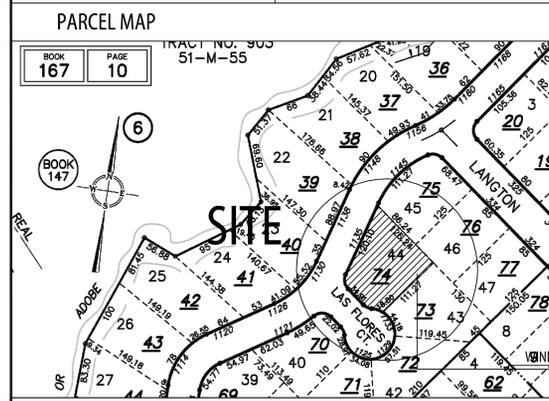


GENERAL NOTES	ABBREVIATION	SITE INFORMATION																																																																																																																																																											
<p>1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM WITH REQUIREMENTS TO THE 2010 CRC, 2010 CEC, 2010 CMC.</p> <p>2. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.</p> <p>3. DIMENSIONS AS INDICATED ARE TO BE USED. DO NOT SCALE THE DRAWINGS.</p> <p>4. NO CHANGES ARE TO BE MADE ON THE PLANS WITHOUT THE KNOWLEDGE OF THE ENGINEER WHOSE SIGNATURE APPEARS HEREIN.</p> <p>5. THE DESIGN ADEQUACY AND SAFETY OF THE ERECTION, BRACING, SHORING, AND THE TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. HE SHALL PROVIDE ALL NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO APPLICATION OF THE ABOVE MENTIONED BUILDING COMPONENTS. OBSERVATION VISITS TO THE JOB SITE BY PERSONNEL FROM THIS OFFICE SHALL NOT INCLUDE INSPECTION OR APPROVAL OF THE ABOVE ITEMS.</p> <p>6. THE GENERAL CONTRACTORS SHALL INSURE THAT THERE IS A FULL TIME QUALIFIED SUPERINTENDANT AT JOB SITE AT ALL TIMES.</p> <p>7. PROVIDE SPECIAL INSPECTION FOR ALL TIMES AS REQUIRED BY UBC AND LOCAL CODE AUTHORITY.</p> <p>8. OWNER'S BUILDER/GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS SUCH AS DIMENSIONS, BUILDING SET BACK, ELEC, MECH, AND PLUMBING CONDITIONS PRIOR TO START ANY WORK.</p>	<table border="0"> <tr> <td>ABV. ABOVE</td> <td>ONI NEW</td> </tr> <tr> <td>ADU. ADJACENT</td> <td>N/A NOT APPLICABLE</td> </tr> <tr> <td>A.F.F. ABOVE FINISHED FLOOR</td> <td>N.I.C. NOT IN CONTRACT</td> </tr> <tr> <td>APPROX. APPROXIMATE</td> <td>N.T.S. NOT TO SCALE</td> </tr> <tr> <td>ARCH. ARCHITECTURAL</td> <td></td> </tr> <tr> <td>AVG. AVERAGE</td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td>BD. BOARD</td> <td>PAV. PAVING</td> </tr> <tr> <td>BILD. BUILDING</td> <td>P.L. PROPERTY LINE</td> </tr> <tr> <td>BLDG. 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**SPECIAL NOTES**

THE FOLLOWING CODES AND REGULATIONS AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

CRC 2013 California Residential Code  
 CBC 2013 California Building Code  
 CEC 2013 California Electrical Code  
 CPC 2013 California Plumbing Code  
 CMC 2013 California Mechanical Code  
 UL Underwriters Laboratory  
 ICBO Standard

