

NOT FOR CONSTRUCTION
DRAFT REVIEW ONLY

LEGEND

-  PROPERTY LINE
-  (E) HOUSE + GARAGE BOUNDARIES

NOTE

ALL EXISTING HARDSCAPE TO BE REMOVED

TREES TO BE REMOVED

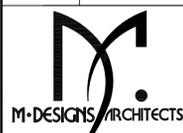
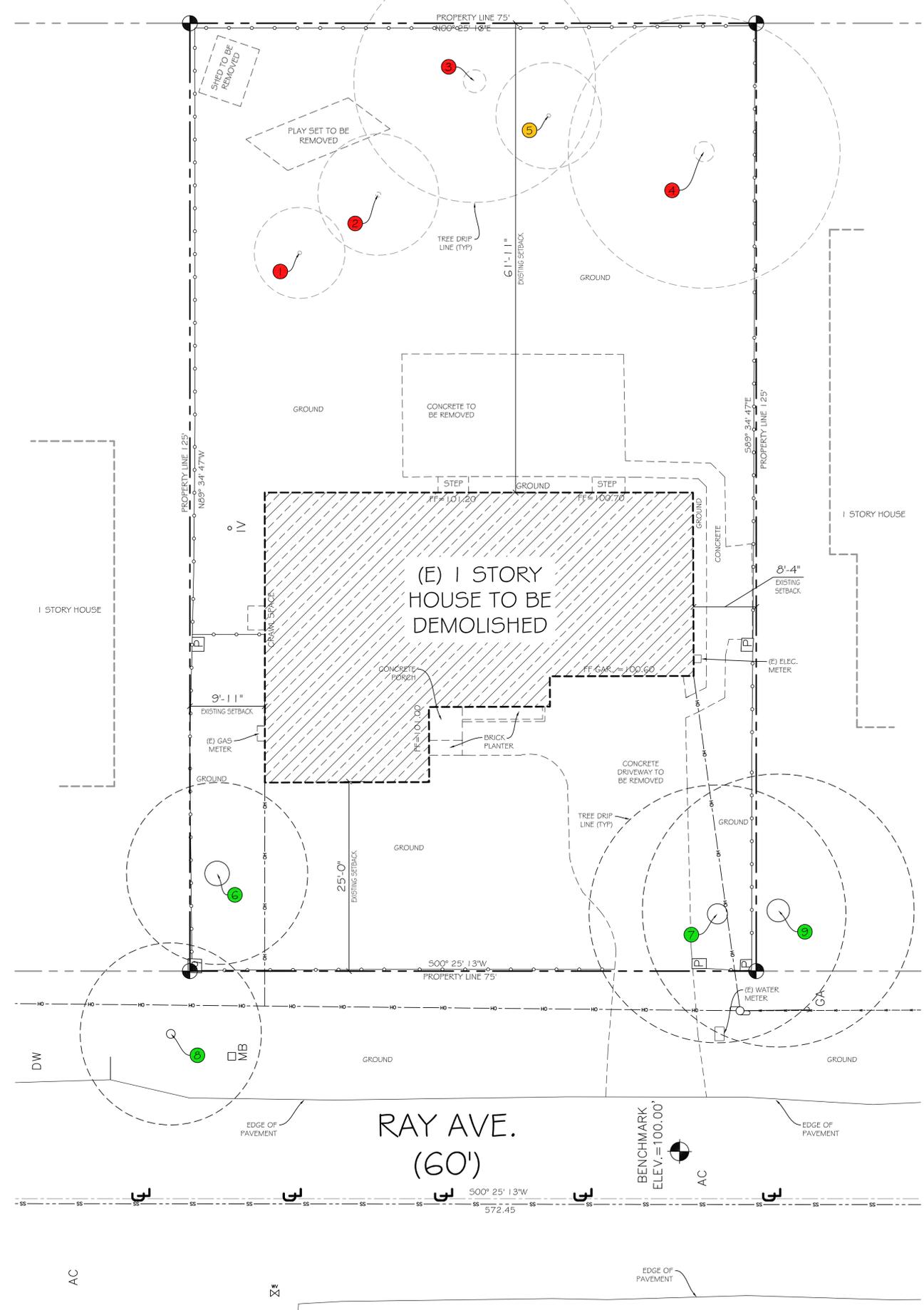
-  6" TREE
-  8" TREE
-  36" MONTEREY PINE TREE
-  32" MONTEREY PINE TREE

TREE TO BE RELOCATED

-  6" ORANGE TREE

TREES TO REMAIN

-  39" REDWOOD TREE
-  32" OAK TREE
-  14" TREE
-  (2) 36" TREE



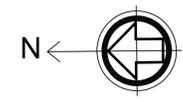
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NEW RESIDENCE OF
THE GANESAN FAMILY
1055 RAY AVE.,
LOS ALTOS, CA 94022

SCHEMATIC DESIGN
EXISTING SITE PLAN

04-17-14

A1.1



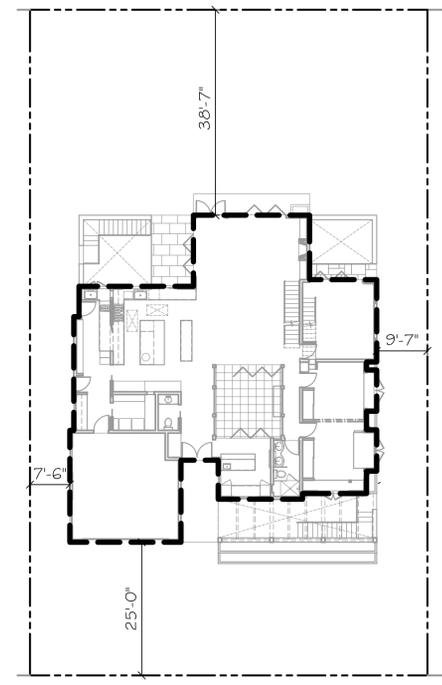
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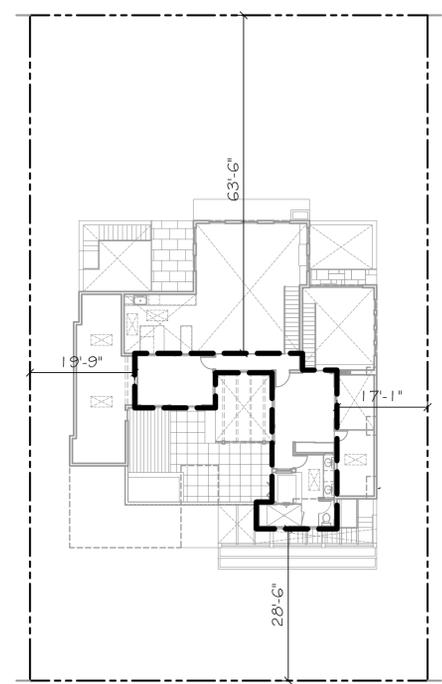
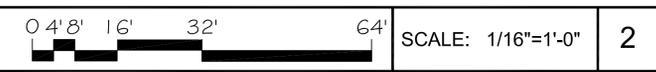
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- LEGEND**
- PROPERTY LINE
 - - - REQ'D FIRST FLOOR SETBACKS
 - - - REQ'D SECOND FLOOR SETBACK
 - PROPOSED FIRST FLOOR & GARAGE
 - PROPOSED SECOND FLOOR
 - UPPER ROOFS
 - INTERMEDIATE ROOFS
 - LOWER ROOFS

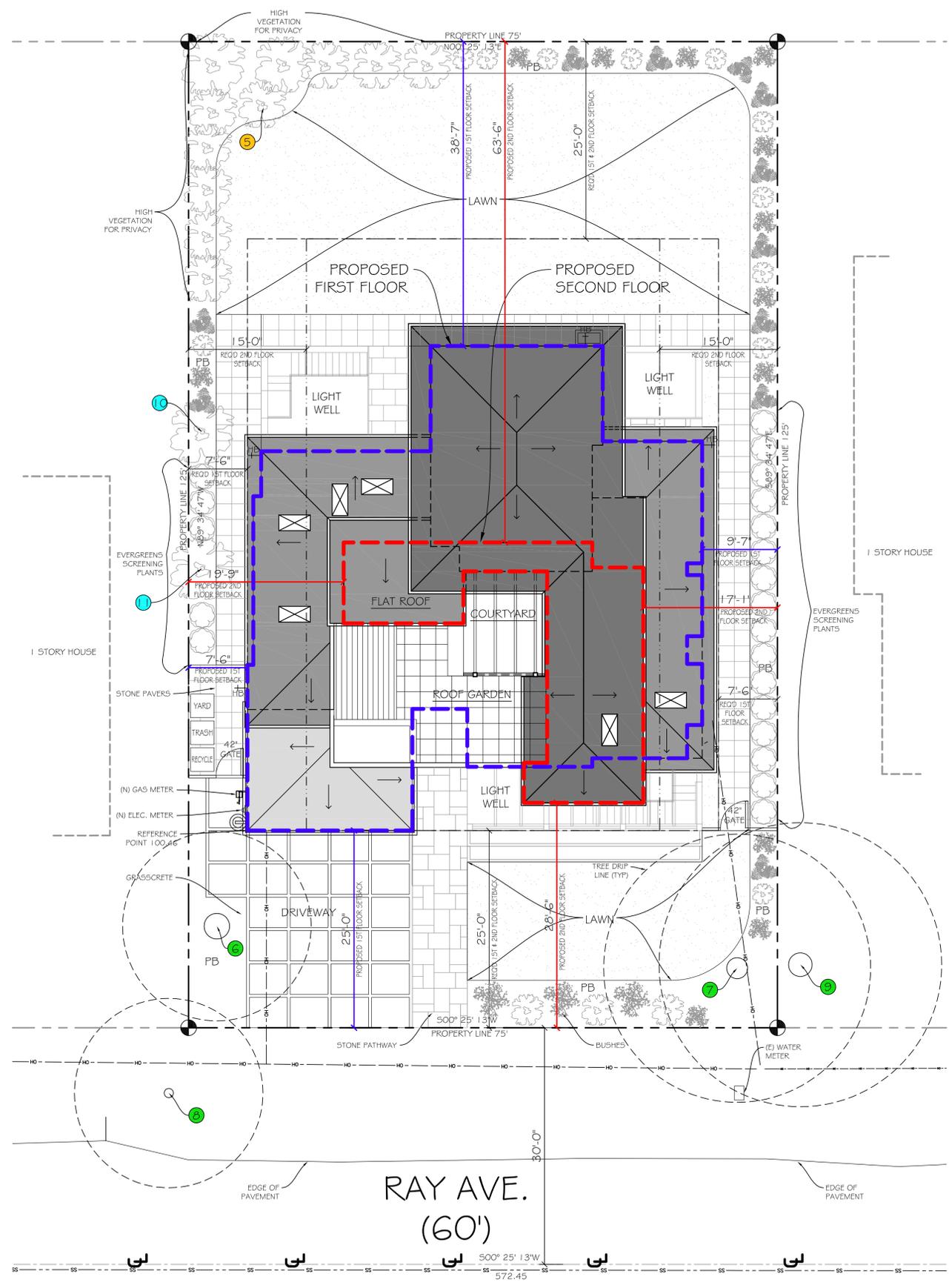
- EXISTING TREE @ NEW LOCATION**
- ⑤ 6" ORANGE TREE
- TREES TO REMAIN**
- ③ 39" REDWOOD TREE
 - ⑦ 32" OAK TREE
 - ⑥ 14" TREE
 - ⑤ (2) 36" TREE
- NEW TREES**
- ① EVERGREEN TREE, AS PER PLANNER REQUEST (20 GALLON)
 - ② EVERGREEN TREE, AS PER PLANNER REQUEST (20 GALLON)



