>BDG</b>
JOB NO.	<b>1308</b>
SHEET	

**T1.1**

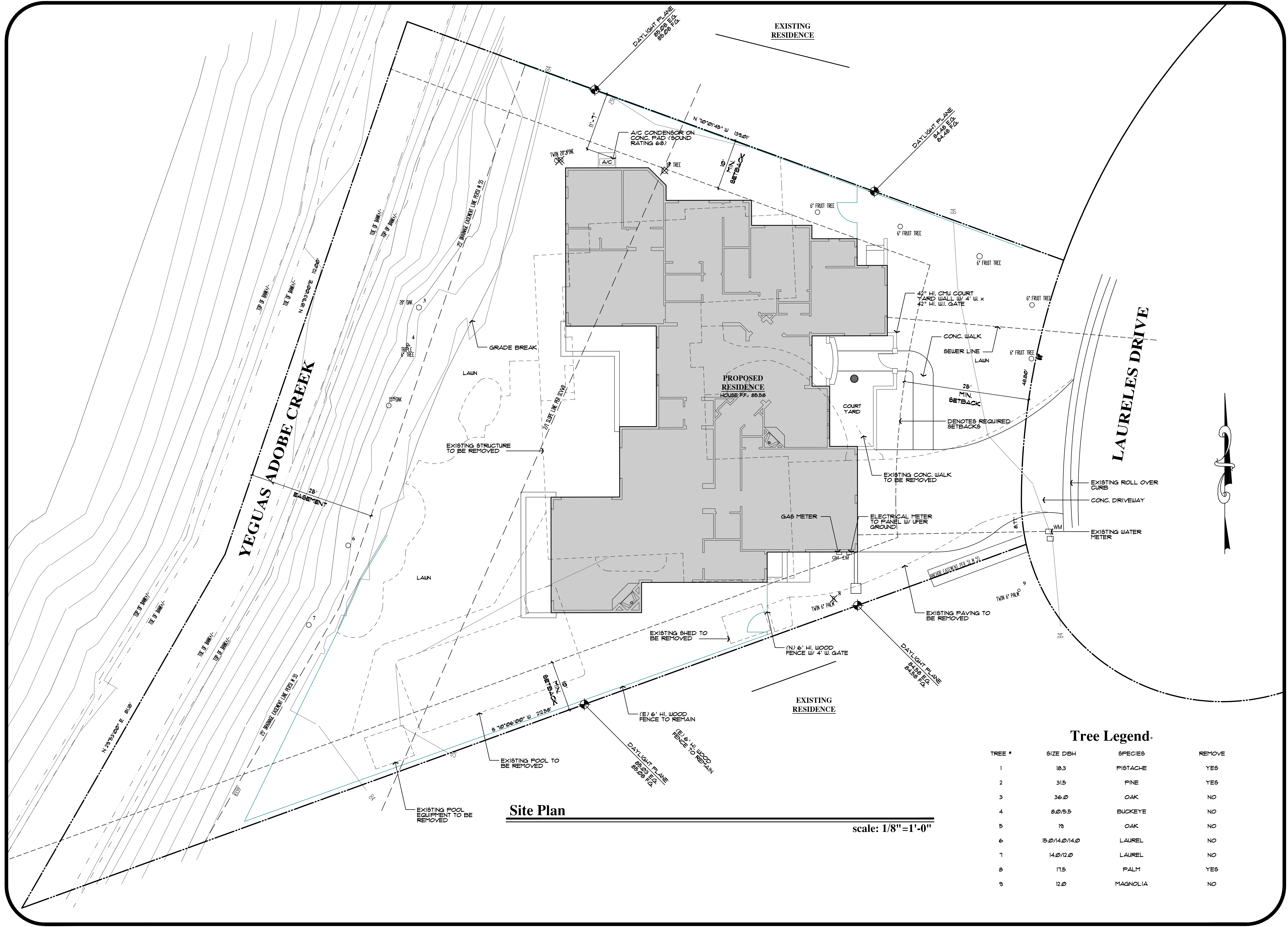


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NO.	REVISIONS

DRAWING TITLE	Site Plan
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	MARCH 12, 2014
SCALE	1/8" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	SDG
JOB NO.	1308
SHEET	

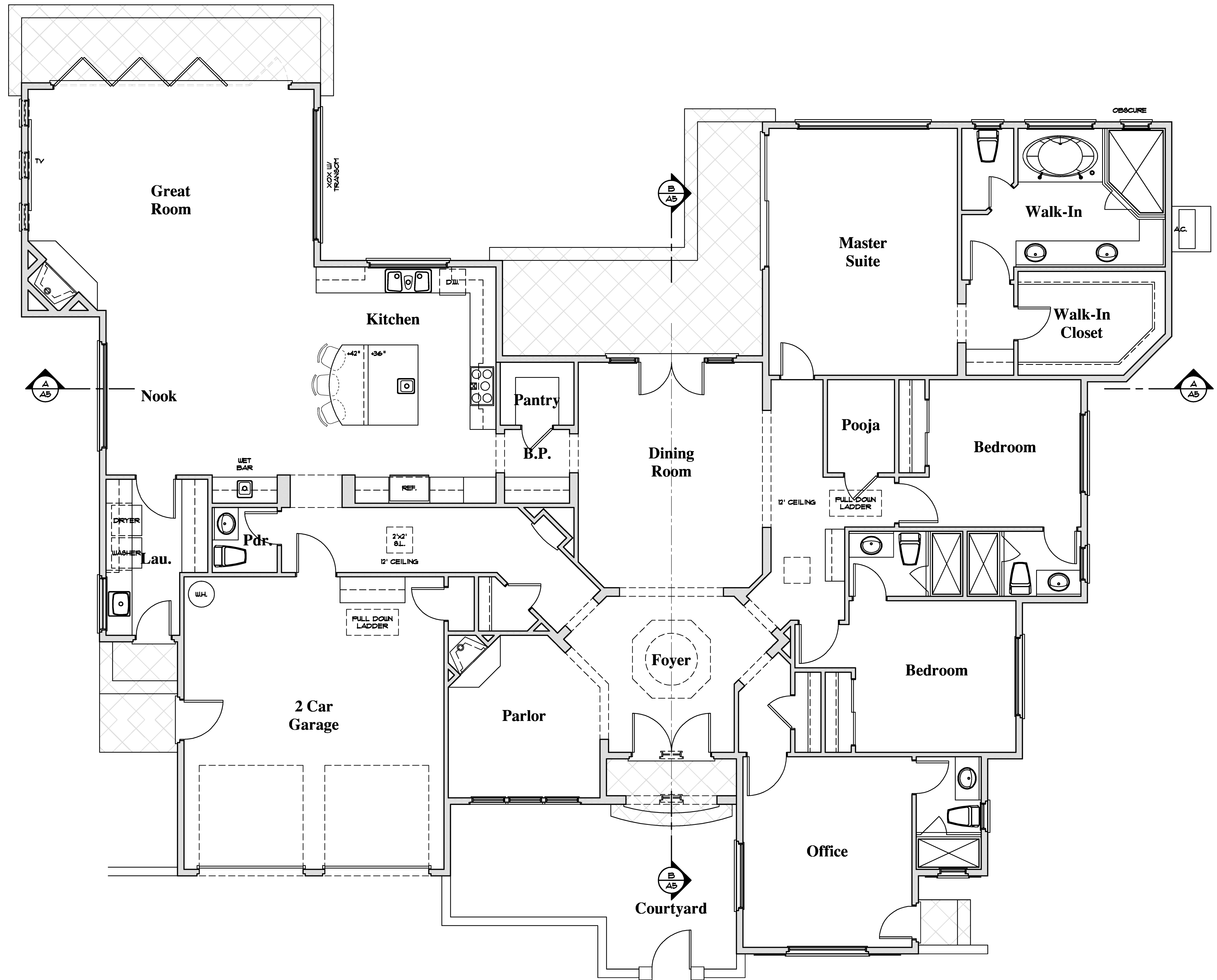


**Site Plan**

scale: 1/8"=1'-0"

**Tree Legend**

TREE #	SIZE DBH	SPECIES	REMOVE
1	18.3	PISTACHE	YES
2	31.5	PINE	YES
3	36.0	OAK	NO
4	8.0/5.5	BUCKEYE	NO
5	1.9	OAK	NO
6	15.0/14.0/14.0	LAUREL	NO
7	14.0/12.0	LAUREL	NO
8	11.5	PALM	YES
9	12.0	MAGNOLIA	NO



**Entry Level Floor Plan**  
 3,386 sq. ft. Entry Level  
 486 sq. ft. Attached Garage

scale: 1/4" = 1'-0"



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 LOS ALTOS, CALIFORNIA 94022  
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 FAX: (650) 559-0458  
 E-MAIL: info@stotlerdesigngroup.com

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REVISIONS

DRAWING TITLE	<b>Floor Plan</b>
JOB TITLE	<b>Laureles Residence</b>
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	<b>Oct. 10, 2013</b>
SCALE	1/4" = 1'-0"
PROJECT MANAGER	<b>DCW</b>
DRAWN	<b>EDG</b>
JOB NO.	<b>1308</b>
SHEET	

