

GENERAL NOTES:

- 1. ALL WORK SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE, 2010 CALIFORNIA RESIDENTIAL CODE, 2010 CALIFORNIA ELECTRICAL CODE, 2010 CALIFORNIA MECHANICAL CODE, 2010 CALIFORNIA PLUMBING CODE, 2010 CALIFORNIA GREEN BUILDING CODE (CALGreen), 2010 CALIFORNIA FIRE CODE (with local amendments), 2008 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS, AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES AND STANDARDS.

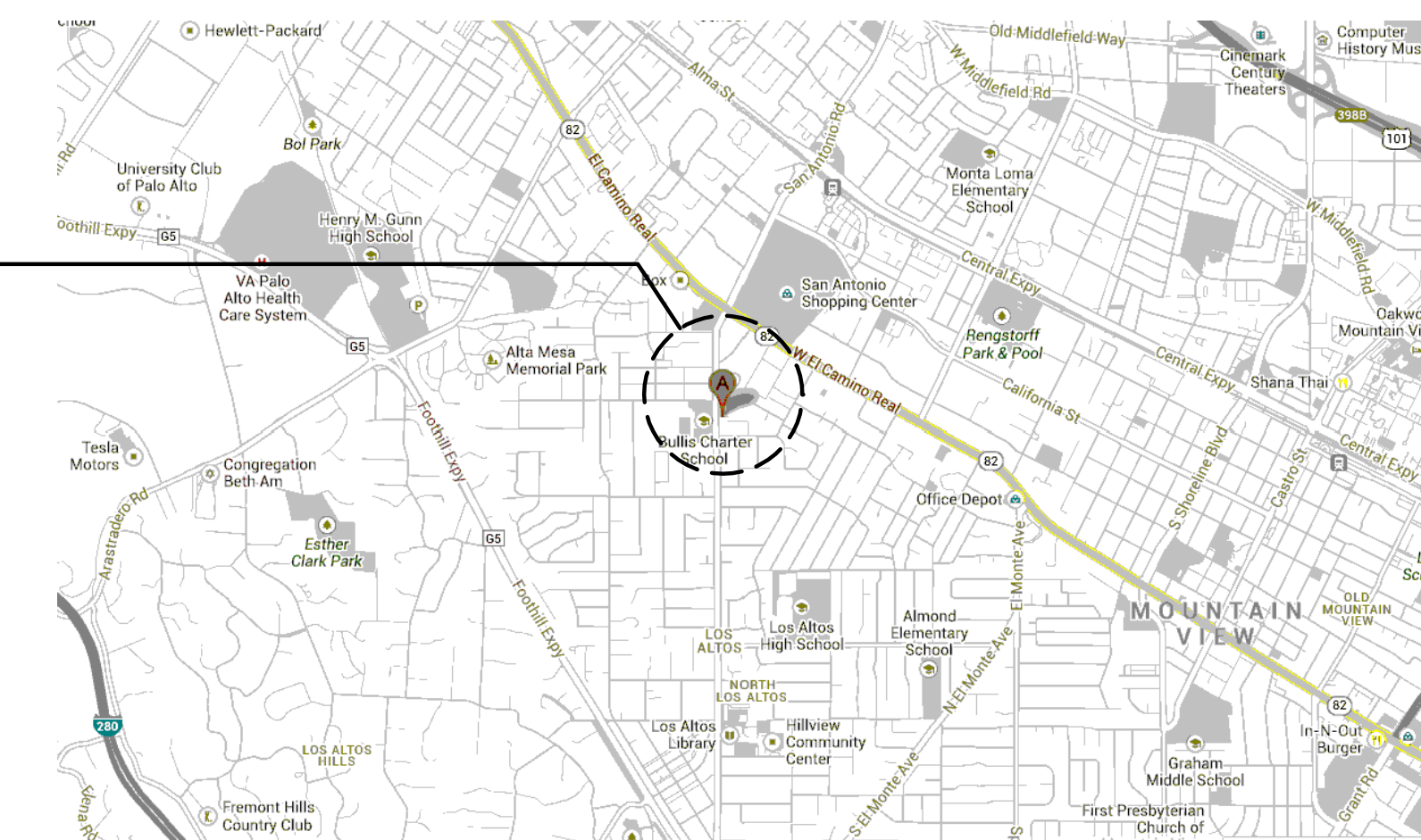
ABBREVIATIONS:

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes terms like ANCHOR BOLT, ACCESSIBLE, ACCOUSICAL, etc.

SYMBOLS

Table of symbols for electrical, plumbing, and structural elements. Includes symbols for SWITCH, DUPLEX OUTLET, TELEVISION OUTLET, etc.

SITE



BUILDING DATA

Table with building data: BUILDING OCCUPANCY GROUP: R-3, TYPE OF CONSTRUCTION: TYPE II, STORES: 2, ASSESSOR'S NUMBER: 175-13-047, ZONING DISTRICT: R1-10.

ZONING COMPLIANCE

Table comparing existing and proposed lot coverage, floor area, setbacks, and height against allowed/required values.

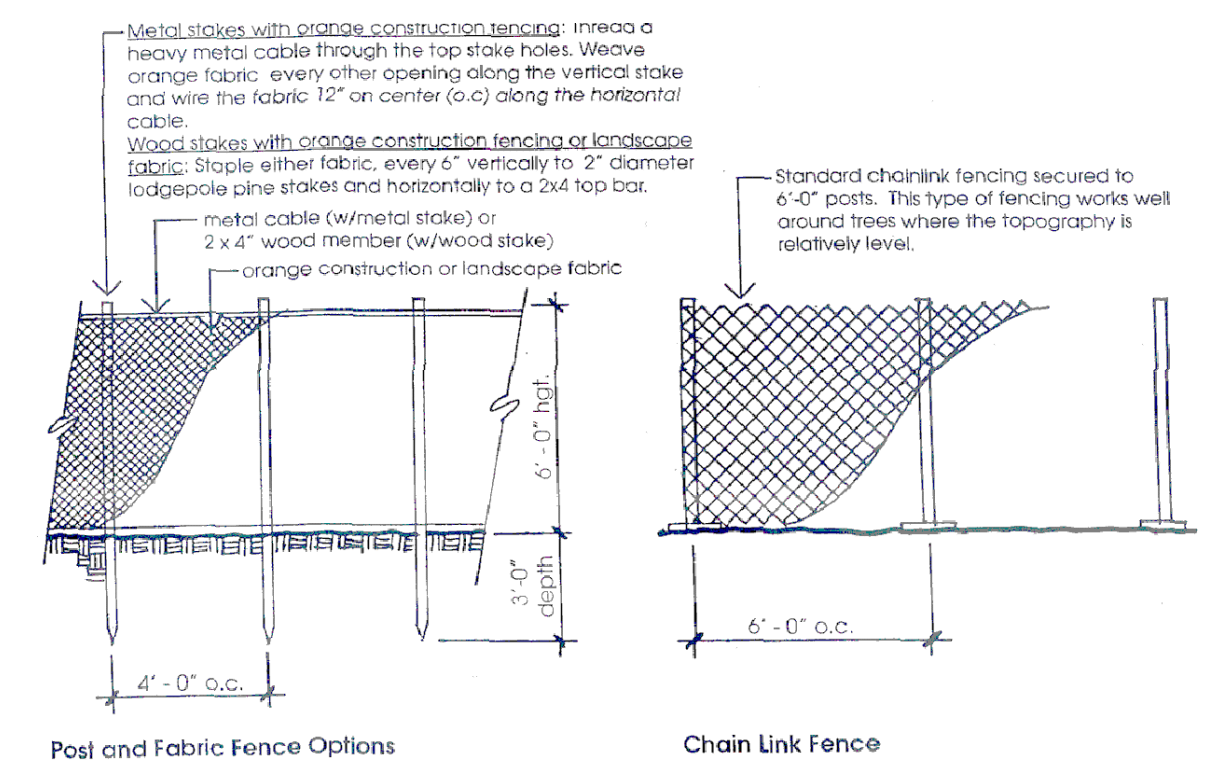
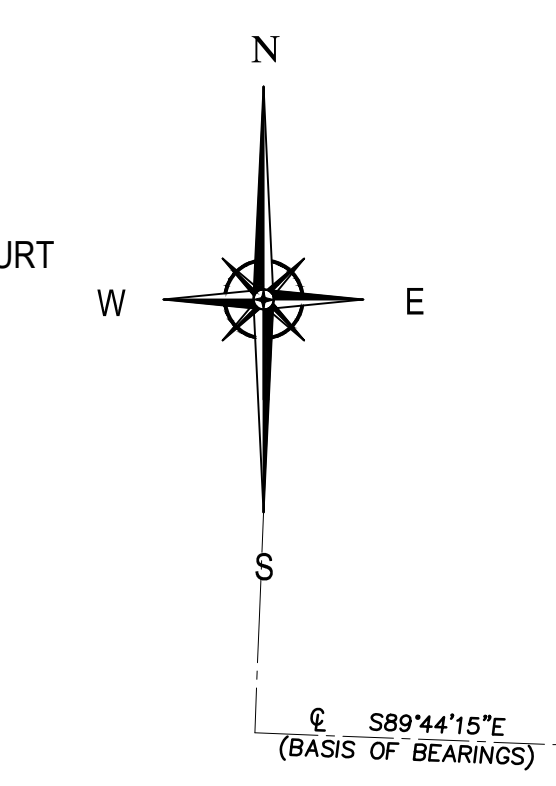
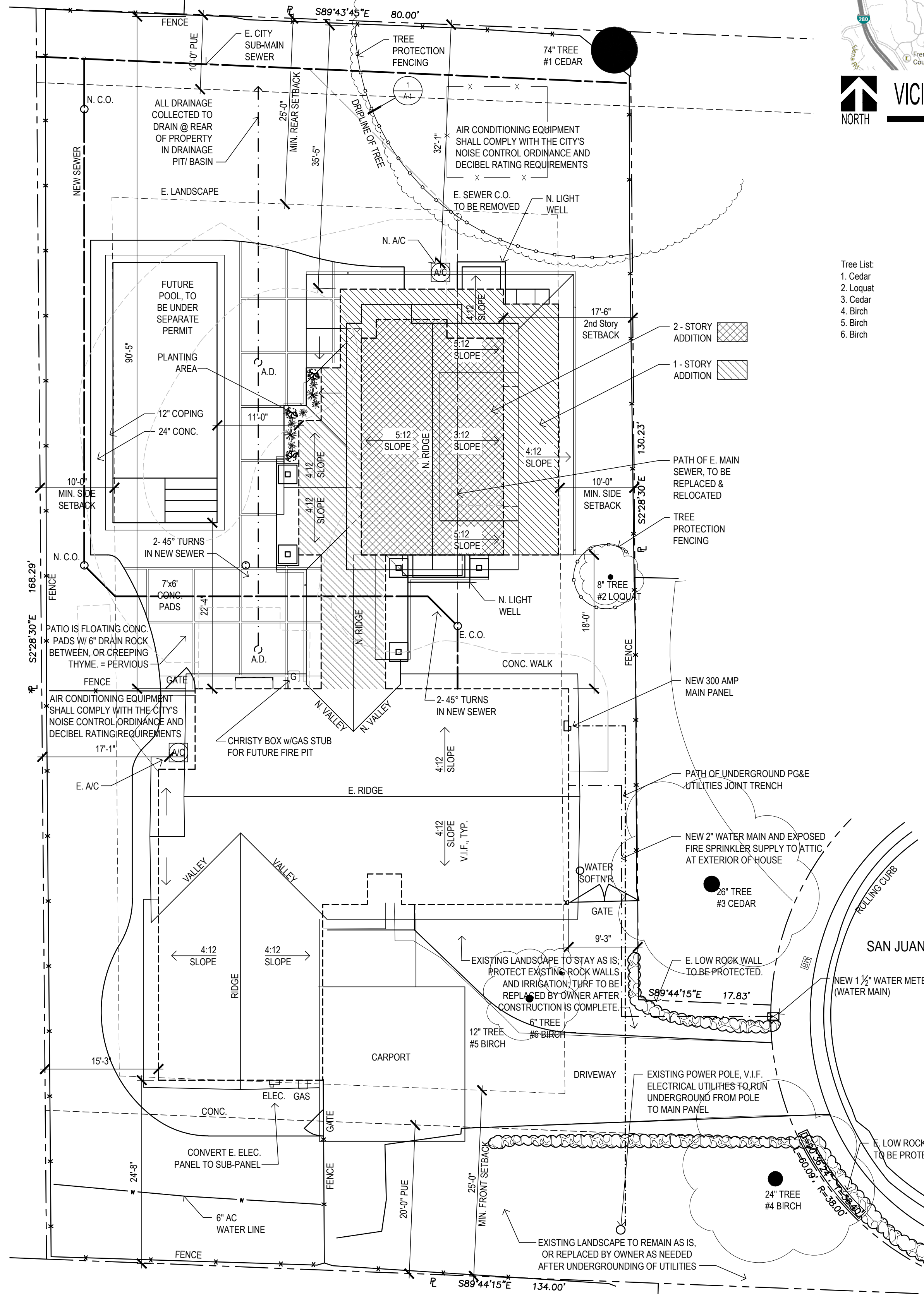
SQUARE FOOTAGE BREAKDOWN