FIRST FLOOR KEY PLAN



SECOND FLOOR KEY PLAN



PROPOSED SITE PLAN

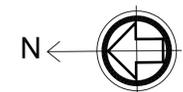


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LOS ALTOS, CA 94022**

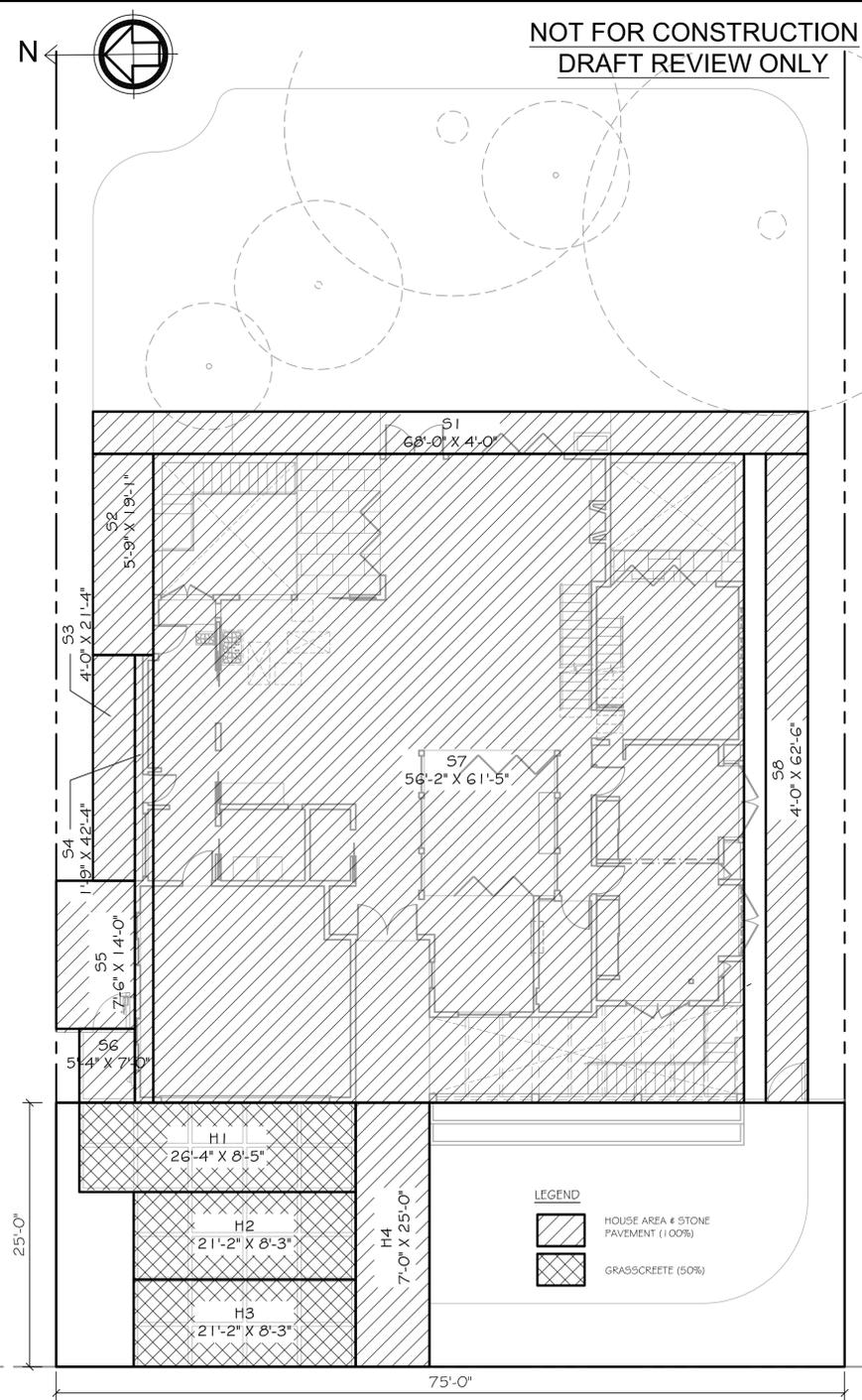
**SCHEMATIC DESIGN
PROPOSED SITE PLAN**

04-17-14

A1.2



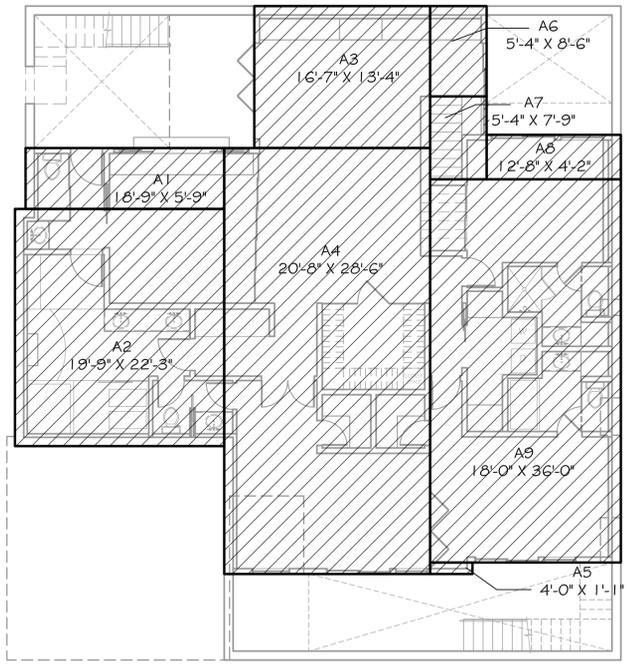
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FRONTYARD HARDSCAPE AREA CALCULATION TABLE

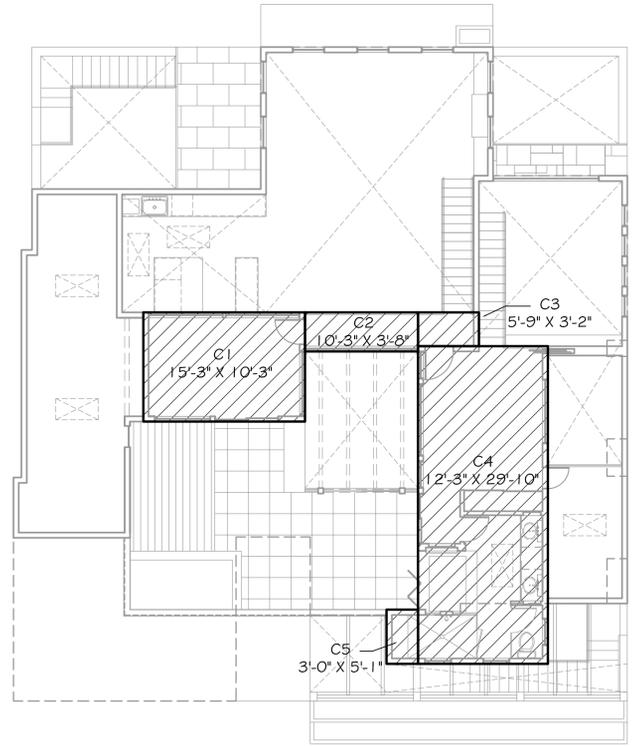
FRONTYARD HARDSCAPE AREA %				TOTAL HARDSCAPE AREA		
FRONTYARD AREA	DIMENSIONS	AREA (Sq. Ft.)	%	No.	DIMENSIONS	AREA (Sq. Ft.)
	75'-0" X 25'-0"	1875	100	S1	68'-0" X 4'-0"	272
				S2	5'-9" X 19'-1"	110
				S3	4'-0" X 21'-4"	85
				S4	1'-9" X 42'-4"	74
				S5	7'-6" X 14'-0"	105
				S6	5'-4" X 7'-0"	37
				S7	56'-2" X 61'-5"	3450
				S8	4'-0" X 61'-5"	246
				Σ II		462
					TOTAL AREA	4841

FRONTYARD HARDSCAPE AREA				
No.	DIMENSIONS	AREA (Sq. Ft.)	MATERIAL	AREA (Sq. Ft.)
H1	26'-4" X 8'-5"	222	GRASSCRETE (50%)	111
H2	21'-2" X 8'-3"	175	GRASSCRETE (50%)	88
H3	21'-2" X 8'-3"	175	GRASSCRETE (50%)	88
H4	7'-6" X 25'-0"	175	STONE	175
	TOTAL AREA	747		462



BASEMENT

SCALE: 1/8"=1'-0" 1



SECOND FLOOR PLAN

SCALE: 1/8"=1'-0" 3

AREA CALCULATION TABLES

FIRST FLOOR AREA		
No.	DIMENSIONS	AREA (Sq. Ft.)
B1	21'-7" X 5'-9"	123
B2	22'-7" X 21'-4"	483
B3	21'-11" X 27'-7"	604
B4	4'-2" X 14'-3"	60
B5	2'-4" X 1'-5"	3
B6	7'-0" X 4'-2"	29
B7	4'-0" X 14'-3"	57
B8	15'-11" X 11'-6"	183
B9	12'-8" X 15'-6"	196
B10	12'-1" X 24'-8"	298
B11	1'-11" X 7'-9"	15
B12	1'-11" X 7'-9"	15
B13	12'-5" X 14'-3"	177
	TOTAL HAB. AREA	2243