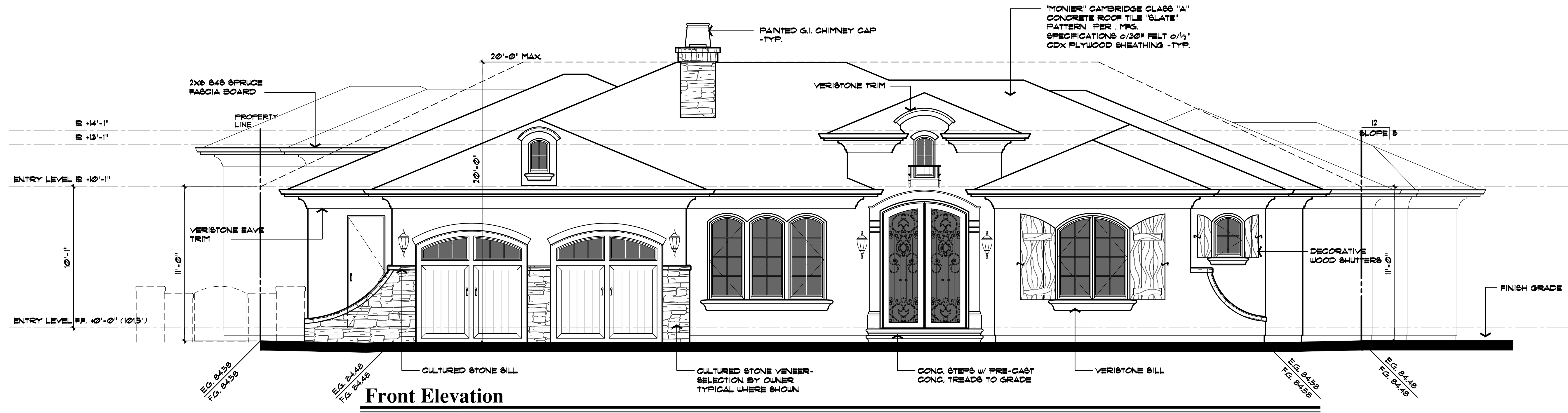


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NO.	REVISIONS

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	Laureles Residence
	1064 Laureles Drive Los Altos, California
JOB TITLE	
JOB ADDRESS	

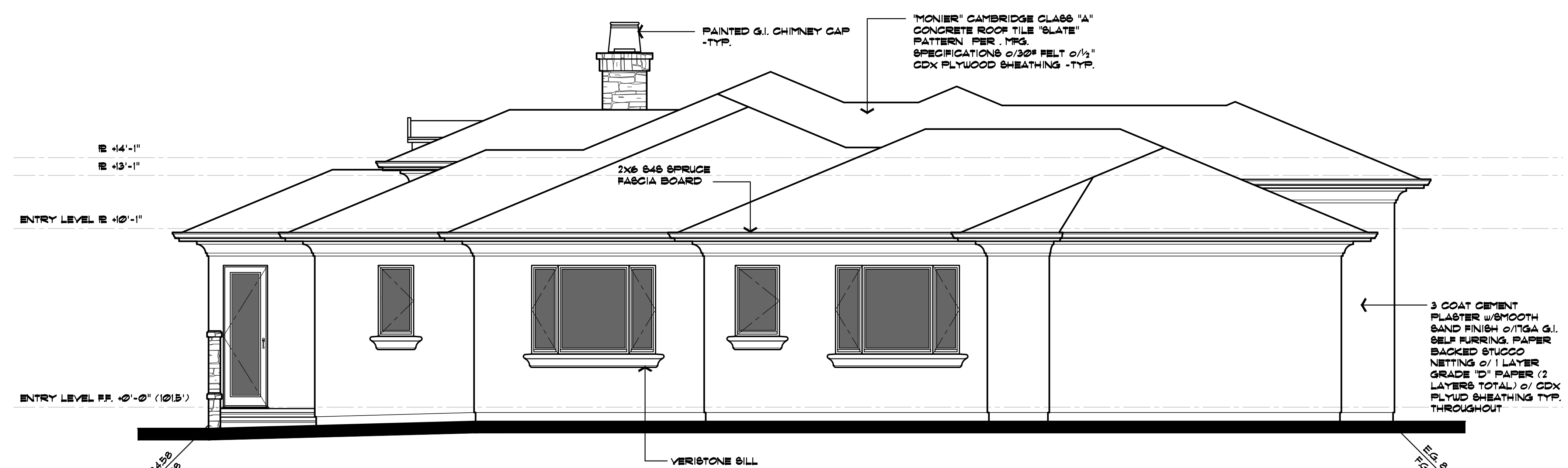
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SCALE	1/2" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	EDG
JOB NO.	1308
SHEET	



