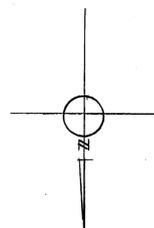


EXISTING FIRST FLOOR PLAN

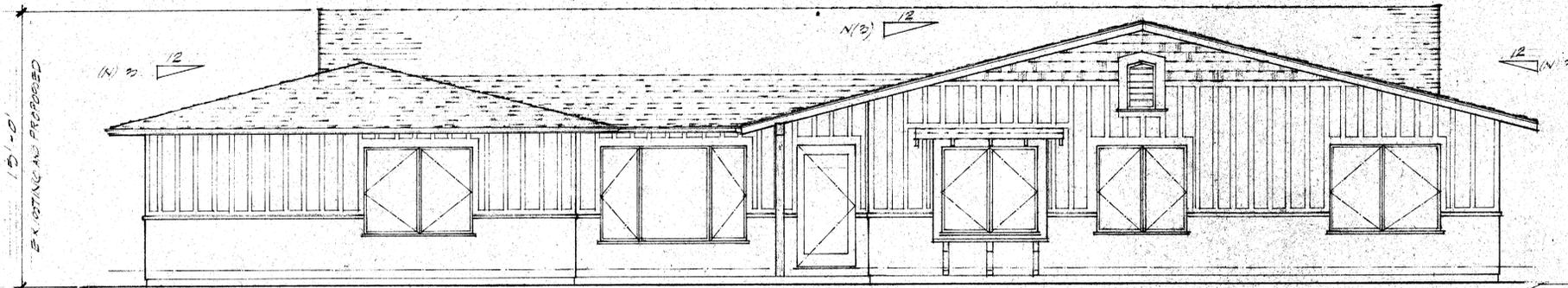
1/4" = 1'-0"



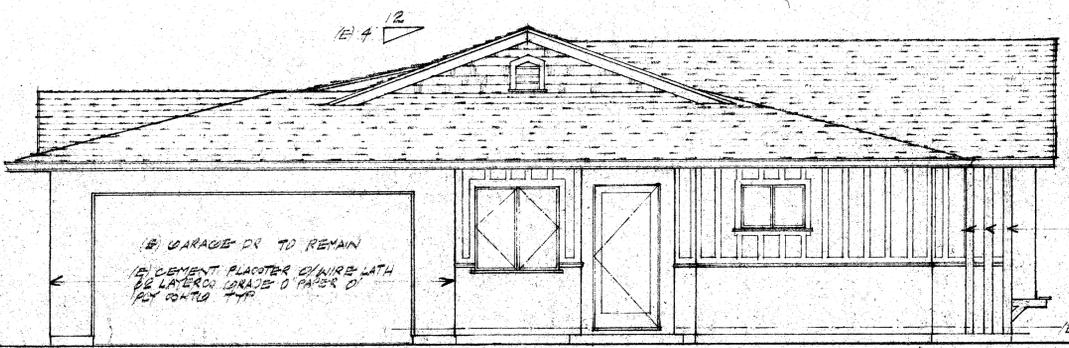
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REV.	DATE

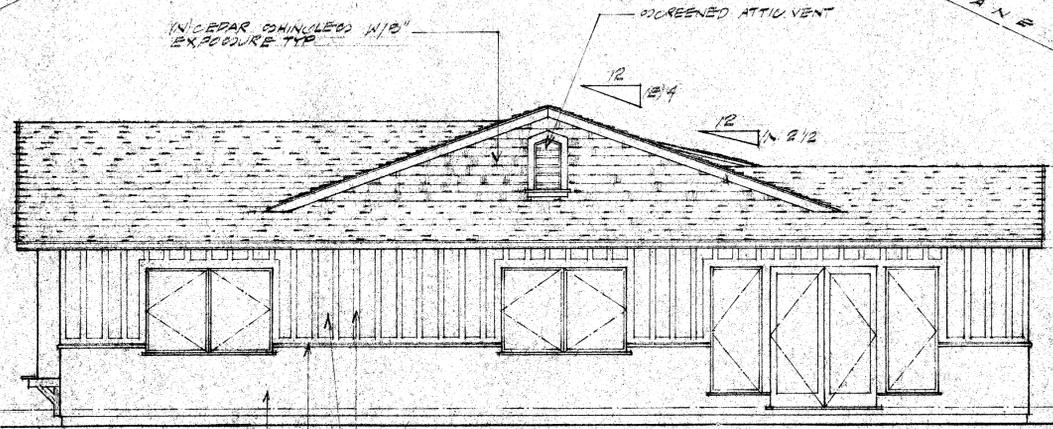
Approved:
 Date: 12-01-12
 Scale: 1/4" = 1'-0"
 Drawn: LP
 Job: 12326
 Sheet:



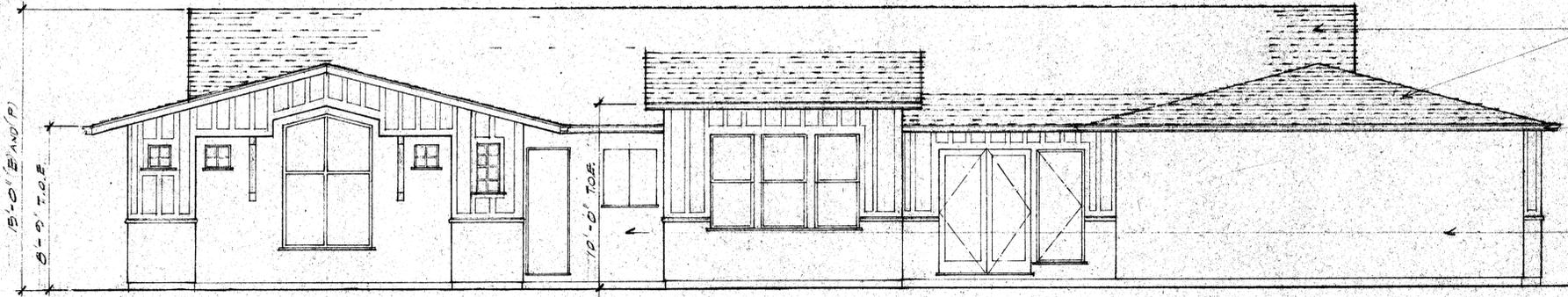
NORTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

DAYLIGHT PLANE

1/2" CEDAR SHINGLES 1/2" EXPOSURE TYPE
SCREENED ATTIC VENT

2" x 4" R.O.D.F. POSTS

1/2" AND 1/4" FINISH FLOOR

1/2" GARAGE DR TO REMAIN
1/2" CEMENT PLASTER OVER WIRE LATH
2/2" LAYERS GRADE 1/2" PAPER 1/2" FINISH

1/2" x 2" ROUGH RND PLSTCS @ 12" O.C. @ 1/2" CLEAR REGRADN PLIN ODD SIDDING

2" x RND. WATER TABLE

1/2" 7/8" CEMENT PLASTER 1/2" WIRE LATH AND 2 LAYERS GRADE 1/2" PAPER TO MATCH 1/2" FINISH

1/2" DIMENSIONAL ASPHALT/FIBERGLASS COMBINATION SHINGLES 1/2" (1/2" x 1/2") ROOF DOWNS

4" DRESS CALY. SHUTTL. CUTTER

1/2" 7/8" CEMENT PLASTER (STUCCO) 1/2" WIRE LATH 2 LAYERS GRADE 1/2" PAPER TO REMAIN

1/2" AND 1/4" FIN. GRADE

FLETCHER/PAGE
E AND L FLETCHER & L PAGE
1083 MARTIN
LOS ALTOS, CA
94022
REMODEL/ADDITION
BLDG. ELEVATIONS
SEPT 1998
SHEET 50A/13

CHANGES TO APPROVED
PLANS SHALL BE RE-APPROVED
BY BLDG. DEPT. 3 DAYS
PRIOR TO INSPECTION

CITY OF LOS ALTOS
JOB COPY
KEEP ON JOB AT ALL TIMES

JOHN
SOLMITO
300 COLUMBIA DR
BONNY OON, CA
95008
(916) 460-0840
John Solmito

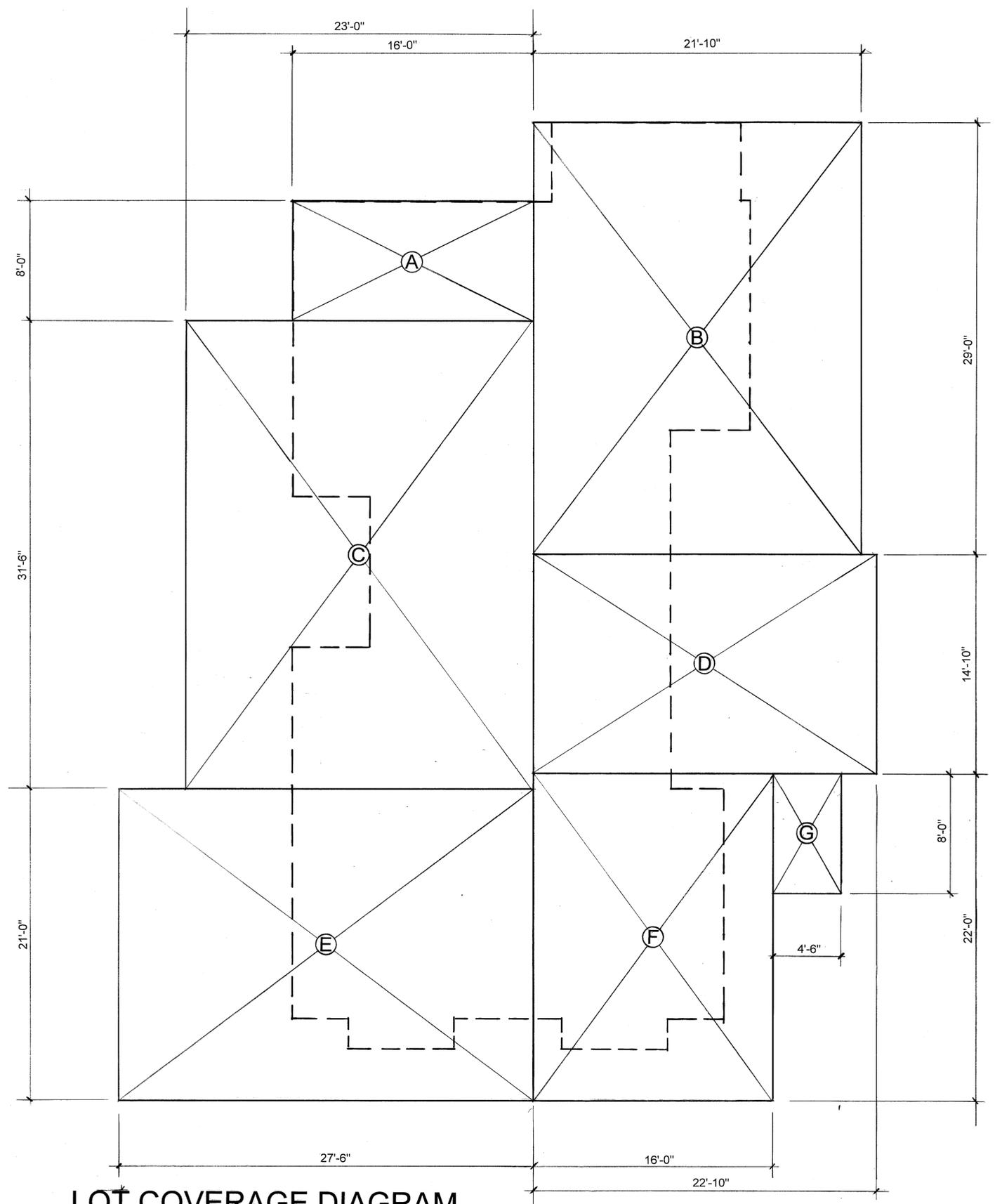
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REV.	DATE