BASEMENT AREA		
No.	DIMENSIONS	AREA (Sq. Ft.)
A1	16'-9" X 5'-9"	108
A2	19'-9" X 22'-3"	440
A3	16'-7" X 13'-4"	221
A4	19'-5" X 40'-0"	776
A5	4'-0" X 1'-1"	4
A6	5'-4" X 8'-6"	45
A7	5'-4" X 7'-9"	42
A8	12'-8" X 4'-2"	53
A9	18'-0" X 36'-0"	648
	TOTAL AREA	2337

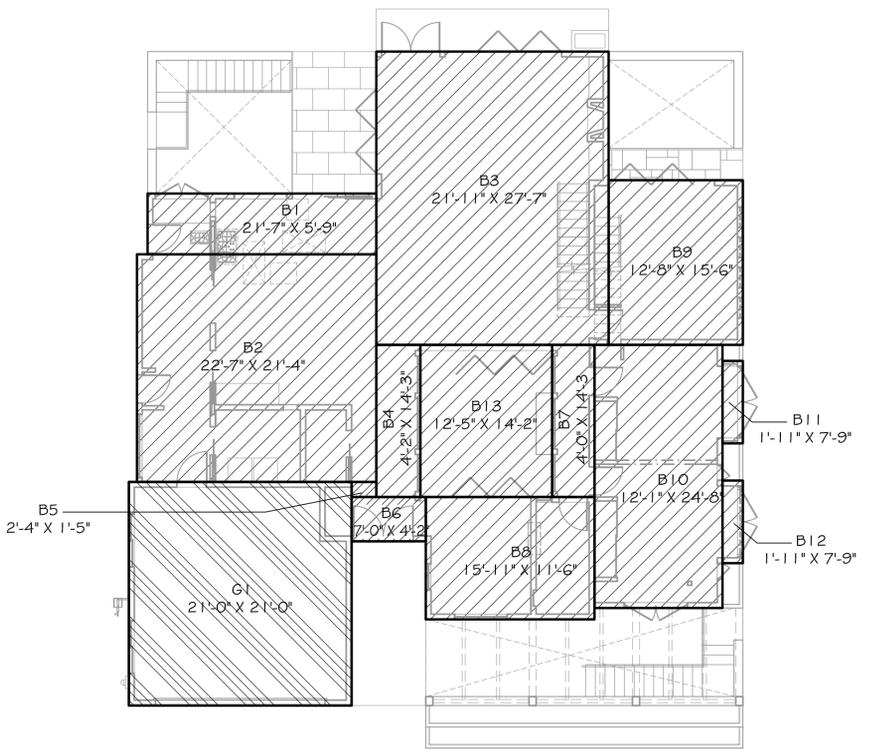
TOTAL FLOOR AREA + BASEMENT		
FLOOR AREA	AREA (Sq. Ft.)	
FIRST FLOOR AREA	2243	
SECOND FLOOR AREA	594	
BASEMENT AREA	2337	
TOTAL	5174	

GARAGE AREA		
No.	DIMENSIONS	AREA (Sq. Ft.)
G1	21'-0" X 21'-0"	441
	TOTAL AREA	441

TOTAL COVERAGE AREA		
FLOOR AREA	AREA (Sq. Ft.)	
FIRST FLOOR AREA	2243	
SECOND FLOOR AREA	594	
TOTAL	2837	

SECOND FLOOR AREA		
No.	DIMENSIONS	AREA (Sq. Ft.)
C1	15'-3" X 10'-3"	156
C2	10'-8" X 3'-8"	39
C3	5'-9" X 3'-2"	18
C4	12'-3" X 29'-10"	366
C5	3'-0" X 5'-1"	15
	TOTAL HAB. AREA	594

TOTAL FLOOR AREA		
FLOOR AREA	AREA (Sq. Ft.)	
FIRST FLOOR AREA	2243	
SECOND FLOOR AREA	594	
TOTAL	2837	



FIRST FLOOR PLAN

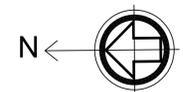
SCALE: 1/8"=1'-0" 2



HARDSCAPE AREA

SCALE: 1/8"=1'-0" 4

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LEGEND:

- ONE STORY
- TWO STORY



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1050 PILMA LANE
(HOUSE AT STREET BEHIND PROPOSED RESIDENCE)



1040 PILMA LANE
(HOUSE BEHIND PROPOSED RESIDENCE)



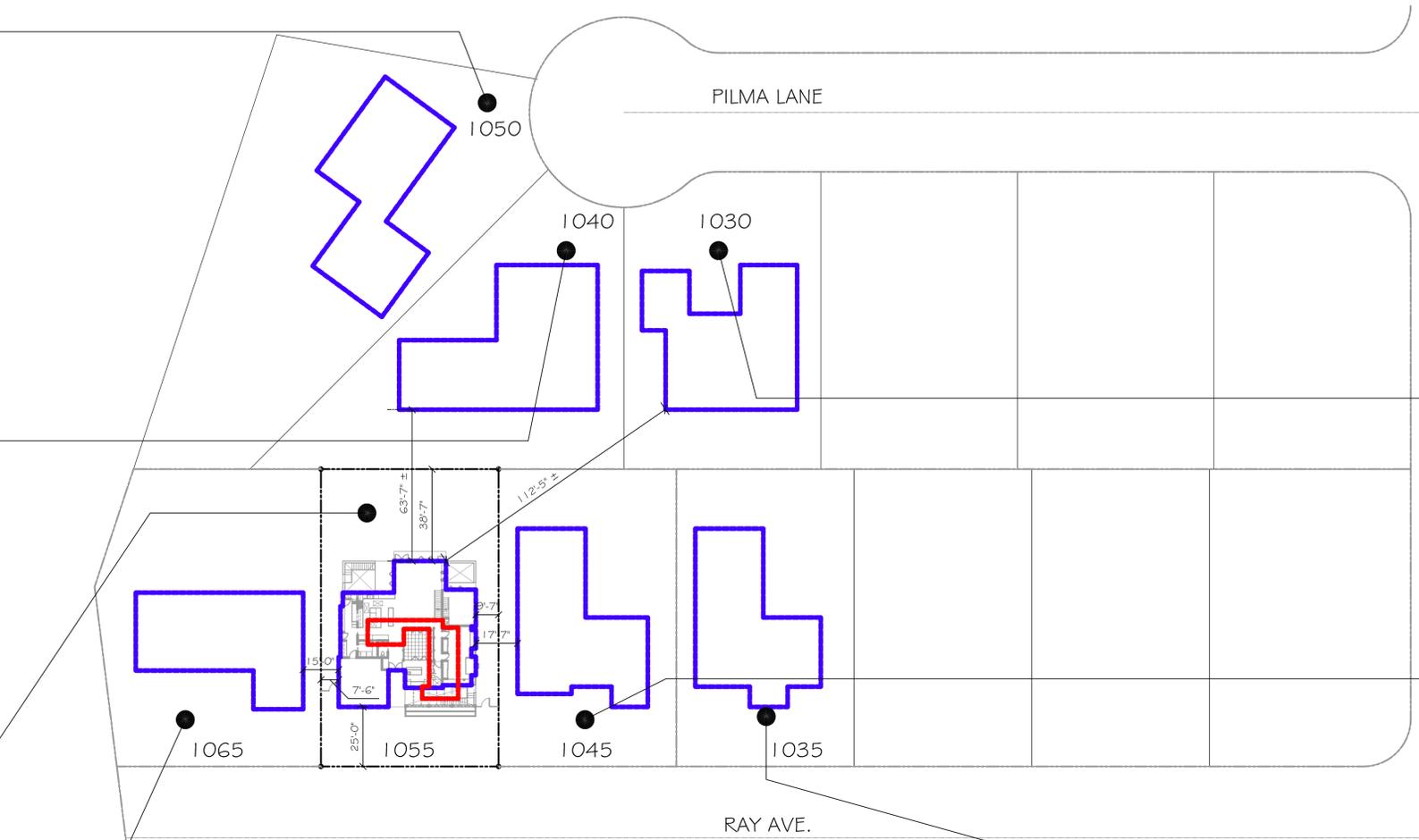
1055 RAY AVE -EXISTING HOUSE



1065 RAY AVE
(SAME SIDE OF PROPOSED RESIDENCE)



1062 RAY AVE
(ACROSS STREET OF PROPOSED RESIDENCE)



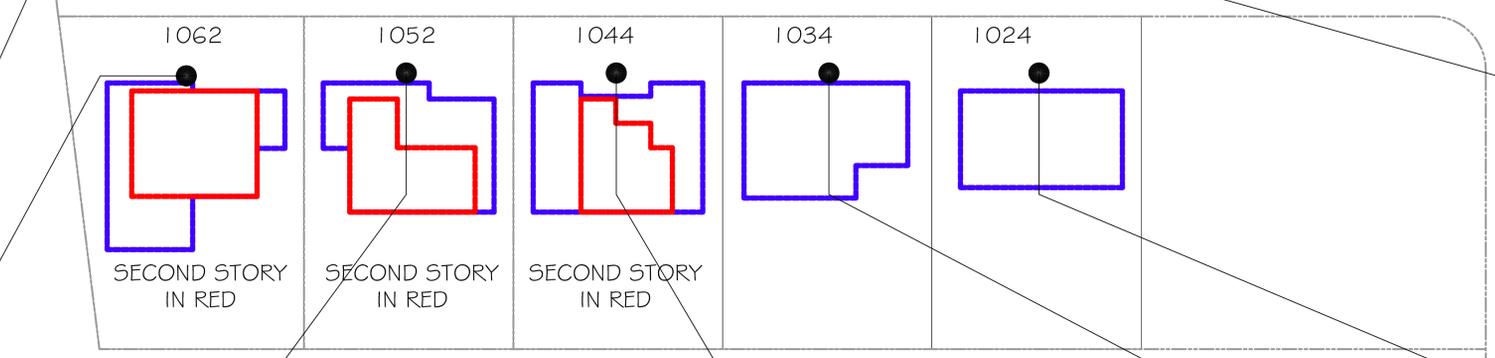
1030 PILMA LANE
(HOUSE AT STREET BEHIND PROPOSED RESIDENCE)



