ALL WORK SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE, 2010 CALIFORNIA RESIDENTIAL CODE, 2010 CALIFORNIA ELECTRICAL CODE, 2010 CALIFORNIA MECHANICAL CODE, 2010 CALIFORNIA PLUMBING CODE, 2010 CALIFORNIA GREEN BUILDING CODE (CALGreen), 2010 CALIFORNIA FIRE CODE (with local amendments), 2008 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS, AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES AND STANDARDS.

SYMBOLS

<del>-∽</del> SWITCH

DUPLEX OUTLET

220V OUTLET

QUAD OUTLET

SWITCHED DUPLEX OUTLET

GROUND FAULT INTERRUPTER OUTLET

WALL MOUNTED LIGHT FIXTURE

FLUORESCENT LIGHT FIXTURE

PERPENDICULAR

TELEPHONE JACK

CEILING RECESSED MOUNTED LIGHT FIXTURE

CEILING SURFACE MOUNTED LIGHT FIXTURE

TELEVISION OUTLET

THERMOSTAT

SMOKE DETECTOR

CABLE TELEVISION

DATA DROP = 1" CONDUIT

(CAT6 & FIBERBUNDLE CABLE)

FENCE

ALL DRAINAGE

COLLECTED TO

DRAIN @ REAR

OF PROPERTY

IN DRAINAGE

PIT/ BASIN —

E. LANDSCAPE

**FUTURE** 

POOL, TO

BE UNDER

SEPARATE

PERMIT

PLANTING

—/12" COPING

← E. CITY

SUB-MAIN

SEWER

DSL DSL

—

HB HOSE BIB

— · — TIGHT DRAIN

N. C.O.

—

GAS CONNECTION

—□<sub>w</sub> WATER CONNECTION

—□<sub>H</sub> HOT WATER CONNECTION

—

c COLD WATER CONNECTION

— ·· — PERFORATED DRAIN

—-— PROPERTY LINE

■ BLOCKING

SHEAR WALL

BATT INSULATION

NEW WALL, (SHADED)

■ POST- CONTINUOUS

== EXISTING WALL TO BE REMOVED

BEAMS, HEADERS, GLULAMS AS NOTED

\_\_\_\_ METAL JOIST, RAFTER, OR BEAM HANGER

PROTECTION

FENCING

N. A/C —

S89°43'45"E 80.00'

EXISTING WALL TO REMAIN

POST ABOVE FRAMING LEVEL

WALL REGISTER

DOOR NUMBER

CLG.HT CEILING HEIGHT

-----

/-- N. LIGHT

SETBACK

SETBACK

AIR CONDITIONING EQUIPMENT

SHALL COMPLY WITH THE CITY'S

DECIBEL RATING REQUIREMENTS

- x — x —

E. SEWER C.O.

TO BE REMOVED /

NOISE CONTROL ORDINANCE AND

74" TREE

#1 CEDAR

## A#

CONTINUOUS FRAMING

TOP OF SUB FLOOR ELEV.

WINDOW NUMBER

FLOOR REGISTER, CEILING REGISTER

ADDENDUM OR REVISION NUMBER

DETAIL - TOP: DWG. NUMBER OR LETTER

BOTTOM: SHEET NUMBER

ELEVATIONS - TOP: ELEVATION NUMBER

BOTTOM: SHEET NUMBER

-----

- 2 - STORY 💢💢

- PATH OF E. MAIN SEWER, TO BE REPLACED &

RELOCATED

TREE

- 1 - STORY [ ADDITION (\_\_\_\_\_\_

ADDITION **XXX** 

CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE ACTUAL SITE CONDITIONS PRIOR TO BIDDING, AND FOR ANY UNIQUE CIRCUMSTANCES OR DISCREPANCIES THAT MAY EXIST.

DIMENSIONS, UNLESS OTHERWISE SHOWN, ARE TO STUDLINE, ROUGH CONCRETE OR CONCRETE BLOCK SURFACES CONTRACTORS SHALL VERIFY ALL DIMENSIONS PRIOR TO THE FABRICATION OF ANY WORK. DO NOT SCALE DRAWINGS, ONLY WRITTEN DIMENSIONS ARE TO BE USED. ANY ERRORS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, IN WRITING, IMMEDIATELY. UNLESS REPORTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIMENSIONAL INCONSISTENCIES AND PROBABLE REMEDIAL WORK

IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT SHOWN. THEN THEIR CONSTRUCTION SHALL BE OF THE

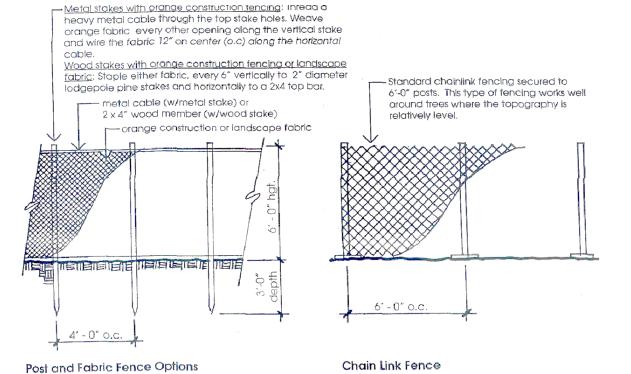
- SAME CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN OR CALLED FOR. IF APPLICABLE, CURBS AND CURB CUTS TO BE PER CITY STANDARDS. INSPECT, REPAIR & REPLACE DAMAGED CURBS & CURB CUT PER CITY REQUIREMENTS.
- THE FINISHES FOR THIS RESIDENCE, INCLUDING BUT NOT LIMITED TO, FLOOR COVERINGS, PAINT, CABINET TREATMENT, LIGHT FIXTURES ETC., ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- SEPARATE PERMIT SHALL BE OBTAINED FOR ELECTRICAL, HEATING, AND PLUMBING INSTALLATIONS. CONTRACTOR SHALL PROVIDE DESIGN/SCHEMATICS AND PAY REQUIRED PERMIT FEES.
- CONTRACTOR SHALL COORDINATE BETWEEN THE VARIOUS TRADES/SUBCONTRACTORS. WHENEVER REQUIRED, CONTRACTOR SHALL OBTAIN OWNER'S APPROVAL, PRIOR TO INSTALLATION OF FIXTURES, HARDWARE, FINISHES, ETC.
- CONTRACTOR SHALL INFORM UTILITY AND TELEPHONE COMPANIES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HOOK-UP AND START-UP OF ALL UTILITIES.
- ALL MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DISPOSED OF OR RECYCLED BY THE CONTRACTOR. 13. CONTRACTOR SHALL MAINTAIN COMPLETE STRUCTURAL INTEGRITY AT ALL TIMES AND SHALL PROVIDE ADEQUATE PRECAUTION FOR
- THE SAFETY OF PUBLIC LIFE AND PROPERTY.
- 14. INSTALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS REQUIRED PER CITY STANDARDS.