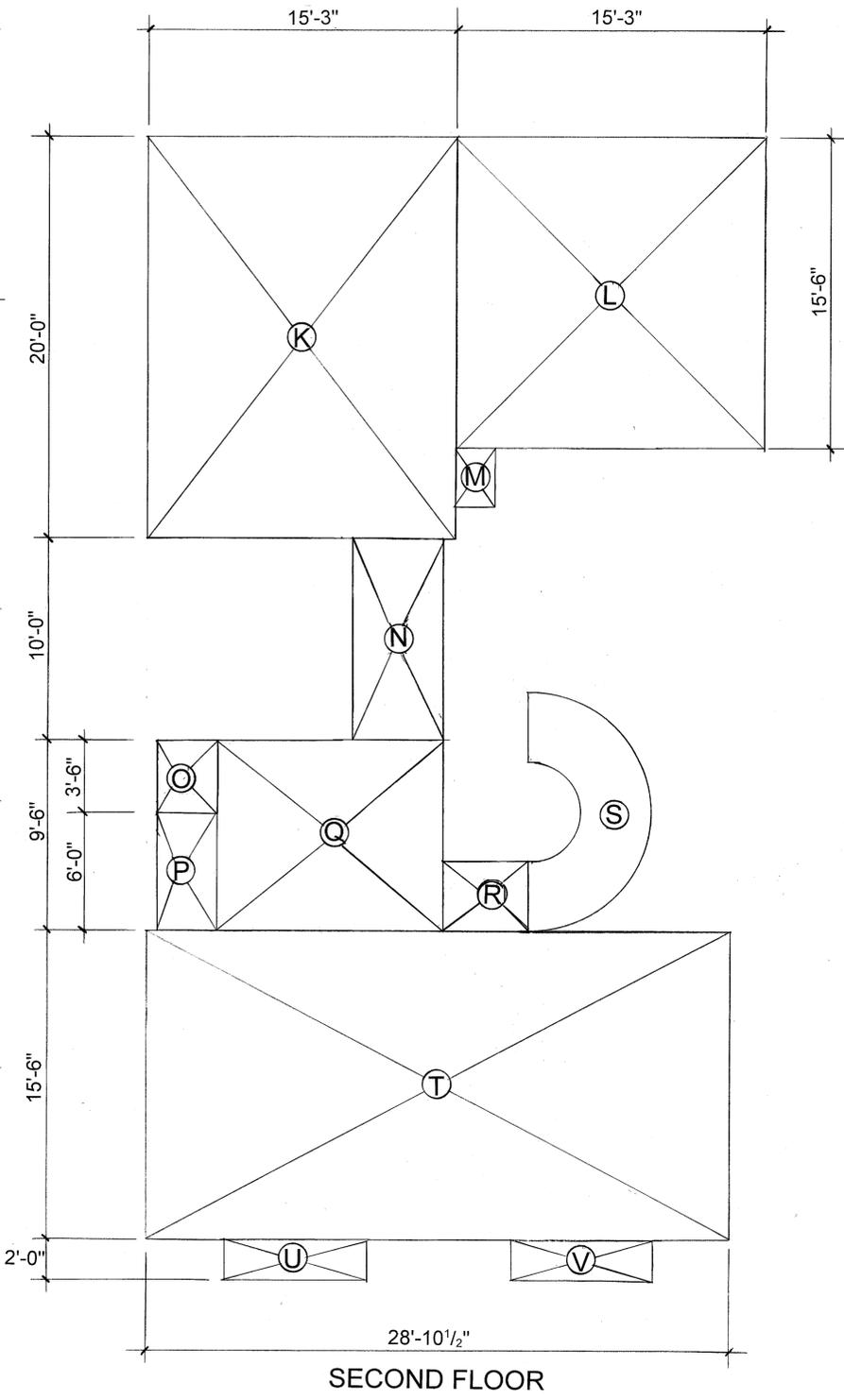
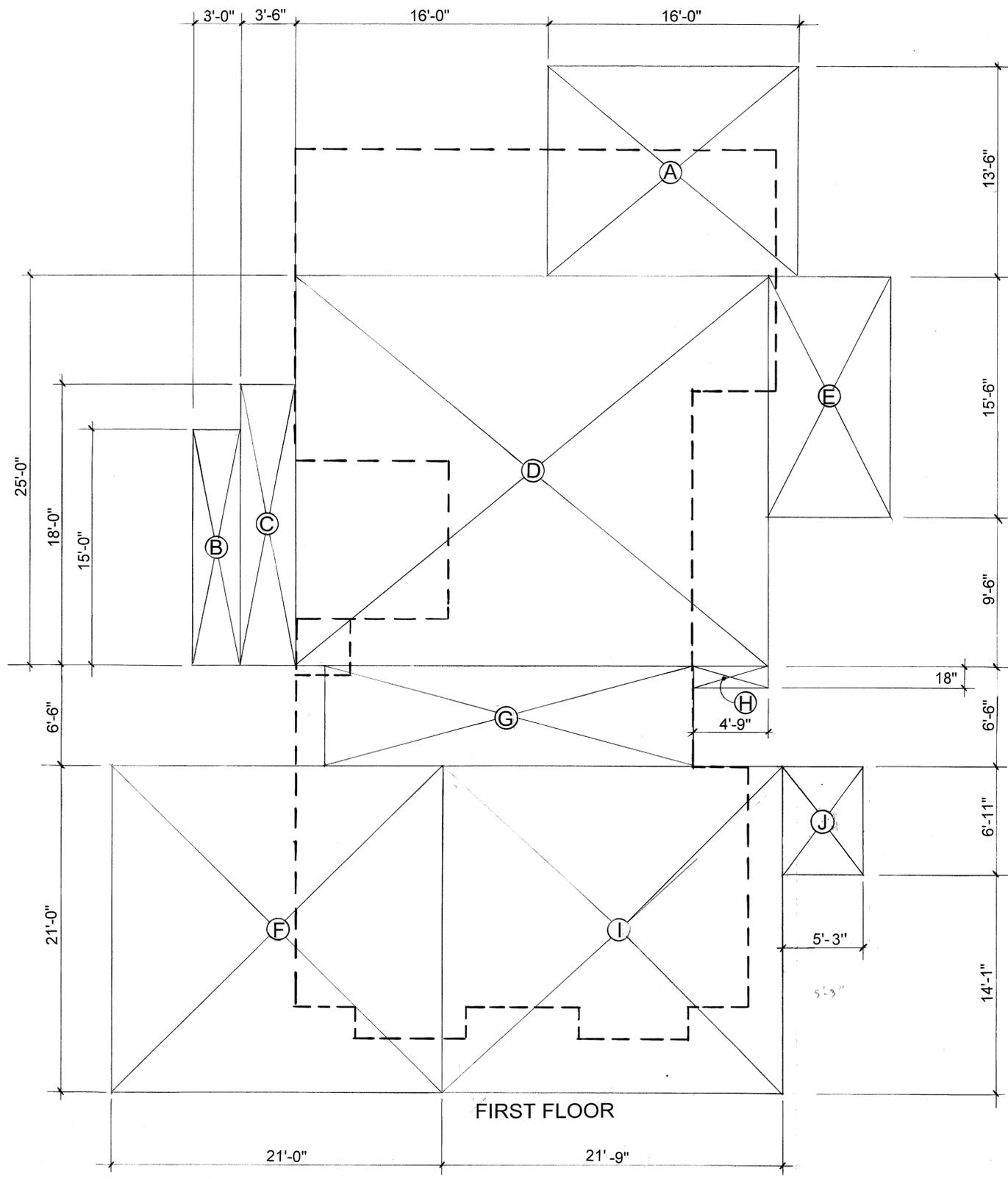
Approved:
 Date: 12-21-13
 Scale: 1/4" = 1'-0"
 Drawn: LS
 Job:
 Sheet: T-4

LOT COVERAGE TABLE		
BLOCK	DIMENSIONS	AREA (sq. ft.)
A	16'-0" x 8'-0"	128
B	21'-10" x 29'-0"	633
C	23'-0" x 31'-6"	725
D	22'-10" x 14'-10"	339
E	27'-6" x 21'-0"	578
F	16'-0" x 22'-0"	352
G	4'-6" x 8'-0"	36
TOTAL LOT COVERAGE:		2,791

- LOT COVERAGE NOTES:**
- A. Alphabetical sheetnotes on this sheet are general notes. Numeric sheetnotes on this sheet are referenced in the plan.
 - B. This project includes removal of an existing dwelling and construction of a new dwelling.
 - C. This drawing includes a lot coverage diagram, which consists of a plan view of the land area covered by all structures that are more than six feet tall (above finish grade). This includes the footprint of the new dwelling covered porches and trellises.
 - B. The outline of the second floor is shown as a dashed line.



LOT COVERAGE DIAGRAM
 1/4" = 10'-0"



- FLOOR AREA NOTES:**
- A. Alphabetical sheetnotes on this sheet are general notes. Numeric sheetnotes on this sheet are referenced in the plan.
 - B. This project includes removal of an existing dwelling and construction of a new dwelling.
 - C. This drawing includes a Floor Area Table, which includes floor area of the first and second floors, and a graphic diagram, which shows how the calculation was achieved. Conditioned and Unconditioned areas are included (dwelling, garage, and accessory structures). In the Table, Line Items "F" and "O" are unconditioned space.
 - D. The outline of the second floor is shown as a dashed line.

FIRST FLOOR AREA
 Conditioned + Unconditioned¹ Area (ft²)

BLOCK	DIMENSIONS	AREA (sq. ft.)
A	16'-0" x 13'-6"	216.0000
B	15'-0" x 3'-0"	45.0000
C	18'-0" x 3'-6"	63.0000
D	30'-0" x 25'-0"	750.0000
E	7'-10" x 15'-6"	121.4167
F ¹	21'-0" x 21'-0"	441.0000
G	23'-6" x 6'-6"	152.7500
H	4'-9" x 1'-6"	7.1250
I	21'-9" x 21'-0"	456.7500
J	5'-3" x 6'-11"	36.3125
FIRST FLOOR AREA:		2289.3542

2ND FLOOR AREA
 Conditioned + Unconditioned¹ Area (ft²)

BLOCK	DIMENSIONS	AREA (sq. ft.)
K	15'-3" x 20'-0"	305.0000
L	15'-3" x 15'-6"	236.3750
M	1'-9" x 3'-0"	5.2500
N	4'-6" x 10'-0"	45.0000
O ¹	3'-0" x 3'-6"	10.5000
P	3'-0" x 6'-0"	18.0000
Q	11'-0" x 9'-6"	104.5000
R	4'-3" x 3'-6"	14.8750
S	Stairs: 3'-6" x	46.0000
T	28'-10.5" x 15'-6"	447.5625
U	7'-0" x 2'-0"	14.0000
V	7'-0" x 2'-0"	14.0000
2ND FLOOR AREA:		1261.0625

FLOOR AREA
 1/4" = 1'-0"

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REV.	DATE

Approved: _____
 Date: 12-01-13
 Scale: 1/4" = 1'-0"
 Drawn: LSN
 Job: 12326
 Sheet: **T-5**

LEGEND:

- AC ASPHALT
- BC BUILDING CORNER
- CC CONCRETE
- DWY DRIVEWAY
- FC FENCE CORNER
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FNC FENCE
- G GROUND
- LG LIP OF GUTTER
- SSMH SANITARY SEWER MANHOLE
- TRC TOP OF ROLL CURB
- WM WATER METER
- X 100.00 EX SPOT ELEVATION
- X 100.00 PR SPOT ELEVATION
- DRAINAGE DIRECTION

OWNER:
MICHAEL FERRIS
1650 MORTON AVENUE
LOS ALTOS, CA 94024

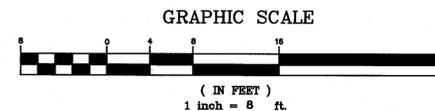
APN: 318-18-014

LOT AREA:
LOT AREA = 10,171± SF

EARTHWORK:
CUT: 790 CY
FILL: 10 CY
OFFHAUL: 780 CY

GRADING/DRAINAGE PLAN

1650 MORTON AVENUE
CITY OF LOS ALTOS
SANTA CLARA COUNTY - CALIFORNIA
SCALE: 1" = 8' NOVEMBER 2013



NOTES:

1. ALL DRAINAGE IS TO BE CONVEYED TO THE STREET SURROUNDING THE PARCEL IN A NON CONCENTRATED SHEET FLOW FORM, USING BIO-FILTRATION WHERE AVAILABLE. IF NECESSARY A FILTRATION TRENCH (DETAIL SHOWN BELOW) CAN BE CONSTRUCTED ALONG THE NORTHERLY PROPERTY LINE OF THE PARCEL.
2. PLACE SPLASH BLOCKS (MINIMUM LENGTH 2') AT ALL DOWNSPOUT LOCATIONS AND CONVEY WATER TOWARDS THE STREET AS DESCRIBED IN NOTE 1.
3. ALL SOIL EXPOSED DURING GRADING SHALL BE SEEDED WITH GRASS AND/OR PLANTED WITH OTHER VEGETATION AT THE COMPLETION OF THE PROJECT.
4. IF ANY SOIL IS TRACKED INTO ANY PUBLIC RIGHT OF WAY, IT MUST BE REMOVED BY THE END OF THAT SAME BUSINESS DAY.
5. APPROPRIATE MEASURES SHALL BE TAKEN SO THAT THE STORAGE, HANDLING, AND DISPOSAL OF CONSTRUCTION MATERIALS SHALL NOT COME IN CONTACT WITH STORM WATER.
6. IF APPLICABLE, ALL GRADING SHALL BE DONE IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE SOILS REPORT.
7. NO GRADING AND/OR TRENCHING SHALL BE DONE WITHIN THE DRIPLINE OF ANY TREE LOCATED WITHIN THE PROJECT AREA WITHOUT FIRST OBTAINING THE APPROVAL OF A CERTIFIED ARBORIST.
8. WHERE APPLICABLE, ALL DIMENSIONS PROVIDED BY THE ARCHITECT SHALL SUPERSEDE ANY DIMENSIONS SHOWN ON THIS PLAN.
9. ALL TREES SHOWN ON THIS PLAN ARE TO REMAIN ACCORDING TO THEIR PRE-DEVELOPMENT CONDITION UNLESS OTHERWISE SPECIFIED.
10. THE STORM RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.
11. THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS, EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE.
12. THE APPLICANT/CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO THE START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM THE UTILITY COMPANIES PRIOR TO APPLYING FOR A CITY ENCROACHMENT PERMIT.
13. GRADING AND DRAINAGE IN THE REAR YARD OF THE SUBJECT PARCEL IS TO REMAIN ACCORDING TO THE CURRENT CONDITIONS.
14. MAINTAIN 2% DOWNWARD SLOPE FOR DRAINAGE PURPOSES FROM BUILDING TO PUBLIC WAY.
15. A SUBDRAIN SHALL BE CONSTRUCTED BEHIND THE ENTIRE BASEMENT RETAINING WALL PER THE DETAIL SHOWN ON SHEET C-2. THE SUBDRAIN SHALL BE CONVEYED TO THE SUMP PUMP LOCATED IN THE LIGHTWELL. MINIMUM SLOPE OF SUBDRAIN = 2%.
16. ALL DRAINS IN LIGHTWELLS SHALL HAVE ULTRALIGHT TIDEFLEX CHECK VALVES INSTALLED TO PREVENT BACKDRAINAGE INTO THE LIGHTWELL.
17. INSTALL STRAW WATTLE AROUND THE PROJECT PERIMETER PER DETAIL EC-4 SHOWN ON NEXT PAGE.
18. INSTALL GRAVEL CONSTRUCTION ENTRANCE PER DETAIL EC-2 AS SHOWN ON NEXT PAGE.
19. ALL EARTHWORK, SUBGRADE PREPARATION, FOUNDATION CONSTRUCTION, AND SITE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY REDWOOD GEOTECHNICAL ENGINEERING, INC., DATED NOVEMBER 2013, PROJECT NO. 21845CL. REDWOOD GEOTECHNICAL ENGINEERING, INC. SHOULD BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY EARTHWORK AND FOUNDATION CONSTRUCTION AND SHOULD OBSERVE AND TEST DURING EARTHWORK AND FOUNDATION CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT.
20. TEMPORARY CONSTRUCTION SLOPES MAY BE UP TO 5' HIGH AND THEN LAID BACK AT A 1:1 GRADIENT IN ACCORDANCE WITH APPLICABLE OSHA GUIDELINES.
21. EXISTING IMPROVEMENTS IN THE RIGHT OF WAY ARE CONSISTENT WITH THE SHOULDER PAVING POLICY. NO FURTHER IMPROVEMENTS ARE PROPOSED WITHIN THE RIGHT OF WAY.

DMG ENGINEERING, Inc.
30 OAKVUE COURT
PLEASANT HILL, CA 94523
PHONE: (925) 787-0463
FAX: (925) 287-8503

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NO.	DATE	DESCRIPTION	BY
1	1-28-14	PLANNING REDLINES	DMG

GRADING/DRAINAGE PLAN
1650 MORTON AVENUE
CITY OF LOS ALTOS
SANTA CLARA COUNTY - CALIFORNIA
SCALE: 1" = 8'
NOVEMBER 2013

ENGINEER:

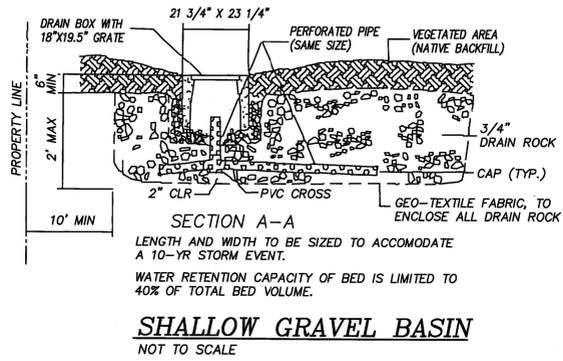
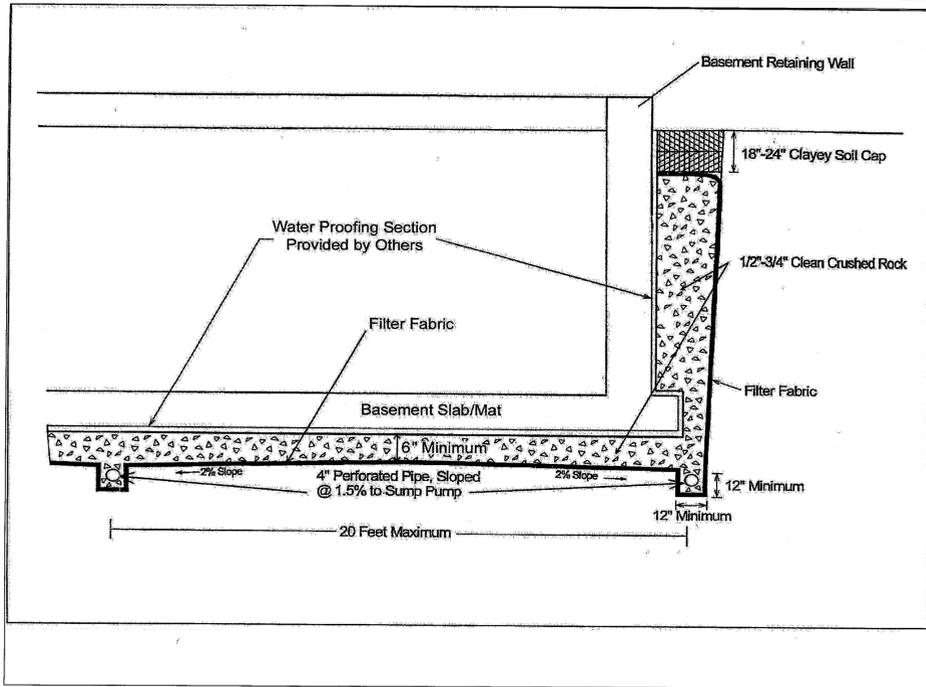
DMG ENGINEERING, INC.
DYLAN GONSALVES, PE, PLS
30 OAKVUE COURT
PLEASANT HILL, CA 94523
PHONE: 925-787-0463
FAX: 925-287-8503



SHEET: C1
ORIG.DWG: 11-20-13
REV.DWG:
JOB: 13-81

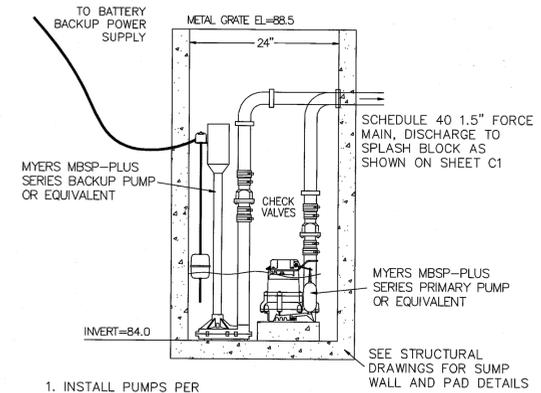
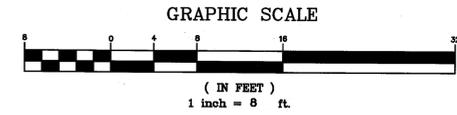
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SHALLOW GRAVEL BASIN
NOT TO SCALE

DETAILS
1650 MORTON AVENUE
CITY OF LOS ALTOS
SANTA CLARA COUNTY - CALIFORNIA
SCALE: 1" = 8' NOVEMBER 2013



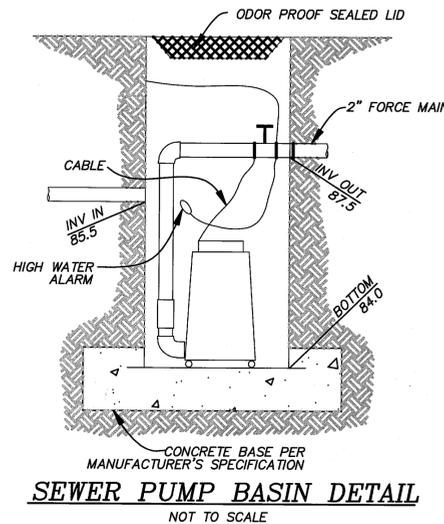
1. INSTALL PUMPS PER MANUFACTURER'S RECOMMENDATIONS.
2. CONTRACTOR SHALL SUPPLY A COMPLETELY SELF-CONTAINED MOTOR CONTROL PANEL. THE CONTROL PANEL SHALL PROVIDE SHORT CIRCUIT AND OVERLOAD PROTECTION FOR THE PUMPS.
3. PROVIDE BENTONITE PASTE AT ALL PIPE CONNECTIONS TO PUMP BASIN.
4. SUMP PUMP MAINTENANCE REQUIREMENTS: CLEAN STORM DRAIN VAULT AND PUMP OF DEBRIS EVERY SIX MONTHS MINIMUM.
5. PROVIDE BACKFLOW PREVENTERS ON ALL GRAVITY PIPE ENTERING THE PUMP BASIN.

SUMP DETAIL
NOT TO SCALE

INSTALL LIBERTY PUMPS PRO 370 SIMPLEX EFFLUENT PUMPING PACKAGE INCLUDING 21" DIA FIBERGLASS PUMP BASIN WITH LIBERTY P372LE41 0.4HP 115V SUMP PUMPS WITH ALARM AND ALARM SWITCH, CHECK VALVE, BALL VALVE, DISCHARGE HOSE, PUMP LIFTOUT CABLE AND ELECTRICAL JUNCTION BOX. CONNECT BASIN PUMP WIRING TO SEPARATE LIBERTY SIMPLEX ELECTRICAL CONTROL PANELS IN NEMA 1 ENCLOSURES

NOTE: PUMPS MAY ALSO BE SET IN PRECAST CONCRETE MANHOLE OR DROP INLET IN LIEU OF FIBERGLASS BASIN. DISCHARGE PIPING OF PUMP MUST BE EQUIPPED WITH A CHECK VALVE, BALL VALVE, TRUE UNION AND LIFTOUT CABLE.

CONTRACTOR SHALL ENSURE THAT SUMP PUMP IS PROPERLY VENTED SUCH THAT ODORS ASSOCIATED WITH SANITARY SEWERS DO NOT ACCUMULATE IN THE LIGHTWELL.



SEWER PUMP BASIN DETAIL
NOT TO SCALE

NOTE: 1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

Approved: <i>[Signature]</i> City Engineer Date: 1/4/10	REVISION	ENGINEERING DIVISION
	Description	STABILIZED CONSTRUCTION SITE ENTRANCE
	Date	EC-2

STANDARD DETAILS MAY 2010

NOTE: STRAW ROLLS MUST BE PLACED ALONG SLOPE CONTOURS
ADJACENT ROLLS SHALL TIGHTLY ABUT

NOTE: 1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL
2. VERTICAL SPACING FOR SLOPE INSTALLATIONS
1:1 SLOPES = 10 FEET APART
2:1 SLOPES = 20 FEET APART
3:1 SLOPES = 30 FEET APART
4:1 SLOPES = 40 FEET APART
<4:1 SLOPE = ONE ROW AT LOW POINT
3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED

Approved: <i>[Signature]</i> City Engineer Date: 1/4/10	REVISION	ENGINEERING DIVISION
	Description	STRAW ROLLS
	Date	EC-4