Table showing habitable living area, non-habitable area, and lot calculations.

LOT CALCULATIONS

Table with lot calculations: NET LOT AREA: 14,400 square feet; FRONT YARD HARDSCAPE AREA: 1113 square feet (7.7%); LANDSCAPING BREAKDOWN: Total 9,878 sq ft.

Fire Sprinkler plans to be submitted directly to the Santa Clara County Fire Department as a deferred submittal.



1 TREE PROTECTION FENCE OPTIONS NTS

SITE PLAN NOT A SURVEY

ON ALL SITE WORK BEFORE YOU DIG CALL UNDERGROUND SERVICE ALERT 1-800-227-2600 CALL AHEAD TWO WORKING DAYS

Table for REVISIONS and BY.



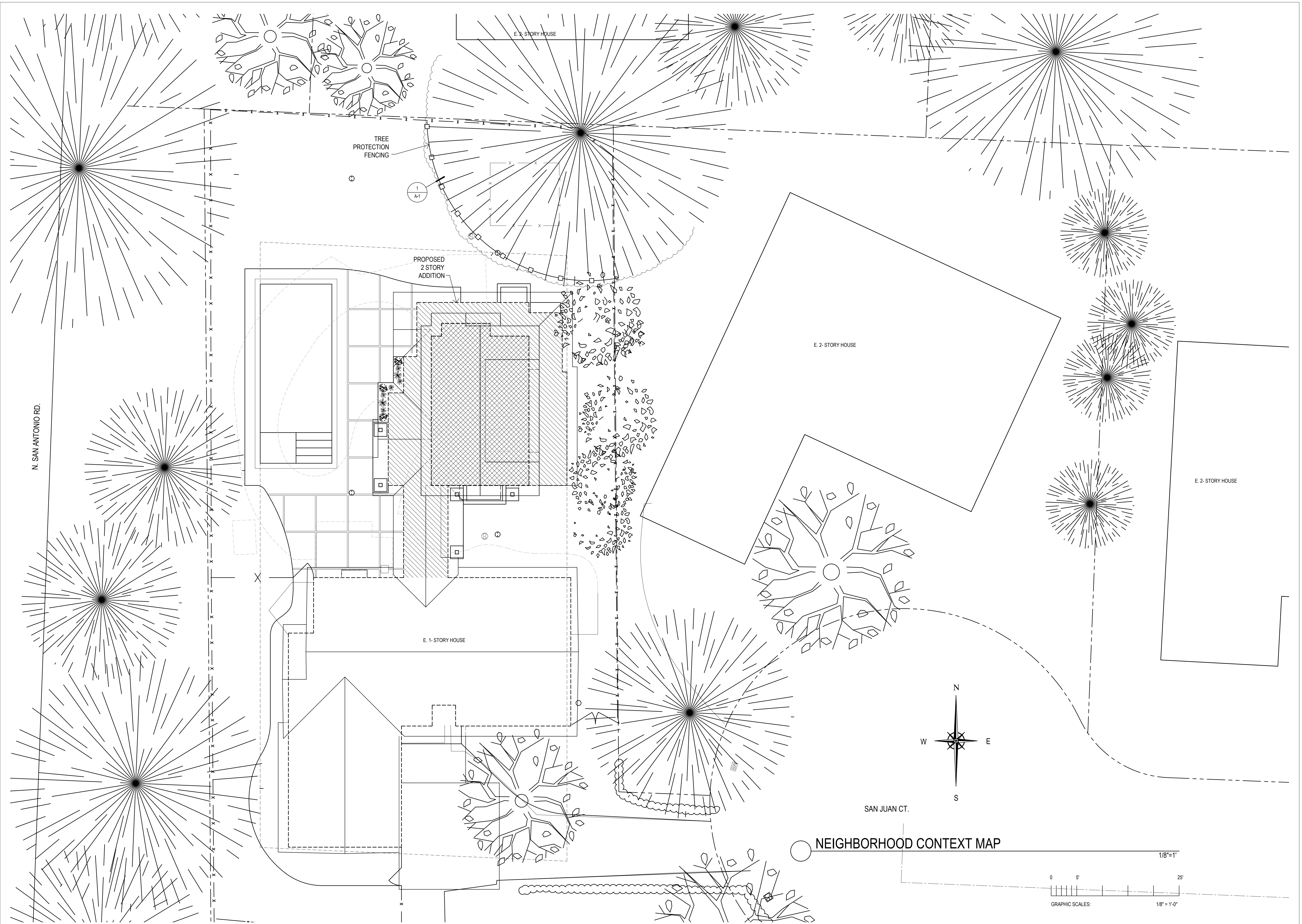
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TITLE SHEET / SITE PLAN

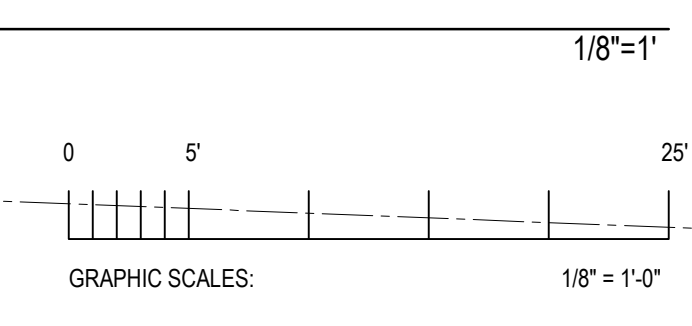
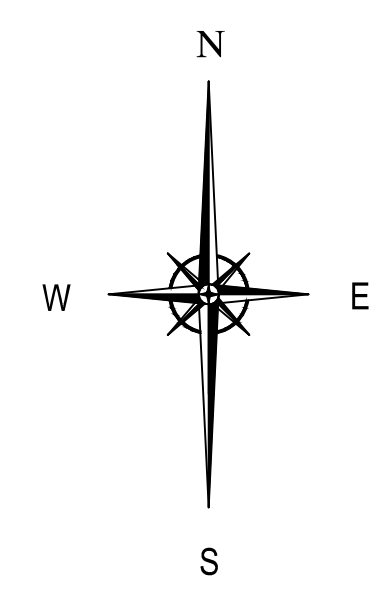
REMODEL / ADDITION FOR: Au-Valdez Residence 15 San Juan Ct. Los Altos, CA 94022

Table with project details: DRAWN My Cad Drafter™, CHECKED KF, DATE 04/29/14, SCALE AS NOTED, JOB NO.

SHEET A-1 OF SHEETS



NEIGHBORHOOD CONTEXT MAP



REVISIONS	BY

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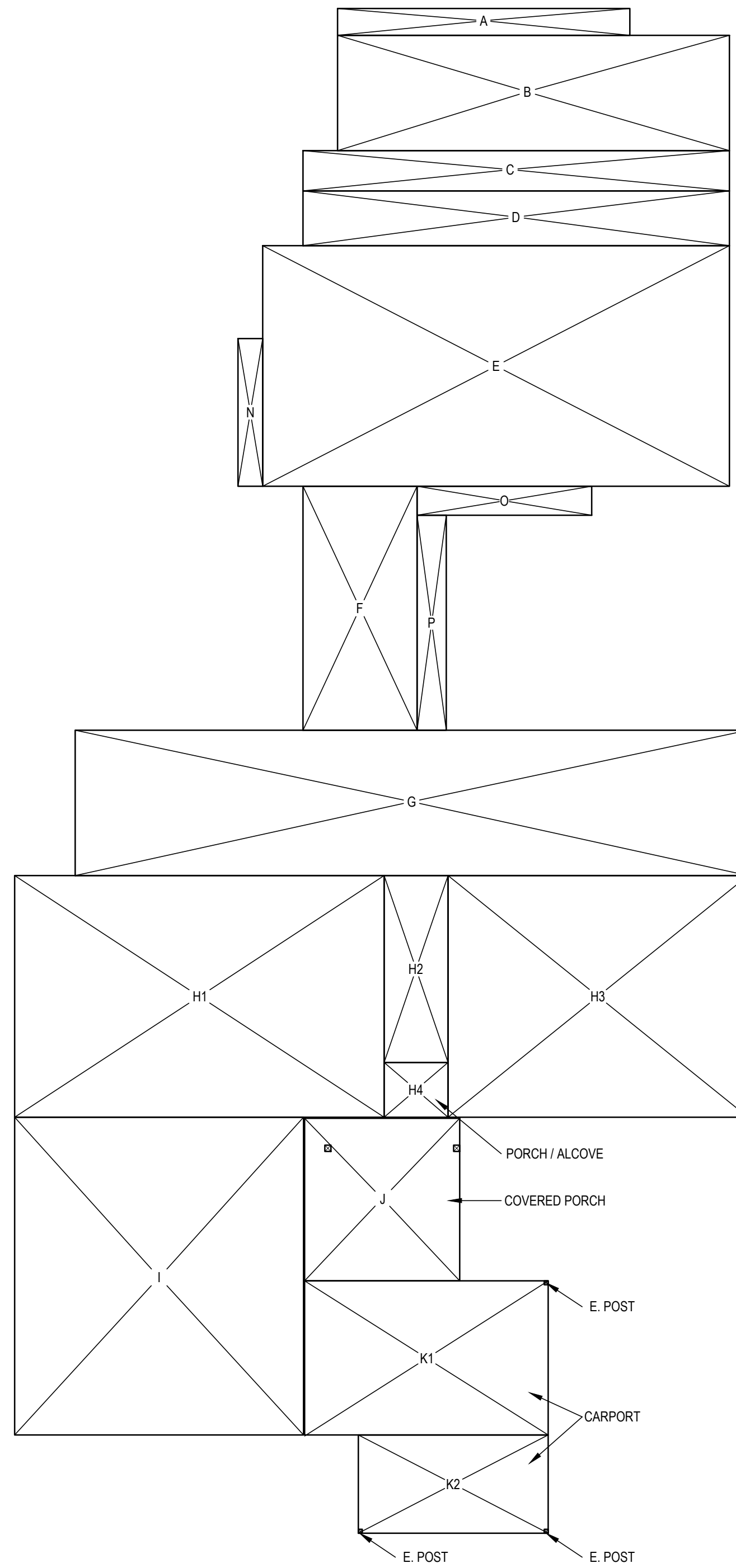
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kfitz@avalon-enterprises.com
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NEIGHBORHOOD CONTEXT MAP