## ARREVIATIONS:

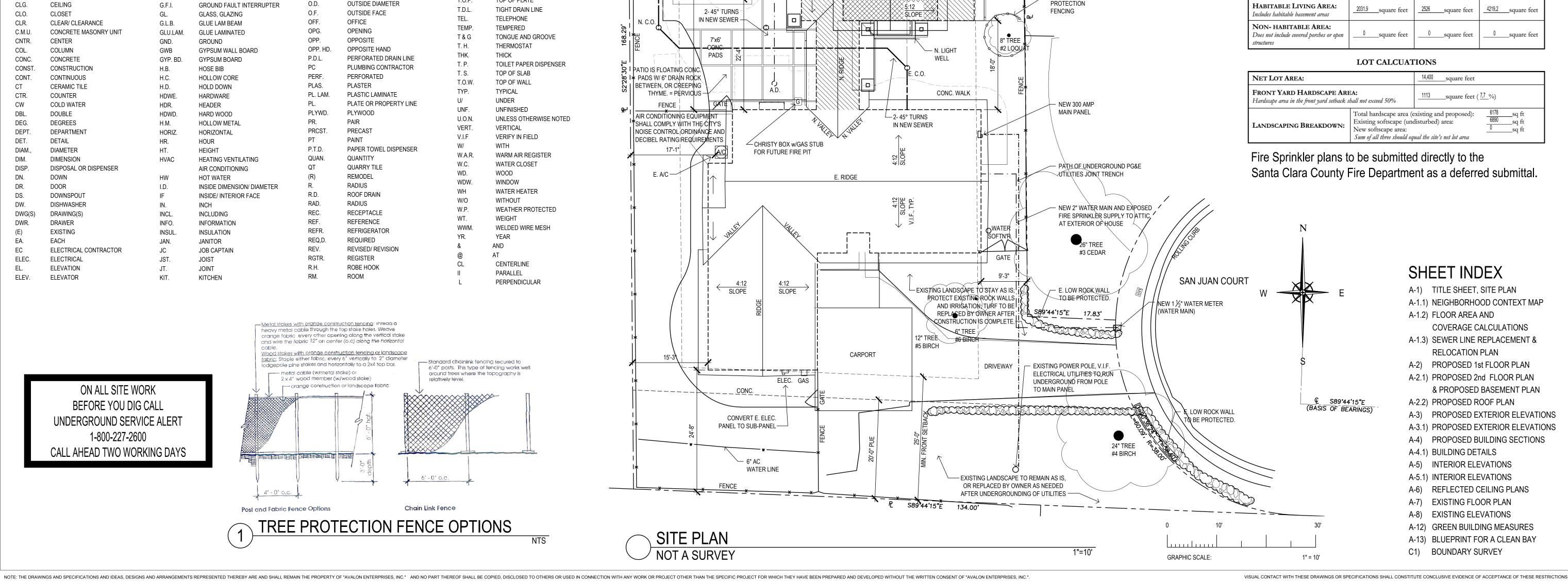
**GENERAL NOTES:** 

ABBR	EVIATIONS:						
A.B.	ANCHOR BOLT	ENCL.	ENCLOSURE	LAM.	LAMINATE	R.O.	ROUGH OPENING
ACC	ACCESSIBLE	EQ.	EQUAL	LAV.	LAVATORY	R/W	RETAINING WALL
ACCOUS.	ACCOUSTICAL	EQUIP.	EQUIPMENT	LL LL	LANDLORD	RWD.	REDWOOD
ACT	ACCOUSTICAL CEILING TILE	E.W.	EACH WAY	M.C.	MEDICINE CABINET	R.W.L.	RAIN WATER LEADER
A.D.	AREA DRAIN	EXIST.	EXISTING	MATL.	MATERIAL	S.C.	SOLID CORE
ADJ.	ADJUSTABLE	EXP	EXPOSED	MAX.	MAXIMUM	S.D.	SOAP DISPENSER
AFF	ABOVE FINISHED FLOOR	EXTR.	EXTERIOR	MC	MECHANICAL CONTRACTOR	S.S.D.	SEE STRUCTURAL DRAWINGS
AGGR.	AGGREGATE	F.D.	FLOOR DRAIN	MIN.	MINIMUM	SEC.	SECURITY SECURITY
AUGIN. ALT.	ALTERNATE	FDN.	FOUNDATION	MIR.	MIRROR	SECT.	SECTION
ALT. ALUM.	ALUMINUM	F.F.	FINISH FLOOR	MISC.	MISCELLANEOUS	S.F.	SQUARE FEET
APPROX.	APPROXIMATE	F.G.	FINISHED GRADE	MECH.	MECHANICAL	SH.	SHELF
ARCH.	ARCHITECT, ARCHITECTURAL	FIN.	FINISH	MEP	MECHANICAL ELECTRICAL	SHT.	SHEET
BD.	BOARD	FIN. FLASH.	FLASHING	IVICI	AND PLUMBING	SHTG	SHEATHING
во. ВЕТ.	BETWEEN	FLASH. FLR.	FLOOR	MFR.	MANUFACTURER	SIM.	SIMILAR
BLDG.	BUILDING	FLK. FLUOR.	FLUORESCENT	MLDG.	MOULDING	SOL.	SOLID
BLDG. BLKG.	BLOCKING			MTL.	METAL	SPEC.	SPECIFICATION
		F.O.C.	FACE OF CLAZING	MAT'L	MATERIAL	SQ.	SQUARE
BOB	BOTTOM OF BEAM	F.O.G.	FACE OF GLAZING	(N)	NEW	S/S	STAINLESS STEEL
BOT.	BOTTOM	F.O.S.	FACE OF STUD	NAT	NATURAL	STD.	STANDARD
B.O.W.	BOTTOM OF WALL	FRMG.	FRAMING	NEC.	NECESSARY	STG	STORAGE
BSMT.	BASEMENT	FRP	FIBERGLASS REINFORCED PANEL	N.I.C.	NOT INCLUDED IN CONTRACT	STL.	STEEL
B.W.	BOTTOM OF WALL	FRPF.	FIREPROOF		NUMBER	STRUCT	STRUCTURAL
C.A.R.	COLD AIR RETURN	FT.	FOOT/ FEET	NO., #		SUSP	SUSPENDED
CAB.	CABINET	FTG.	FOOTING	N.T.S.	NOT TO SCALE	SYM.	SYMMETRICAL
C/C	CENTER TO CENTER	FURR.	FURRING	0/	OVER	T.	TREAD
CEM.	CEMENT	GA.	GAUGE	O.A.	OVERALL	T.B.	TOWEL BAR
CER.	CERAMIC	GALV.	GALVANIZED	OBS.	OBSCURE	T.B.D.	TO BE DETERMINED
C.F.M	CUBIC FT. PER MINUTE	G.C.	GENERAL CONTRACTOR	OCC.	OCCUPANCY	T.O.C.	TOP OF CURB
CL	CENTER LINE	GEN.	GENERAL	O.C.	ON CENTER	T.O.P.	TOP OF PLATE
CLG.	CEILING	G.F.I.	GROUND FAULT INTERRUPTER	O.D.	OUTSIDE DIAMETER	T.D.L.	TIGHT DRAIN LINE
CLO.	CLOSET	GL.	GLASS, GLAZING	0.F.	OUTSIDE FACE	TEL.	TELEPHONE
CLR.	CLEAR/ CLEARANCE	G.L.B.	GLUE LAM BEAM	OFF.	OFFICE	TEMP.	TEMPERED
C.M.U.	CONCRETE MASONRY UNIT	GLU.LAM.	GLUE LAMINATED	OPG.	OPENING	T & G	TONGUE AND GROOVE
CNTR.	CENTER	GND.	GROUND	OPP.	OPPOSITE	T. H.	THERMOSTAT
COL.	COLUMN	GWB	GYPSUM WALL BOARD	OPP. HD.	OPPOSITE HAND	THK.	THICK
CONC.	CONCRETE	GYP. BD.	GYPSUM BOARD	P.D.L.	PERFORATED DRAIN LINE	T. P.	TOILET PAPER DISPENSER
CONST.	CONSTRUCTION	H.B.	HOSE BIB	PC	PLUMBING CONTRACTOR	T. S.	TOP OF SLAB
CONT.	CONTINUOUS	H.C.	HOLLOW CORE	PERF.	PERFORATED	T.O.W.	TOP OF WALL
CT	CERAMIC TILE	H.D.	HOLD DOWN	PLAS.	PLASTER	TYP.	TYPICAL
CTR.	COUNTER	HDWE.	HARDWARE	PL. LAM.	PLASTIC LAMINATE	U/	UNDER
CW	COLD WATER	HDR.	HEADER	PL.	PLATE OR PROPERTY LINE	UNF.	UNFINISHED
DBL.	DOUBLE	HDWD.	HARD WOOD	PLYWD.	PLYWOOD	U.O.N.	UNLESS OTHERWISE NOTED
DEG.	DEGREES	H.M.	HOLLOW METAL	PR.	PAIR	VERT.	VERTICAL
DEPT.	DEPARTMENT	HORIZ.	HORIZONTAL	PRCST.	PRECAST	V.I.F	VERIFY IN FIELD
DET.	DETAIL	HR.	HOUR	PT 	PAINT	W/	WITH
DIAM.,	DIAMETER	HT.	HEIGHT	P.T.D.	PAPER TOWEL DISPENSER	W.A.R.	WARM AIR REGISTER
DIM.	DIMENSION	HVAC	HEATING VENTILATING	QUAN.	QUANTITY	W.C.	WATER CLOSET
DISP.	DISPOSAL OR DISPENSER		AIR CONDITIONING	QT	QUARRY TILE	WD.	WOOD
DN.	DOWN	HW	HOT WATER	(R)	REMODEL	WDW.	WINDOW
DR.	DOOR	I.D.	INSIDE DIMENSION/ DIAMETER	R.	RADIUS	WH	WATER HEATER
DS.	DOWNSPOUT	IF	INSIDE/ INTERIOR FACE	R.D.	ROOF DRAIN	W/O	WITHOUT
DW.	DISHWASHER	IN.	INCH	RAD.	RADIUS	W.P.	WEATHER PROTECTED
DWG(S)	DRAWING(S)	INCL.	INCLUDING	REC.	RECEPTACLE	WT.	WEIGHT
DWR.	DRAWER	INFO.	INFORMATION	REF.	REFERENCE	WWM.	WELDED WIRE MESH
(E)	EXISTING	INSUL.	INSULATION	REFR.	REFRIGERATOR		YEAR
EA.	EACH	JAN.	JANITOR	REQ,D.	REQUIRED	YR.	
EC	ELECTRICAL CONTRACTOR	JC	JOB CAPTAIN	REV.	REVISED/ REVISION	&	AND
ELEC.	ELECTRICAL	JST.	JOIST	RGTR.	REGISTER	@	AT CENTEDLINE
EL.	ELEVATION	JT.	JOINT	R.H.	ROBE HOOK	CL	CENTERLINE PARALLEL
ELEV.	ELEVATOR	KIT.	KITCHEN	RM.	ROOM		PARALLEL PERPENDICUI AR
						ı	ELDELMINGULAR

ON ALL SITE WORK BEFORE YOU DIG CALL UNDERGROUND SERVICE ALERT 1-800-227-2600 CALL AHEAD TWO WORKING DAYS



REE PROTECTION FENCE OPTIONS



REVISIONS

170-13-047 ASSESSOR'S NUMBER ZONING DISTRICT ZONING COMPLIANCE

**BUILDING DATA** 

BUILDING OCCUPANCY GROUP, R-3

TYPE OF CONSTRUCTION: TYPE ▼

STORIES: 2

Tree List: Cedar

Loquat

Cedar

Birch

Birch

Birch

	Existing	Proposed	Allowed/Require
LOT COVERAGE:  Land area covered by all structures that are over 6 feet in height	2891.6 square feet ( 20.1 %)	3857.6 square feet (_26.8_%)	3920 square fee
FLOOR AREA: Measured to the outside surfaces of exterior walls	1st Flr: 2372.5 sq ft 2nd Flr: 0 sq ft <b>Total:</b> 2372.5 sq ft ( 16.5 %)	1st Flr: 3615.4 sq ft 2 <sup>nd</sup> Flr: 571.9 sq ft <b>Total:</b> 4187.3 sq ft ( 29.08 %)	4,190 square fee (_29.10_%)
SETBACKS: Front Rear Right side (1st/2nd) Left side (1st/2nd)	24.67 feet 89 feet 9.25 feet/feet 15 feet/feet	24.67 feet 34.5 feet 10 feet/17.5 feet 15 feet/feet	25 feet 25 feet 10 feet/ 17.5 feet 10 feet/ 17.5 feet
Неіснт:	_14feet	_21.3 _feet	_30'feet

## **SQUARE FOOTAGE BREAKDOWN**

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: Includes habitable basement areas	2031.9 square feet	square feet	4219.2 square feet
NON- HABITABLE AREA:  Does not include covered porches or open structures	square feet	square feet	square feet

## LOT CALCUATIONS

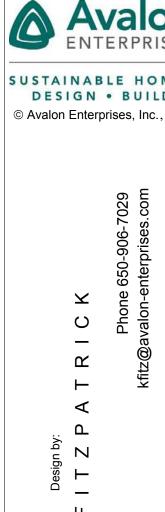
NET LOT AREA:	square feet	
FRONT YARD HARDSCAPE ARE Hardscape area in the front yard setback s.	square feet ( 7.7_%)	
LANDSCAPING BREAKDOWN:	Total hardscape area (c Existing softscape (und New softscape area: Sum of all three should eq	sq ft

Fire Sprinkler plans to be submitted directly to the Santa Clara County Fire Department as a deferred submittal.