**Front Elevation**

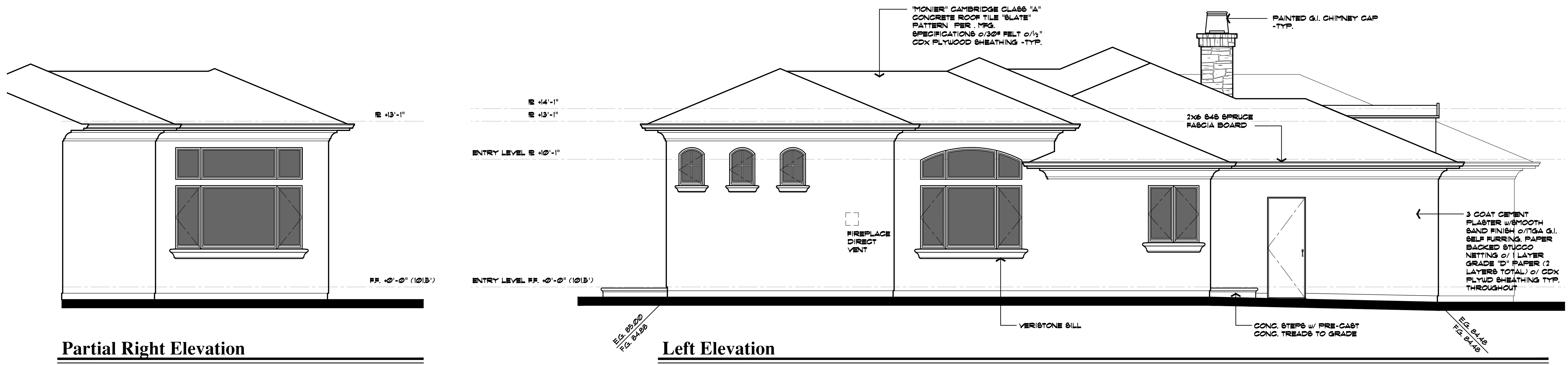


**Front Elevation- With Courtyard**



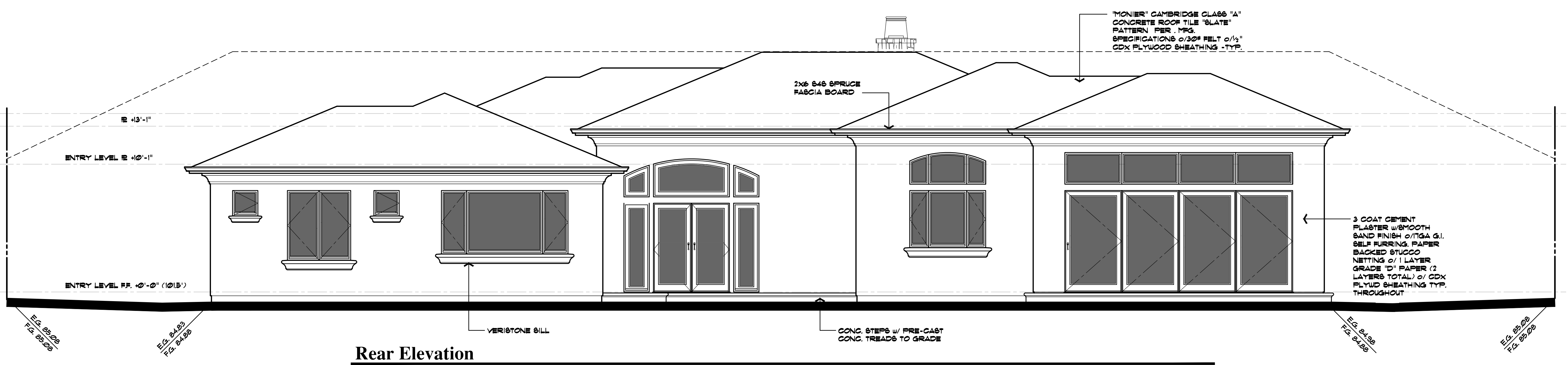
**Right Elevation**

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**Partial Right Elevation**

**Left Elevation**



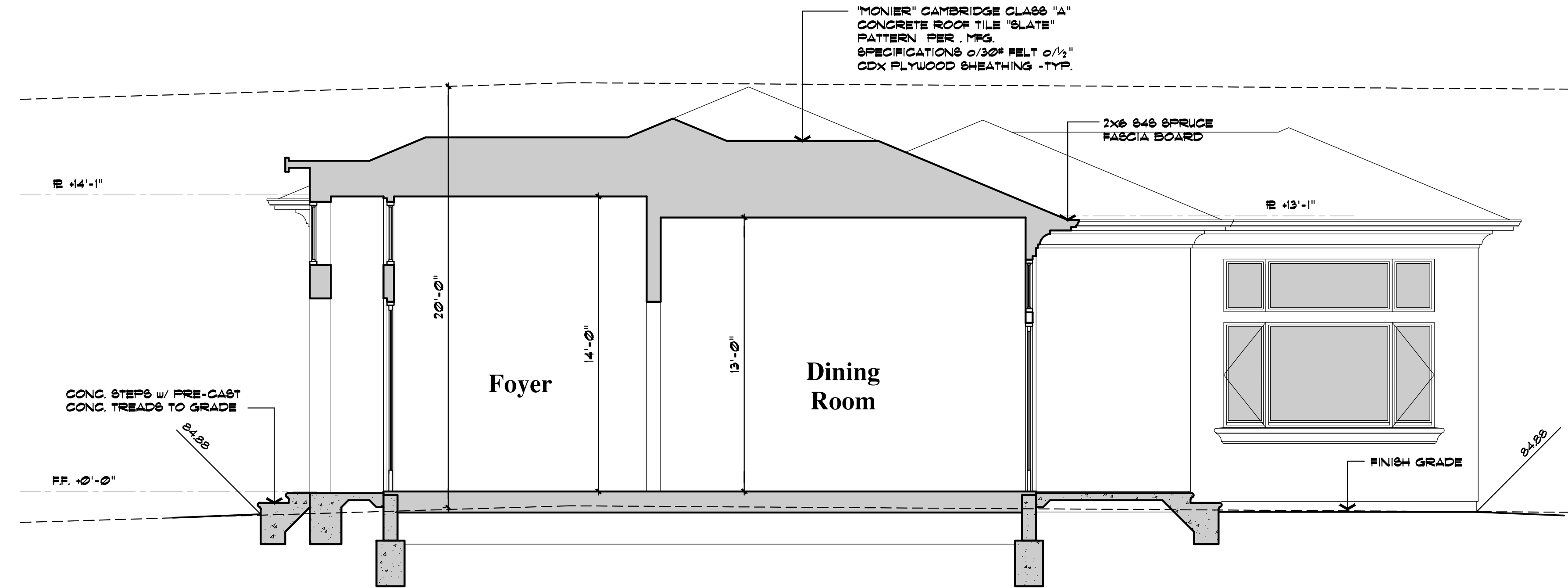
**Rear Elevation**

REVISIONS

DRAWING TITLE	Exterior Elevations
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

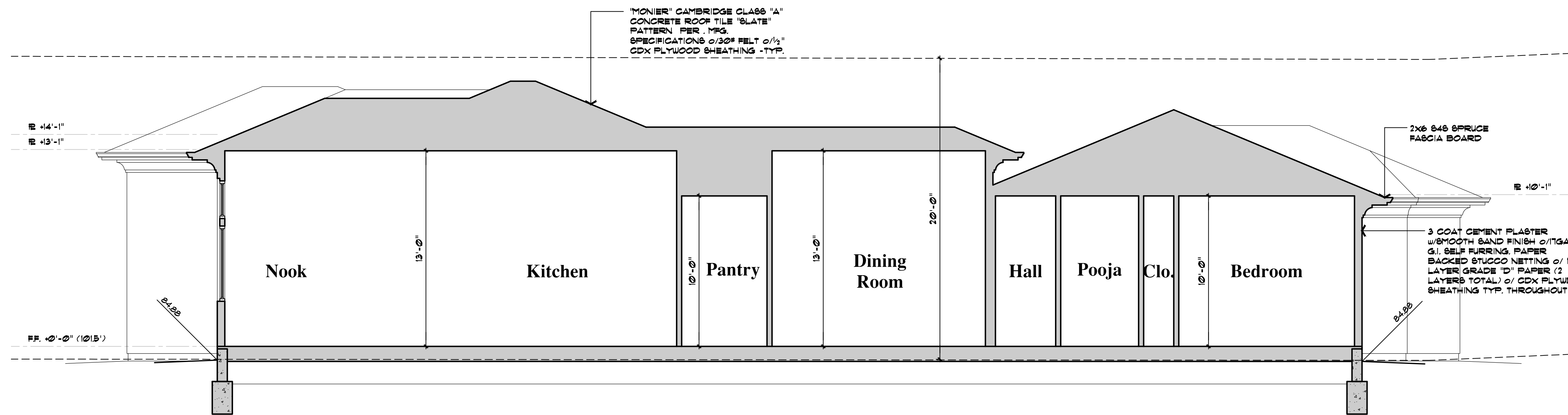
DATE	MARCH 12, 2014
SCALE	1/4" = 1'-0"
PROJECT MANAGER	DCJ
DRAWN	EDG
JOB NO.	1308
SHEET	

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Section B-B

scale: 1/4"=1'-0"



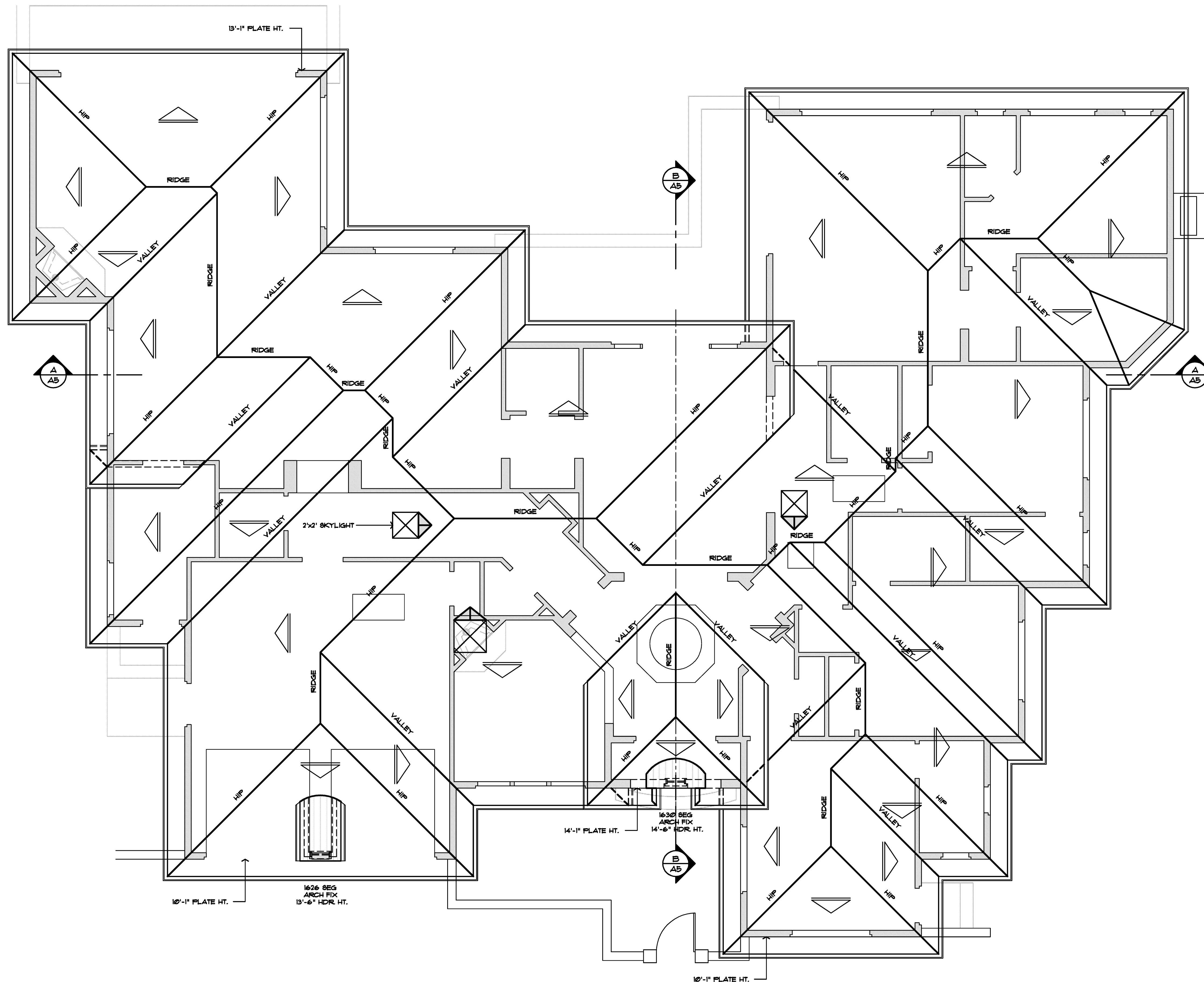
Section A-A

scale: 1/4"=1'-0"

REVISIONS

DRAWING TITLE	Building Sections
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	MARCH 12, 2014
SCALE	1/4" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	SDG
JOB NO.	1308
SHEET	



**Roof Plan**

**ROOF PLAN NOTES:**

- ROOF SLOPE IS TO BE 5:12 U.O.N.
- ARROWS INDICATE DIRECTION OF ROOF SLOPE.
- OVERHANGS ARE TO BE 18" AT EAVES & 18" AT RAKES (U.O.)
- PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER U.B.C. TYPICAL
- INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
- INSTALL 5" 26 GAUGE FASCIA GUTTER W/ DOWNSPOUTS AS REQUIRED.
- PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL
- CLASS "A" CONCRETE ROOF TILE PATTERN PER .MFG. SPECIFICATIONS 0/30° FELT 0/1/2" CDX PLYWOOD SHEATHING -TYP.

scale: 1/4"=1'-0"



340 FIRST STREET, SUITE A  
 LOS ALTOS, CALIFORNIA 94022  
 PHONE: (650) 558-0438  
 FAX: (650) 558-0438  
 E-MAIL: info@stotlerdesigngroup.com

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REVISIONS

DRAWING TITLE	Roof Plan
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	OCT. 10 2013
SCALE	1/4" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	EDG
JOB NO.	1308
SHEET	