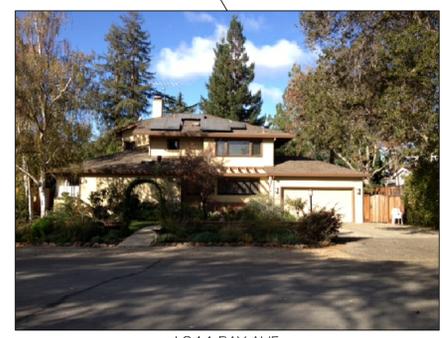
1045 RAY AVE
(SAME SIDE OF PROPOSED RESIDENCE)



1035 RAY AVE
(SAME SIDE OF PROPOSED RESIDENCE)



1052 RAY AVE
(ACROSS STREET OF PROPOSED RESIDENCE)



1044 RAY AVE
(ACROSS STREET OF PROPOSED RESIDENCE)



1034 RAY AVE
(ACROSS STREET OF PROPOSED RESIDENCE)



1024 RAY AVE
(ACROSS STREET OF PROPOSED RESIDENCE)

NEW RESIDENCE OF
THE GANESAN FAMILY
1055 RAY AVE.,
LOS ALTOS, CA 94022

SCHEMATIC DESIGN
NEIGHBORHOOD
COMPATIBILITY

04-17-14

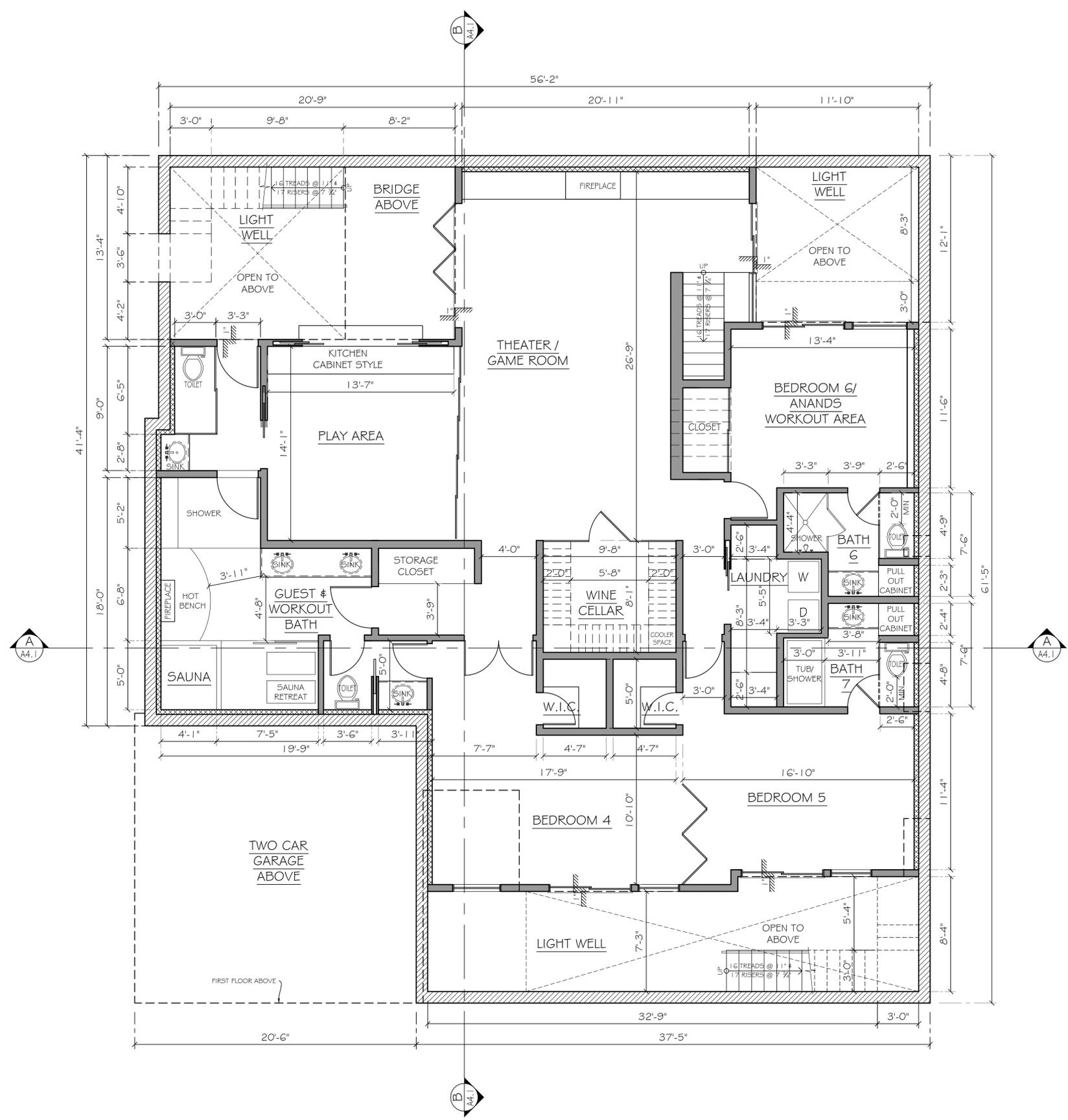


LEGEND

-  CONCRETE WALL
-  STUD WALLS
-  FURRED WALLS

NOTE:
HARDWOOD FLOOR THROUGHOUT THE HOUSE, EXCEPT WET AREAS, MUD ROOM, LAUNDRIES & PANTRIES, WHICH WILL BE TILE

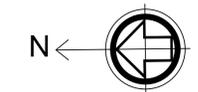
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SCHEMATIC DESIGN
PROPOSED
BASEMENT PLAN

04-17-14



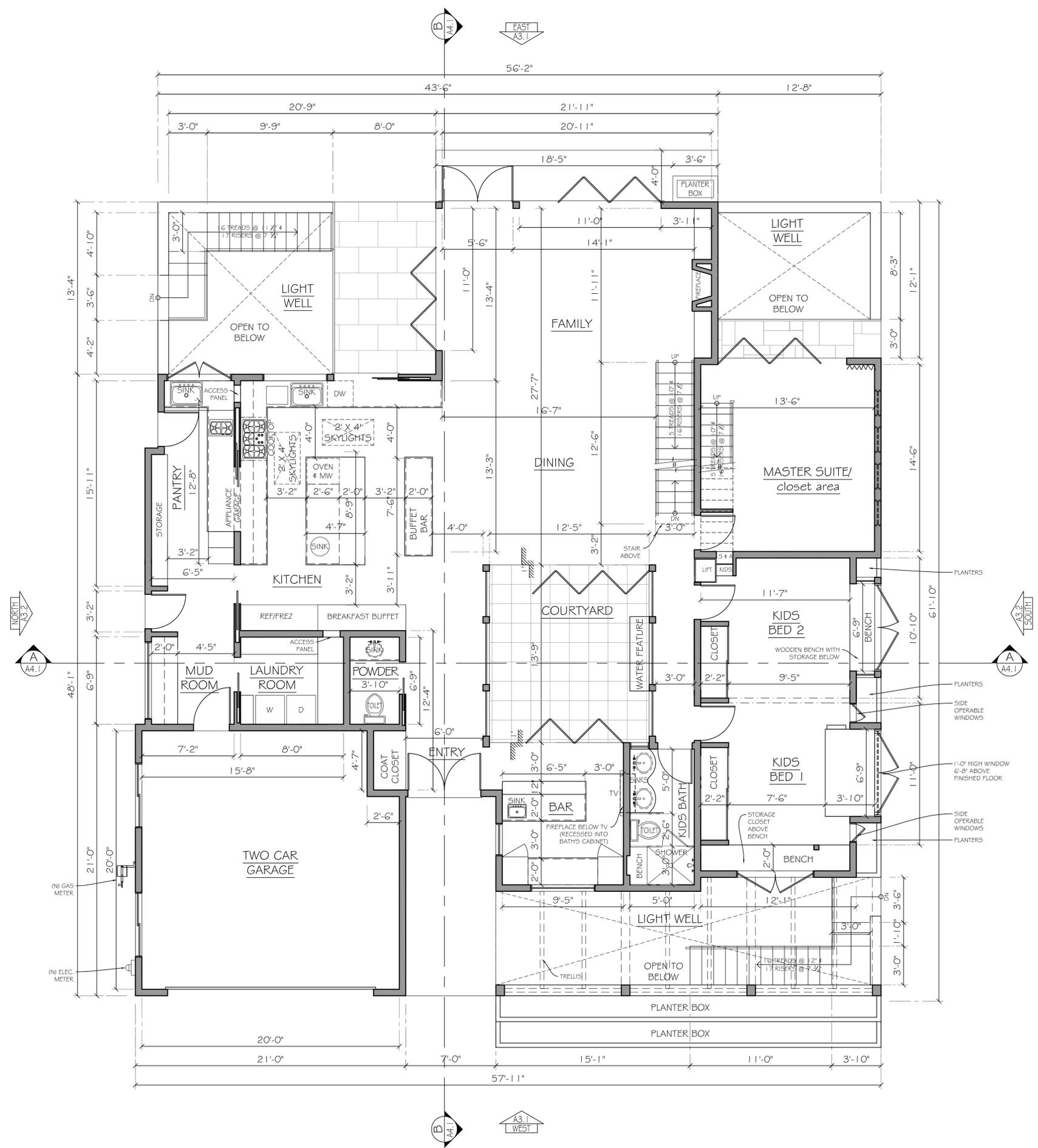
DATE	REVISION

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LEGEND
 CONCRETE WALL
 STUD WALLS

NOTE:
 HARDWOOD FLOOR THROUGHOUT THE HOUSE, EXCEPT WET AREAS, MUD ROOM, LAUNDRIES & PANTRIES, WHICH WILL BE TILE

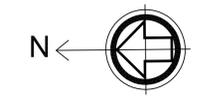
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SCHEMATIC DESIGN
 PROPOSED
 FIRST FLOOR PLAN

04-17-14



PROPOSED FIRST FLOOR PLAN - HABITABLE AREA 2243 Sq. Ft. & GARAGE 441 Sq. Ft. (TOTAL AREA 2684 Sq. Ft.)