- A-1) TITLE SHEET, SITE PLAN
- A-1.1) NEIGHBORHOOD CONTEXT MAP A-1.2) FLOOR AREA AND
- COVERAGE CALCULATIONS A-1.3) SEWER LINE REPLACEMENT &
- RELOCATION PLAN A-2) PROPOSED 1st FLOOR PLAN
- A-2.1) PROPOSED 2nd FLOOR PLAN & PROPOSED BASEMENT PLAN
- A-2.2) PROPOSED ROOF PLAN
- A-3) PROPOSED EXTERIOR ELEVATIONS A-3.1) PROPOSED EXTERIOR ELEVATIONS
- A-4) PROPOSED BUILDING SECTIONS
- A-4.1) BUILDING DETAILS
- A-5) INTERIOR ELEVATIONS
- A-5.1) INTERIOR ELEVATIONS
- A-6) REFLECTED CEILING PLANS A-7) EXISTING FLOOR PLAN
- A-8) EXISTING ELEVATIONS A-12) GREEN BUILDING MEASURES
- A-13) BLUEPRINT FOR A CLEAN BAY
- C1) BOUNDARY SURVEY





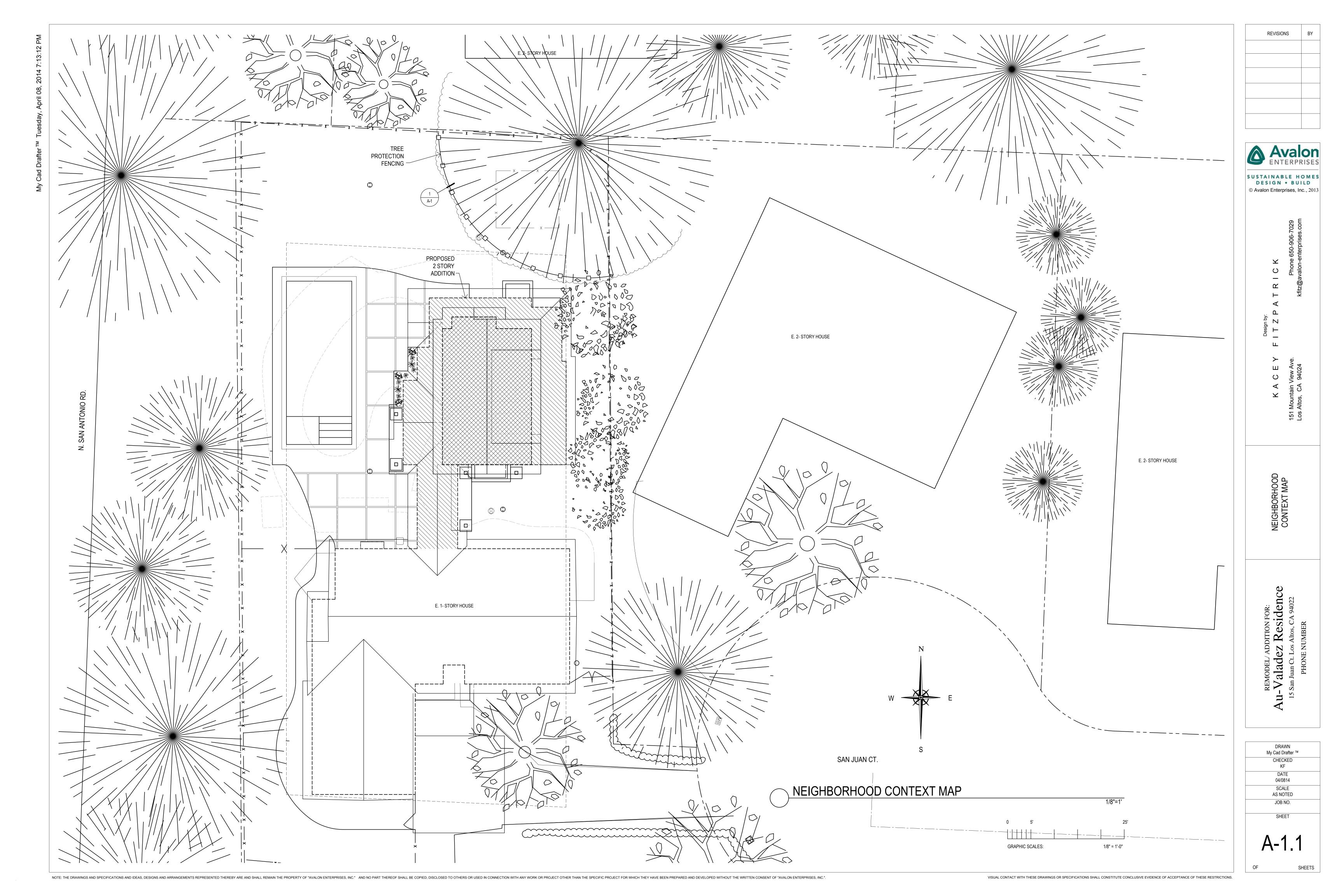
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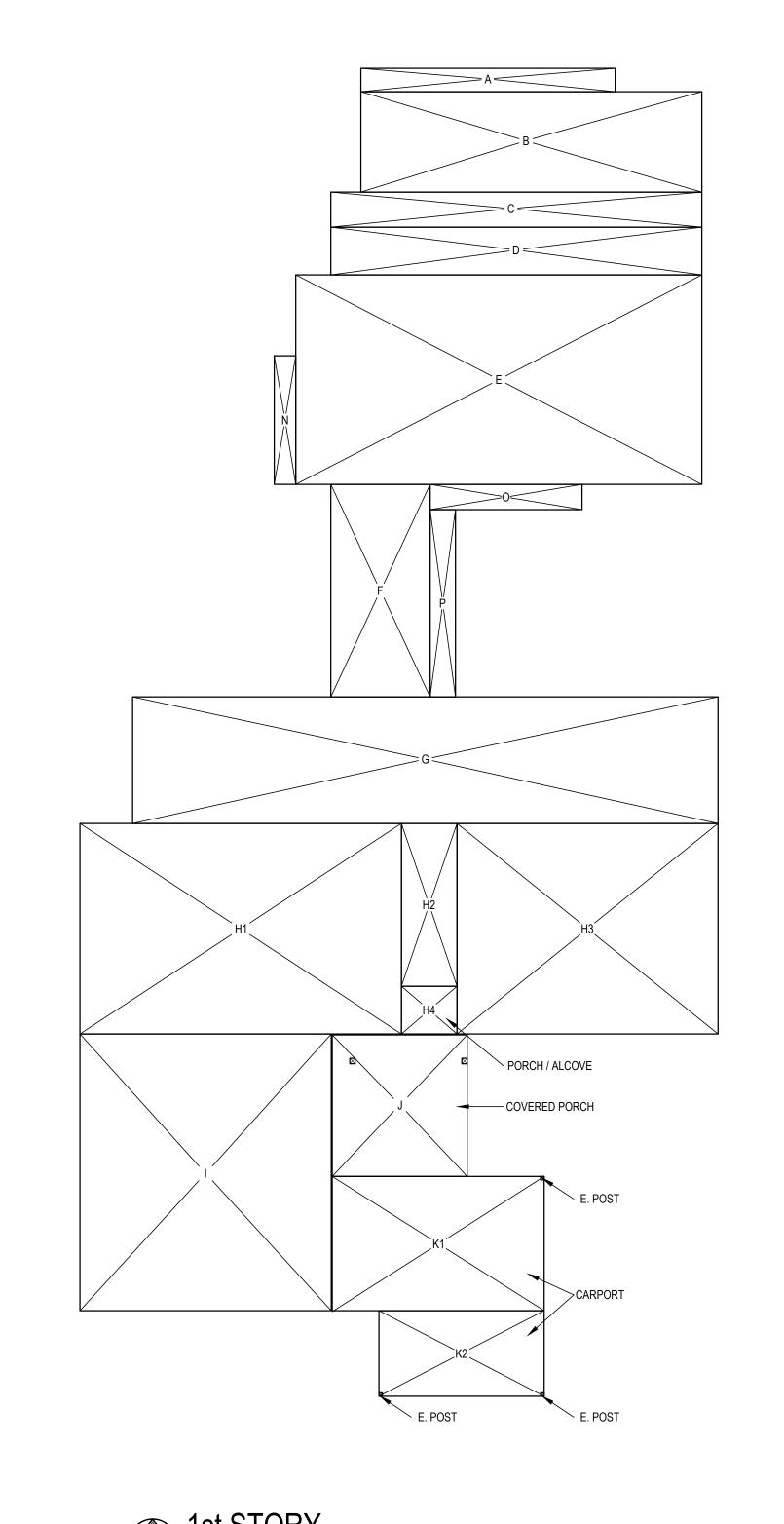
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DITTION FOR:
Residence REMODEL/ADD-Valadez

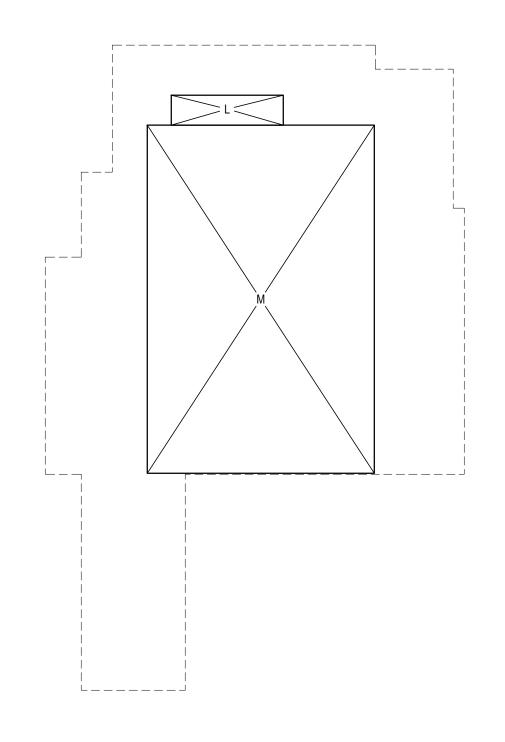
My Cad Drafter ™ CHECKED DATE 04/29/14 SCALE AS NOTED JOB NO. SHEET