2010 TITLE 24 AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

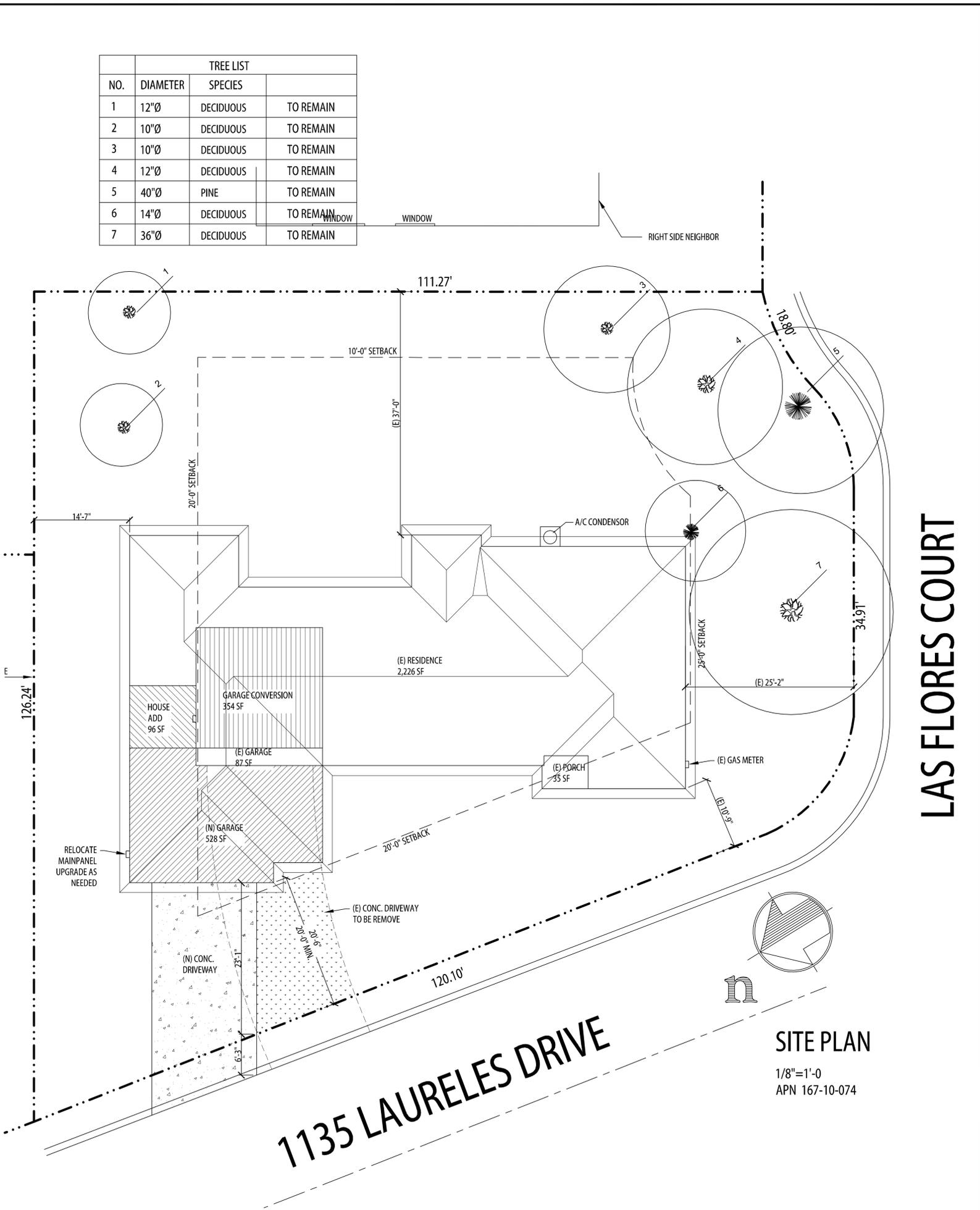
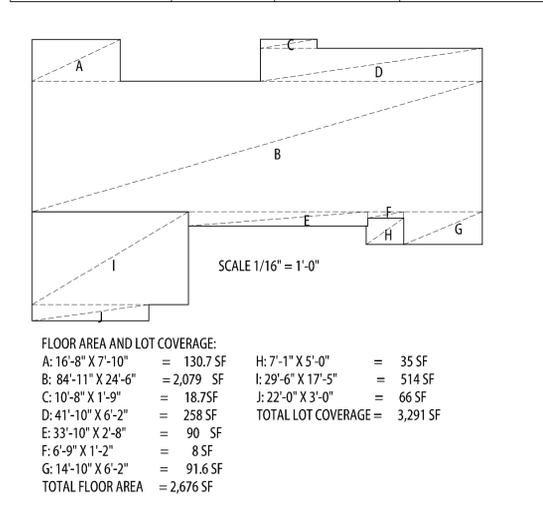
SPECIAL INSPECTION OF RETROFIT ANCHOR BOLTS, SUCH AS AT HOLDDOWNS INTO EXISTING CONCRETE, AND COUPLER NUTS FOR HOLDOWN ANCHOR BOLTS SHALL BE PERFORMED BY THE ENGINEER OF RECORD. A LETTER (PREPARED AND STAMPED/SIGNED BY ENGINEER OF RECORD) VERIFYING SUCH INSPECTIONS WERE PERFORMED SHALL BE ON THE SITE FOR THE CITY FIELD INSPECTOR AT THE TIME OF SHEAR WALL INSPECTION.