REMODEL/ ADDITION FOR:
Au-Valdez Residence
15 San Juan Ct., Los Altos, CA 94022
PHONE NUMBER

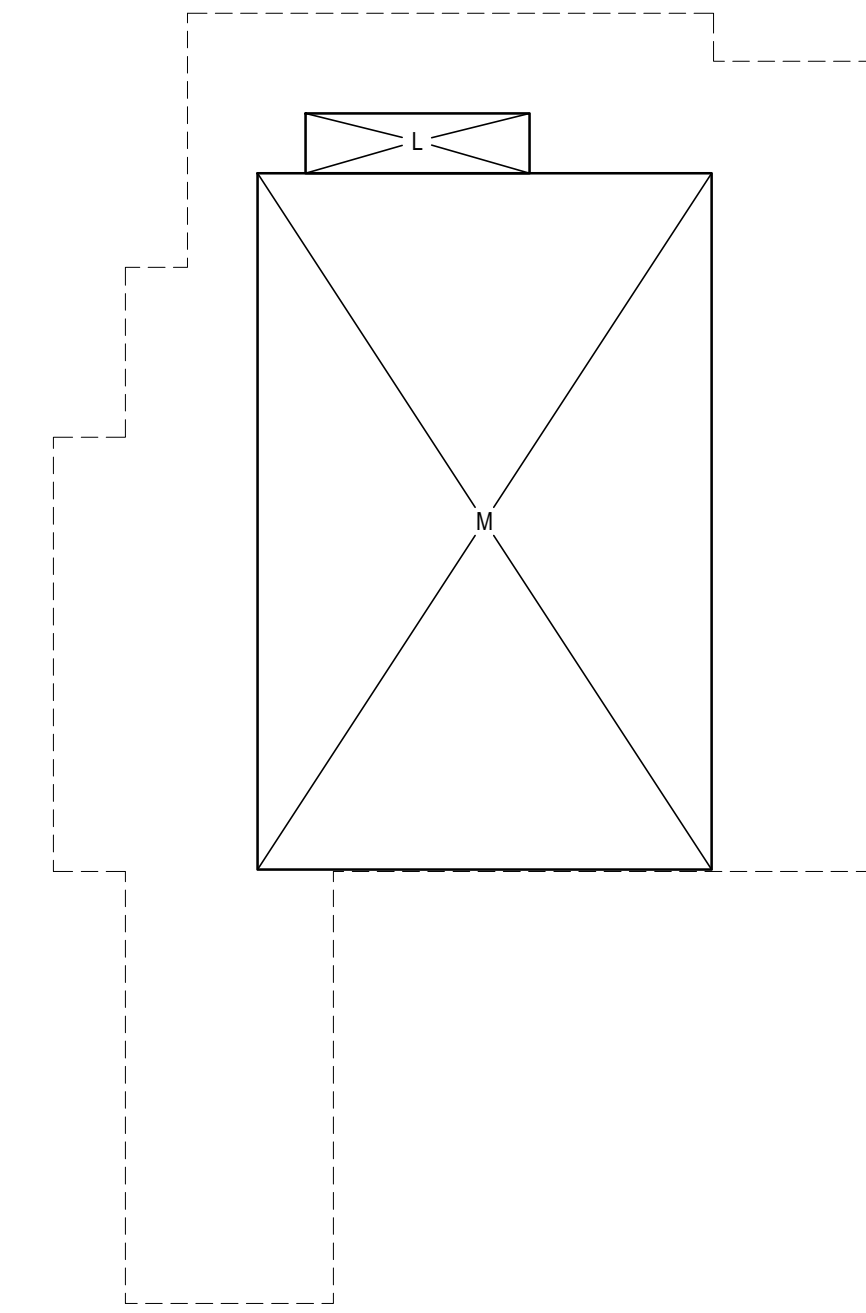
DRAWN My Cad Drafter™
CHECKED KF
DATE 04/08/14
SCALE AS NOTED
JOB NO.
SHEET

A-1.1
OF SHEETS



1st STORY

SCALE: 1/4"=1'-0"



2nd STORY

SCALE: 1/4"=1'-0"



FLOOR AREA AND COVERAGE CALCULATIONS

360 sq. ft. EXISTING STRUCTURES REMOVED

Section	Dimensions	Area
A	21'-9" x 2'-0"	43.5 sq. ft.
B	29'-2" x 8'-7"	250.3 sq. ft.
C	31'-9" x 3'-0"	95.25 sq. ft.
D	31'-9" x 4'-1"	129.6 sq. ft.
E	34'-9" x 17'-11"	622.6 sq. ft.
F	8'-6" x 18'-2"	154.4 sq. ft.
G	50'-1" x 10'-10"	542.6 sq. ft.
H1	27'-6" x 18'-0"	495 sq. ft.
H2	4'-9" x 13'-11"	66.1 sq. ft.
H3	22'-4" x 18'-0"	402 sq. ft.
I	21'-6" x 23'-8"	509 sq. ft.
K1	18'-0" x 11'-6"	207 sq. ft.
K2	14'-0" x 7'-0"	98 sq. ft.
1st STORY SUBTOTAL		= 3,615.4 sq. ft.
L	9'-4" x 2'-6"	23.3 sq. ft.
M	18'-11" x 29'-0"	548.6 sq. ft.
2nd STORY SUBTOTAL		= 571.9 sq. ft.
TOTAL FLOOR AREA		= 4187.3 sq. ft.
H4	4'-9" x 4'-1"	19.4 sq. ft.
J	11'-6" x 12'-1"	139.7 sq. ft.
N	1'-10" x 11'-0"	20.2 sq. ft.
O	13'-0" x 2'-2"	28.2 sq. ft.
P	2'-2" x 16'-0"	34.7 sq. ft.
1st STORY SUBTOTAL		= 3,615.4 sq. ft.
TOTAL LOT COVERAGE		= 3,857.6 sq. ft.

REVISIONS	BY



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FLOOR AREA AND COVERAGE CALCULATIONS

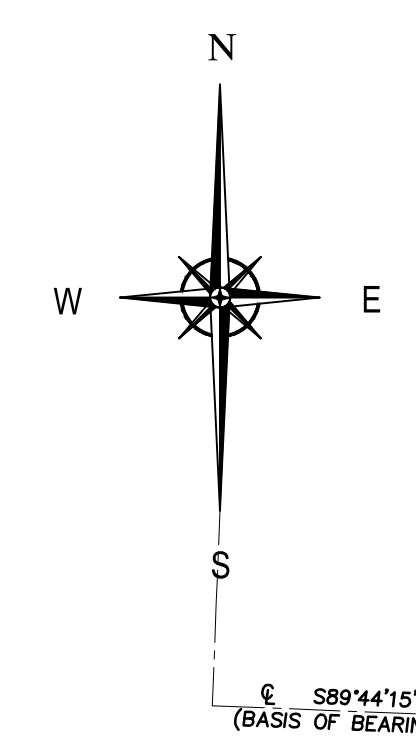
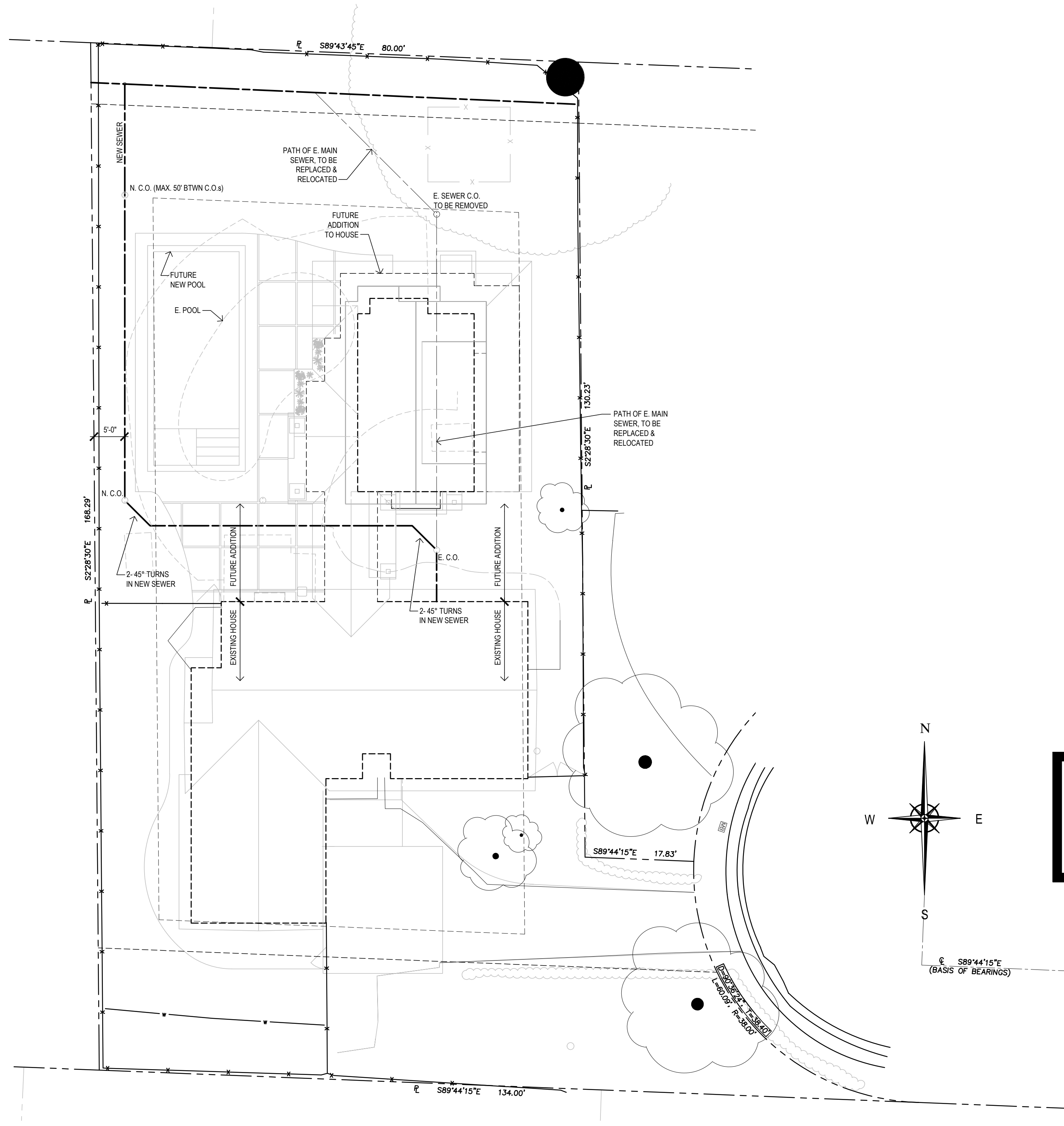
REMODEL/ ADDITION FOR:
Au-Valdez Residence
 15 San Juan Ct. Los Altos, CA 94022