SHEETS





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2nd STORY

SCALE:1/4"=1'-0"

0 5' 25'

GRAPHIC SCALE: 1/8" = 1'-0"

Section	<u>Dimensions</u>	<u>Area</u>	
Α	21'-9" x 2'-0"	43.5 sq. ft.	
В	29'-2" x 8'-7"	250.3 sq. ft.	
С	31'-9" x 3'-0"	95.25 sq. ft.	
D	31'-9" x 4'-1"	129.6 sq. ft.	
Е	34'-9" x 17'-11"	622.6 sq. ft.	
F	8'-6" x 18'-2"	154.4 sq. ft.	
G	50'-1" x 10'-10"	542.6 sq. ft.	
H1	27'-6" x 18'-0"	495 sq. ft.	
H2	4'-9" x 13'-11"	66.1 sq. ft.	
H3	22'-4" x 18'-0"	402 sq. ft.	
1	21'-6" x 23'-8"	509 sq. ft.	
K1	18'-0" x 11'-6"	207 sq. ft.	
K2	14'-0" x 7'-0"	98 sq. ft.	
1st STOR	Y SUBTOTAL =	3,615.4 sq. ft.	
L	9'-4" x 2'-6"	23.3 sq. ft.	
М	18'-11" x 29'-0"	548.6 sq. ft.	
2nd STORY SUBTOTAL =		571.9 sq. ft.	
TOTAL FL	OOR AREA =	4187.3 sq. ft.	
H4	4'-9" x 4'-1"	19.4 sq. ft.	
J	11'-6" x 12'-1"	139.7 sq. ft.	
N	1'-10" x 11'-0"	20.2 sq. ft.	
0	13'-0" x 2'-2"	28.2 sq. ft.	
Р	2'-2" x 16'-0"	34.7 sq. ft.	
1st STOR	Y SUBTOTAL =	3,615.4 sq. ft.	

VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SCALE:1/4"=1'-0"

RE	EVISIONS	BY

Avalon
ENTERPRISES

SUSTAINABLE HOMES
DESIGN • BUILD
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CEY FITZPATRICK

Week Ave.

FLOOR AREA AND COVERAGE CALCULATIONS

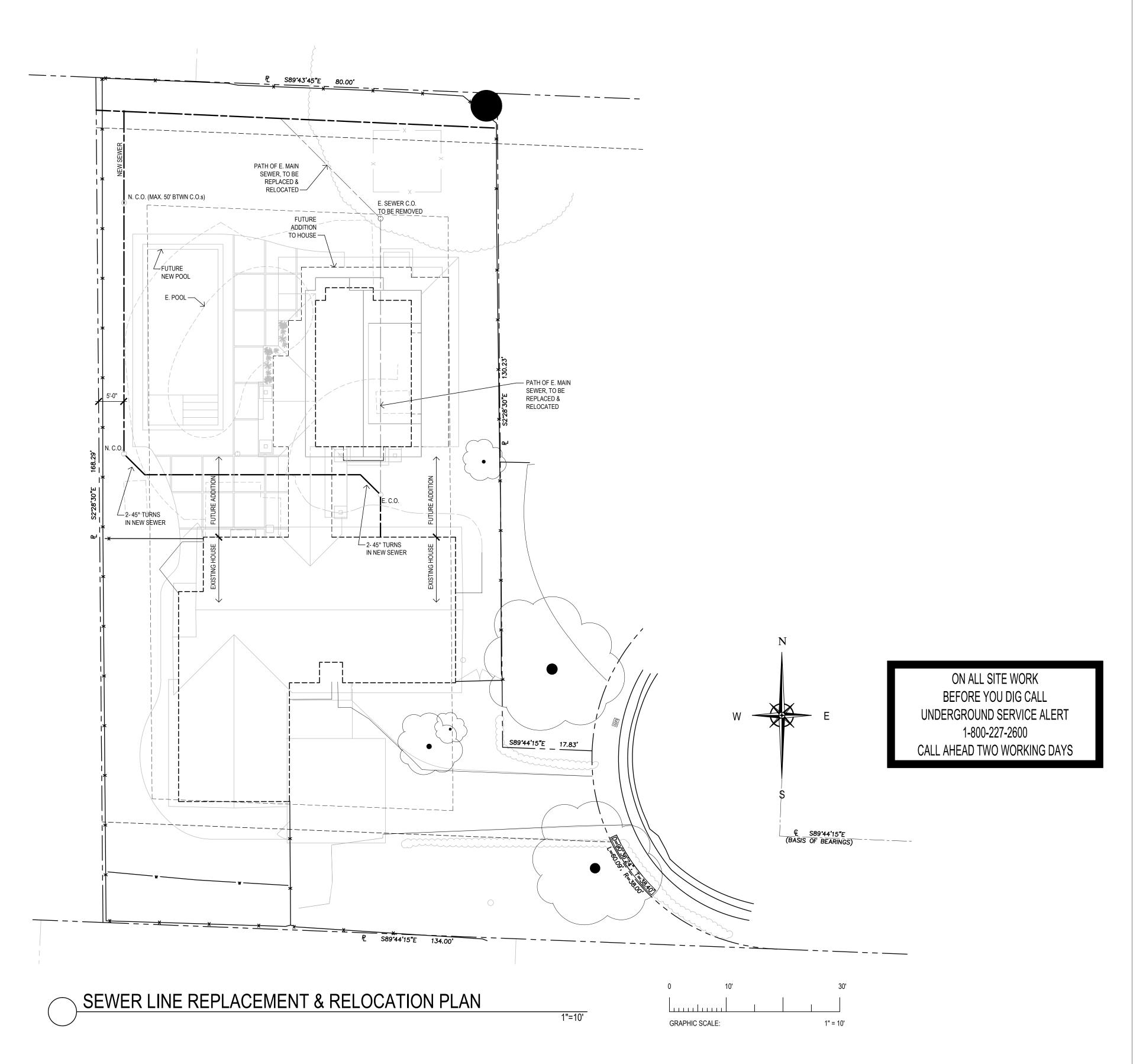
REMODEL/ ADDITION FOR:

Au-Valadez Residence
15 San Juan Ct. Los Altos, CA 94022

DRAWN	
My Cad Drafter ™	
CHECKED	
KF	
DATE	
04/29/14	
SCALE	
AS NOTED	
JOB NO.	
SHEET	

A-1.2

SHEET



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REVISIONS

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REMODEL/ ADDITION FOR:

1-Valadez Residence

15 San Juan Ct. Los Altos, CA 94022

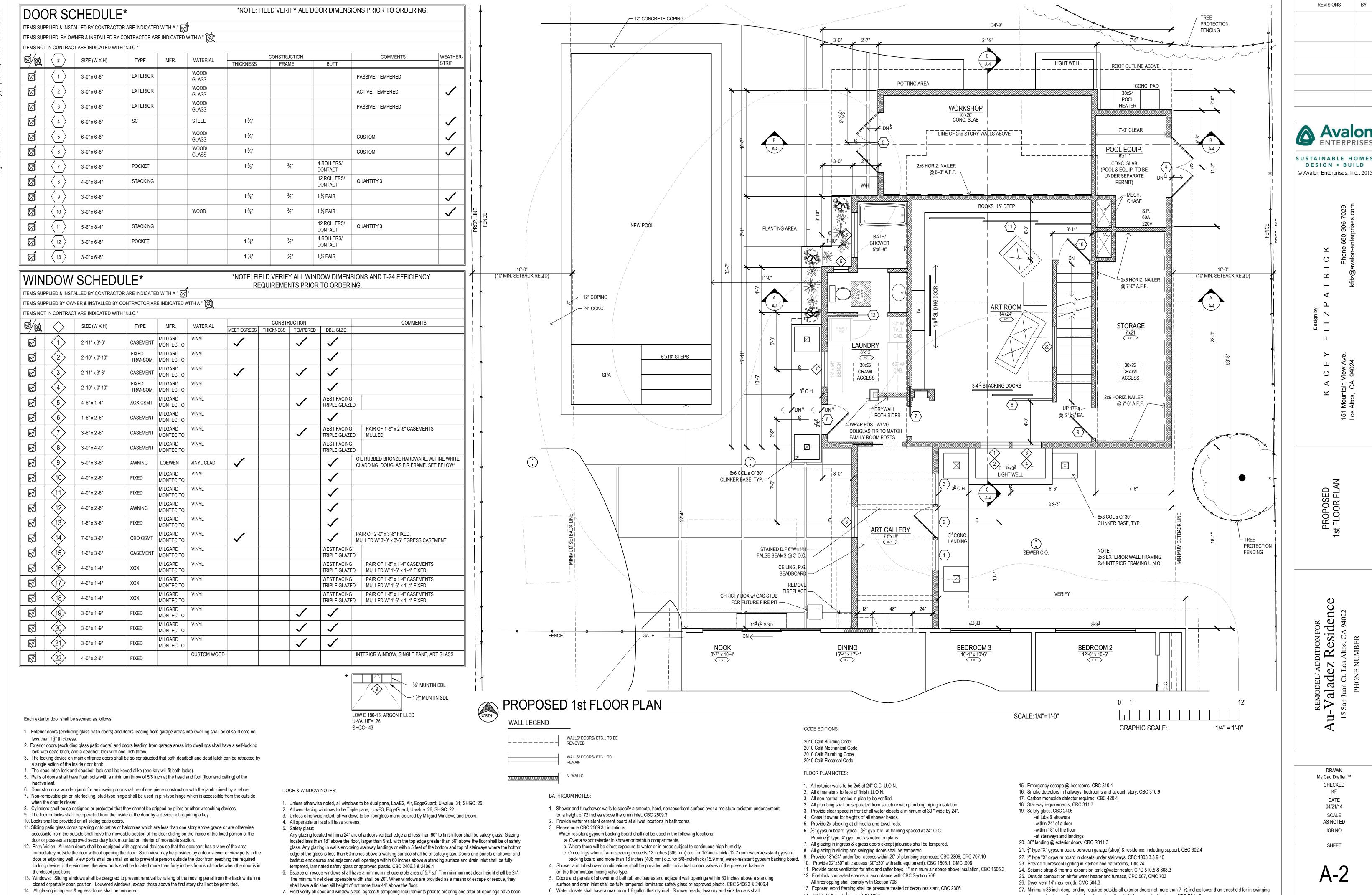
PHONE NUMBER

My Cad Drafter ™ CHECKED 04/21/14 SCALE AS NOTED JOB NO.