A6

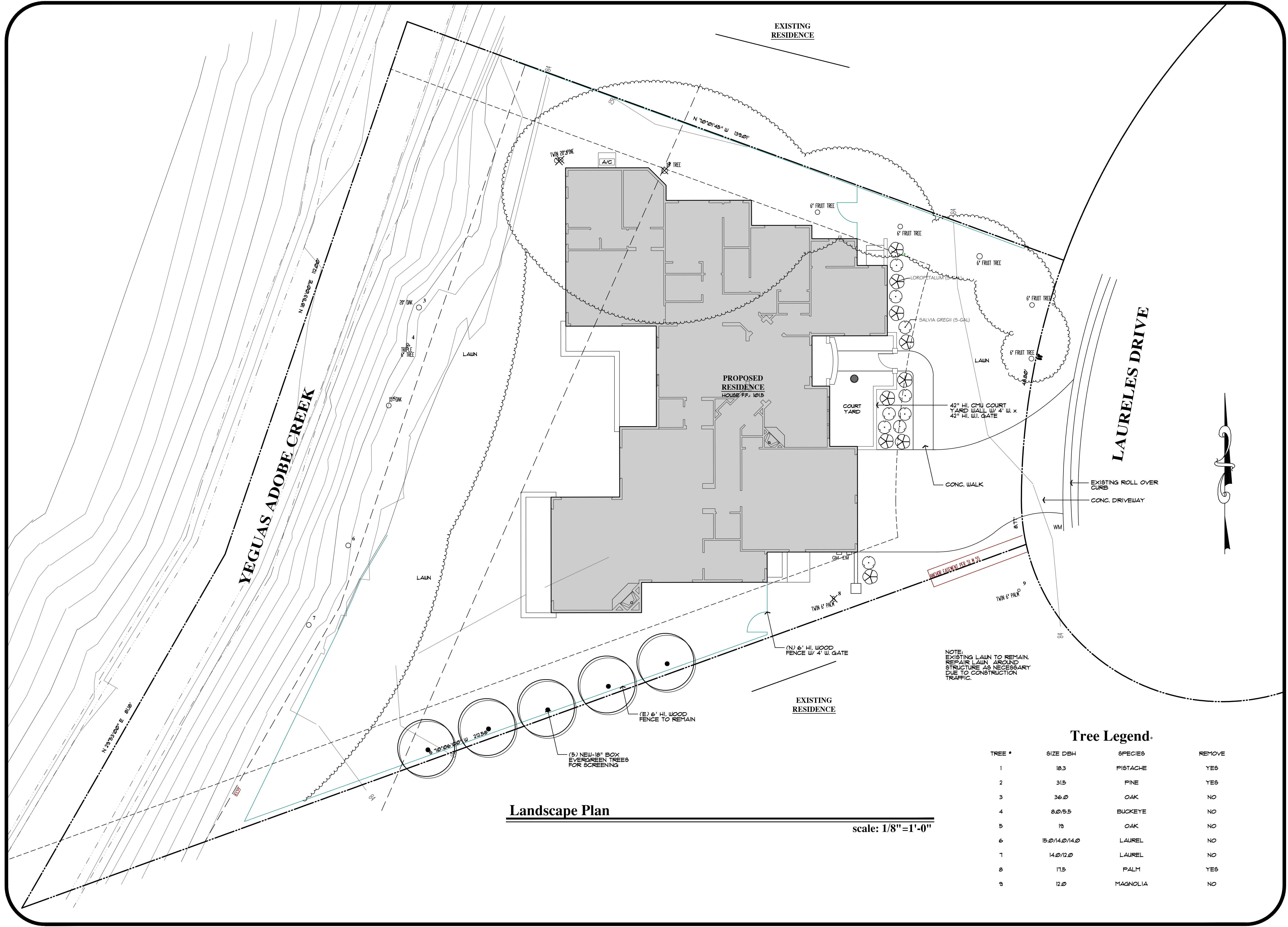


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REVISIONS

DRAWING TITLE	Landscape Plan
JOB TITLE	Laureles Residence
JOB ADDRESS	1064 Laureles Drive Los Altos, California

DATE	MARCH 12, 2014
SCALE	1/8" = 1'-0"
PROJECT MANAGER	DCW
DRAWN	SDG
JOB NO.	1308
SHEET	L1



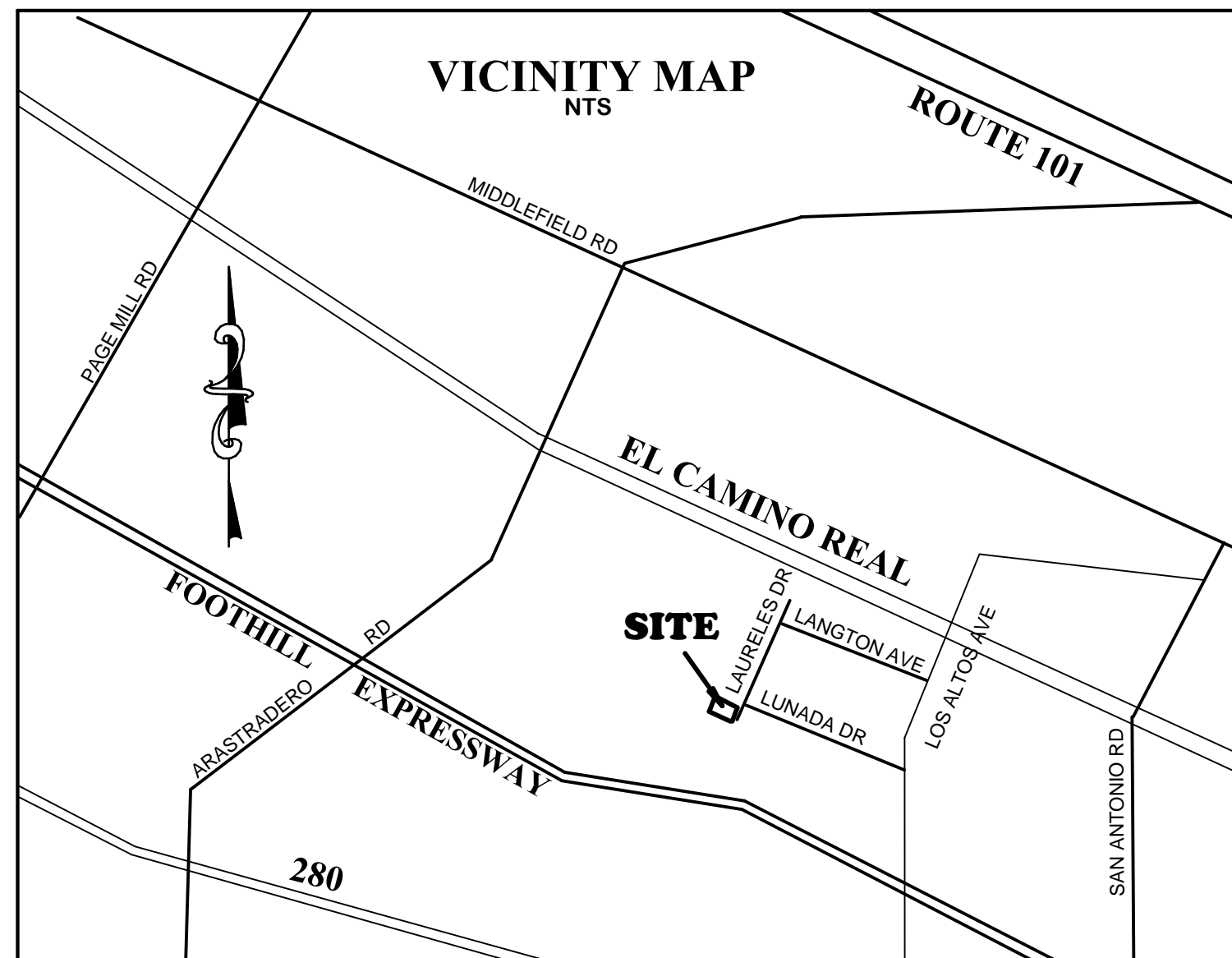
**Landscape Plan**

scale: 1/8"=1'-0"

**Tree Legend.**

TREE #	SIZE DBH	SPECIES	REMOVE
1	18.3	PISTACHE	YES
2	31.5	PINE	YES
3	36.0	OAK	NO
4	8.0/5.5	BUCKEYE	NO
5	19	OAK	NO
6	15.0/14.0/14.0	LAUREL	NO
7	14.0/12.0	LAUREL	NO
8	11.5	PALM	YES
9	12.0	MAGNOLIA	NO





### GRADING & DRAINAGE CONSTRUCTION NOTES

1. SLOPE AREA AROUND BUILDING PERIMETER AWAY FROM FOUNDATION @ 5% MIN. FOR AT LEAST FIVE FEET (3') AND DIVERT TO POSITIVE OUTFALL. 2% FOR ALL GRASSY AREAS AND 1% MINIMUM FOR HARDSCAPE AREAS- TYP ALL FINE GRADING SHALL BE DONE IN MANNER TO PROMOTE POSITIVE DRAINAGE, PREVENT EROSION, PREVENT PONDING, AND TO DIRECT FLOWS (EITHER SHEET OR CONCENTRATED) TO APPROPRIATE OUTFALL - TYP. INSTALL WATTLE BARRIER FOR SEDIMENT CONTROL.
2. PLACE SPLASH BLOCKS AT ALL DOWNSPOUTS PER DETAIL.
3. CONSTRUCT VEGETATED / GRASSY SWALE AND INLETS AS SHOWN PER DETAIL.
4. CONSTRUCT PAD & NEW FOUNDATION PER SOILS & STRUCTURAL RECOMMENDATIONS.
5. INSTALL NEW SEEPAGE PIT / BUBBLER BOX (OPTIONAL) AS SHOWN PER DETAIL.
6. CONSTRUCT NEW SS LATERAL VERIFY LOCATION IN THE FIELD.
7. CONSTRUCT NEW JOINT TRENCH AND WATER METER AS REQUIRED USE CITY STANDARD DETAIL FOR ALL TRENCHING IN PUBLIC RIGHT-OF-WAY.