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DATE	04/29/14
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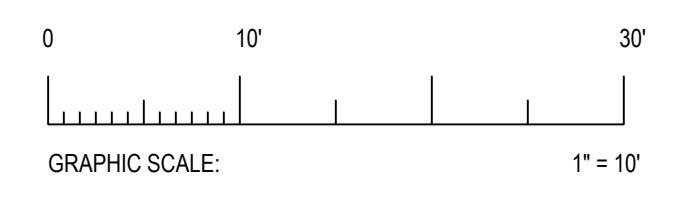
SHEET

A-1.2

OF SHEETS



ON ALL SITE WORK
BEFORE YOU DIG CALL
UNDERGROUND SERVICE ALERT
1-800-227-2600
CALL AHEAD TWO WORKING DAYS



SEWER LINE REPLACEMENT & RELOCATION PLAN
1"=10'

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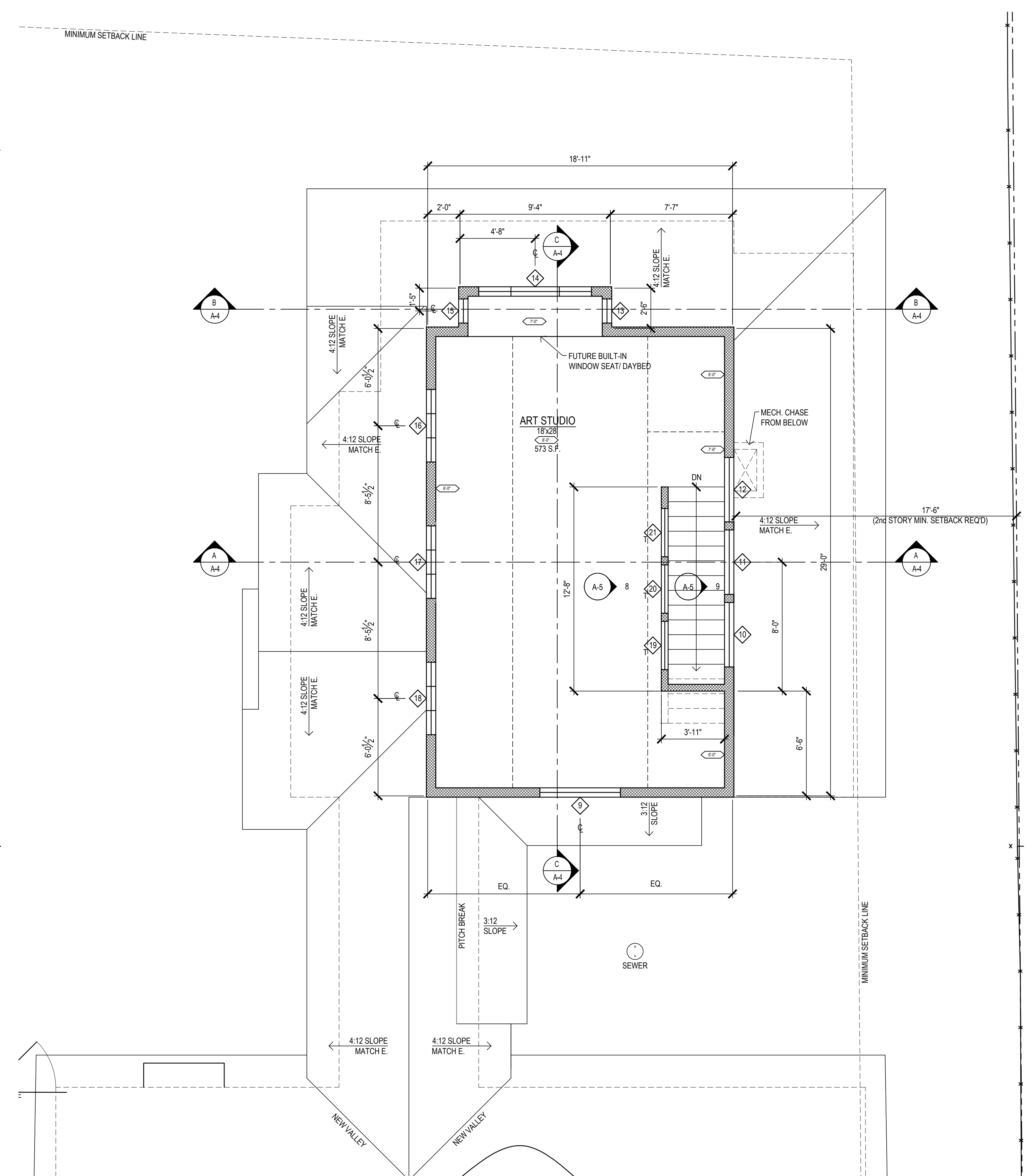
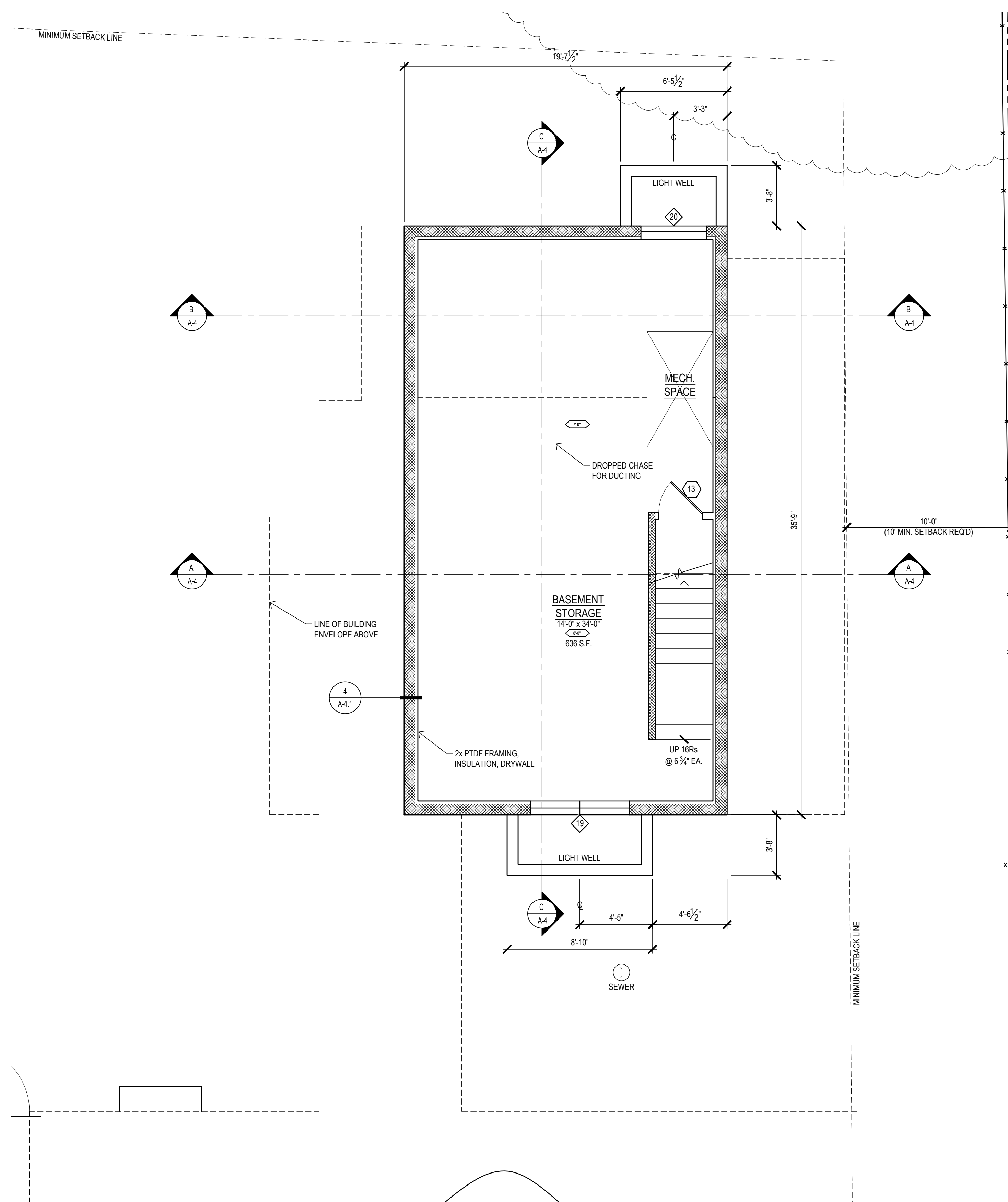
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**SEWER LINE
REPLACEMENT &
RELOCATION PLAN**

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A-1.3
OF SHEETS

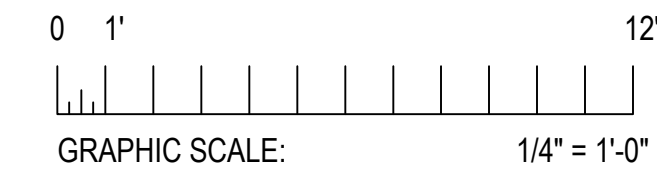


PROPOSED BASEMENT PLAN

WALL LEGEND

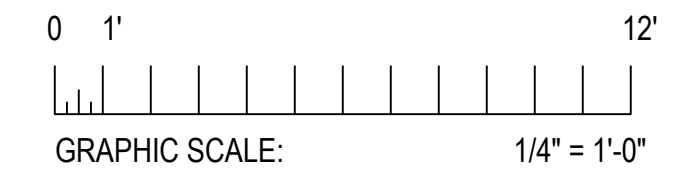
	WALLS/ DOORS/ ETC... TO BE REMOVED
	WALLS/ DOORS/ ETC... TO REMAIN
	N. WALLS

SCALE: 1/4" = 1'-0"



PROPOSED 2nd FLOOR PLAN

SCALE: 1/4" = 1'-0"