15. All glazing in sliding & swinging doors shall be tempered.

framed.

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have a maximum flow rate of 2.5 g.p.m.per California Energy Commission, typical all baths.

14. 10% light & vent, ½ open, CBC 1203

doors and not more than  $1\frac{1}{2}$  inch lower than threshold for out-swinging doors. CRC R311.3

REVISIONS

DITION FOR:
Residence

MODEL/ADI

My Cad Drafter ™

CHECKED

KF

DATE

04/21/14

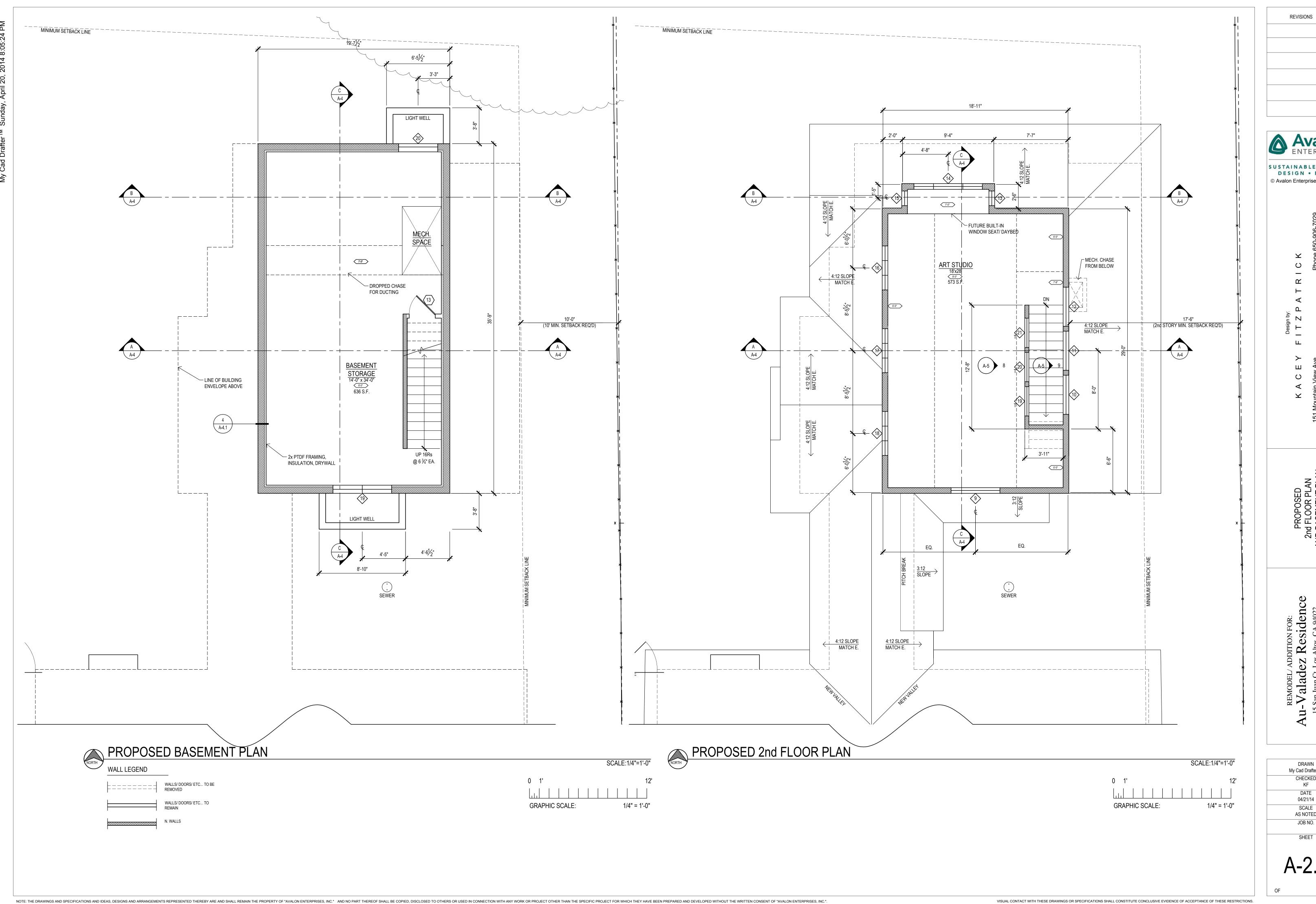
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AS NOTED

JOB NO.

SHEET

SHEETS

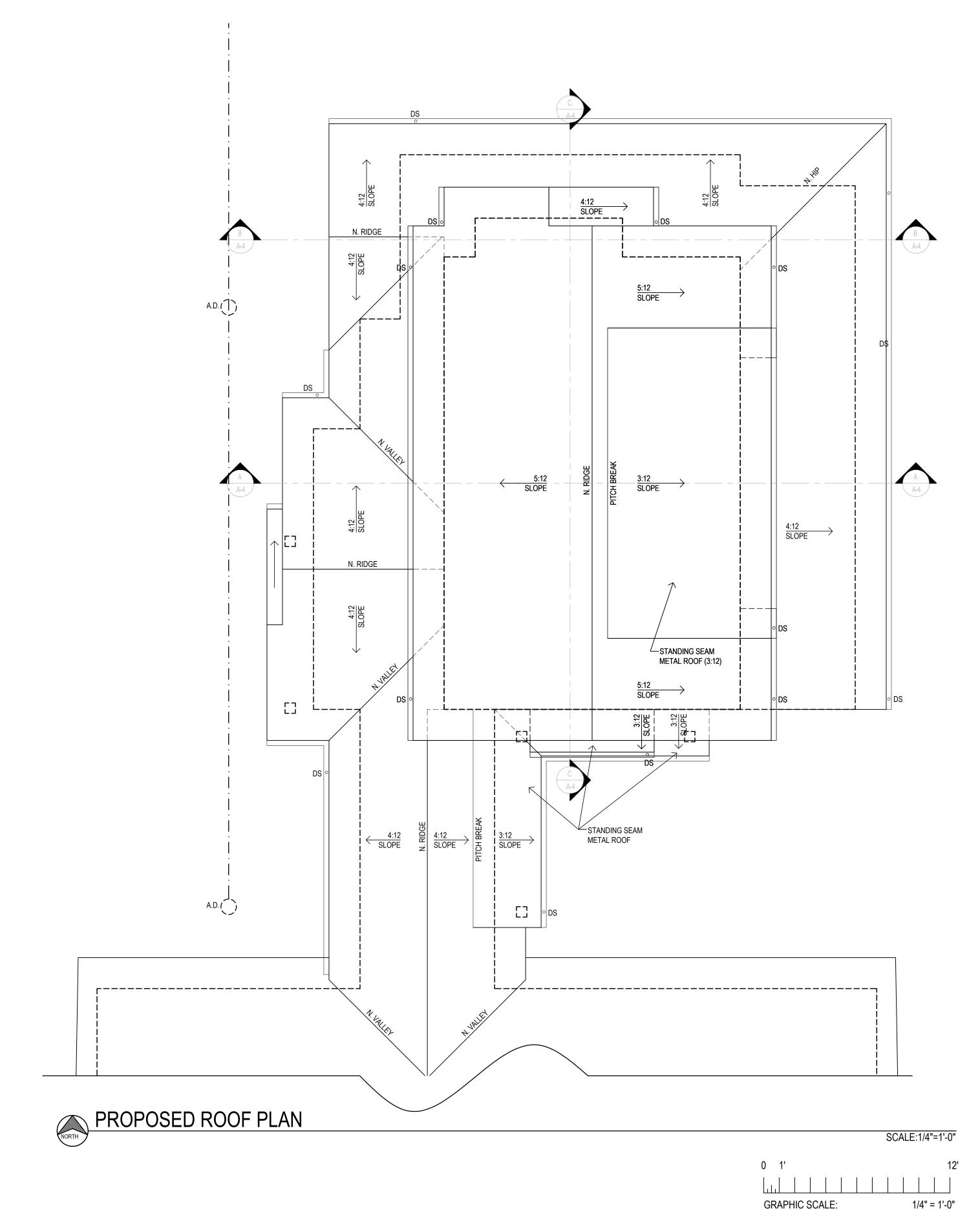


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REMODEL/ ADDITION FOR: **u-Valadez Residence**15 San Juan Ct. Los Altos, CA 94022