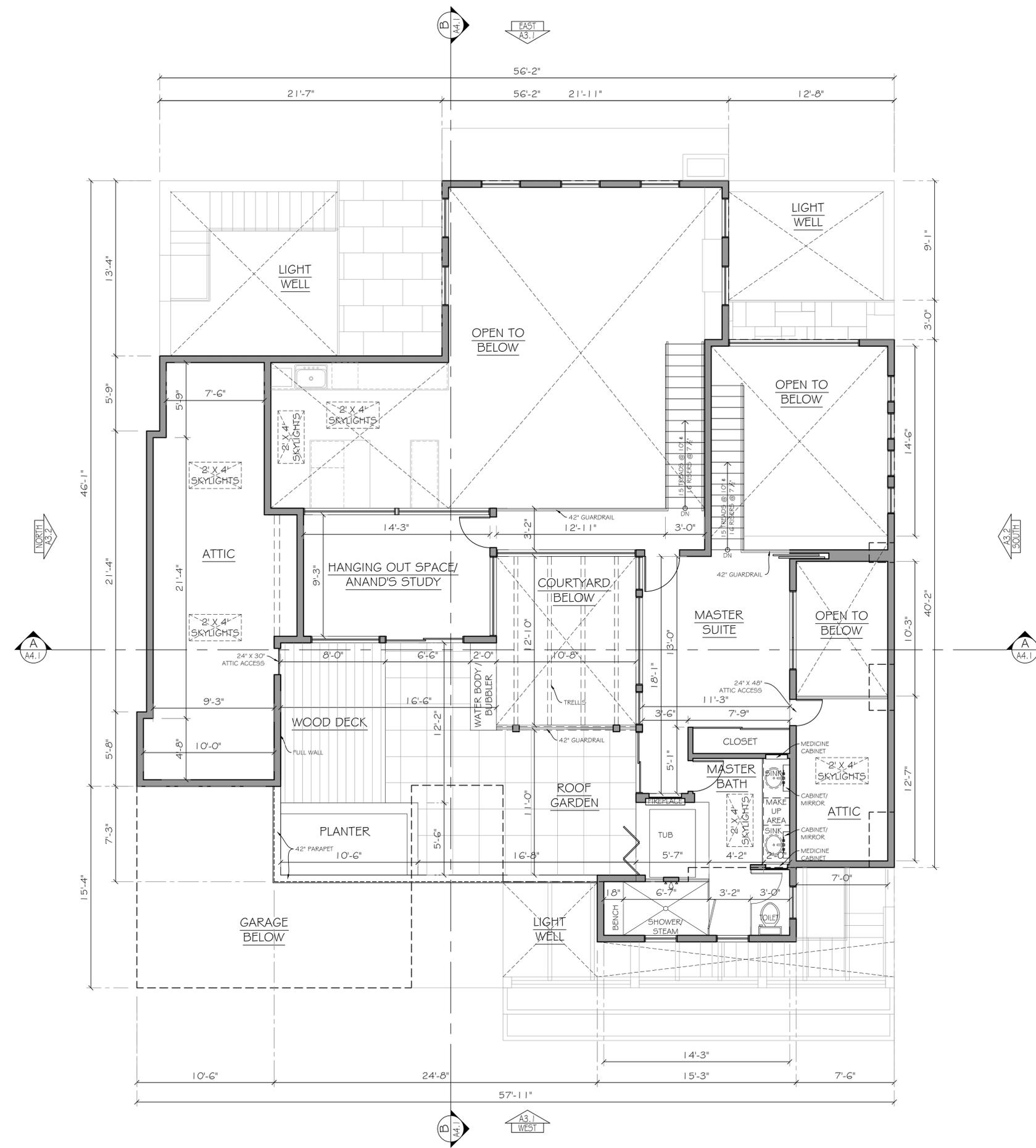
SCALE: 1/4"=1'-0"

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LEGEND
 CONCRETE WALL
 STUD WALLS

NOTE:
 HARDWOOD FLOOR THROUGHOUT THE HOUSE, EXCEPT WET AREAS, MUD ROOM, LAUNDRIES & PANTRIES, WHICH WILL BE TILE

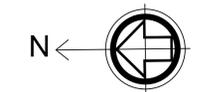
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NEW RESIDENCE OF
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 1055 RAY AVE.,
 LOS ALTOS, CA 94022

SCHEMATIC DESIGN
 PROPOSED
 SECOND FLOOR PLAN

04-17-14



SCALE: 1/4"=1'-0"

1

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DATE	REVISION

LEGEND

- D5 DOWN SPOUT
- GT GUTTER
- UPPER ROOFS
- INTERMEDIATE ROOFS
- LOWER ROOFS

NOTE

- 1) DOWN SPOUT LOCATIONS FOR REFERENCE ONLY
- 2) FLAT ROOFS SHALL HAVE MINIMUM SLOPE OF 1/4:12



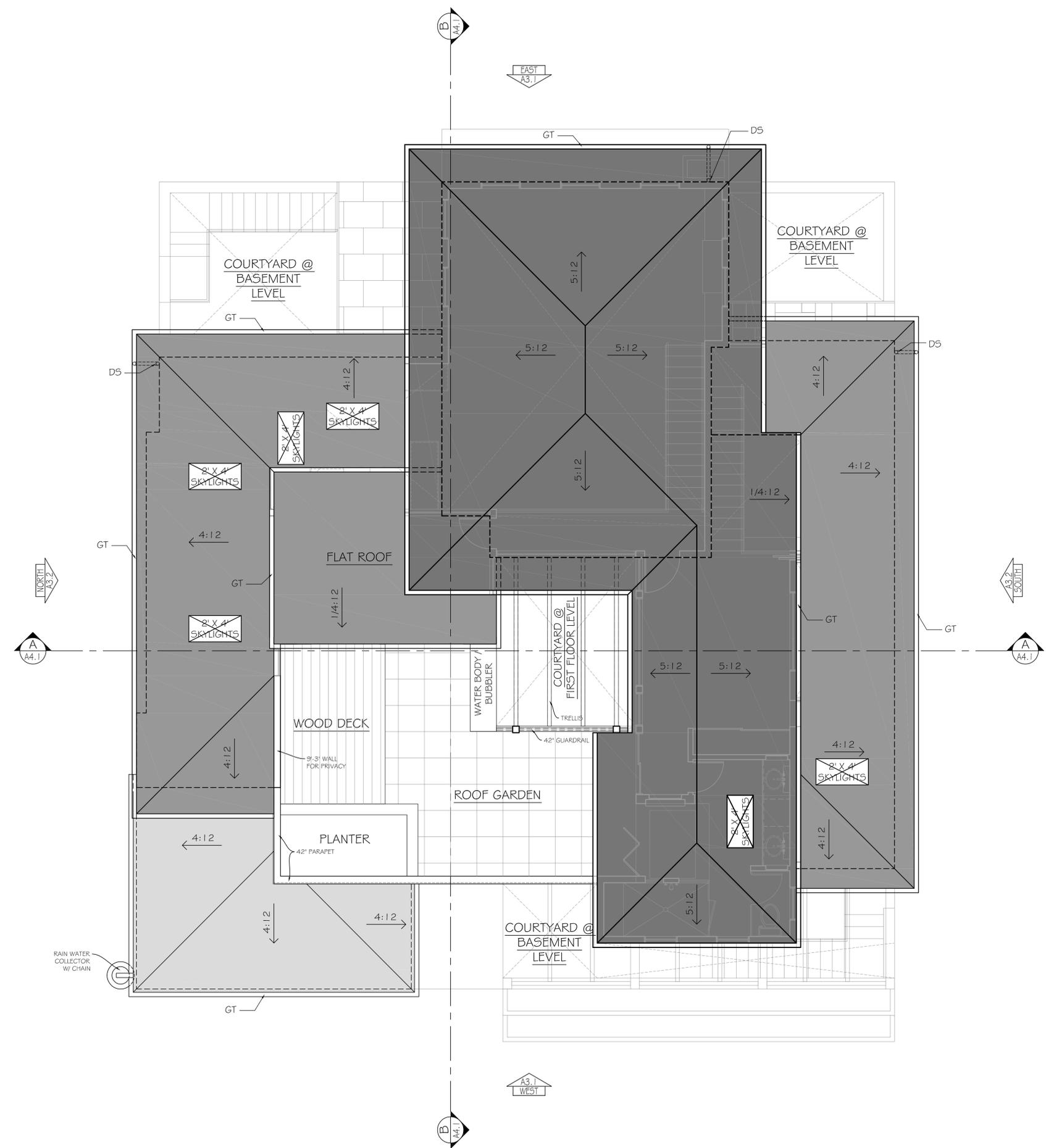
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SCHEMATIC DESIGN
PROPOSED ROOF PLAN

04-17-14

A2.4



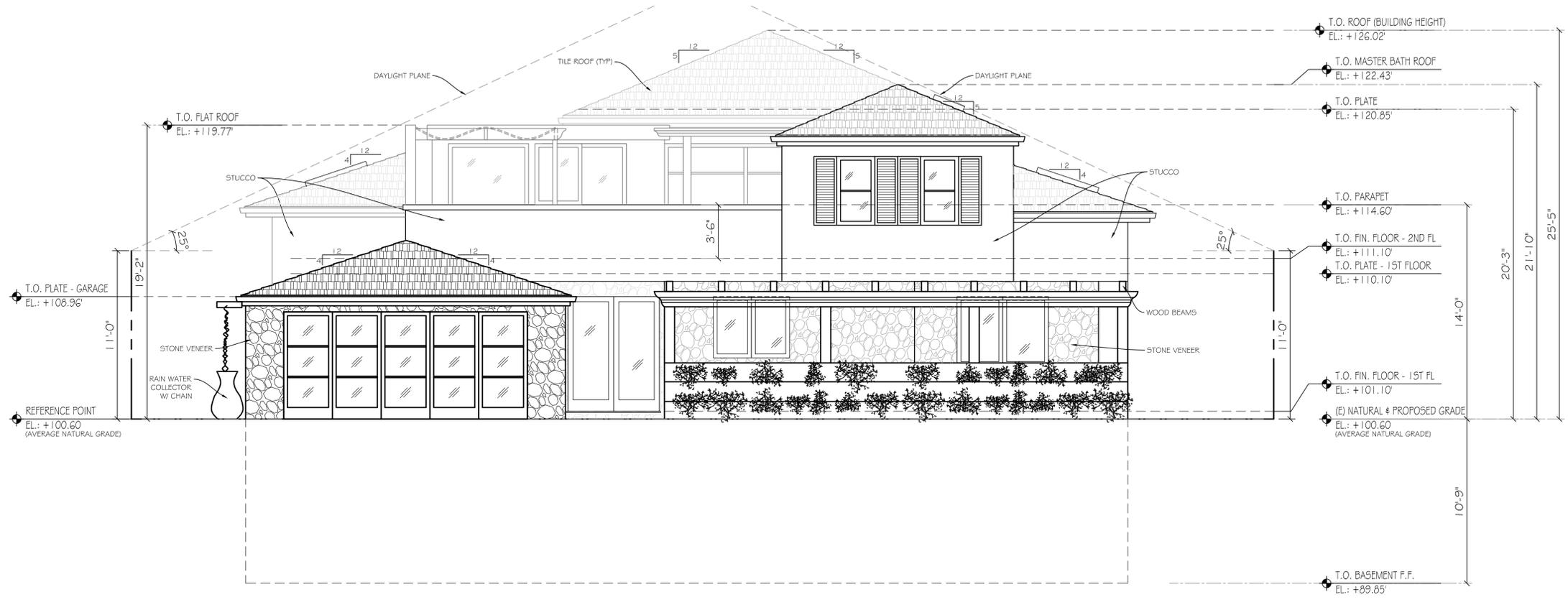
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EXTERIOR FINISHES

- 1) STUCCO ON ALL THE WALLS
- 2) WINDOWS, ANDERSON OR EQUAL
- 3) GARAGE DOOR, STAINED WOOD FRAME WITH PRIVACY GLASS
- 4) MAIN DOOR, SOLID STAINED DOOR WITH GLASS
- 5) TRELLIS MATERIAL IS STAINED WOOD
- 6) THE BALCONY GRILL IN THE BACK ELEVATIONS IS WROUGHT IRON
- 7) ROOF IS US TILE



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PROPOSED WEST ELEVATION



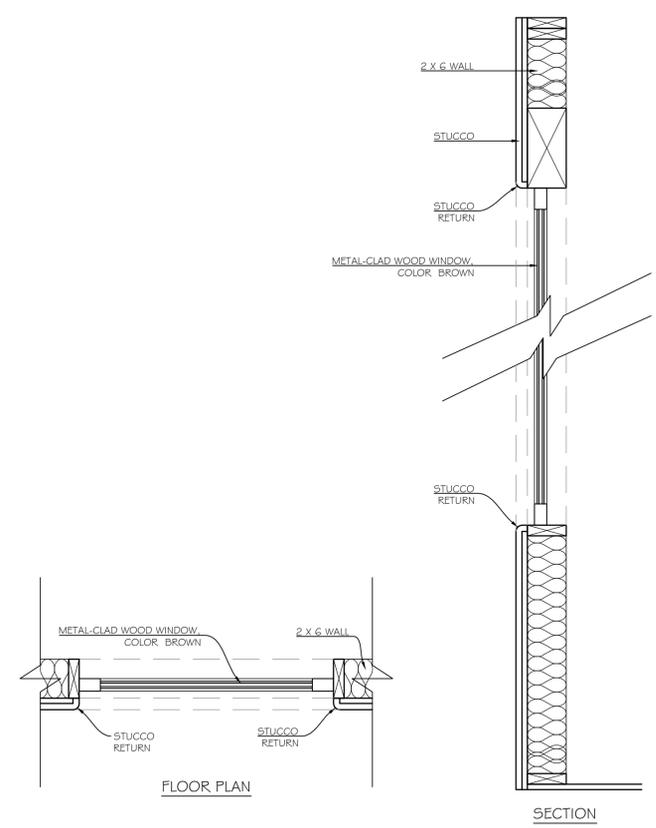
SCALE: 1/4"=1'-0" 1



PROPOSED EAST ELEVATION



SCALE: 1/4"=1'-0" 2



FENESTRATION DETAIL

SCALE: 1"=1'-0" 3

NEW RESIDENCE OF
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SCHEMATIC DESIGN
PROPOSED ELEVATIONS

04-17-14

A3.1

DATE	REVISION

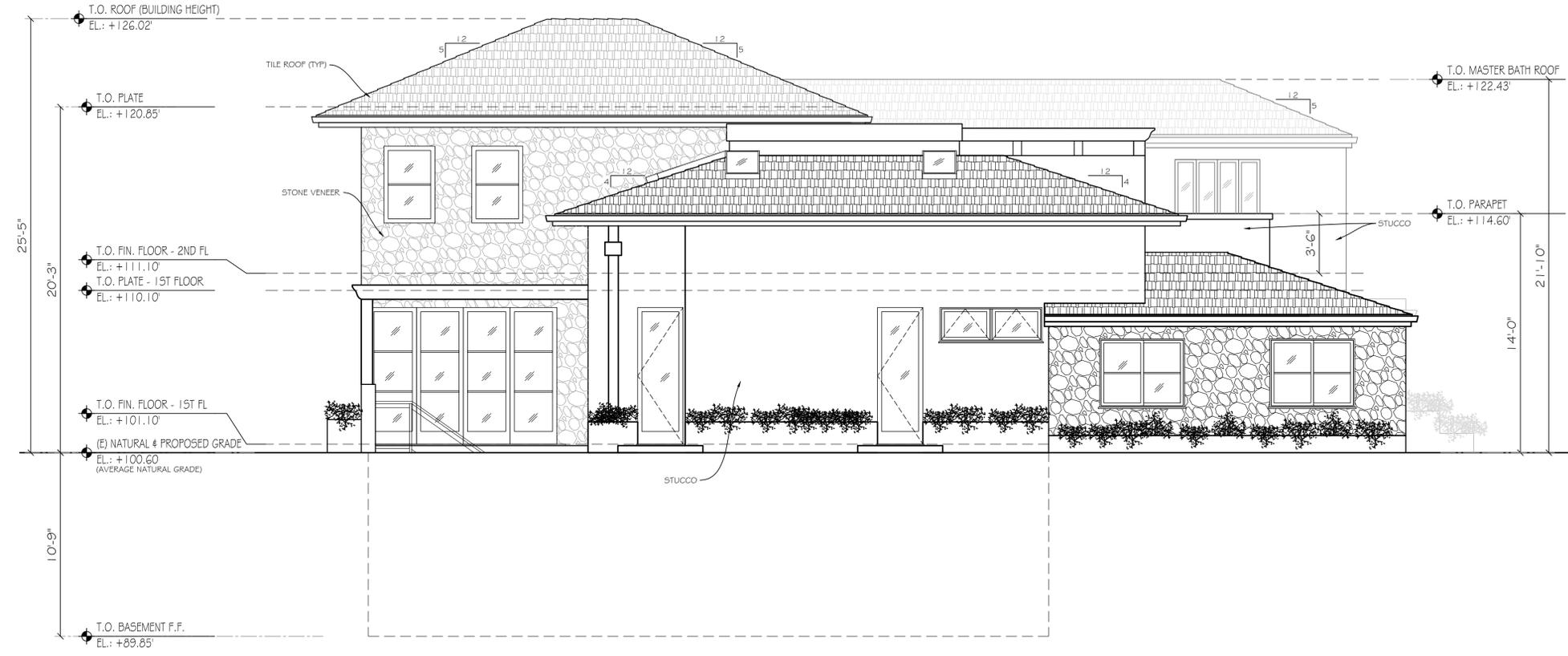
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PROPOSED NORTH ELEVATION



SCALE: 1/4"=1'-0" 1



PROPOSED SOUTH ELEVATION



SCALE: 1/4"=1'-0" 2

NEW RESIDENCE OF
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SCHMATIC DESIGN
 PROPOSED ELEVATIONS

04-17-14

A3.2



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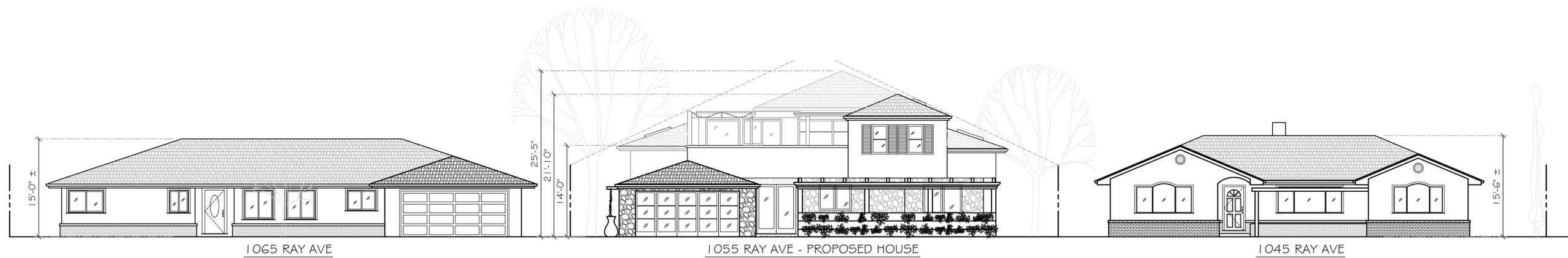


STREETSCAPE OF EXISTING HOUSE & ADJACENT NEIGHBORS



SCALE: 1/8"=1'-0"

1



STREETSCAPE OF PROPOSED HOUSE & ADJACENT NEIGHBORS



SCALE: 1/8"=1'-0"

1



STREETSCAPE ACROSS THE STREET OF PROPOSED RESIDENCE



SCALE: 1/8"=1'-0"

2

NEW RESIDENCE OF
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SCHMATIC DESIGN
STREETSCAPE

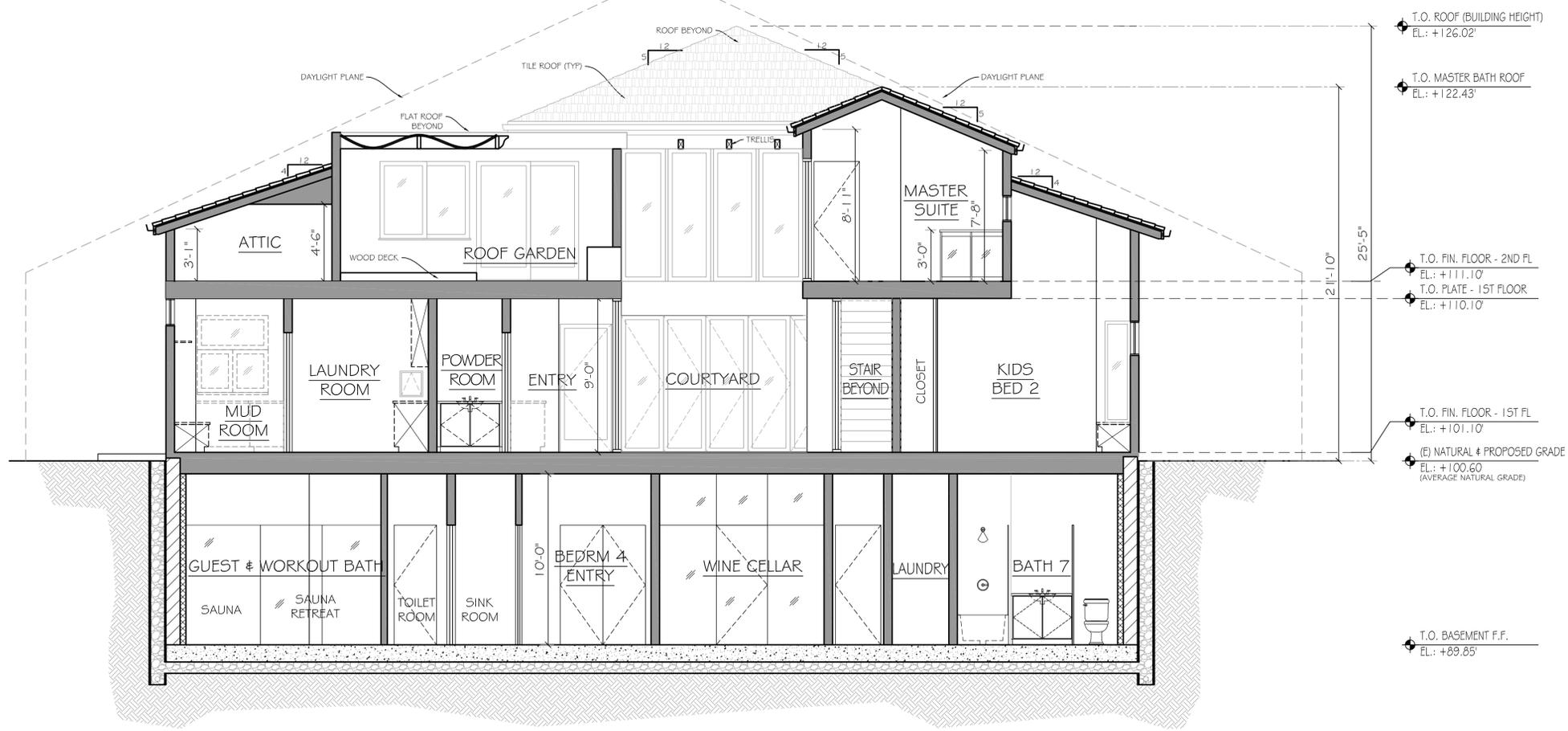
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A3.3

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- T.O. ROOF (BUILDING HEIGHT)
EL.: +126.02'
- T.O. MASTER BATH ROOF
EL.: +122.43'
- T.O. FIN. FLOOR - 2ND FL
EL.: +111.10'
- T.O. PLATE - 1ST FLOOR
EL.: +110.10'
- T.O. FIN. FLOOR - 1ST FL
EL.: +101.10'
- (E) NATURAL & PROPOSED GRADE
EL.: +100.60
(AVERAGE NATURAL GRADE)
- T.O. BASEMENT F.F.
EL.: +89.85'

PROPOSED SECTION A-A



SCALE: 1/4"=1'-0" 1



- T.O. ROOF (BUILDING HEIGHT)
EL.: +126.02'
- T.O. PLATE
EL.: +120.85'
- T.O. FIN. FLOOR - 2ND FL
EL.: +111.10'
- T.O. PLATE - 1ST FLOOR
EL.: +110.10'
- T.O. FIN. FLOOR - 1ST FL
EL.: +101.10'
- (E) NATURAL & PROPOSED GRADE
EL.: +100.60
(AVERAGE NATURAL GRADE)
- T.O. BASEMENT F.F.
EL.: +89.85'

PROPOSED SECTION B-B



SCALE: 1/4"=1'-0" 2

NEW RESIDENCE OF
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SCHEMATIC DESIGN
PROPOSED SECTIONS

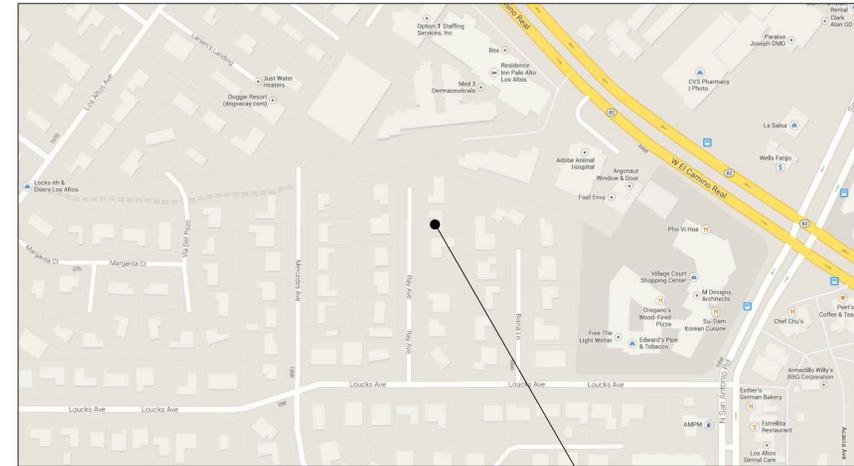
04-17-14

A4.1

CONCEPTUAL GRADING AND DRAINAGE PLANS

NEW, SINGLE FAMILY RESIDENTIAL 1055 RAY AVE., LOS ALTOS, CA

ABBREVIATIONS			
	DESCRIPTION	DESCRIPTION	
AB	AGGREGATE BASE (CLASS AS NOTED)	JP	JOINT POLE
AC	ASPHALT CONCRETE	MON.	MONUMENT
AD	AREA DRAIN	OG	ORIGINAL GROUND
BC	BEGIN OF CURVE	PB	PULL BOX
BO	BLOW OFF	PGEV	PG&E VAULT
BW	BACK OF WALK	R_PL	PROPERTY LINE
BWAL	BLACK WALNUT TREE	PP	POWER POLE
CF	GARAGE FINISH FLOOR (BACK)	PPP	PLASTIC PERFORATED PIPE
S.CL	CENTERLINE	PSE	PUBLIC SERVICE EASEMENT
CLSW	CENTERLINE SWALE	PVC	POLYVINYL CHLORIDE
CO	CLEANOUT	R/W	RIGHT OF WAY
CP	CONTROL POINT	RCP	REINFORCED CONCRETE PIPE
DDW	DIRT DRIVEWAY	SD	STORM DRAIN
DI	DROP INLET	SDMH	STORM DRAIN MANHOLE
DETAIL	DAYLIGHT	SS	SANITARY SEWER LINE
ELCT	ELECTROLIER	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT ELEVATION	SW	SIDEWALK
EUC	EUCALYPTUS TREE	TC	TOP OF CURB
EX	EXISTING	TOB	TOP OF BANK
FF	FINISHED FLOOR	TOE	TOE OF SLOPE
FG	FINISH GRADE	TF	TOP OF FOUNDATION
FH	FIRE HYDRANT	TP	TOP OF PIPE
FL	FLOW LINE	UG	UNDERGROUND GAS
FNC	FENCE	USS	UNDERGROUND SANITARY SEWER
FOG	FOG LINE	UST	UNDERGROUND STORM DRAIN
GB	GRADE BREAK	UT	UNDERGROUND TELEPHONE
GFF	GARAGE FINISHED FLOOR (FRONT)	UW	UNDERGROUND WATER
GUY	GUY WIRE	VCP	VITRIFIED CLAY PIPE
HP	HIGH POINT	WL	WHITE LINE STRIPE
IP	IRON PIPE	WM	WATER METER
LIP	LIP OF GUTTER	WV	WATER VALVE
C&G	CURB AND GUTTER	YL	YELLOW LINE STRIPE



LOCATION MAP
N.T.S.

PROJECT SITE



1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
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OWNER:

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GRADING AND DRAINAGE PLANS
NEW, SINGLE FAMILY RESIDENTIAL
1055 RAY AVE., LOS ALTOS, CA
APN: 167-12-028
COVER SHEET

Revisions:



Date: 1/20/2014
Scale: NTS
Prepared by: S.P.
Checked by: S.R.
Job #: 214010

Sheet: 1 OF 3
C-1

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
F	F	FILL AREA LIMIT
C	C	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
SUB	SUB	SUBDRAIN PIPE (PERFORATED)
OH e,T,TV	OH e,T,TV	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
○	●	SANITARY SEWER MANHOLE
⊙	⊙	STORM DRAIN MANHOLE
⊛	⊛	ELECTROLIER
WM	WM	WATER METER
○	○	TREE WITH TRUNK
x-x	x-x	6' WOODEN FENCE
102.23	102.23	SPOT ELEVATION
○	○	TREE PROTECTION FENCE
○	○	5' TALL CHAIN LINK
---	---	SWALE
→	→	DIRECTION OF FLOW IN PIPE
●	●	AREA DRAIN/ INLET
→	→	OVERLAND RELEASE PATH
→	→	GRADING DIRECTION
○	○	(E) TREE TO BE REMOVE
○	○	DOWN-SPOUT
○	○	POP-UP EMITTER

EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)	IMPORT (CY)	EXPORT (CY)
MAIN HOUSE PAD	1250	0		
GARAGE	0	25		
FRONT YARD/ DWY	0	23		
BACKYARD/ WALKWAY	0	64		
TOTAL	1250	112	0	1138

NOTES:

1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.

SHEET INDEX:

- C-1 COVER SHEET/ NOTES
- C-2 GRADING AND DRAINAGE PLAN
- C-3 DETAILS

DRAINAGE NOTES

1. Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
2. All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
3. On site storm drain lines shall consist of PVC-SCH 40 minimum or better.
4. Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS ALONG THE CENTERLINE OF RAY AVE, PER BOOK: 24 PAGE: 8, RECORD INFORMATION WAS USED, WHICH IS FILED WITH THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

REFERENCED ASSUMED BENCHMARK:

SURVEY CONTROL SET MAG NAIL ELEVATION=100.00' (ASSUMED DATUM)

NOTE:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

GEOTECHNICAL ENGINEER OF RECORD

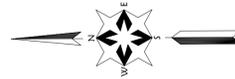
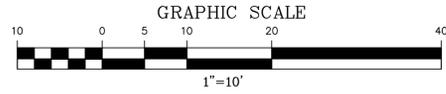
THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL REPORT

PREPARED BY _____ DATED _____
BY C.E.G. # _____ BY G.E. # _____

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.





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GRADING AND DRAINAGE PLAN

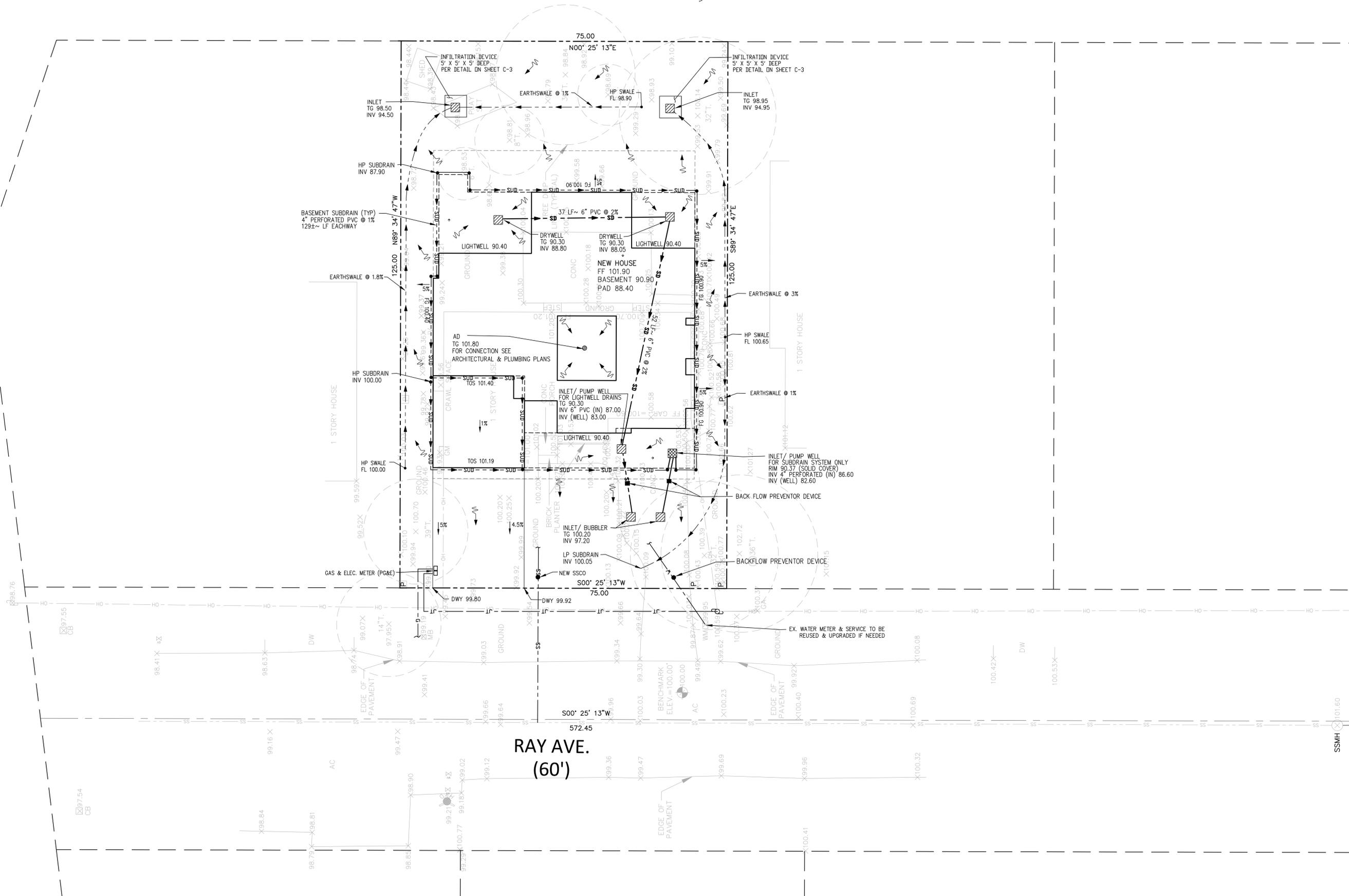
PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

Revisions:



Date: 1/20/2014
Scale: 1"=12'
Prepared by: S.P.
Checked by: S.R.
Job #: 214010

Sheet: 2 OF 3
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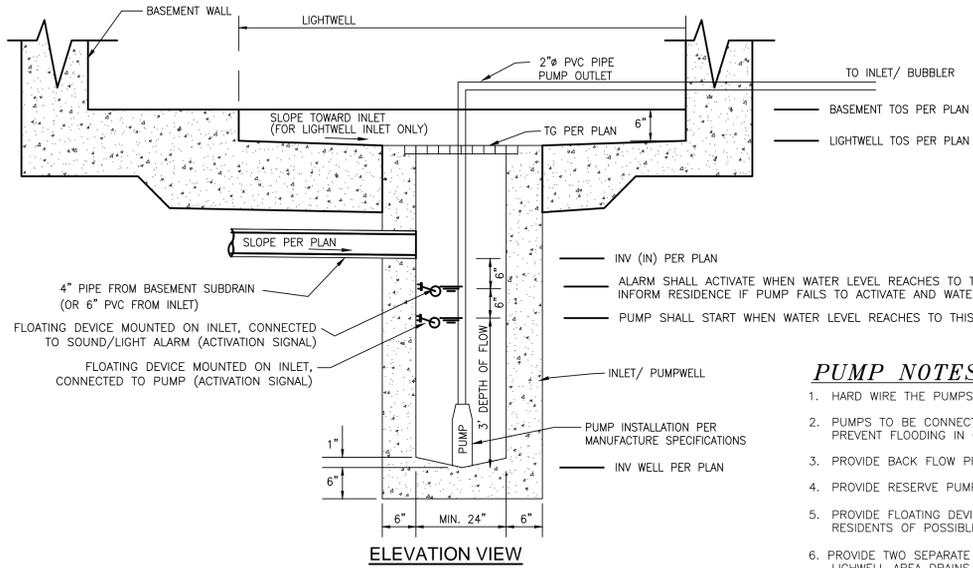


RAY AVE.
(60')

SSMH X 101.60

X 97.54 CB

X 97.55 CB



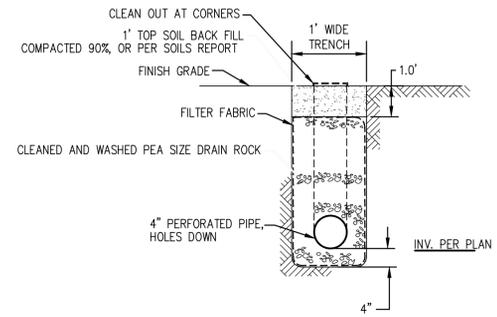
ELEVATION VIEW

INLET/ PUMPWELL DETAIL FOR BASEMENT LIGHTWELL

NTS

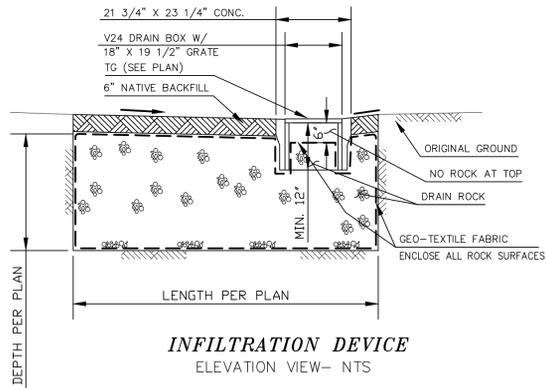
PUMP NOTES:

1. HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.
2. PUMPS TO BE CONNECTED TO BACKUP GENERATORS OR BATTERIES TO PREVENT FLOODING IN CASE OF BLACKOUT.
3. PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.
4. PROVIDE RESERVE PUMP FOR EACH PUMP WELL.
5. PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/ LIGHT ALARM, TO NOTIFY RESIDENTS OF POSSIBLE RISE OF WATER IN PUMPWELL.
6. PROVIDE TWO SEPARATE SYSTEM AND PUMP WELLS FOR: a) SUBDRAIN AND b) LIGHTWELL AREA DRAINS.



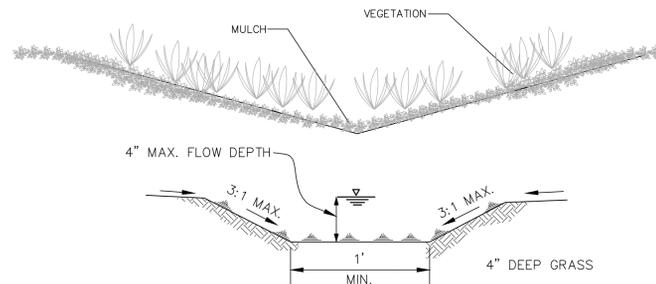
SUBDRAIN TRENCH DETAIL

ELEVATION VIEW- NTS



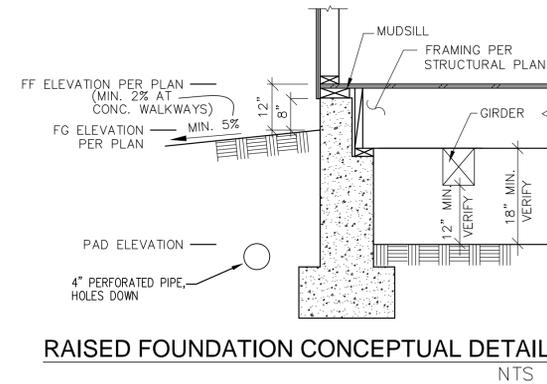
INFILTRATION DEVICE

ELEVATION VIEW- NTS



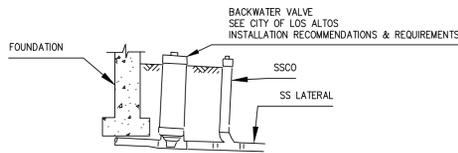
BIO SWALE DETAIL

N.T.S.



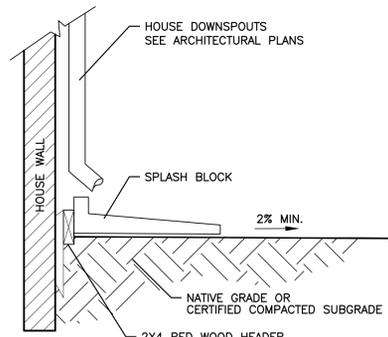
RAISED FOUNDATION CONCEPTUAL DETAIL

NTS



SANITARY SEWER BACKFLOW PREVENTOR DETAIL

NTS



SPLASH BLOCK



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