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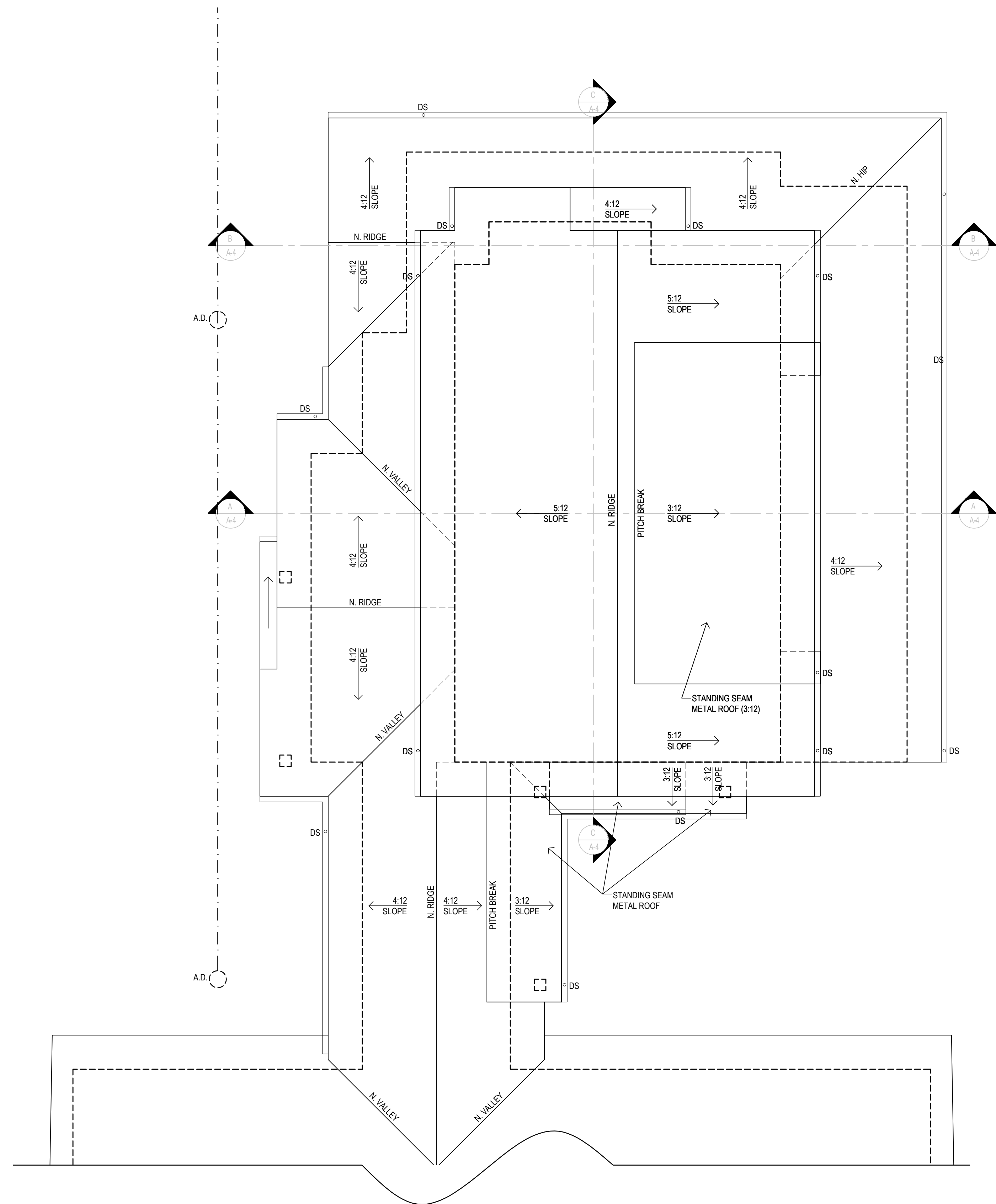
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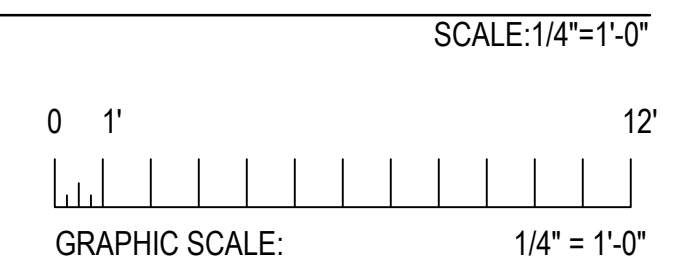
PROPOSED
 2nd FLOOR PLAN
 AND BASEMENT PLAN

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DATE	04/21/14
SCALE	AS NOTED
JOB NO.	
SHEET	

A-2.1



PROPOSED ROOF PLAN



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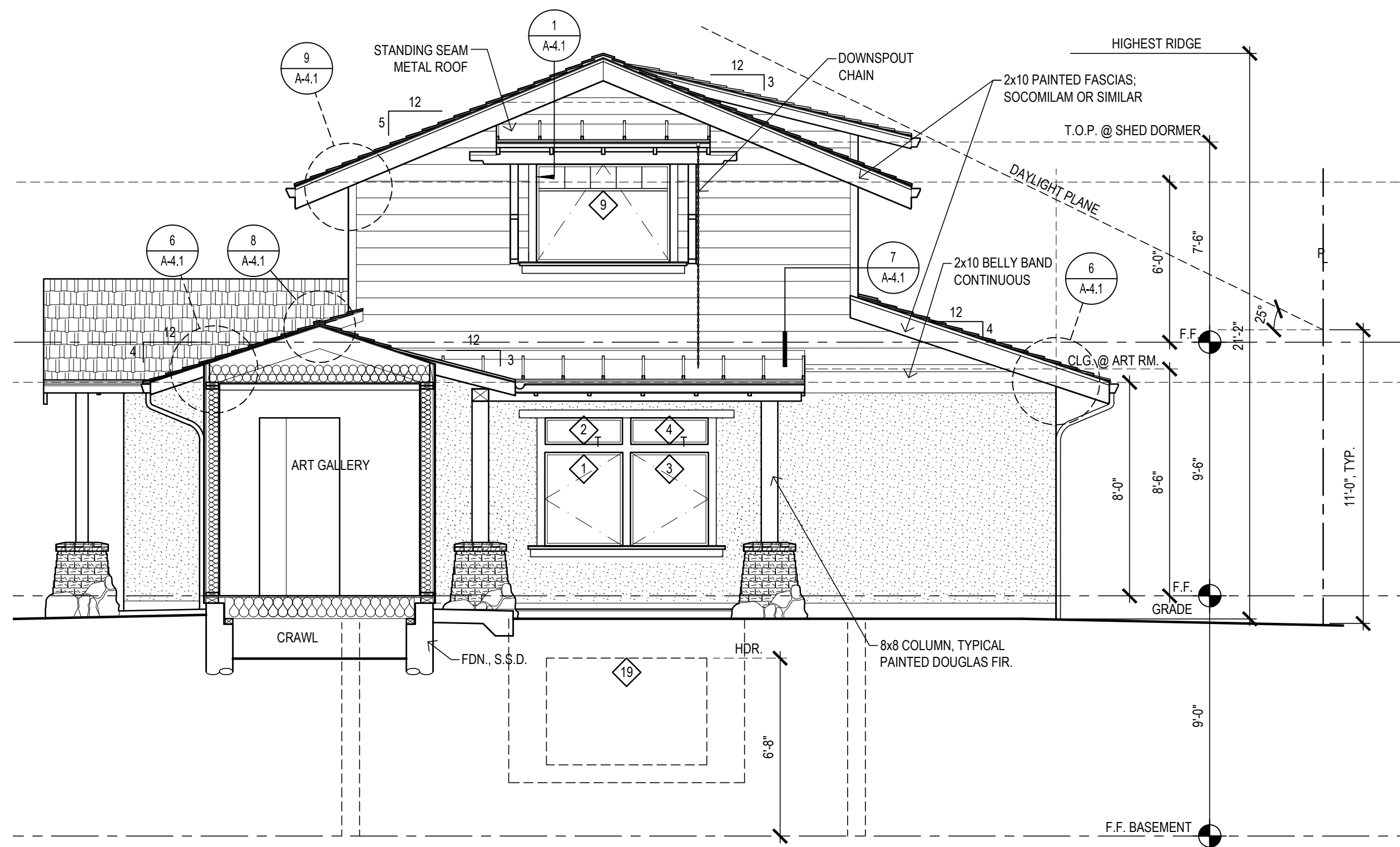
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PROPOSED ROOF PLAN

REMODEL/ ADDITION FOR:
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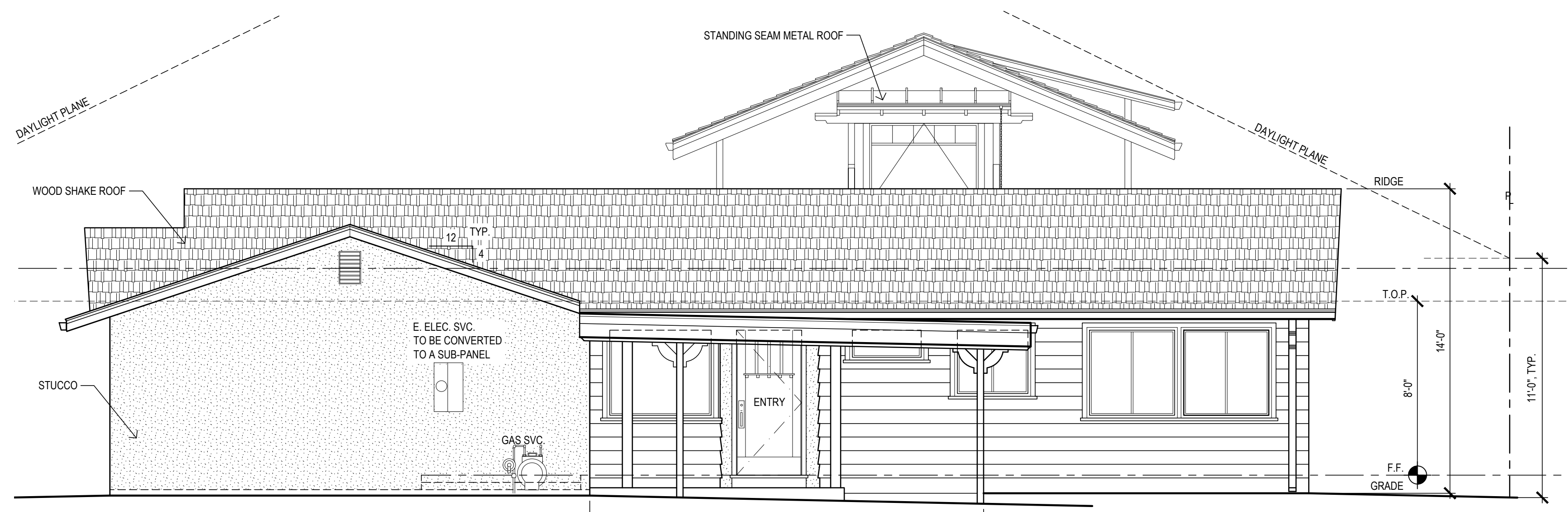
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DATE	04/21/14
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SHEET
A-2.2
 OF SHEETS