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REVISIONS

SUSTAINABLE HOMES DESIGN • BUILD

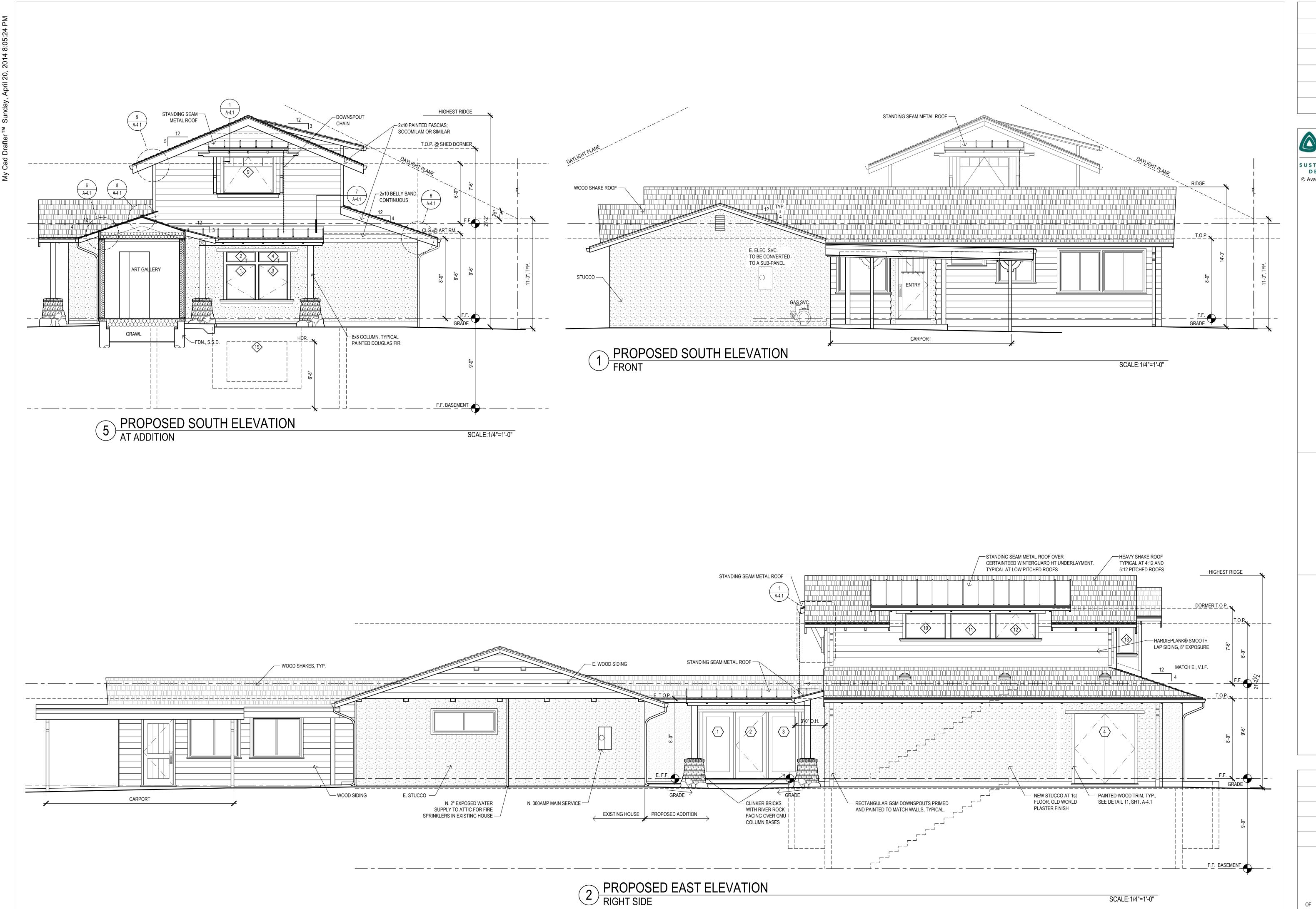
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REMODEL/ ADDITION FOR:

Au-Valadez Residence
15 San Juan Ct. Los Altos, CA 94022
PHONE NUMBER

My Cad Drafter ™ CHECKED DATE 04/21/14 SCALE AS NOTED JOB NO.



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REVISIONS

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ENTERPRISES

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DESIGN • BUILD

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Design by:
KACEY FITZPATRICK
ntain View Ave.

PROPOSED ELEVATIONS

REMODEL/ ADDITION FOR:

1-Valadez Residence

15 San Juan Ct. Los Altos, CA 94022

PHONE NUMBER

DRAWN
My Cad Drafter ™

CHECKED
KF

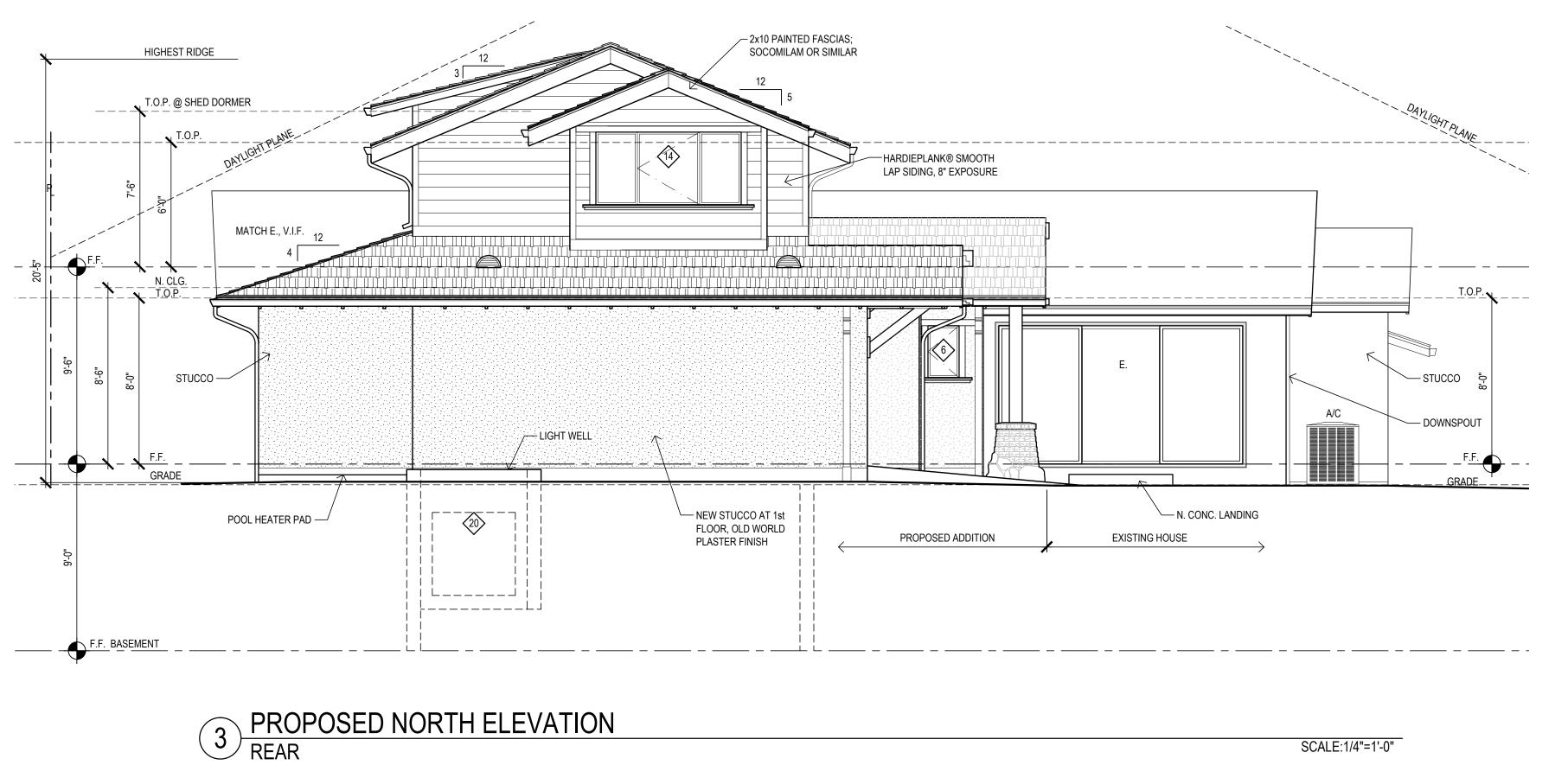
DATE
04/21/14

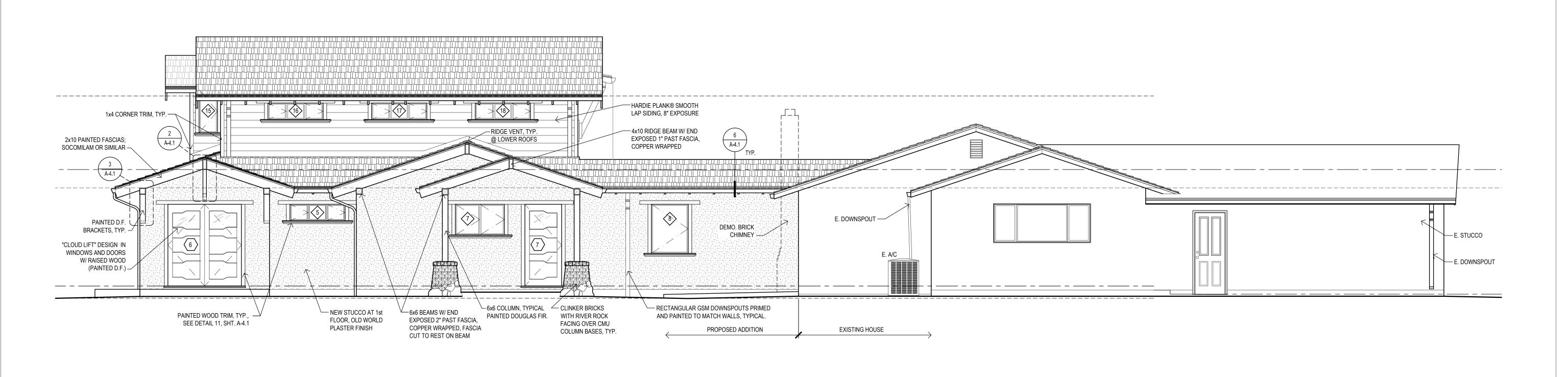
SCALE
AS NOTED

JOB NO.