STANDARD DETAILS MAY 2010

DMG ENGINEERING, Inc.
30 OAKVUE COURT
PLEASANT HILL, CA 94523
PHONE: (925) 787-0463
FAX: (925) 287-8503

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NO.	DATE	DESCRIPTION	BY

DETAILS
1650 MORTON AVENUE
CITY OF LOS ALTOS
SANTA CLARA COUNTY - CALIFORNIA
SCALE: 1" = 8' NOVEMBER 2013

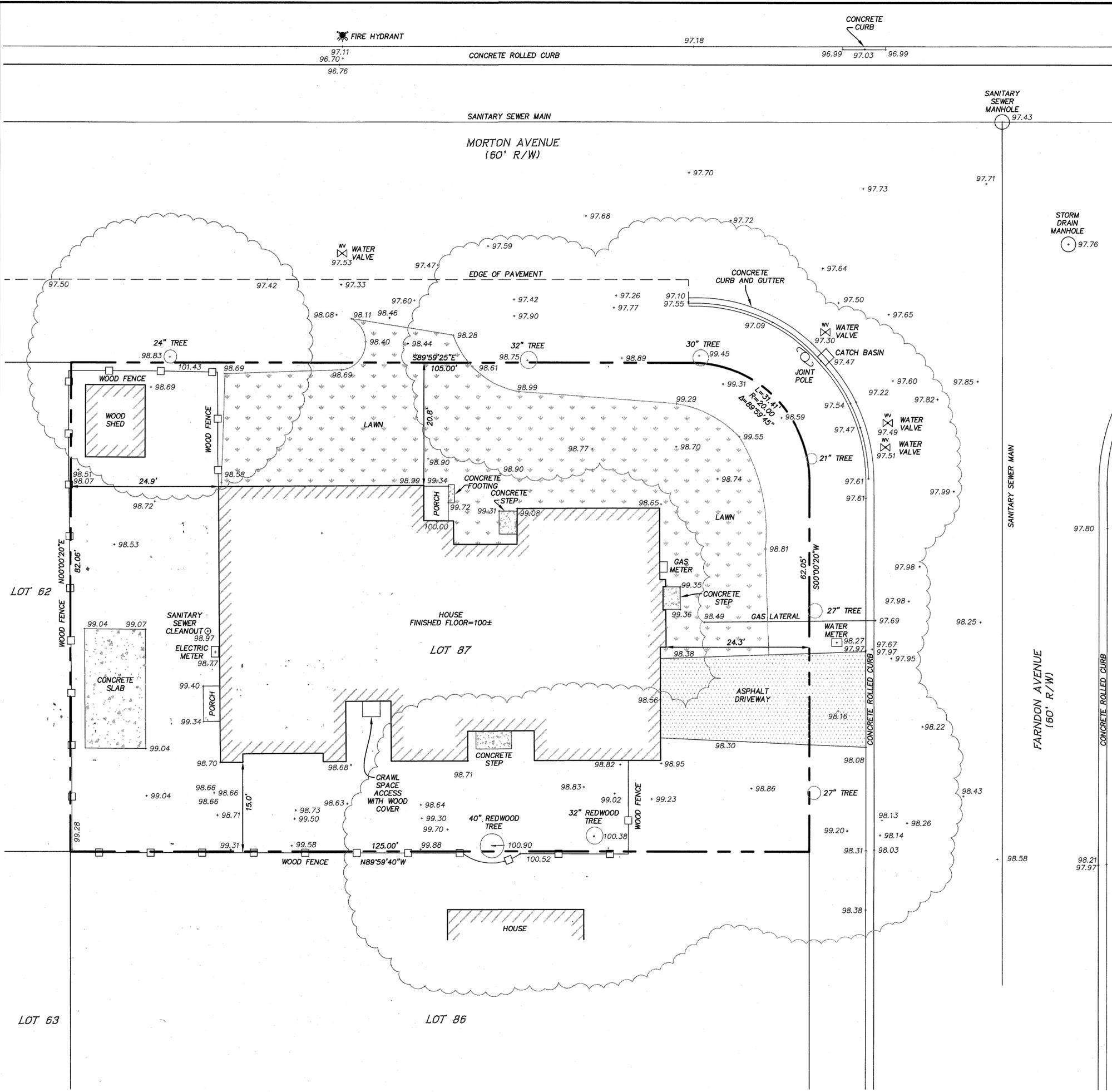
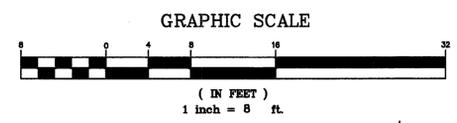
ENGINEER:
DMG ENGINEERING, INC.
DYLAN M. GONSALVES, PE, PLS
30 OAKVUE COURT
PLEASANT HILL, CA 94523
PHONE: 925-787-0463
FAX: 925-287-8503



SHEET: C2
ORIG.DWG: 11-20-2013
REV.DWG:
JOB: 13-81

TOPOGRAPHIC AND BOUNDARY SURVEY

1650 MORTON AVENUE
 CITY OF LOS ALTOS
 SANTA CLARA COUNTY - CALIFORNIA
 SCALE: 1" = 8'
 AUGUST 2013



APN: 318-18-014

LOT AREA:
 LOT AREA = 10,171± SF

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LOS ALTOS, SANTA CLARA COUNTY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 LOT 67, AS SHOWN UPON THAT CERTAIN MAP ENTITLED "TRACT NO. 952 MINCAL TRACT", ACCEPTED FOR RECORD AND RECORDED IN BOOK 36 OF MAPS, PAGES 36 AND 37, IN THE COUNTY RECORDER OF THE COUNTY OF SANTA CLARA ON APRIL 22, 1952.

NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- BASIS OF ELEVATION: ELEVATIONS SHOWN ARE BASED ON AN ASSUMED ELEVATION. MAIN FINISH FLOOR AT FRONT DOOR TAKEN AS 100.00'.
- ACTUAL TREE TRUNK LOCATIONS ARE SHOWN. DRIP LINES IN AREAS OF PROPOSED CONSTRUCTION SHOULD BE FIELD VERIFIED. TREE SIZE AND SPECIES ARE APPROXIMATE.
- BASIS OF BEARINGS: THE CENTERLINE OF ALFORD AVENUE AS DETERMINED BY FOUND 3/4" IRON PIPE AT THE INTERSECTION OF ALFORD AVENUE AND MORTON AVENUE AND FOUND 3/4" IRON PIPE AT THE INTERSECTION OF ALFORD AVENUE AND HOLT AVENUE. BEARING SHOWN ON THE SUBDIVISION MAP REFERENCED IN THE LEGAL DESCRIPTION SHOWN ABOVE. BEARING TAKEN AS NORTH 00°00'20" EAST.

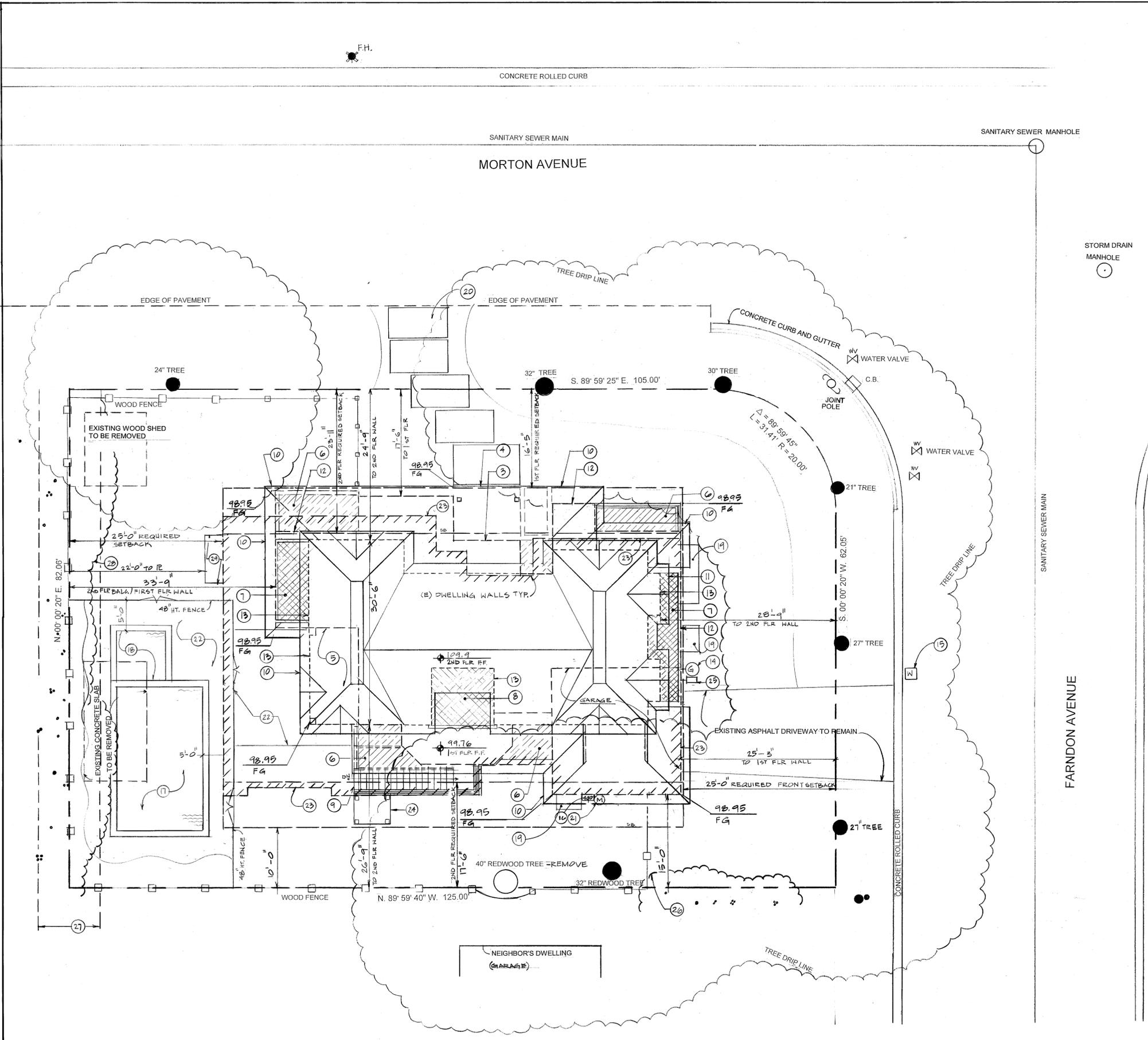
SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF:
 MICHAEL FERRIS IN: AUGUST 2013
 I HEREBY STATE THAT THE TOPOGRAPHY AND BOUNDARIES SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, DYLAN M. GONSALVES, PLS 8475
 THIS 19TH DAY OF AUGUST, 2013
 I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

[Signature]
 DYLAN M. GONSALVES
 DATE: 8-21-13

NO.	DATE	DESCRIPTION	BY

TOPOGRAPHIC AND BOUNDARY SURVEY
 1650 MORTON AVENUE
 CITY OF LOS ALTOS
 SANTA CLARA COUNTY - CALIFORNIA
 SCALE: 1" = 8'
 AUGUST 2013



SITE PLAN NOTES:

- PROJECT DESCRIPTION:
 - Replace existing dwelling with new dwelling.
 - No trees are impacted. New footings same distance, or farther, from trees.
 - New garage in same location as existing.
- Setbacks:

SETBACKS	
Front ¹ :	25.0 ft.
Rear:	25.0 ft.
INTERIOR SIDE YARD:	
First Story:	10.0 ft.
Second Story:	17.5 ft.
EXTERIOR SIDE YARD ² :	
First Story:	16.4 ft.
Second Story:	23.9 ft.
GARAGE:	
At Front Yard:	25.0 ft.

¹ Front Yard is toward Farndon.
² Exterior Side Yard is toward Morton.

- Entry.
- Front porch, cast stone pavers.
- Rear porch, cast stone pavers.
- Light well.
- Balcony.
- Second floor patio.
- Stair to basement.
- Edge of 1st flr roof.
- Edge of 2nd flr roof.
- Exterior wall at 1st flr
- Exterior wall at 2nd flr
- Gas meter.
- Water meter.
- 400 A service panel.
- Swimming pool.
- Spa.
- Landing, conc.
- Walk way, cast stone pavers.
- Electrical meter.
- Patio, cast stone pavers.
- Existing dwelling to be removed.

- Pool equipment screening (enclosed four sides and top)—within building envelope—not within setback. See Sheet A-10 for plan, elevations, and details.
- New backflow prevention device with screening.
- Existing screening (10' high) from in neighbor's yard.
- 10' wide public utility easement.
- Existing screening (20' high) from trees in neighbor's yard.
- Condensor pad. 3' x 8'
- Bryant Evolution 2-stage heat pump #286BNA060-C:
 - 72 dBA
 - 16.0 SEER

PROTECTION OF FLORA:

- See *Tree Protection Plan and Arborist's Assessment* by Monarch Consulting Arborists, LLC, dated November 22, 2013 for complete requirements for protection of flora.
- See *Landscape Plan*, Sheet C-5 for other requirements.

The table below lists the trees and their characteristics (Table 1).

Tree	Diameter at 48 Inches Above Grade	Height	Crown Radius	Notes
Coast redwood (<i>Sequoia sempervirens</i>)	40 inches	65 feet	-20	South side back yard
Coast redwood (<i>Sequoia sempervirens</i>)	32 inches	65 feet	-20	South side back yard
Soap bark (<i>Quillaja saponaria</i>)	27 inches	35 feet	-25	East side along Farndon Avenue
Soap bark (<i>Quillaja saponaria</i>)	27 inches	35 feet	-25	East side along Farndon Avenue
Holly oak (<i>Quercus ilex</i>)	21 inches	35 feet	-25	East side along Farndon Avenue
Holly oak (<i>Quercus ilex</i>)	30 inches	35 feet	-25	North side along Morton Avenue
Soap bark (<i>Quillaja saponaria</i>)	32 inches	35 feet	-25	North side along Morton Avenue
Holly oak (<i>Quercus ilex</i>)	24 inches	35 feet	-25	North side along Morton Avenue

Table 1: Tree Inventory (Trees listed in counter clockwise fashion starting with the largest coast redwood on the south side).