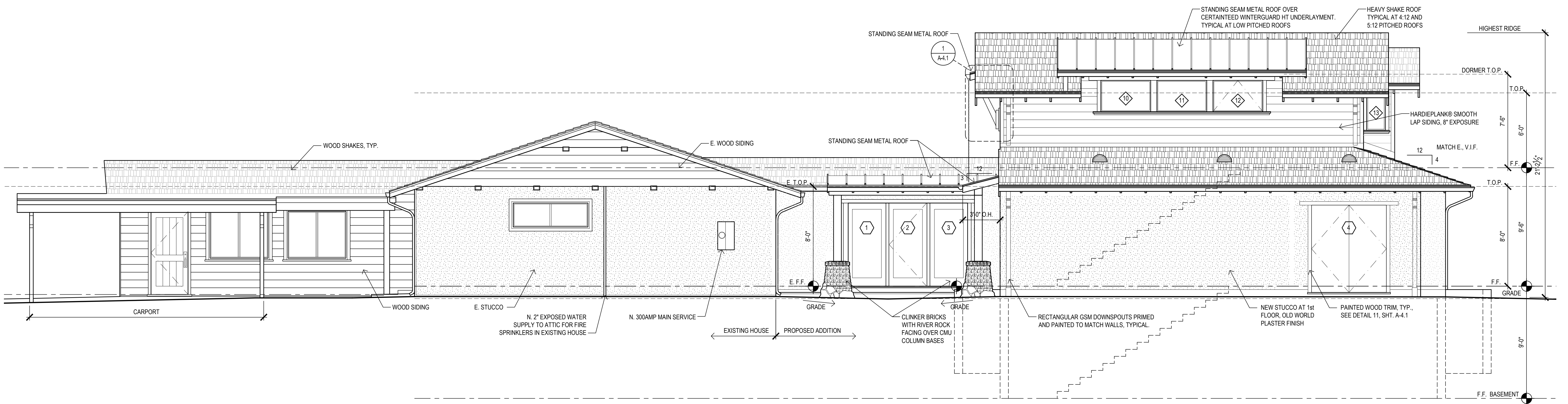
5 PROPOSED SOUTH ELEVATION AT ADDITION

SCALE: 1/4"=1'-0"



1 PROPOSED SOUTH ELEVATION FRONT

SCALE: 1/4"=1'-0"



2 PROPOSED EAST ELEVATION RIGHT SIDE

SCALE: 1/4"=1'-0"

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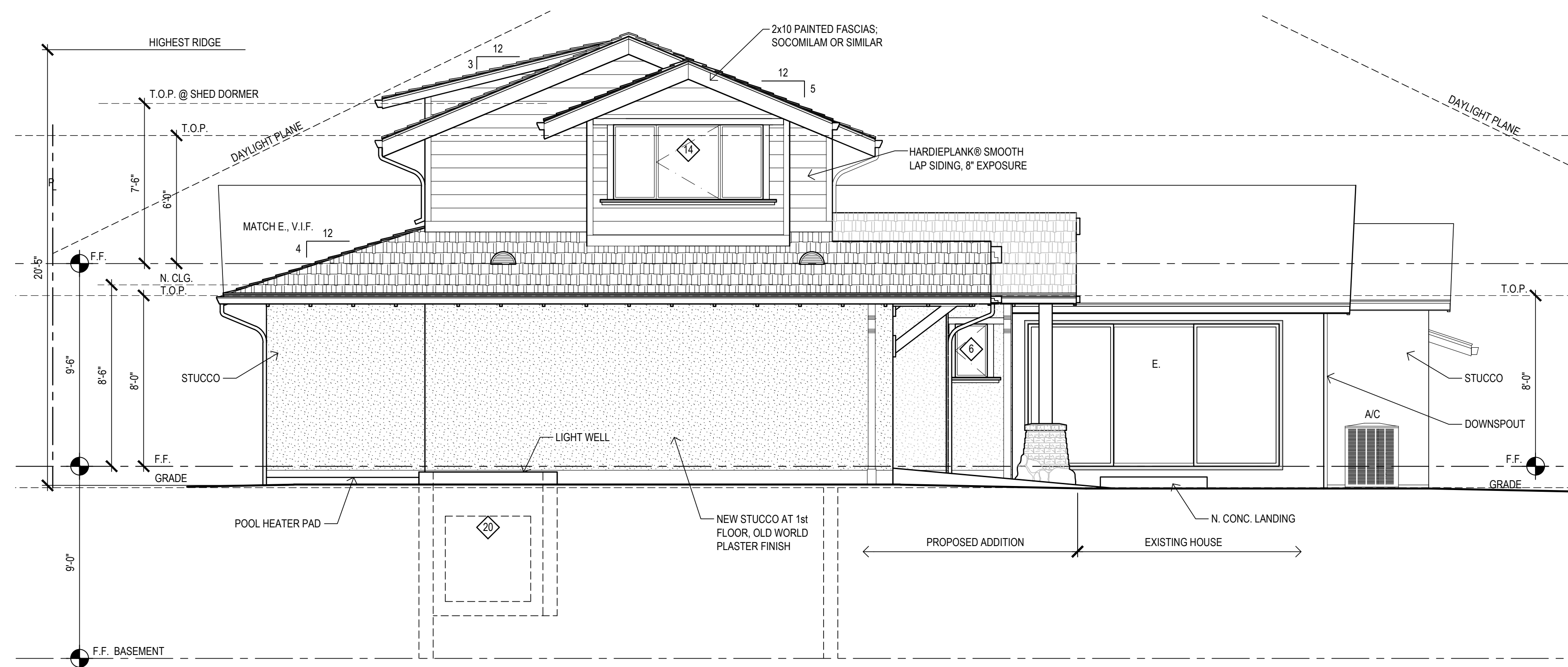
PROPOSED ELEVATIONS

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PHONE NUMBER

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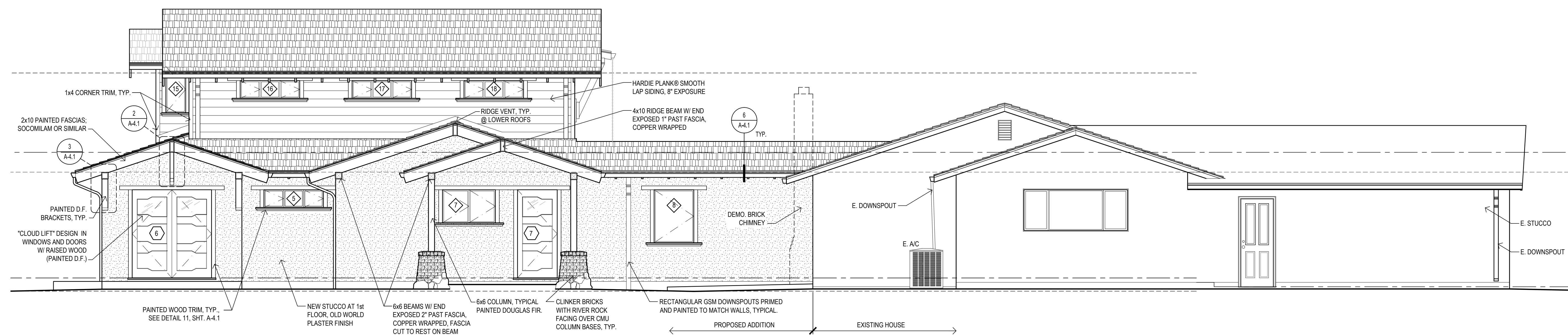
A-3

OF SHEETS



3 PROPOSED NORTH ELEVATION REAR

SCALE: 1/4"=1'-0"



4 PROPOSED WEST ELEVATION LEFT SIDE

SCALE: 1/4"=1'-0"

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PROPOSED ELEVATIONS

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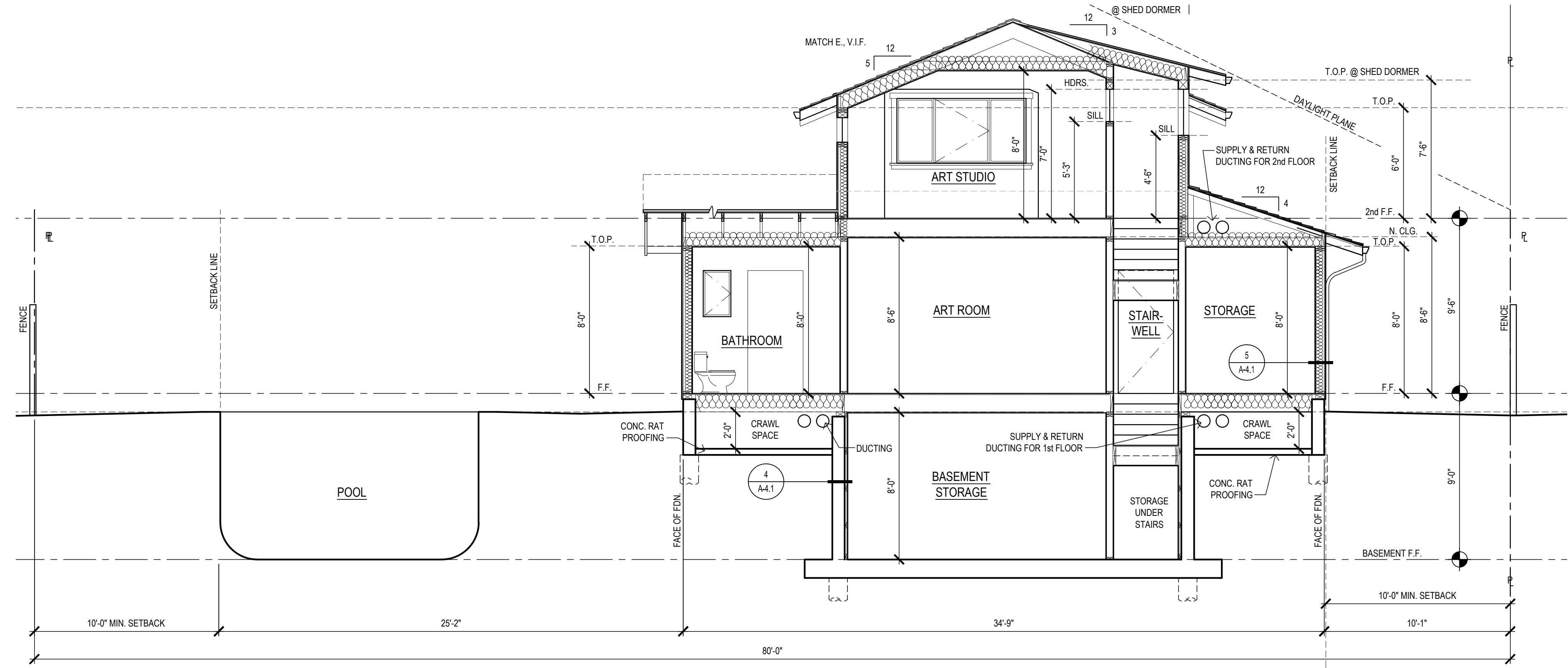
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A-3.1