SHEET

A-3





REVISIONS

SUSTAINABLE HOMES

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SCALE:1/4"=1'-0"

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REMODEL/ ADDITION FOR:

1-Valadez Residence

15 San Juan Ct. Los Altos, CA 94022

PHONE NUMBER

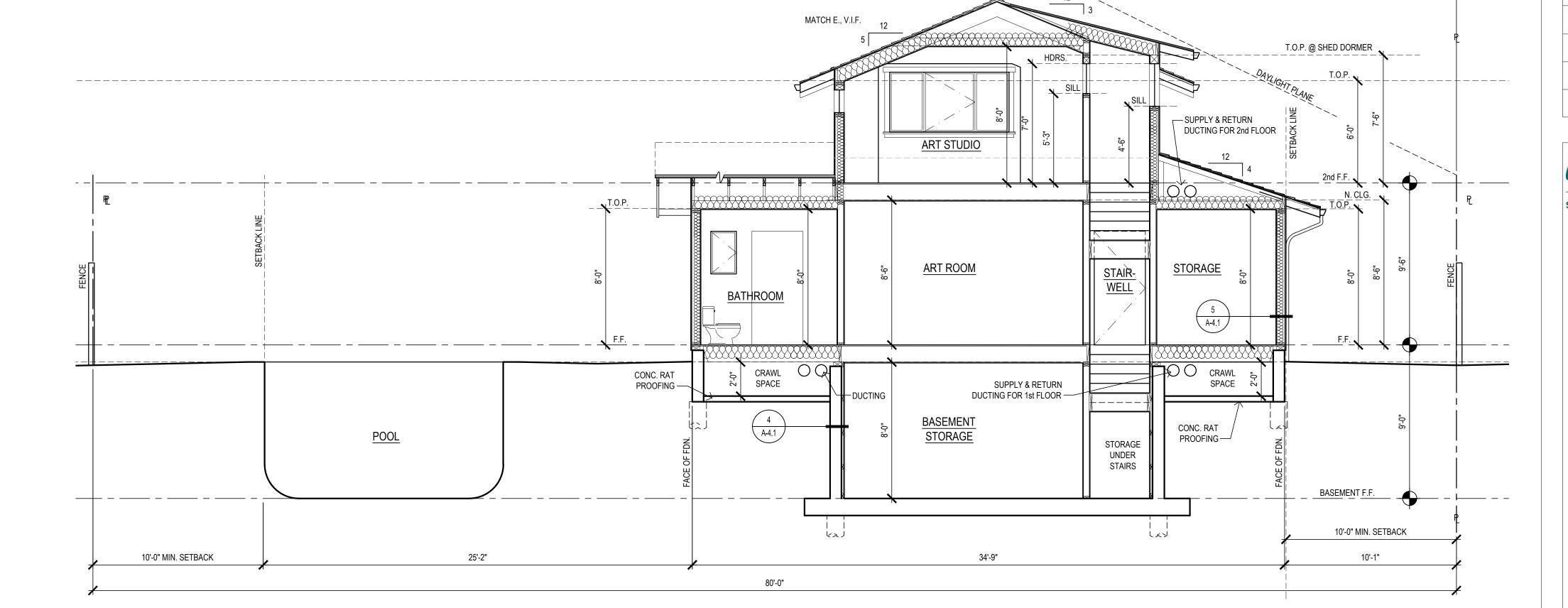
My Cad Drafter ™ CHECKED DATE 04/21/14 SCALE AS NOTED JOB NO.

SCALE:1/4"=1'-0"

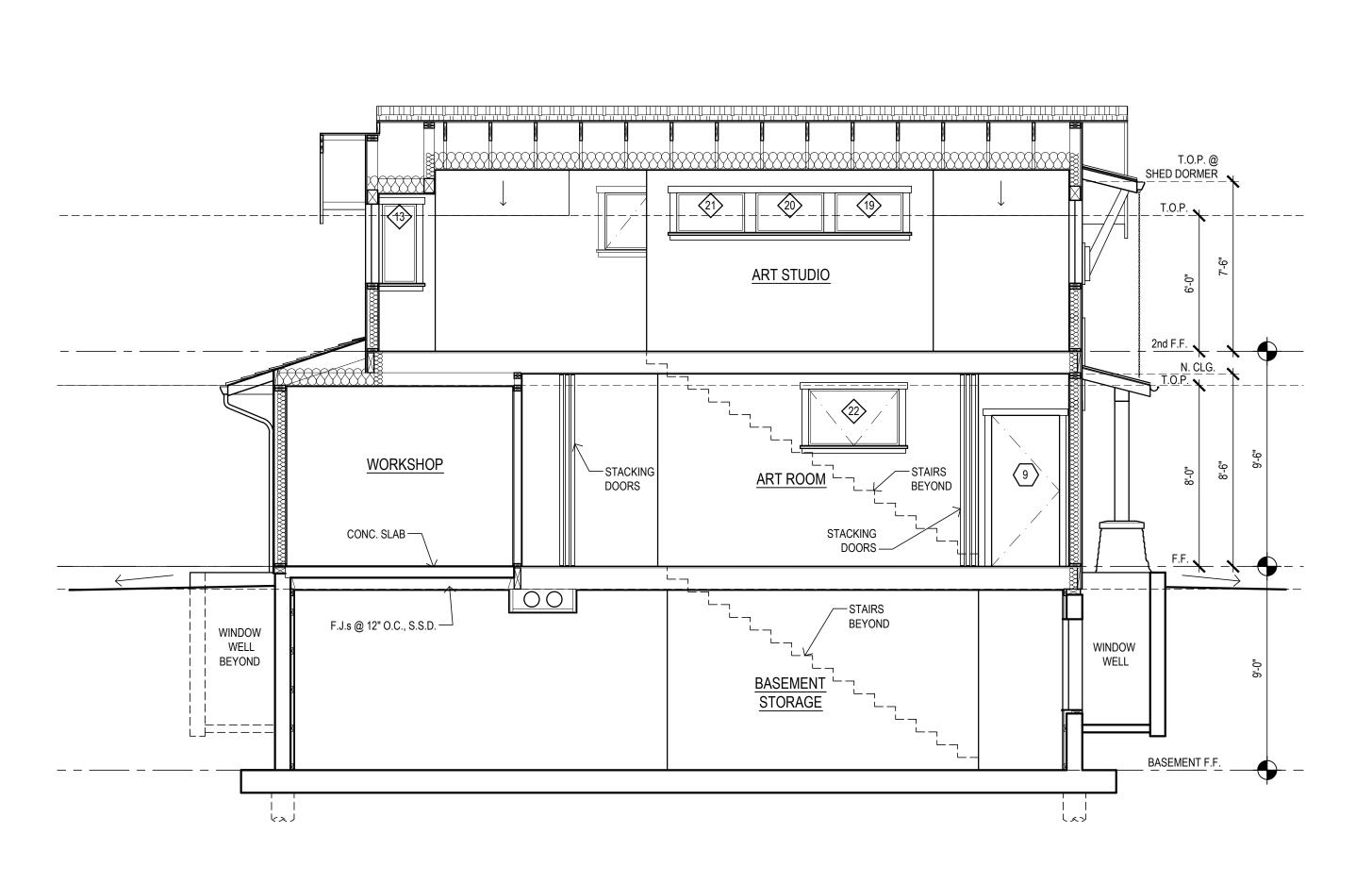
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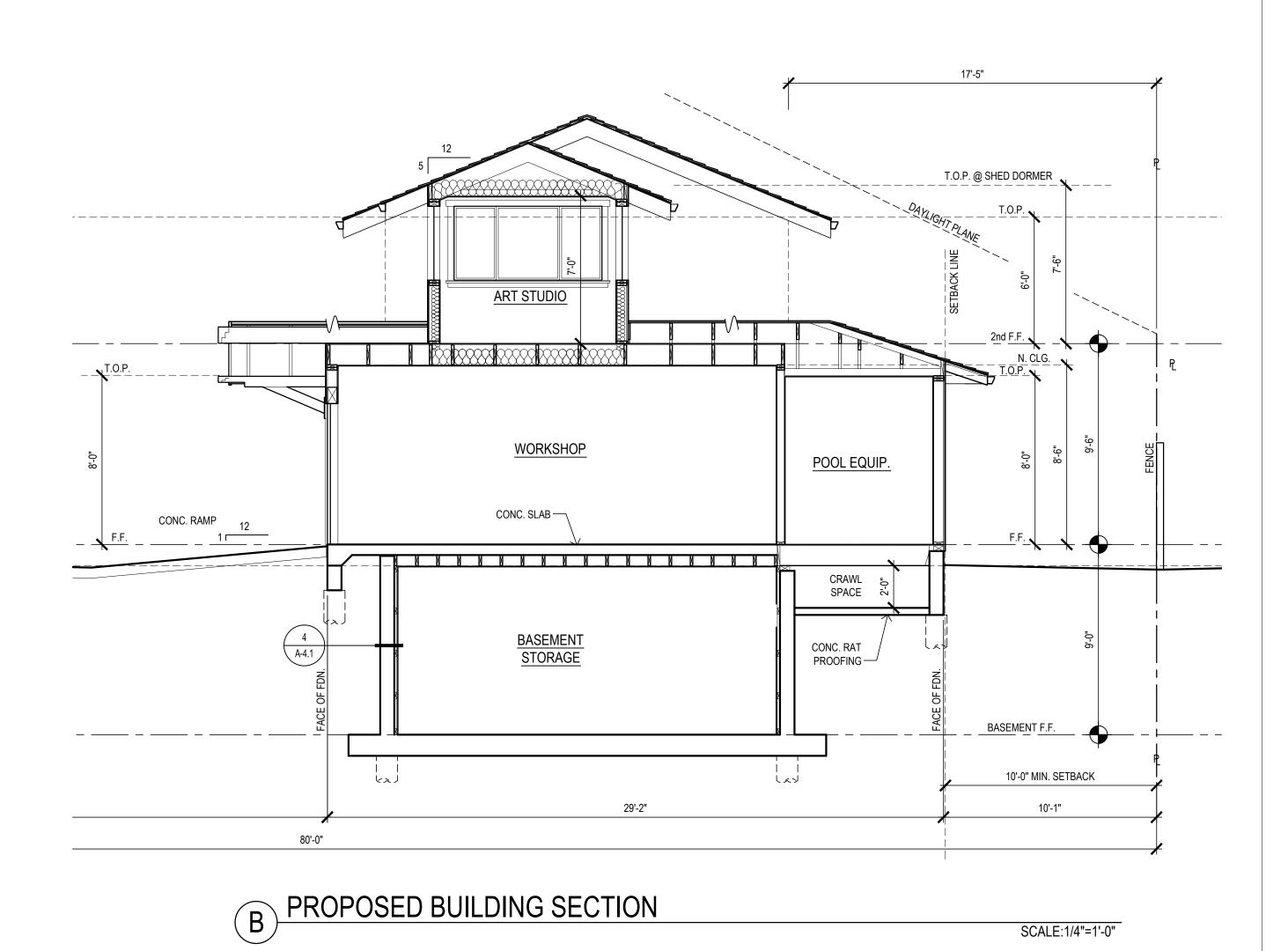
## SECTION NOTES:

- 1. ENCLOSED ACCESSIBLE SPACE UNDER STAIRWAY SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED WITH MINIMUM ½" GYPSUM BOARD FOR ONE-HOUR CONSTRUCTION ON ENCLOSED SIDE.
- 2. STAIRWAY TO HAVE MAXIMUM RISE OF 7 3/4" AND MINIMUM RUN (TREAD) OF 10". 3. PROVIDE 42" MIN. HIGH PROTECTIVE GUARDRAIL FOR DECKS, PORCHES, BALCONIES, RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW) AND OPEN SIDE(s) OF STAIRS AND LANDINGS. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE SUCH THAT A SPHERE 4" DIA. CANNOT PASS THOUGH.
- 4. HANDRAILS SHALL SATISFY THE FOLLOWING: A. PROVIDE CONTINUOUS HANDRAIL FOR STAIRWAYS WITH 4 OR MORE RISERS. B. THE TOP OF HANDRAILS SHALL BE 34 TO 38" ABOVE THE NOSING OF TREADS
- AND LANDINGS. C. INTERMEDIATE BALUSTERS ON OPEN SIDE(s) SHALL BE SPACED SO THAT A
- SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. CRC R312.3 D. RETURN HANDRAIL TO NEWEL POST OR WALL.
- E. HANDGRIP SURFACE 1 ½" TO 2" IN CROSS SECTION, SMOOTH, 1 ½" CLEARANCE FROM THE WALL.
- 5. SECOND FLOOR CEILING HEIGHT (7'-0" MINIMUM) FOR ALL HABITABLE ROOMS, BATHROOMS AND HALLWAYS PER CRC R305.1



(A) PROPOSED BUILDING SECTION





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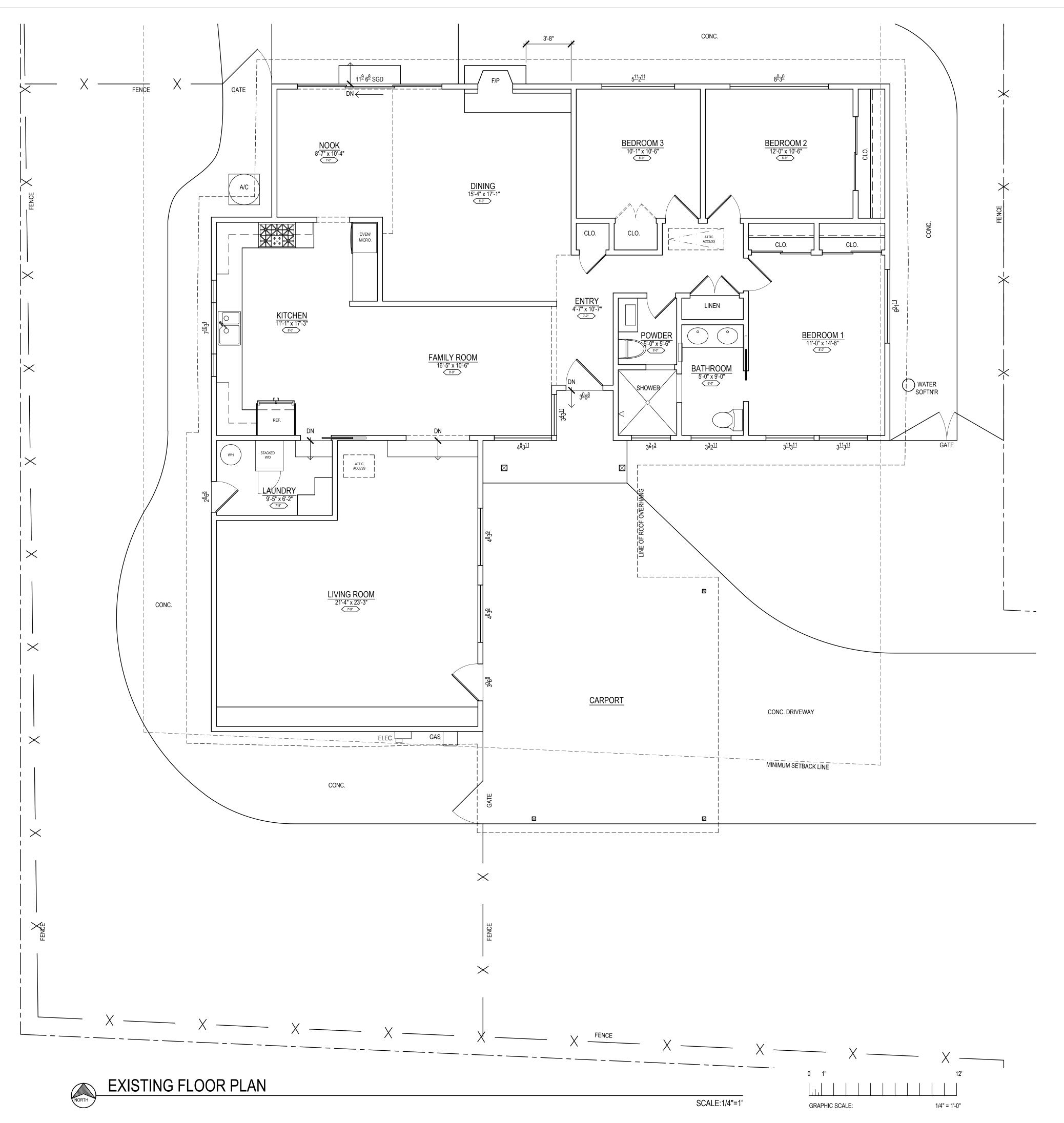
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VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SCALE:1/4"=1'-0"



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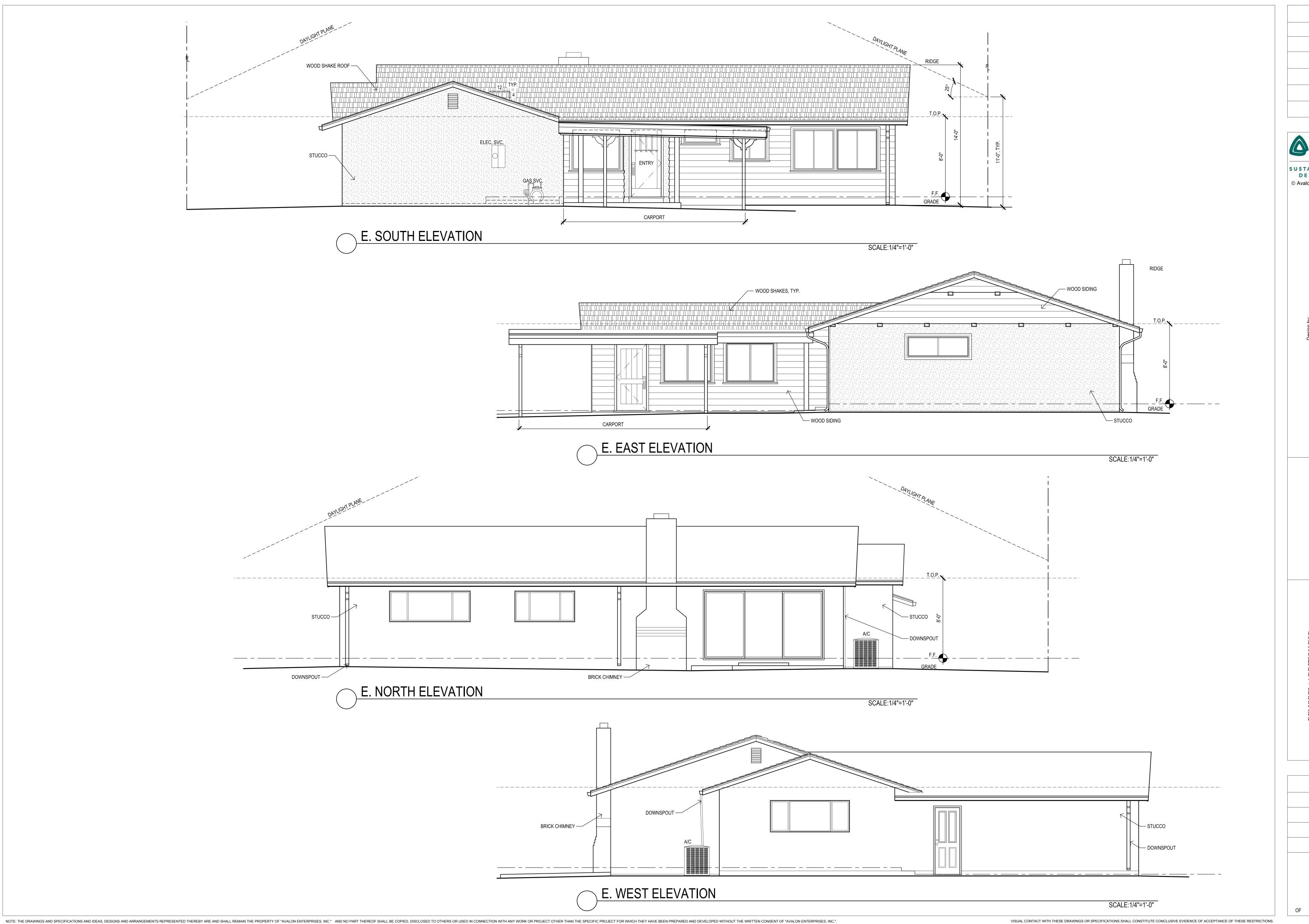
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