Recommendations

- Wrap the tree trunks with straw wattle to help prevent mechanical damage.
- Raise crowns as necessary to accommodate construction activity using a qualified arborist with a C-61/D-49 California Contractors License. Tree pruning should be according to ANSI A-300A pruning standards and adhere to ANSI Z133.1 safety standards.
- Place tree protection fencing 13 feet from the main stems of the oaks and soap bark in the interior of the property. Allow for ingress and egress into the property at the existing openings on Morton Avenue and Farndon Avenue.
- When demolishing the existing structure pull debris away from the redwoods and use the existing entrances to the property.
- Use mulch or timbers and steel road plate or 3/4 inch plywood to bridge over the root zones of the redwood trees during the new home construction to help reduce compaction.
- Follow the general guidelines provided in Appendix D.

Richard Gesnar - Monarch Consulting Arborists LLC - (831) 331-8982 - rick@monarcharborist.com
 P.O. Box 1010 Felton, CA 95018

LEGEND:

- Roof line
- - - First floor exterior walls
- - - Second floor exterior walls
- /// Existing dwelling to be removed
- /// Paved light wells below the roof cover
- /// Paved light wells
- /// tiled patio @ 2nd flr
- ⓐ gas meter
- Ⓜ electrical meter
- Ⓦ water meter

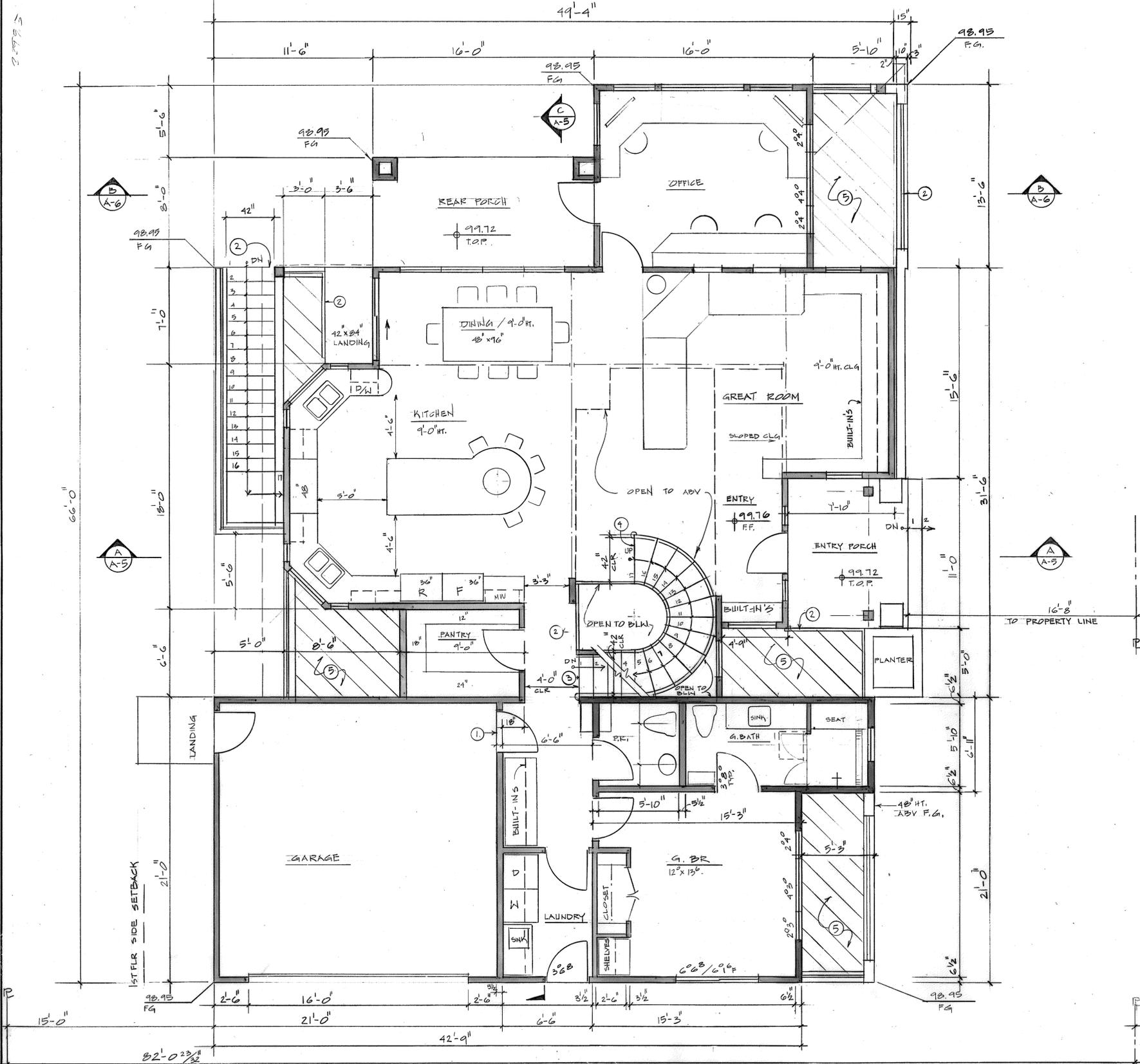
SITE PLAN
 1/8" = 1'-0"

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REV.	DATE

Approved: _____
 Date: 12/01/22
 Scale: 1/8" = 1'-0"
 Drawn: GNB
 Job: _____
 Sheet: **C-4**

2013



FIRST FLOOR PLAN
 1/4" = 1'-0"

FIRST FLOOR PLAN SHEET NOTES :

- A. NOTES: Alphabetical sheet notes on this sheet are general notes; Numeric sheet notes on this sheet are referenced on the plan.
 - B. COORDINATION: Contractor shall coordinate this drawing with other Contract documents.
 - C. DIMENSIONS: Exterior walls dimensions are to the outside surfaces of exterior walls, interior walls dimensions are to framing only u.n.o
- ① 4" step
 - ② 42" ht. guardrail per P.N.
 - ③ Stairway down, to basement.
 - ④ Stairway up to the second floor.
 - ⑤ Light well.
 - ⑥ Retaining wall below.
 - ⑦ Second floor above.

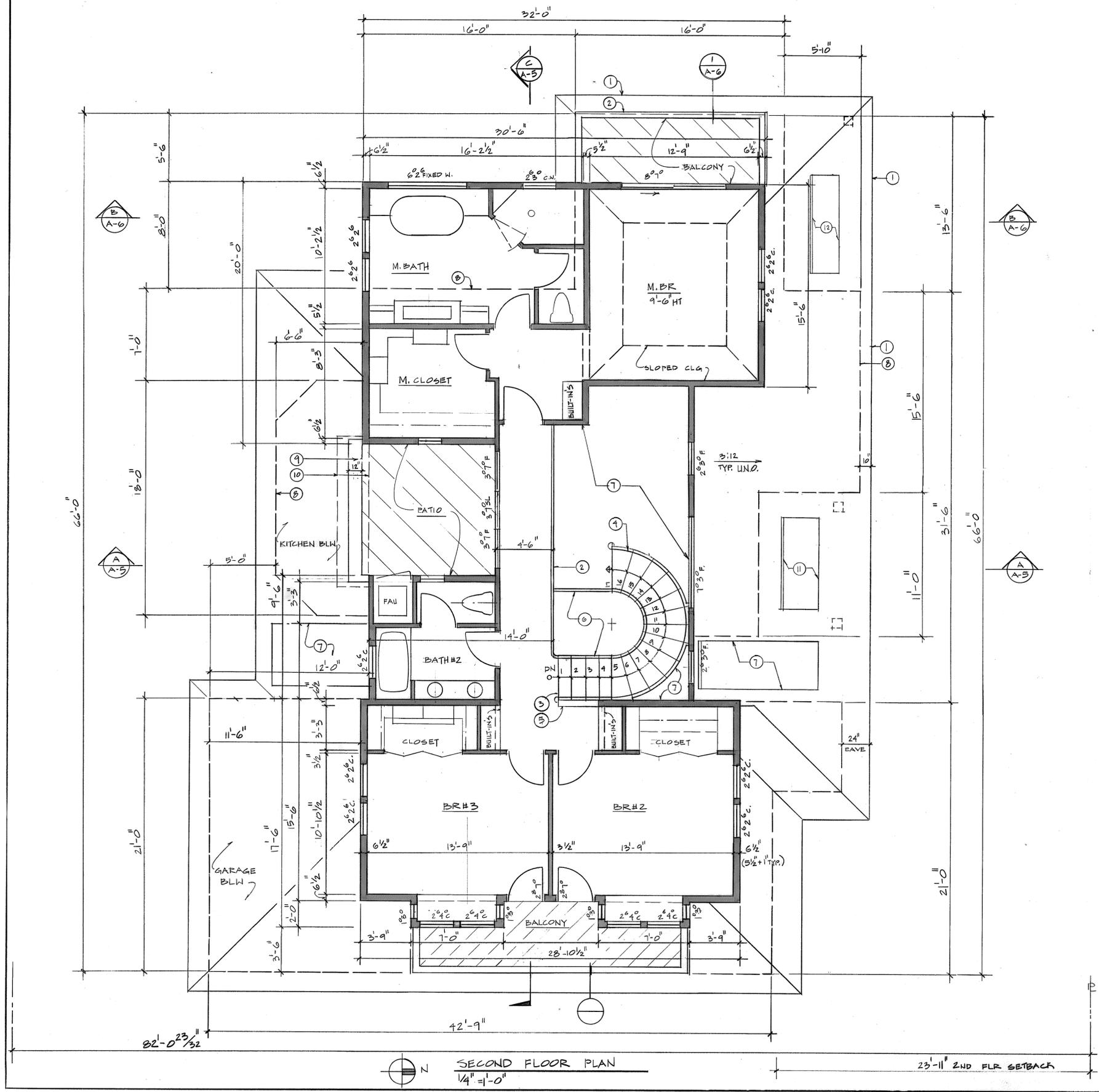
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REV.	DATE

Approved: _____
 Date: 12-01-13
 Scale: 1/4"=1'-0"
 Drawn: GJ
 Job: 127010
 Sheet: **A-1**

SECOND FLOOR PLAN SHEET NOTES :

- A. NOTES: Alphabetical sheet notes on this sheet are general notes; Numeric sheet notes on this sheet are referenced on the plan.
 - B. COORDINATION: Contractor shall coordinate this drawing with other Contract documents.
 - C. DIMENSIONS: Exterior walls dimensions are to the outside surfaces of exterior walls, interior walls dimensions are to framing only u.n.o
- 1 First floor Roof blw at 3:12 slope, for roof dtl sheet A-4: Roof Plan.
 - 2 42" ht. guardrail per P.N.
 - 3 Stairway down first floor
 - 4 Handrail per P.N.
 - 5 Half-wall 42" height.
 - 6 Open to basement below.
 - 7 Open to below.
 - 8 First floor exterior wall below typ.
 - 9 Half-wall 4'-6" above finish floor
 - 10 Trellis above the half-wall, top of trellis is 6'-6".
 - 11 Skylight above the front entry porch.
 - 12 Skylight above the light well.



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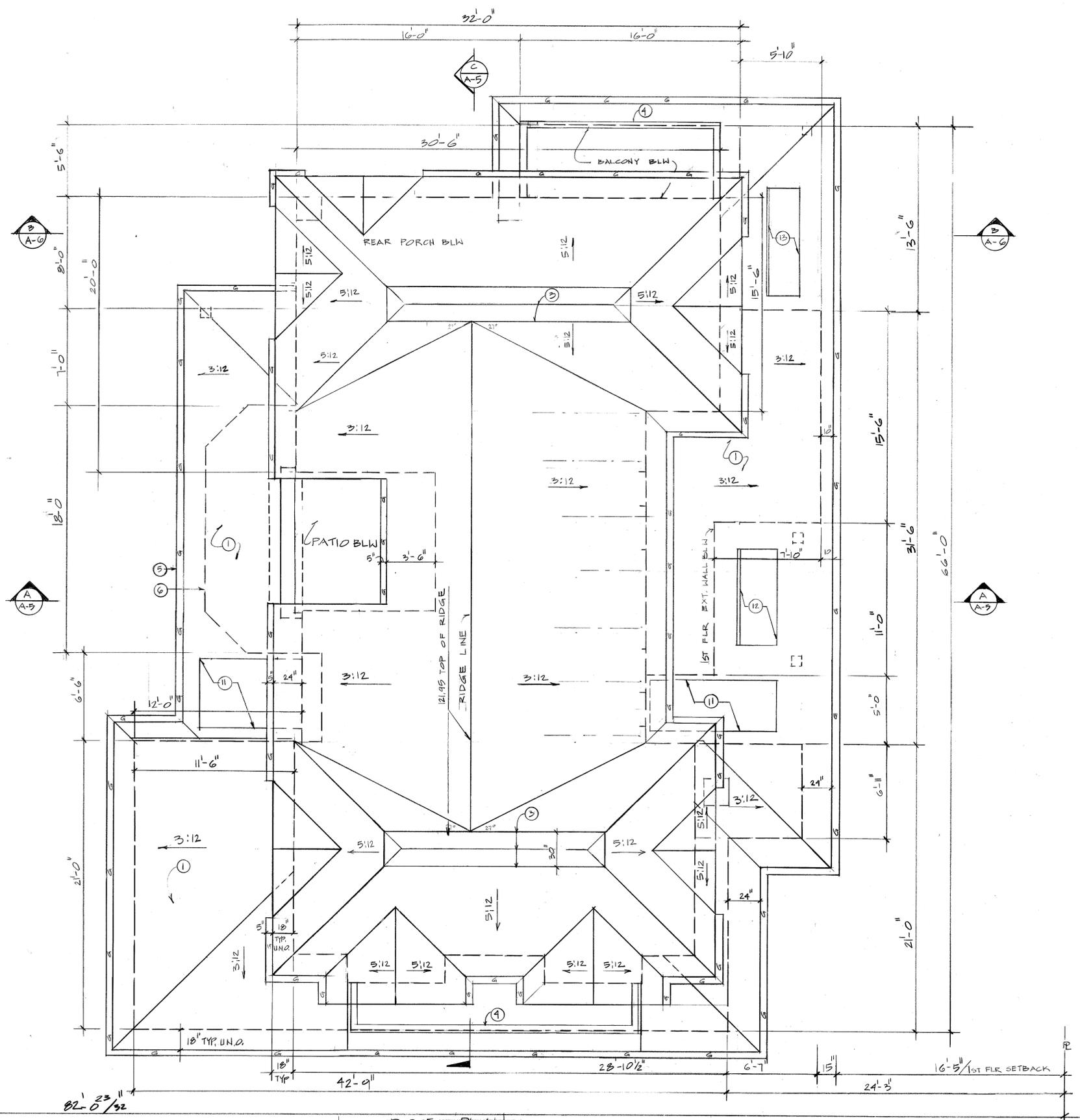
REV.	DATE