OF SHEETS

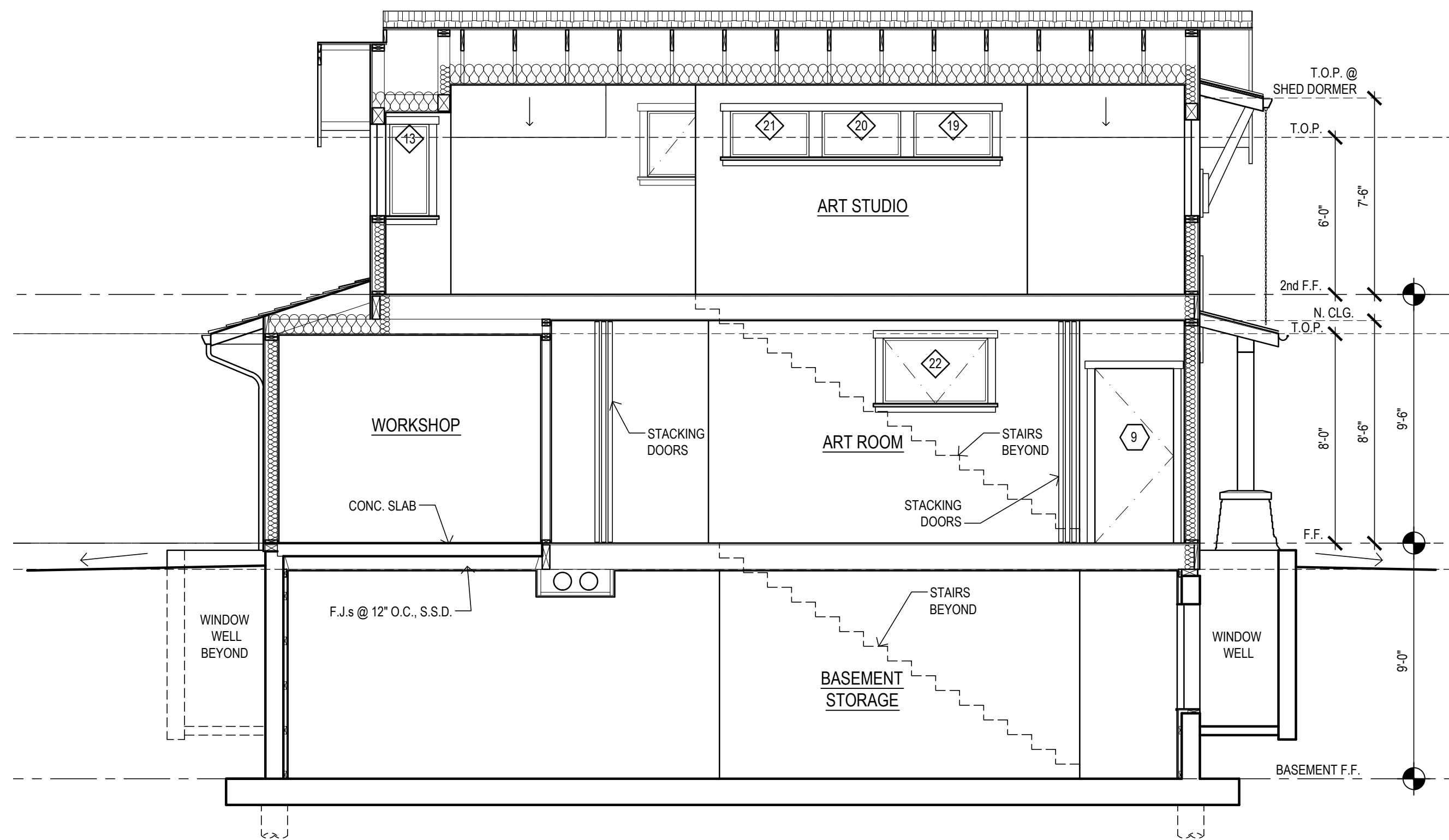
SECTION NOTES:

1. ENCLOSED ACCESSIBLE SPACE UNDER STAIRWAY SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED WITH MINIMUM 1/2" GYPSUM BOARD FOR ONE-HOUR CONSTRUCTION ON ENCLOSED SIDE.
2. STAIRWAY TO HAVE MAXIMUM RISE OF 7 3/4" AND MINIMUM RUN (TREAD) OF 10".
3. PROVIDE 42" MIN. HIGH PROTECTIVE GUARDRAIL FOR DECKS, PORCHES, BALCONIES, RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW) AND OPEN SIDE(S) OF STAIRS AND LANDINGS. OPENINGS BETWEEN BALUSTERS/RAILS SHALL BE SUCH THAT A SPHERE 4" DIA. CANNOT PASS THROUGH.
4. HANDRAILS SHALL SATISFY THE FOLLOWING:
 - A. PROVIDE CONTINUOUS HANDRAIL FOR STAIRWAYS WITH 4 OR MORE RISERS.
 - B. THE TOP OF HANDRAILS SHALL BE 34 TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS.
 - C. INTERMEDIATE BALUSTERS ON OPEN SIDE(S) SHALL BE SPACED SO THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. CRC R312.3
 - D. RETURN HANDRAIL TO NEWEL POST OR WALL.
 - E. HANDGRIP SURFACE 1 1/2" TO 2" IN CROSS SECTION. SMOOTH, 1 1/2" CLEARANCE FROM THE WALL.
5. SECOND FLOOR CEILING HEIGHT (7'-0" MINIMUM) FOR ALL HABITABLE ROOMS, BATHROOMS AND HALLWAYS PER CRC R305.1



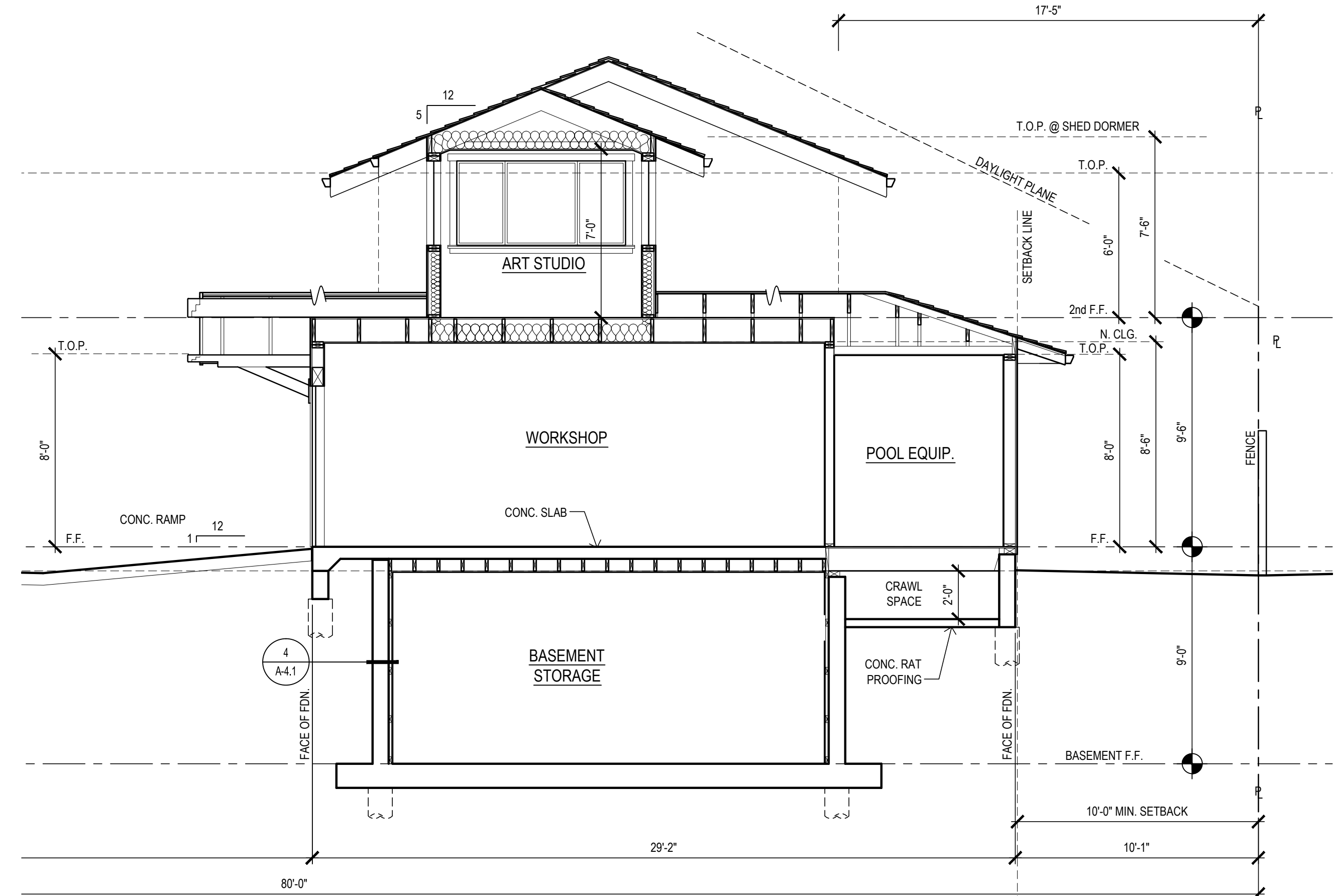
A PROPOSED BUILDING SECTION

SCALE:1/4"=1'-0"



C PROPOSED BUILDING SECTION

SCALE:1/4"=1'-0"



B PROPOSED BUILDING SECTION

SCALE:1/4"=1'-0"