**LEGAL DESCRIPTION OF SITE:**  
 LOT 31 OF TRACT NO 2930  
 BOOK 133 OF MAPS, PAGE 36

### EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)
FOUNDATION PAD	32	75
SEEPAGE PITS / SWALES	28	5
POOL	0	90
EXPORT	110	

NOTE:  
 EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY.  
 CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.  
 TABLE DOES NOT REFLECT CONCRETE REMOVAL OR PLANTER MATERIAL.

### IMPERVIOUS AREAS TABLE

	Area	Percentage
Lot Area	0.41 acres	17723 sq ft
<b>PRE-DEVELOPMENT</b>		
EXIST. HOUSE:	0.08 acres	3525.59 sq ft
EXIST. PAVEMENT	0.10 acres	4333.92 sq ft
<b>TOTAL</b>	<b>0.18 acres</b>	<b>7859.51 sq ft (44.3%)</b>
<b>POST-DEVELOPMENT</b>		
NEW ROOF AREA:	0.105 acres	4584 sq ft
COURTYARD:	0.01 acres	284 sq ft
REAR PATIO & LANDINGS	0.01 acres	364 sq ft
NEW DRIVEWAY & WALKWAYS	0.02 acres	925 sq ft
<b>TOTAL</b>	<b>0.145 acres</b>	<b>6157 sq ft (34.7%)</b>
<b>TOTAL CHANGE =</b>	<b>-</b>	<b>1702</b>

**TREE NOTES:**  
 SPECIES OF TREES TO BE DETERMINED BY AN ARBORIST.  
 DRIP LINES ARE NOT SHOWN ON THIS MAP AND ARE TO BE MEASURED IN THE FIELD.  
 ONLY TREES LARGER THAN 8 INCHES IN DIAMETER ARE SHOWN ON THIS MAP.

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**NOTE:**  
 THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-442-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE. CURBLINE OFFSETS ARE TO FACE OF CURB. MANHOLES AND FLAT GRATE OFFSETS ARE TO THEIR RESPECTIVE CENTERS. HOODED CATCH BASINS ARE MEASURED FROM THE TOP OF HOOD AND INVERTS FOR MANHOLES ARE MEASURED FROM THE RIM. THE TOPOGRAPHY CONTROL LINE(S) DEPICTED ON THIS MAP IS BASED ON FOUND MONUMENTS, A SPLIT OF IMPROVEMENTS OR A COMBINATION THEREOF. THE TOPOGRAPHY CONTROL LINE(S) SHOULD NOT BE TAKEN AS REPRESENTING THE RECORD CENTERLINE OF THE STREETS.  
 IF UNDERGROUND UTILITIES ARE SHOWN ON THIS MAP THEN THEY HAVE BEEN LOCATED PER "USA" MARKINGS.

### LEGEND

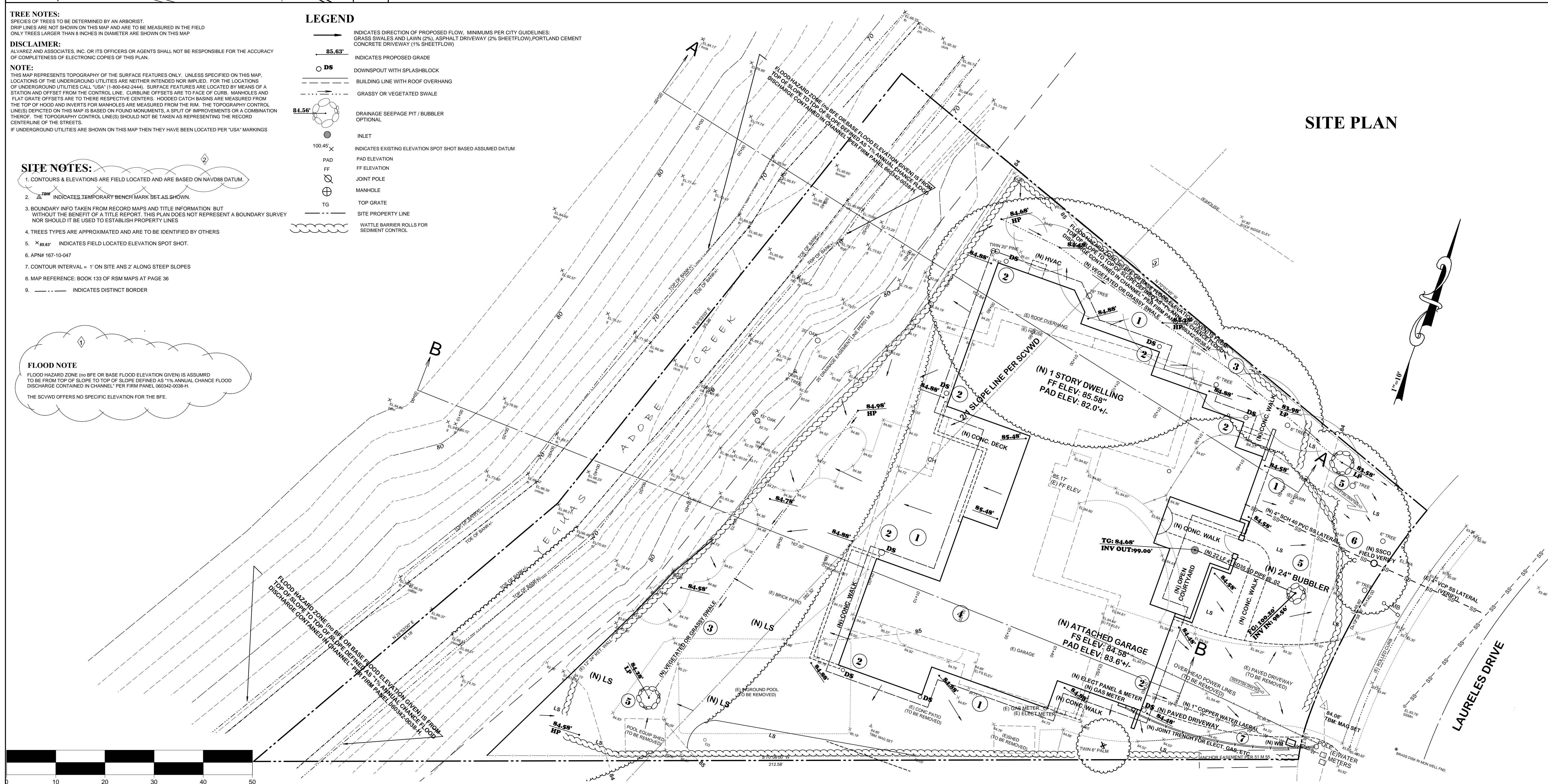
- INDICATES DIRECTION OF PROPOSED FLOW. MINIMUMS PER CITY GUIDELINES:  
 GRASS SWALES AND LAWN (2%), ASPHALT DRIVEWAY (2% SHEETFLOW), PORTLAND CEMENT CONCRETE DRIVEWAY (1% SHEETFLOW)
- 85.63' INDICATES PROPOSED GRADE
- DS DOWNSPOUT WITH SPLASHBLOCK
- BUILDING LINE WITH ROOF OVERHANG
- GRASSY OR VEGETATED SWALE
- 84.56' DRAINAGE SEEPAGE PIT / BUBBLER OPTIONAL
- INLET
- INDICATES EXISTING ELEVATION SPOT SHOT BASED ASSUMED DATUM
- PAD ELEVATION
- FF ELEVATION
- JOINT POLE
- MANHOLE
- TOP GRATE
- SITE PROPERTY LINE
- WATTLE BARRIER ROLLS FOR SEDIMENT CONTROL

### SITE NOTES:

1. CONTOURS & ELEVATIONS ARE FIELD LOCATED AND ARE BASED ON NAVD88 DATUM.
2. TBM INDICATES TEMPORARY BENCH MARK SETS AS SHOWN.
3. BOUNDARY INFO TAKEN FROM RECORD MAPS AND TITLE INFORMATION BUT WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY NOR SHOULD IT BE USED TO ESTABLISH PROPERTY LINES.
4. TREES TYPES ARE APPROXIMATED AND ARE TO BE IDENTIFIED BY OTHERS.
5. X 85.63' INDICATES FIELD LOCATED ELEVATION SPOT SHOT.
6. APN# 167-10-647
7. CONTOUR INTERVAL = 1' ON SITE ANS 2' ALONG STEEP SLOPES
8. MAP REFERENCE: BOOK 133 OF RSM MAPS AT PAGE 36
9. --- INDICATES DISTINCT BORDER

### FLOOD NOTE

FLOOD HAZARD ZONE (NO BFE OR BASE FLOOD ELEVATION GIVEN) IS ASSUMED TO BE FROM TOP OF SLOPE TO TOP OF SLOPE DEFINED AS 1% ANNUAL CHANCE FLOOD DISCHARGE CONTAINED IN CHANNEL - PER FIRM PANEL 060342-0038-H.  
 THE SCVVD OFFERS NO SPECIFIC ELEVATION FOR THE BFE.