Approved: _____
 Date: 12-01-13
 Scale: _____
 Drawn: _____
 Job: _____
 Sheet: **A-2**

(N) REVISION

ROOF PLAN SHEET NOTES :

- A. NOTES: Alphabetical sheet notes on this sheet are general notes; Numeric sheet notes on this sheet are referenced on the plan.
 - B. COORDINATION: Contractor shall coordinate this drawing with other Contract documents.
 - C. DIMENSIONS: Exterior walls dimensions are to the outside surfaces of exterior walls, interior walls dimensions are to framing only u.n.o
1. First floor Roof blw at 3:12 slope.
 2. 5" half-round galvanized gutter typ.
 3. Galvanized ridge cap 1/4" per foot slope.
 4. Guardrail 42" min. ht. with trellis above it, at second floor balcony blw.
 5. First floor exterior wall below typ.
 6. First floor gutter below.
 7. First floor exterior wall below.
 8. Second floor exterior wall below.
 9. Second floor gutter.
 10. Trellis above the half-wall, top of trellis is 6'-6".
 11. Open to below.
 12. Skylight above the front entry porch.
 13. Skylight above the light wall.



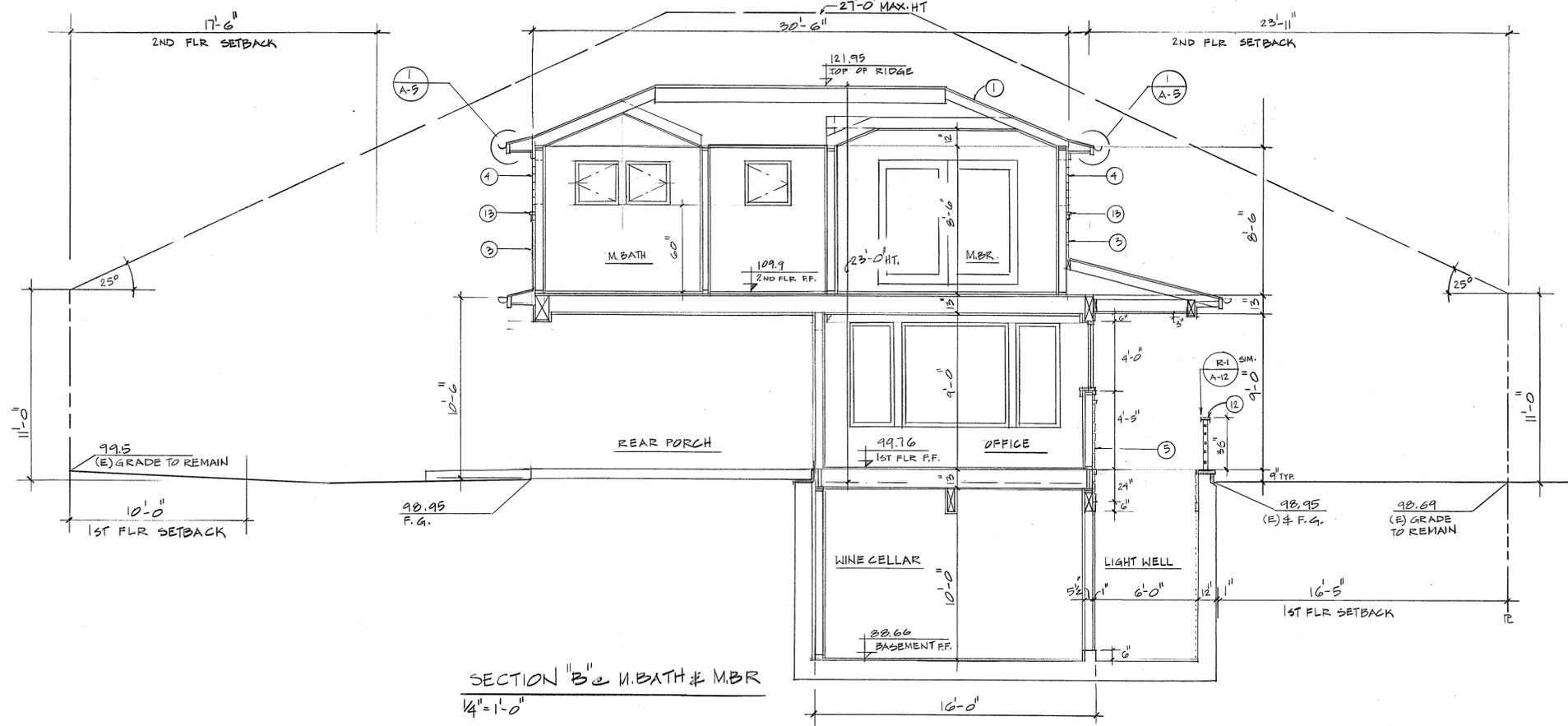
LEGEND:

- Gutter
- Down spout
- Exterior wall below

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REV.	DATE

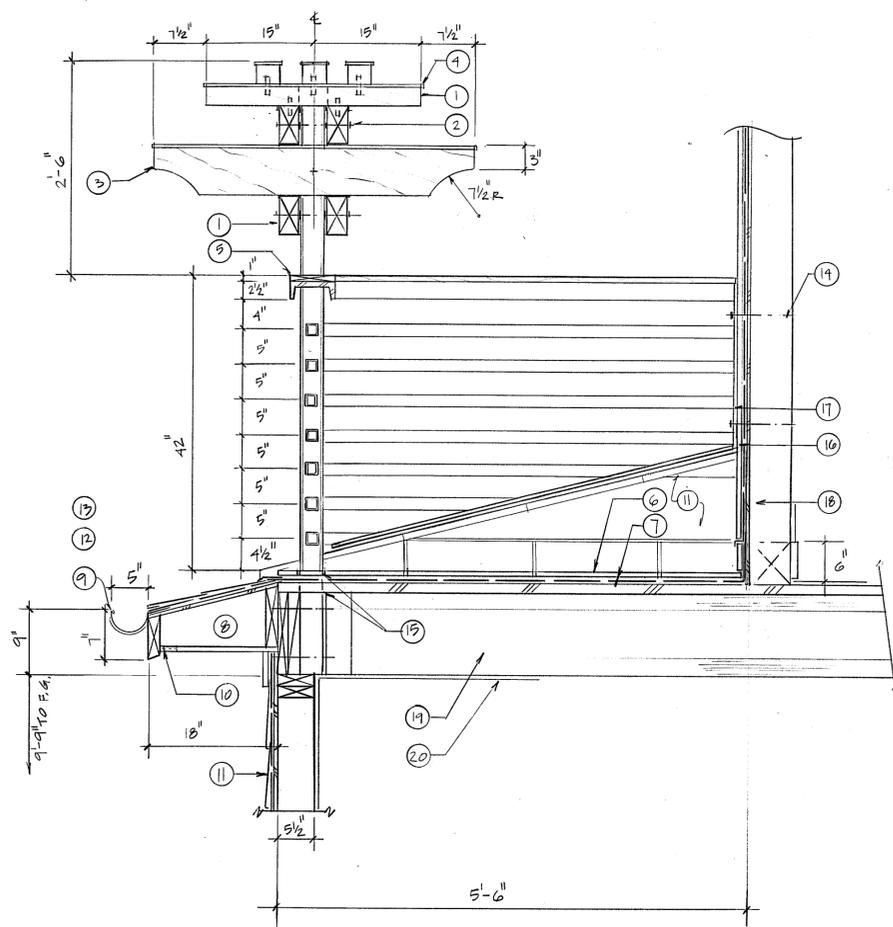
Approved: _____
 Date: 12-01-13
 Scale: 1/4" = 1'-0"
 Drawn: EAL
 Job: 12726
 Sheet: **A-4**



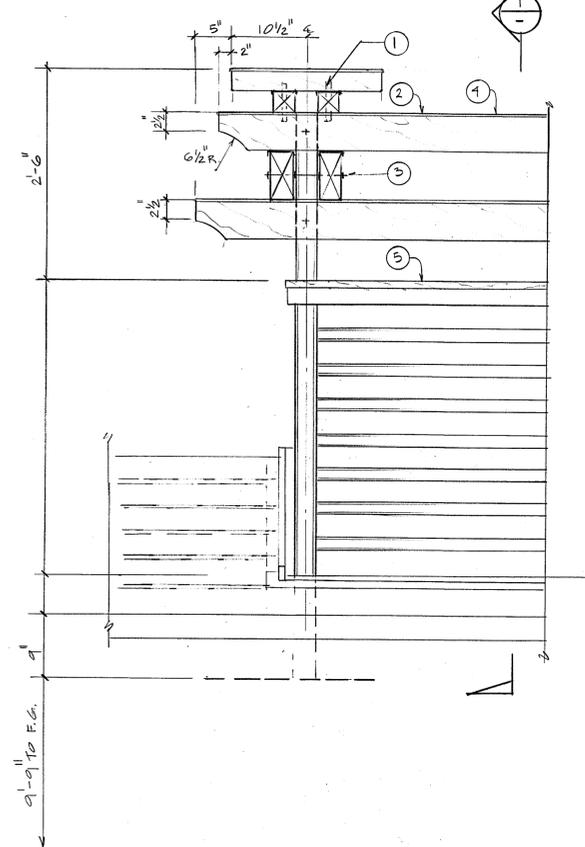
SECTION "B-B" M.BATH & M.B.R.
1/4" = 1'-0"

SHEET NOTES:

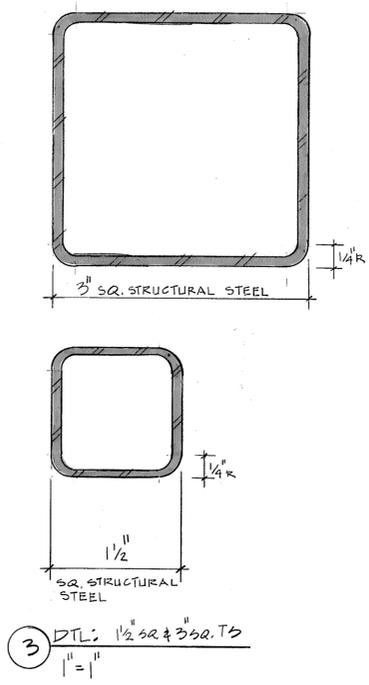
- A. NOTES: Alphabetical sheet notes on this sheet are general notes; Numeric sheet notes on this sheet are referenced on the plan.
 - B. COORDINATION: Contractor shall coordinate this drawing with other Contract documents.
 - C. DIMENSIONS: Exterior walls dimensions are to the outside surfaces of exterior walls, interior walls dimensions are to framing only u.n.o.
1. Roof covering: Asphalt shingle, CertainTeed Landmark, triple laminate.
 2. Trellises, brackets, custom trim details: redwood or cedar with copper flashing.
 3. Siding: "HardiePLank": "Select CedarMill Color Plus", 9.250", thickness: 5/16"
 4. Siding: "HardiePLank": "Select CedarMill Color Plus", 5.250", thickness: 5/16"
 5. Natural Stone veneer, 1" to 1 1/2" thick, "White Rough Back/Sierra" by "Cooper Stone"
 6. 5" half-round galvanized gutter @ 7" fascia.
 7. Waterproofing per P.N.
 8. Sheathing per structural.
 9. Cont. vent.
 10. Siding over waterproofing per P.N.
 11. Soffit
 12. Guardrail per P.N.
 13. Kiln-dried Cedar: water table 1 7/16" x 1 7/8" over 1 1/2" x 3" cont. trim.