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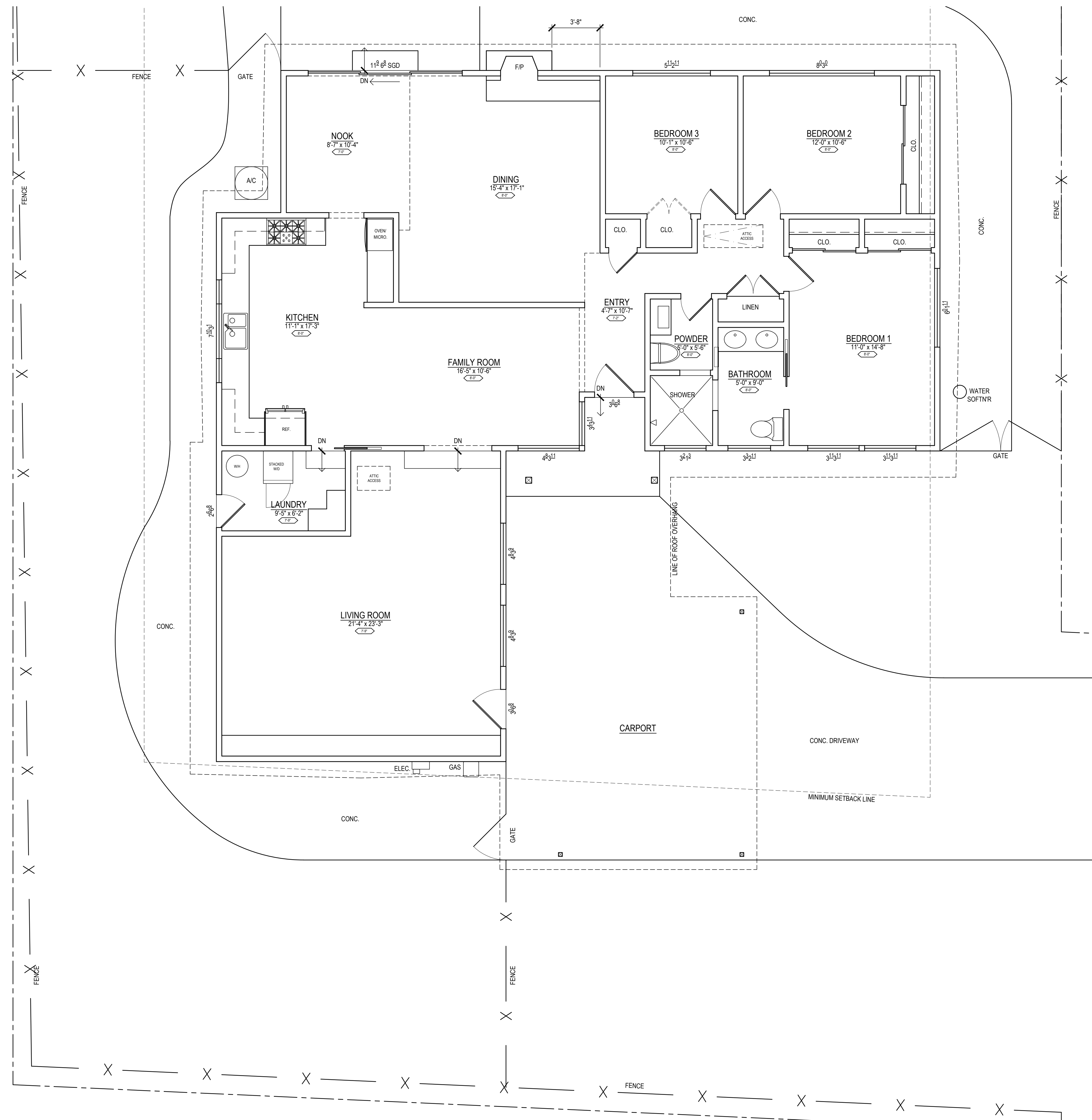
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PROPOSED BUILDING SECTIONS

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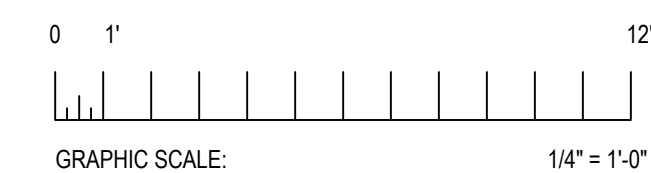
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A-4
 OF SHEETS



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'



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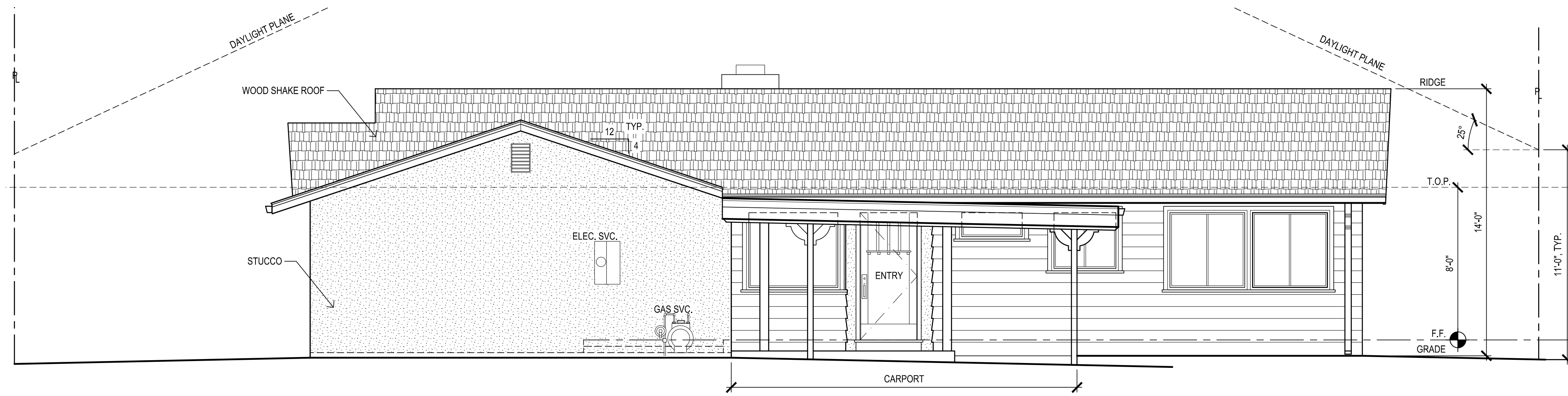
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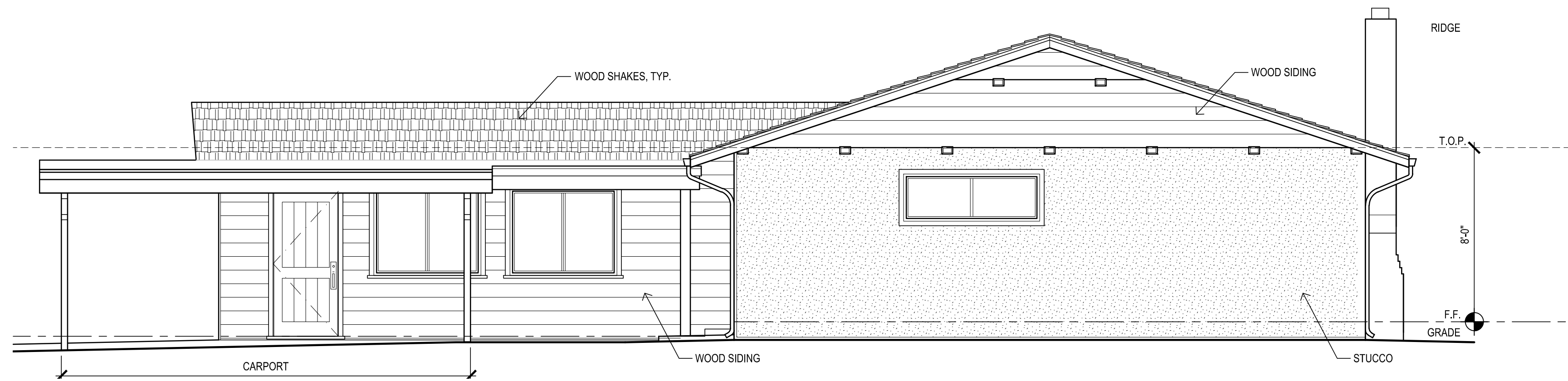
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SHEET	

A-7
 OF SHEETS



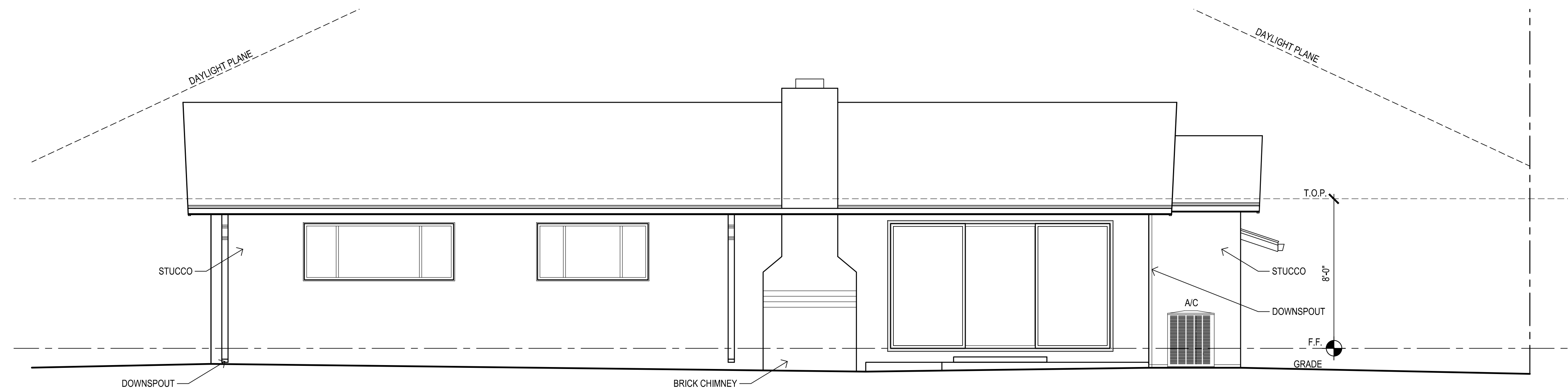
○ E. SOUTH ELEVATION

SCALE: 1/4"=1'-0"



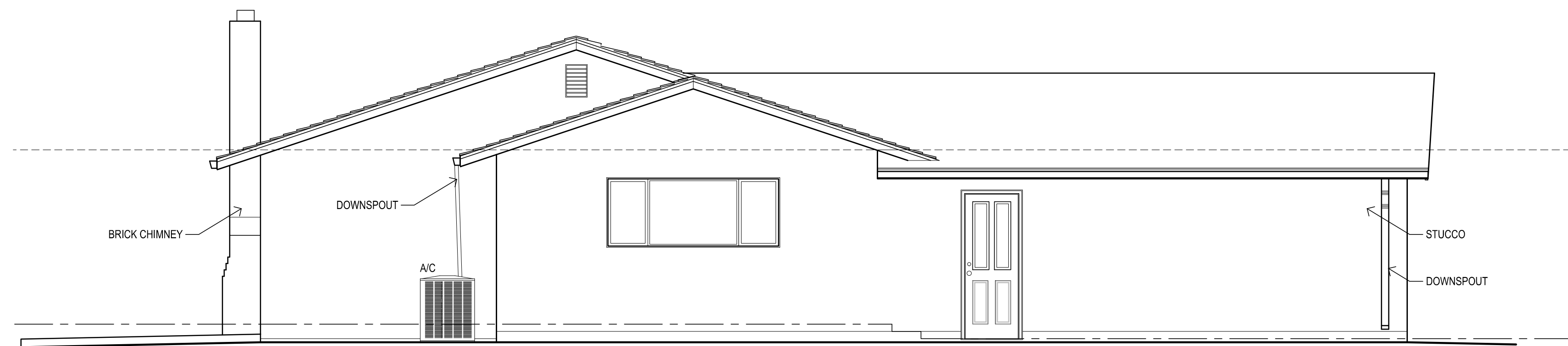
○ E. EAST ELEVATION

SCALE: 1/4"=1'-0"



○ E. NORTH ELEVATION

SCALE: 1/4"=1'-0"



○ E. WEST ELEVATION

SCALE: 1/4"=1'-0"

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EXISTING
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A-8