ALVAREZ & ASSOCIATES  
 82 NORTH CAPITOL AVENUE  
 SAN JOSE, CA 95127  
 (408) 272-7529



**DRAINAGE & GRADING PLAN**  
 1064 Laureles Drive  
 Los Altos, CA  
 SANTA CLARA COUNTY  
 CALIFORNIA

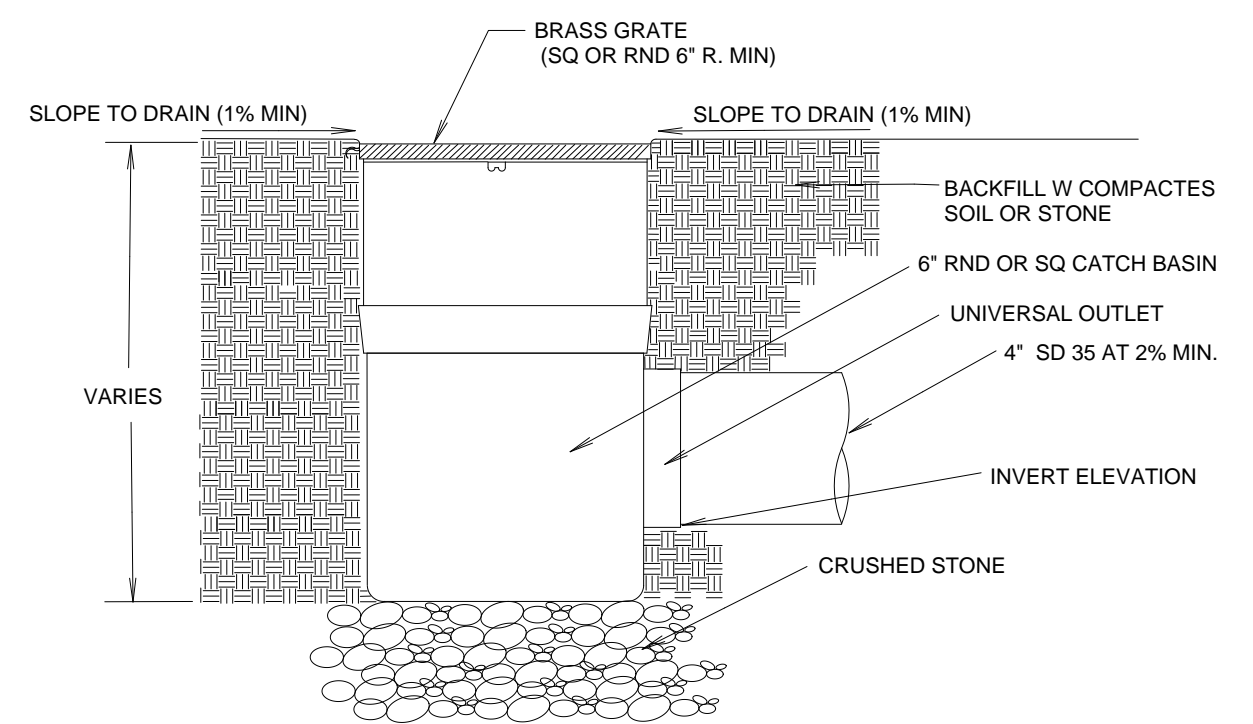


SCALE: AS NOTED

SHEET:

**C - 1**

1 OF 2

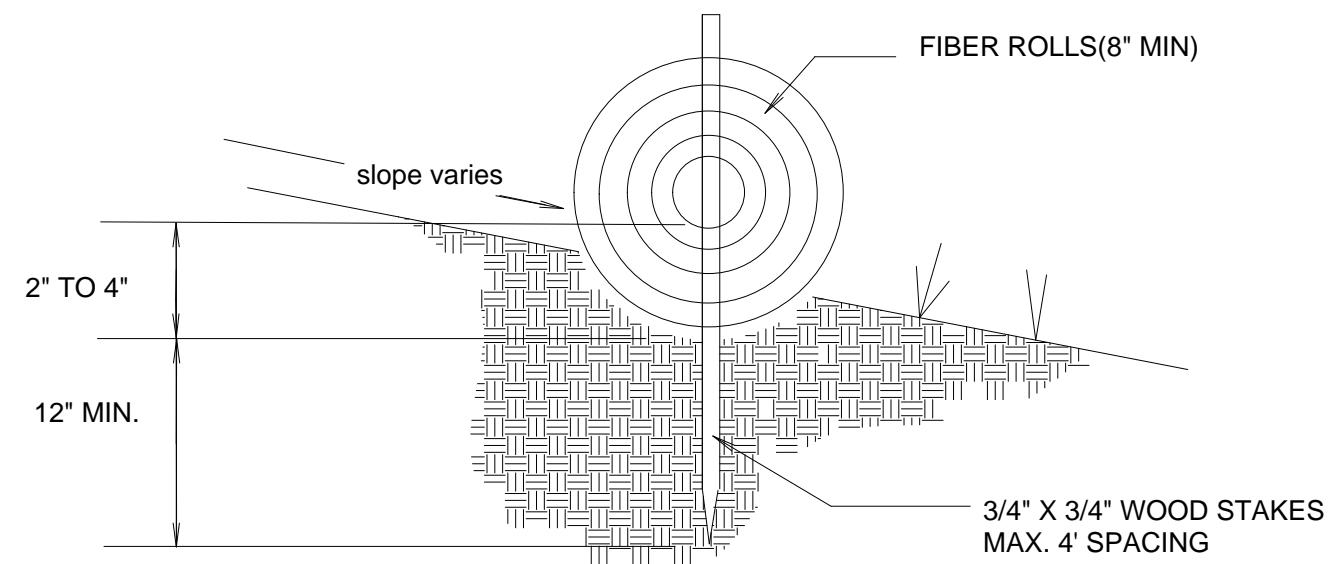


**INLET DETAIL**

NOT TO SCALE

**4**

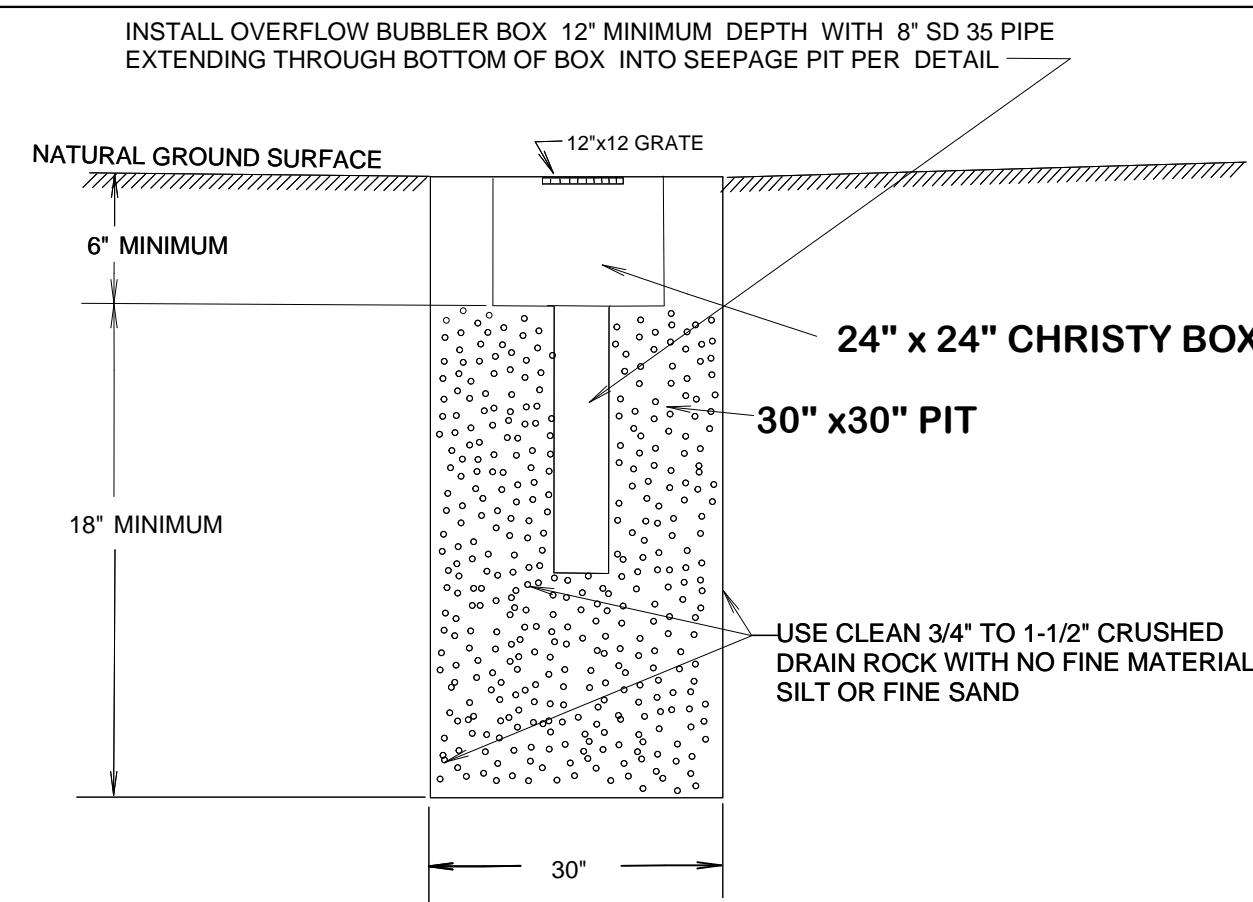
**C-1**



**WATTLE BARRIER DETAIL**

**5**

**C-1**

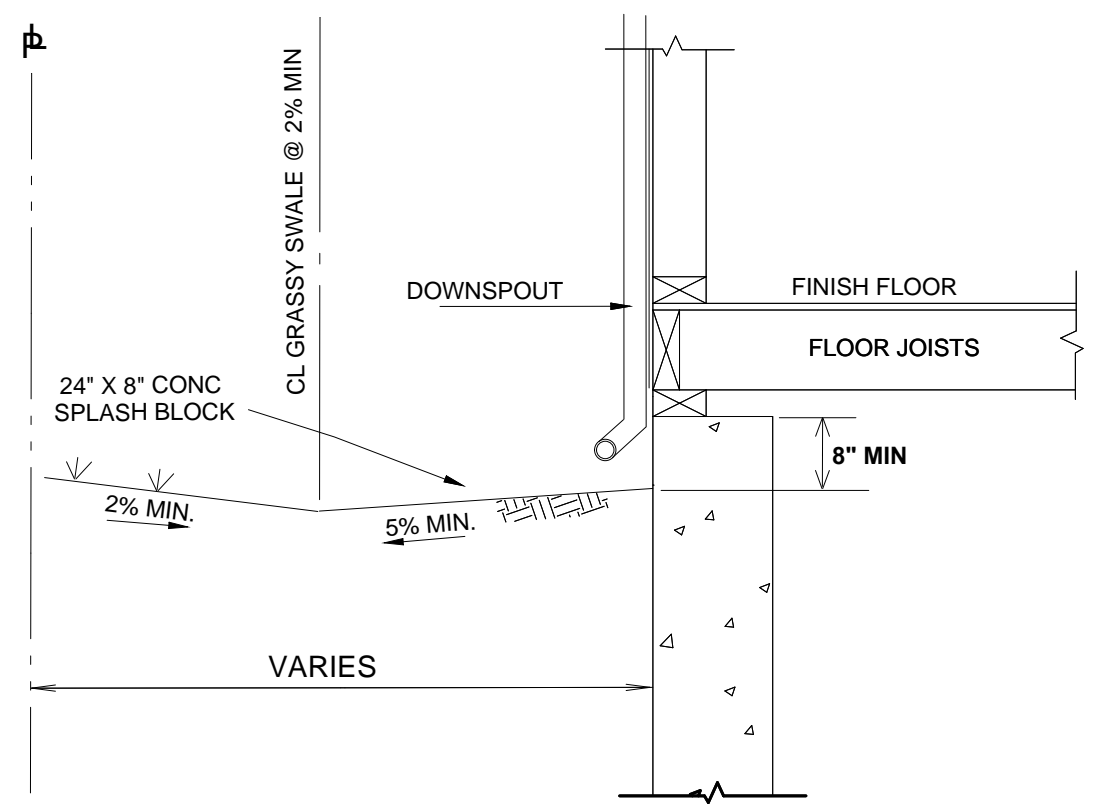


**OPTIONAL SEEPAGE PIT DRAIN DETAIL**

NOT TO SCALE

**1**

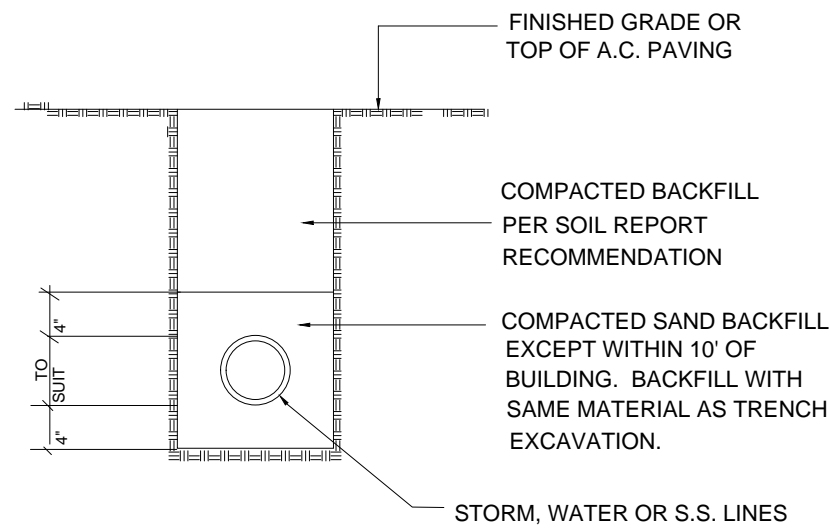
**C-1**



**GRASSY SWALE & DOWNSPOUT SPLASH BLOCK DETAIL**

**2&3**

**C-1**



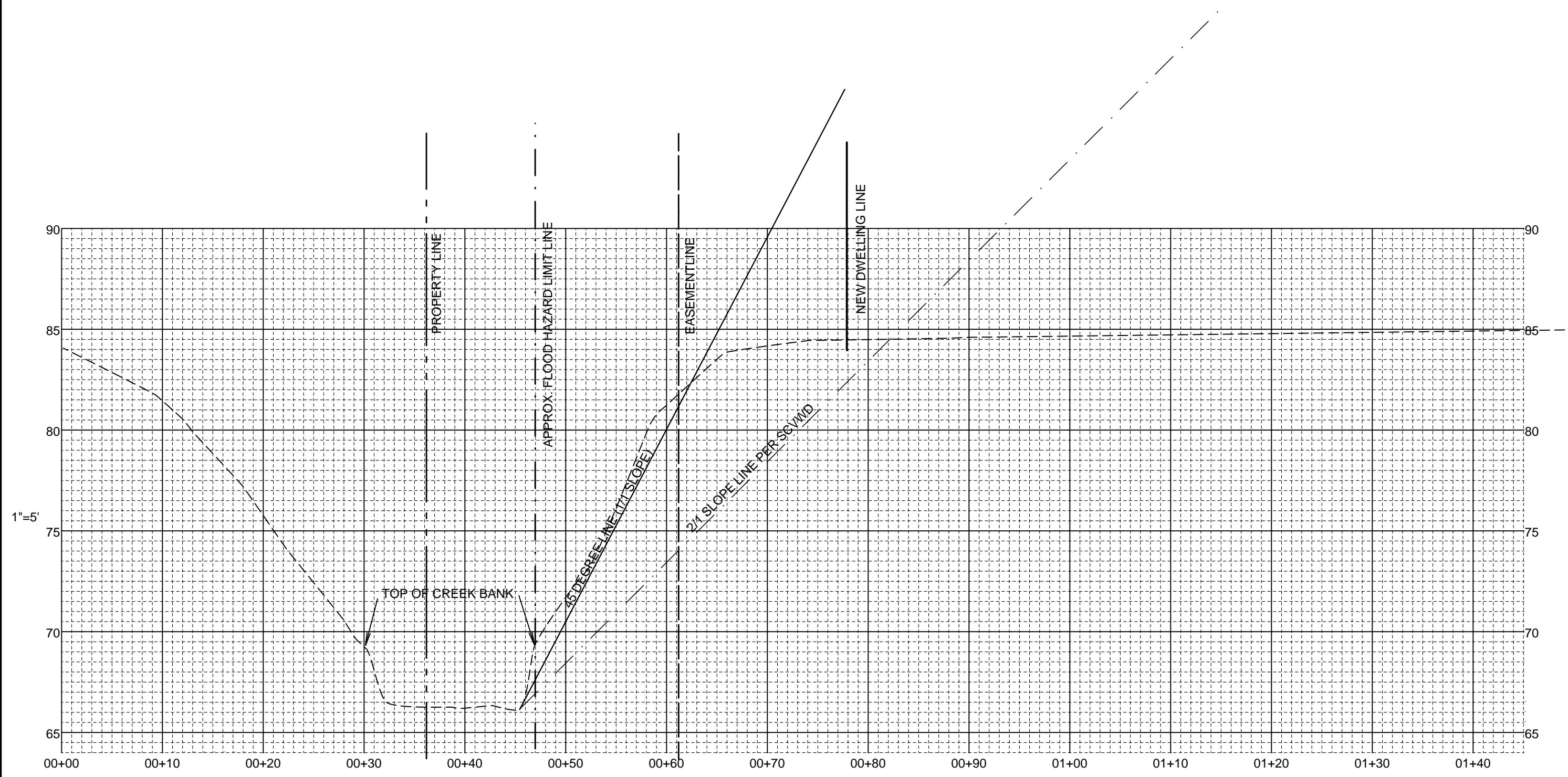
NOTE: USE CITY STANDARD DETAIL FOR ALL TRENCHING IN PUBLIC RIGHT-OF-WAY

**PIPE LINE BACKFILL DETAIL**

NOT TO SCALE

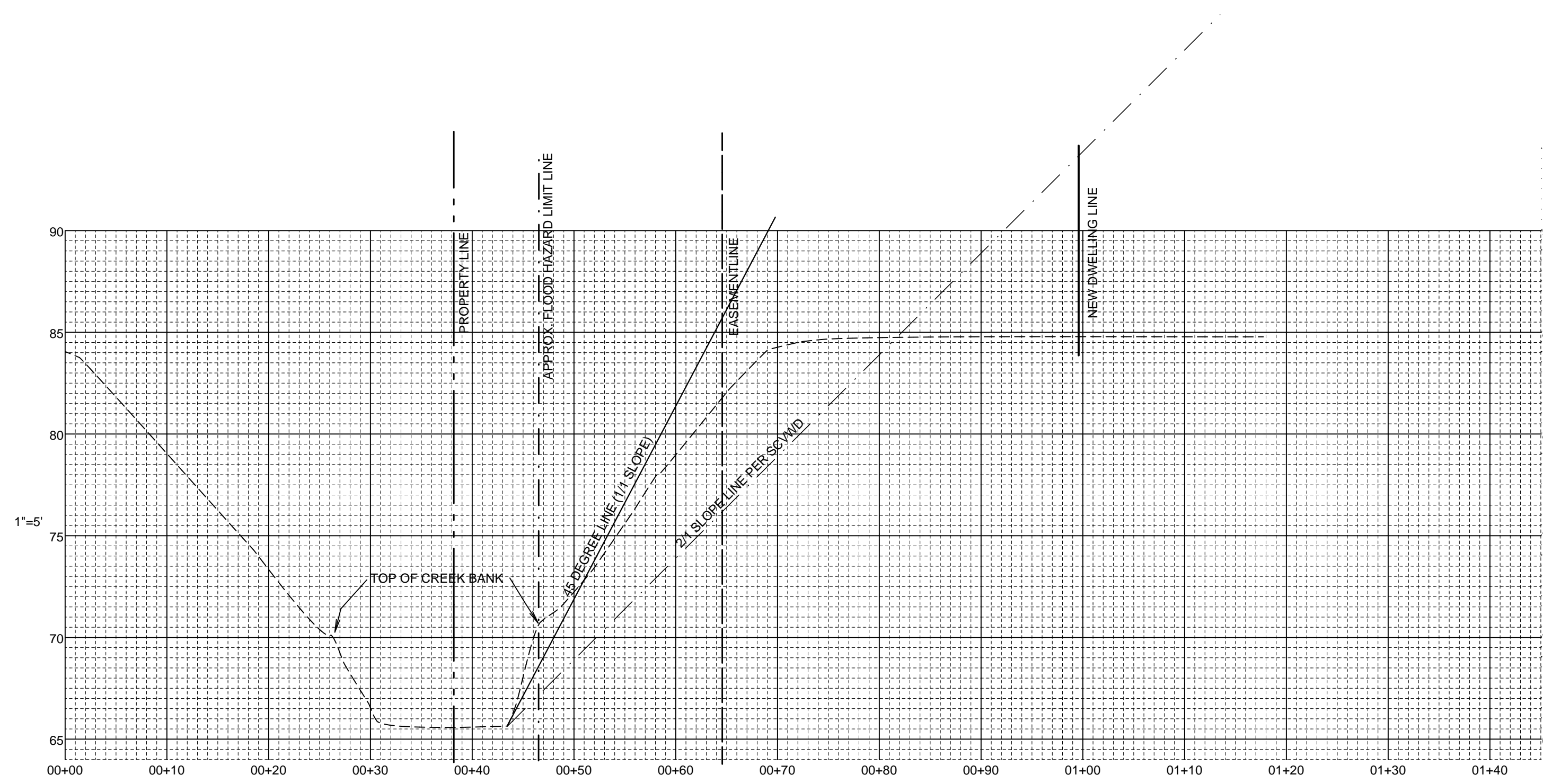
**6**

**C-1**



1"=10'

**A-A**



1"=10'

**B-B**

Chgd	By	Date	Revision
AA	JLK	03/17/14	ADDED FLOOD NOTE
AA	JLK	03/17/14	ADDED NOTE REGARDING CONVERSION TO INVERT ELEVATION
AA	JLK	03/17/14	REVISED FLOW OF DRAINAGE

Date: 03-25-13

Drawn By: JLK

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 SAN JOSE, CA 95127  
 (408) 272-7529



**DRAINAGE & GRADING PLAN**  
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 SANTA CLARA COUNTY  
 CALIFORNIA



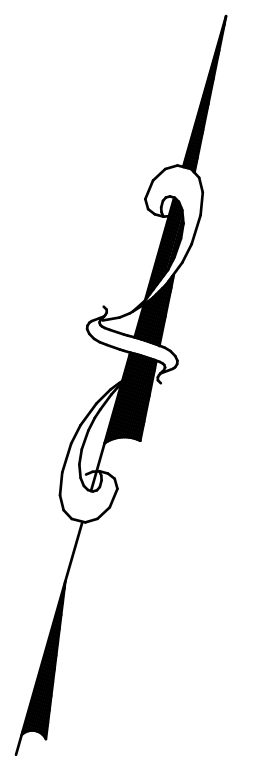
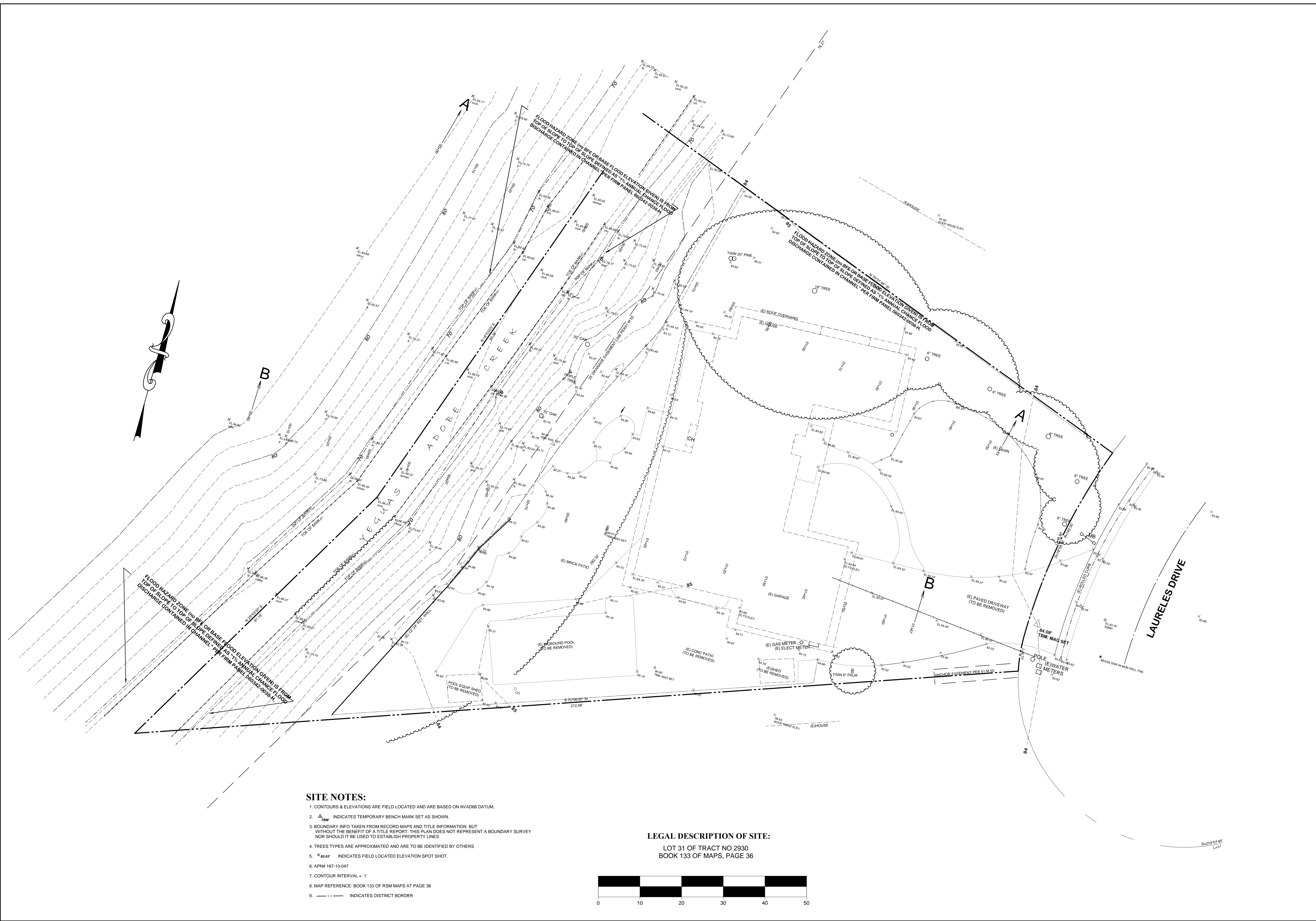
SCALE: AS NOTED

SHEET:

**C - 2**

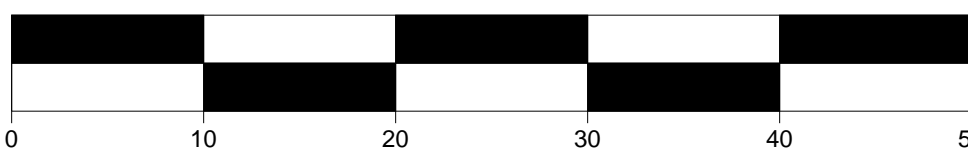
2 OF 2





- SITE NOTES:**
1. CONTOURS & ELEVATIONS ARE FIELD LOCATED AND ARE BASED ON NVAD88 DATUM.
  2. INDICATES TEMPORARY BENCH MARK SET AS SHOWN.
  3. BOUNDARY INFO TAKEN FROM RECORD MAPS AND TITLE INFORMATION BUT WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY NOR SHOULD IT BE USED TO ESTABLISH PROPERTY LINES.
  4. TREES TYPES ARE APPROXIMATED AND ARE TO BE IDENTIFIED BY OTHERS.
  5. INDICATES FIELD LOCATED ELEVATION SPOT SHOT.
  6. APN# 167-10-047
  7. CONTOUR INTERVAL = 1'
  8. MAP REFERENCE: BOOK 133 OF RSM MAPS AT PAGE 36
  9. INDICATES DISTINCT BORDER

**LEGAL DESCRIPTION OF SITE:**  
 LOT 31 OF TRACT NO 2930  
 BOOK 133 OF MAPS, PAGE 36



Child	AA		
By	JLK		
Date	03/17/14		
Revision	ADDED FLOOD NOTE ADDED NOTE REGARDING CONVERSION TO NAVD88 DATUM		
No.			
Date: 06-25-13	Drawn By: JLK		

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engineers  
surveyors  
planners

**TOPOGRAPHICAL PLAN**  
 1064 Laureles Drive  
 Los Altos, CA  
 SANTA CLARA COUNTY  
 CALIFORNIA

PROFESSIONAL ENGINEER  
 ALI ABIANI  
 NO C 57818  
 Expires: 06-30-14  
 STATE OF CALIFORNIA

SCALE: AS NOTED

SHEET:  
**T - 1**  
 1 OF 1