1 DTL: REAR BALCONY TRELLIS
1" = 1'-0"



2 DTL: REAR BALCONY TRELLIS
1" = 1'-0"



3 DTL: 1 1/2" SQ. & 3 SQ. TS
1" = 1'

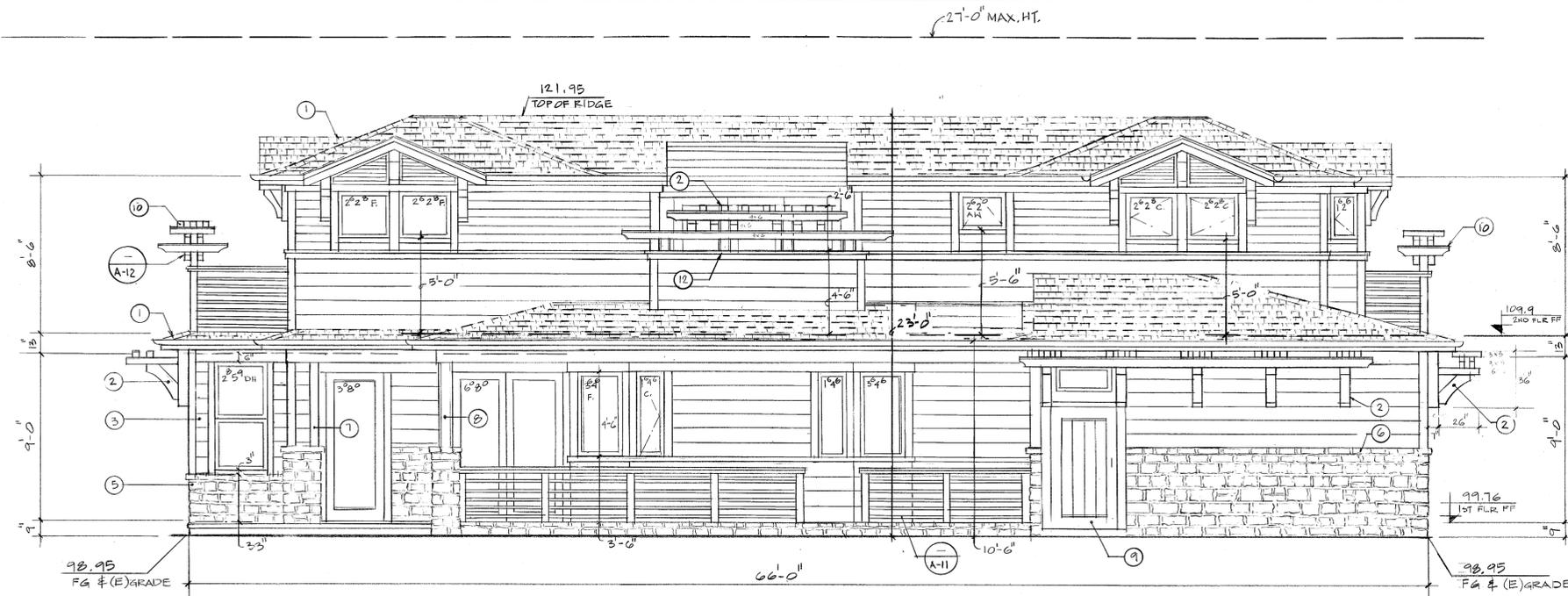
DETAILS NOTES:

- A. NOTES: Alphabetical sheet notes on this sheet are general notes; Numeric sheet notes on this sheet are referenced on the plan.
 - B. COORDINATION: Contractor shall coordinate this drawing with other Contract documents.
1. Install 3 x 3 to 4 x 6 w/ 1/2" x 4" wood dowels @ each end glued in place. Install 3 x 3 to 3 x 3 w/ 1/2" x 4" wood dowels @ each end glued in place.
 2. (2) 4 x 6 attached to 3 x 3 TS each side w/ CB @ each post.
 3. (2) 4 x 8 attached to 3 x 3 TS each side w/ CB @ each post.
 4. All wood members: redwood or cedar with copper flashing typ. u.n.o.
 5. Guardrail design per SHT DTL R-1.
 6. Exterior grade floor tile over cont. waterproofing membrane.
 7. 1 1/8" plywood sheathing per structural.
 8. Cont. cap flashing.
 9. 5" half-round galvanized gutter @ 7" fascia
 10. Cont. vent.
 11. Siding over waterproofing per P.N.
 12. Roof covering: Asphalt shingle, CertainTeed Landmark, triple laminate.
 13. Cont. waterproofing membrane.
 14. Attach each side guardrail to 6 x 6 post w/ (2) CB at each post.
 15. Waterproof all joints with polyurethane elastomeric sealant meeting Fed. Spec. TT-S-230, such as Vulkem No. 116 Polyurethane Sealant.
 16. Kiln-dried Cedar board vertical trim
 17. 1/2" x 3" PL
 18. 2 x 6 exterior wall framing.
 19. Floor joists per structural plan.
 20. Gyp.
 21. Top of top plates at first floor.

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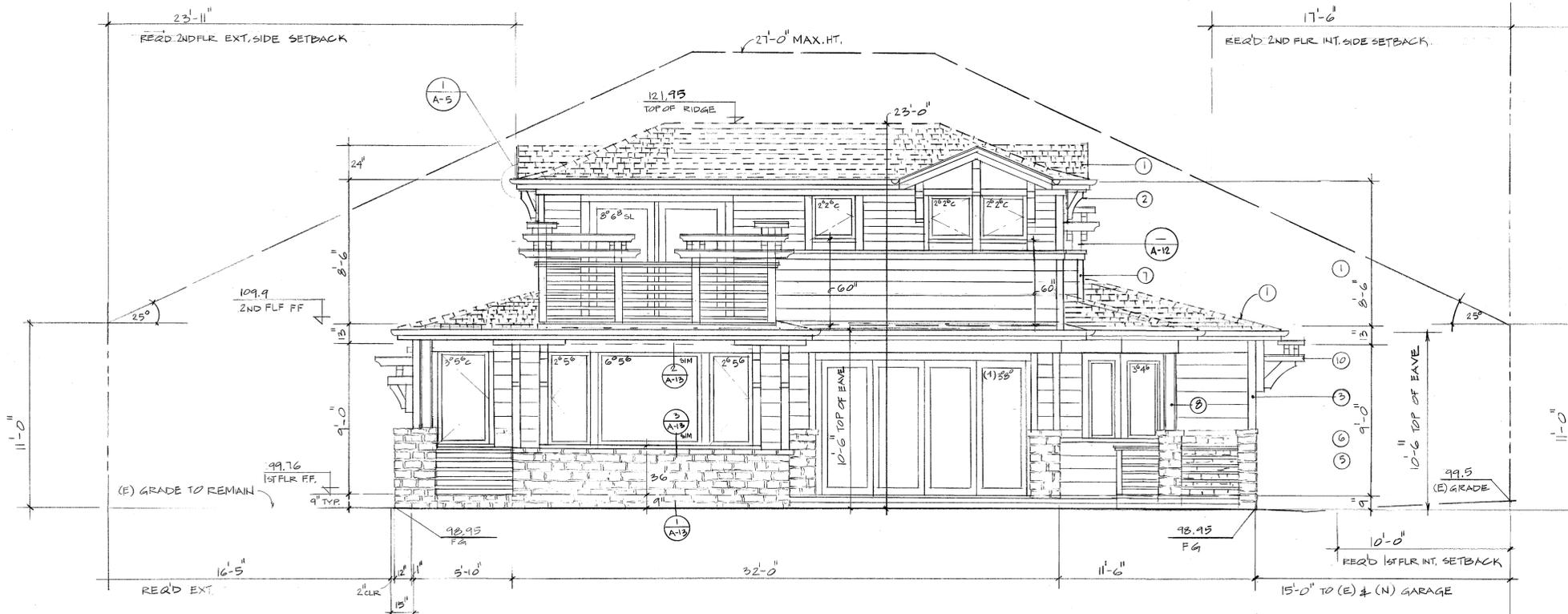
REV.	DATE

Approved: _____
Date: 12.01.13
Scale: NOTED
Drawn: EN
Job: _____
Sheet: **A-6**



LEFT ELEVATION
1/4" = 1'-0"

LEFT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

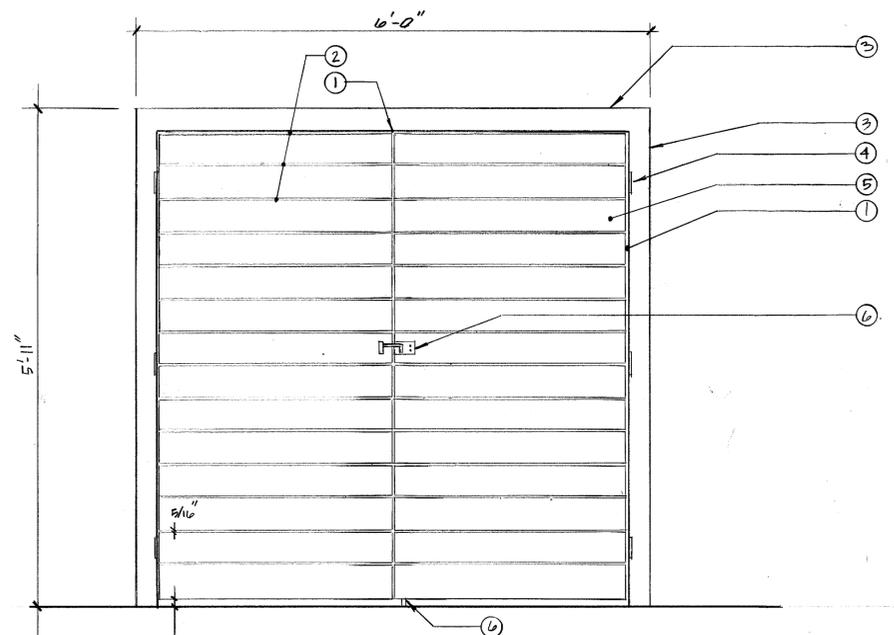
SHEET NOTES: LEFT AND REAR ELEVATIONS

- A. NOTES: Alphabetical sheet notes on this sheet are general notes; Numeric sheet notes on this sheet are referenced on the plan.
- B. COORDINATION: Contractor shall coordinate this drawing with other Contract documents.
- C. DIMENSIONS: Exterior walls dimensions are to the outside surfaces of exterior walls, interior walls dimensions are to framing only u.n.o.
1. Roof covering: Asphalt shingle, CertainTeed Landmark, triple laminate.
 2. Trellises, brackets, custom trim details: Clear Heart Cedar with copper flashing.
 3. Siding: 'HardiePLank': 'Select CedarMill Color Plus', 9,250, thickness: 5/16"
 4. Siding: 'HardiePLank': 'Select CedarMill Color Plus', 5,250, thickness: 5/16"
 5. Natural Stone veneer, 1" to 1 1/4" thick, 'White Rough Back/Sierra' by "Cooper Stone"
 6. Natural Stone veneer coping, 1 3/4" x 1 3/4" 'Carmel' by "Cooper Stone"
 7. Kiln-dried Cedar board vertical trim, 1 1/16" x 3 7/16" - actual dimensions.
 8. Kiln-dried Cedar board vertical trim over structural post.
 9. Clear Heart Cedar door.
 10. Kiln-dried Cedar trellis.
 11. Wood windows and doors with vinyl cladding by Andersen windows and doors.
 12. Solid guardrail 4'-6" ht.