BRACED WALL SYSTEM:  
 THIS PROJECT COMPLIES WITH THE CONVENTIONAL CONSTRUCTION PROVISION OF CRC SECTION R602.10 AND CBC SECTION 2308

NET LOT AREA:	EXISTING	CHANGE IN	TOTAL PROPOSED
	12,500 SF		
% OF FRONT YARD PAVING	12%	1%	345SF (13%)
HABITAT LIVING AREA (INCLUDING HABITAT BASEMENT AREA):	2,226 SF	450 SF	2,676SF
NON-HABITAT LIVING AREA:	441 SF	174 SF	615 SF
TOTAL	2,667 SF	624SF	3,291SF

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE:	2,667SF (21.3%)	3291SF (26.3%)	3,750 SF ( 30%)
FLOOR AREA:			
FIRST FLOOR	2,226 SF (17.8%)	2,676 SF (21.4%)	4,375 SF ( 35%)
SECOND FLOOR			
TOTAL			
SETBACKS:			
FRONT	25'-2"	25'-2"	25'
REAR	14'-7"	14'-7"	25'
RIGHT SIDE	37'-0"	37'-0"	10'
STREET SIDE	10'-9"	10'-9"	20'
HEIGHT	14'-9"	14'-9"	27'-0"



Revisions	By

**STUDIO 14**  
 5111 AMBERWOOD DRIVE  
 FREEMONT, CA 94555... TEL: FAX: (916) 792-2212

**The Rulison and Chen Residence**  
 1135 Laureles drive  
 Los Altos, CA 94022

**LAS FLORES COURT**

An Addition to:  
**The Rulison and Chen Residence**  
 1135 Laureles drive  
 Los Altos, CA 94022

**SITE PLAN**  
 1/8"=1'-0  
 APN 167-10-074

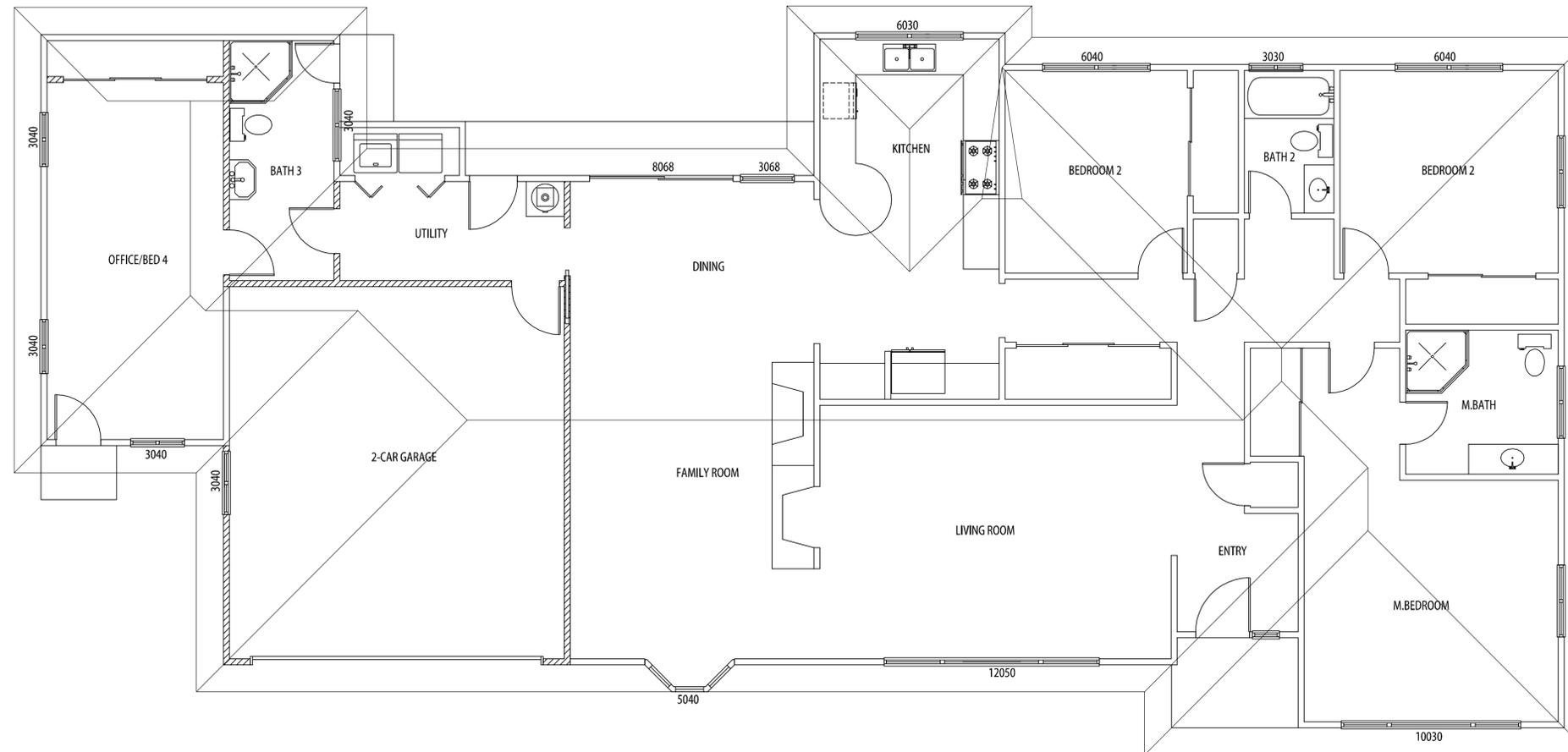
Date: 01/02/14  
 Drawn: D.Tamira  
 Sheet: **1**

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**WALL LEGEND**

-  EXISTING WALL TO REMAIN
-  EXISTING WALL REMOVED
-  NEW WALL CONSTRUCTION



**EXISTING FLOOR PLAN**  
SCALE 1/4" = 1'-0"

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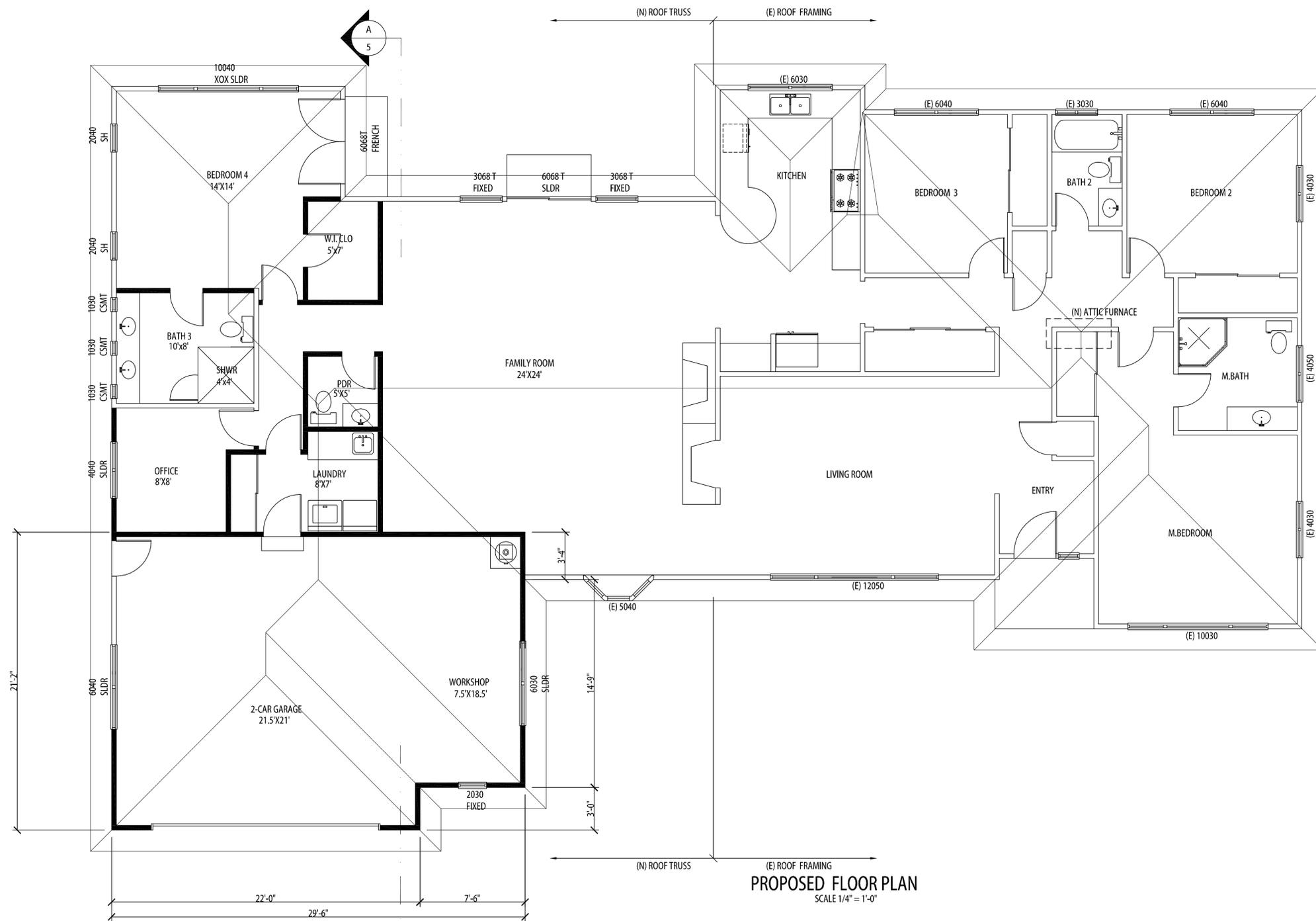
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Date 01/02/13  
Drawn D.Tamira  
Sheet

**WALL LEGEND**

-  EXISTING WALL TO REMAIN
-  EXISTING WALL REMOVED
-  NEW WALL CONSTRUCTION

Revisions	By

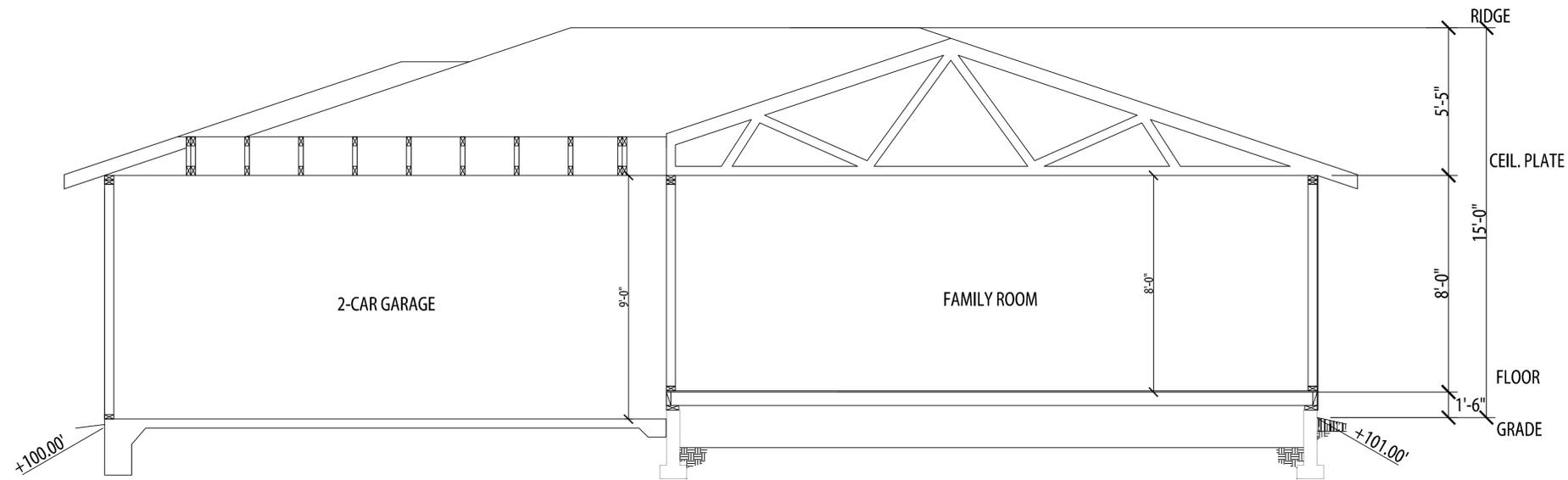


**PROPOSED FLOOR PLAN**  
SCALE 1/4" = 1'-0"

An Addition to:  
**The Rulison and Chen Residence**  
1135 Laureles drive  
Los Altos, CA 94022

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Sheet



**SECTION A-A**  
3/8" = 1'-0"

Revisions	By

**STUDIO 14**  
 511 AMBERWOOD DRIVE  
 FREMONT, CA 94555  
 TEL: FAX: 510 792-2212

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