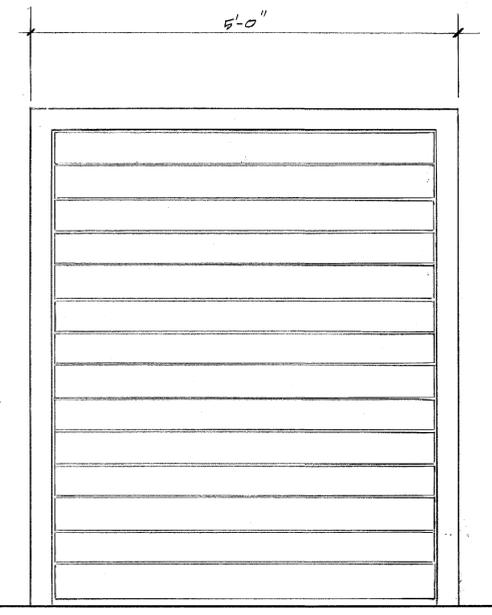
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REV.	DATE

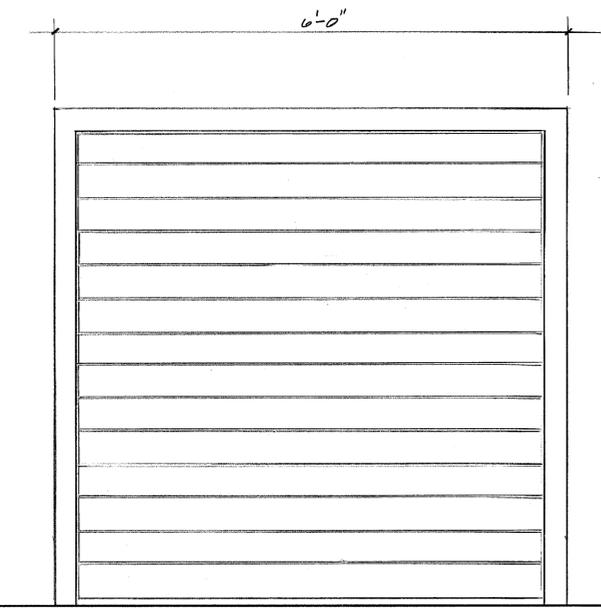
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Date: 12-01-13
Scale: NOTED
Drawn: EN
Job: _____
Sheet: **A-9**



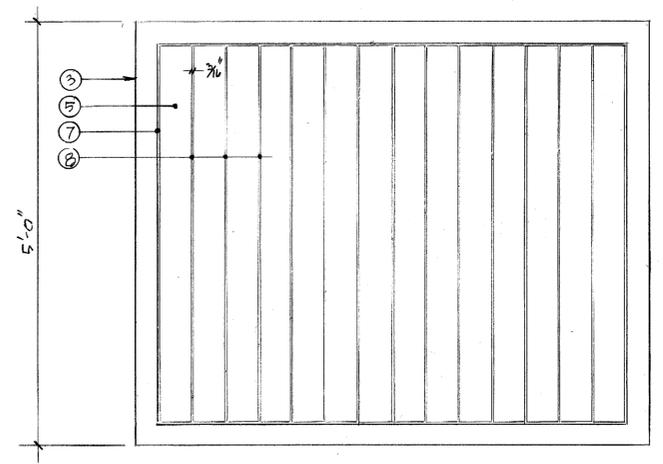
FRONT
 1" = 1'-0"



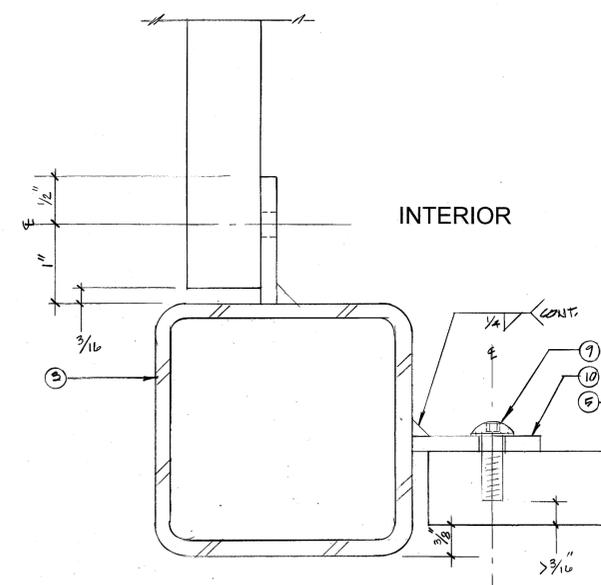
SIDE
 1" = 1'-0"



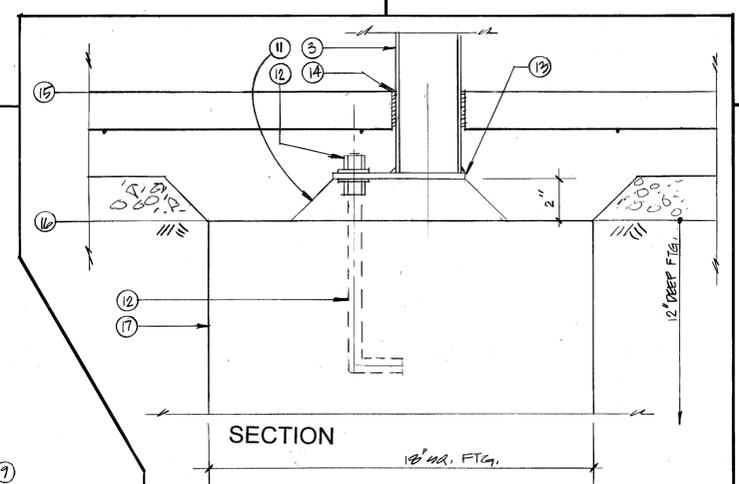
REAR
 1" = 1'-0"



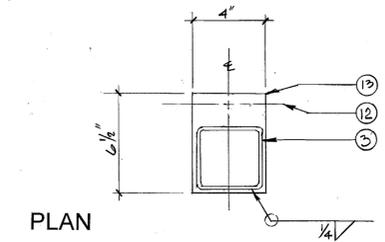
TOP
 1" = 1'-0"



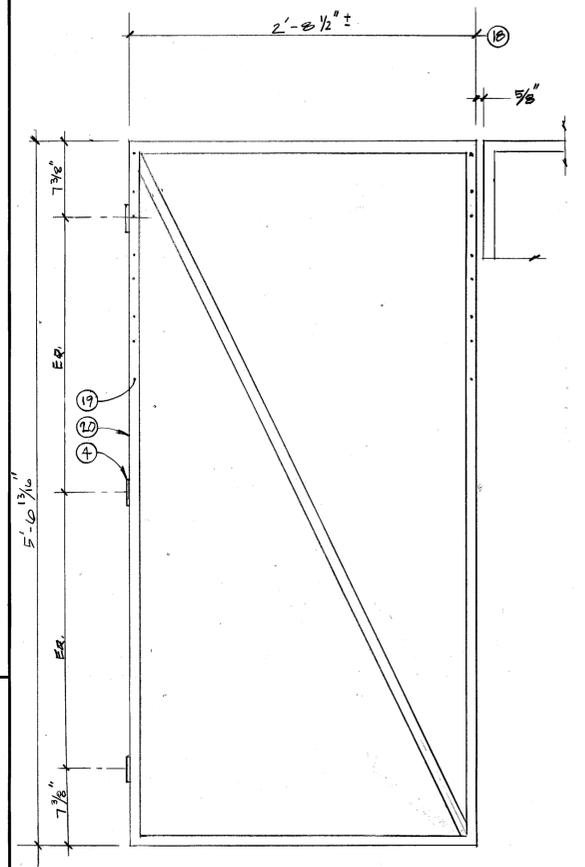
CORNER
 1" = 1"



SECTION



BASE & FTG
 3" = 1'-0"



DOOR FRAME
 1-1/2" = 1'-0"

POOL EQUIPMENT ENCLOSURE:

- A. Pool equipment screening (enclosed four sides and top)—within building envelope—not within setback. This location reduces noise impact to the residents, and to the neighbors. The equipment is adjacent to the neighbor's swimming pool equipment (to the south), and the location is acceptable to the neighbor. Enclosure is 5'-0" x 6'-0", and 5'-11" tall (above concrete slab). Enclosure consists of a steel frame and lpe wood slats on four sides and top. Two swinging doors provide service access.
- Gap at end of grain (four sides): 3/16". All gaps shall be equal.
 - Gap across grain (four sides): 5/16". All gaps shall be equal.

- 3x3x3/16 TS, welds ground smooth above the base.
- Exterior grade heavy duty hinges with sealed bearings, welded to TS columns.
- 7/8" x 4.5" lpe decking, sanded smooth.
- Lockable gate latch with anchor.
- Gap between wood and steel at top: 3/16".
- Gap across the grain at the top: 3/16". All gaps shall be equal and uniform.
- Type 316 Stainless Steel Button-Head Socket Cap Screws, 3/8-16 thread, 3/4" long. Drill and tap 3/4 depth holes into lpe wood decking, to fit bolts. Use flat bottom bits and taps to avoid over-penetration. Locate holes 1" from edges and ends of boards—two holes at each end.

- 3/16 x 1-1/2" flange, continuous, welded to TS full-length. 1/8" radius exposed corners.
- 2" drypack.
- 5/8" AB, embedded at least 6" into concrete footing, with leveler nut.
- Column base: 1/2" plate.
- Top of concrete slab.
- Top of concrete footing and pad grade.
- 18" sq. concrete footing, 12" deep.
- Adjust width of swinging gate frame to accommodate thickness of hinges. Maintain 5/8" between two frames.

- Drill holes through vertical members to follow pattern shown, to attach wood slats: 1" from top; And 1" from edge of each slat, leaving 5/16" gap between slats for expansion of wood.
- Swinging gate frame: 1" x 1-1/2" x 0.120" rectangular steel tubing.

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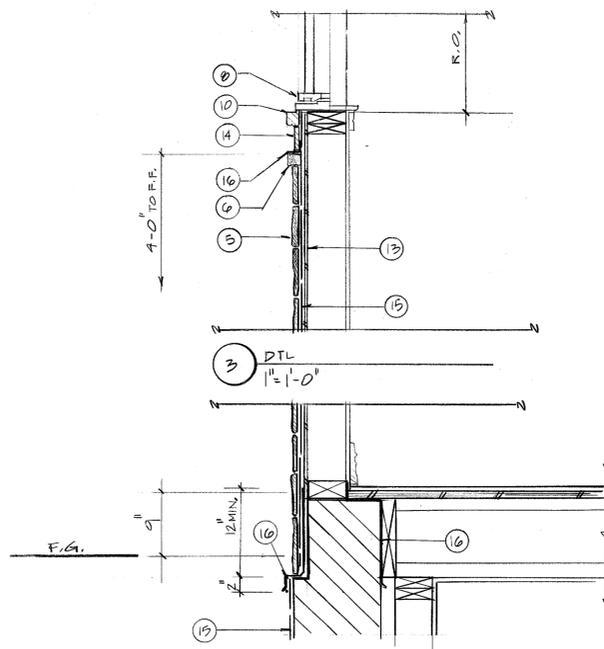
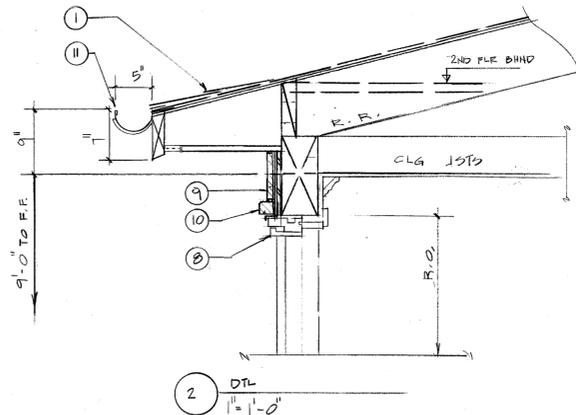
REV.	DATE

Approved: _____
 Date: 12-01-13
 Scale: NOTED
 Drawn: LS
 Job: _____
 Sheet: **A-10**

DTLS NOTES: SHEET A-13

- A. NOTES: Alphabetical sheet notes on this sheet are general notes; Numeric sheet notes on this sheet are referenced on the plan.
- B. COORDINATION: Contractor shall coordinate this drawing with other Contract documents.
- C. DIMENSIONS: Exterior walls dimensions are to the outside surfaces of exterior walls, interior walls dimensions are to framing only u.n.o.

- 1 Roof covering: Asphalt shingle, CertainTeed Landmark, triple laminate.
- 2 Trellises, brackets, custom trim details: Clear Heart Cedar with copper flashing.
- 3 Siding: 'HardiePLank': 'Select CedarMill Color Plus', 9.250", thickness: 5/16" over waterproofing per P.N.
- 4 Siding: 'HardiePLank': 'Select CedarMill Color Plus', 5.250", thickness: 5/16" over waterproofing per P.N.
- 5 Natural Stone veneer, 1" to 1 1/4" thick, 'White Rough Back/Sierra by "Cooper Stone"
- 6 Natural Stone veneer coping, 1 3/4" x 1 3/4" 'Carmel' by "Cooper Stone"
- 7 Kiln-dried Cedar trellis with copper flashing.
- 8 Wood windows and doors with vinyl cladding by Andersen windows and doors.
- 9 Kiln-dried Cedar board trim, 1 1/16" x 7 7/16".
- 10 Kiln-dried Cedar: water table 1 7/16" x 1 7/8" over 1 1/2" x 3" cont. trim.
- 11 5" half-round galvanized gutter @7" fascia.
- 12 Cont. vent. @ soffit.
- 13 Sheathing per structural.
- 14 Kiln-dried Cedar board trim, 1 1/16" x 3 7/16".
- 15 Waterproofing per P.N.
- 16 Flashing



1 DTL
1" = 1'-0"

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Approved:
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 Drawn: GJ
 Job:
 Sheet: