



DATE: February 19, 2014

AGENDA ITEM # 3

TO: Design Review Commission
FROM: Sierra Davis, Assistant Planner
SUBJECT: 13-SC-34 – 610 Twelve Acres Drive

RECOMMENDATION:

Approve design review application 13-SC-34 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for a first and second story addition to an existing two-story house. The following table summarizes the project:

GENERAL PLAN DESIGNATION: Single-family, Residential
ZONING: R1-10
PARCEL SIZE: 16,986 square feet
MATERIALS: Stone veneer, composition roof, lap siding, board and batten siding, redwood vents, wood columns and trim.

	Existing	Proposed	Allowed/Required
LOT COVERAGE:	3,598 square feet	3,934 square feet	5,096 square feet
FLOOR AREA:			
First floor	3,598 square feet	3,678 square feet	
Second floor	614 square feet	684 square feet	
Total	4,212 square feet	4,362 square feet	4,449 square feet
SETBACKS:			
Front	26 feet	30 feet	25 feet
Rear	29 feet	25 feet	25 feet
Right side	35 feet	35 feet	10 feet
Left side	20 feet	20 feet	20 feet
Garage	11 feet	11 feet	20 feet
HEIGHT:	21 feet	23 feet	27 feet

BACKGROUND

The subject property is located in a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines. The structures have consistent setbacks, low, uniform eave lines, simple forms and rustic materials. The street has curbs and gutters and a consistent street tree pattern of palm and oak trees.

The existing house was previously used for institutional purposes and located on a large plot of land that was eventually sold and subdivided into the existing neighborhood. Two variances were approved in 1972 for the construction of a garage 11 feet from the property line where 20 feet is required and a new fence along the exterior side property line. This project renovated the house and altered its style to a more residential character.

DISCUSSION

The project includes an 80-square foot-addition at the first story and 70-square-foot at the second story. The front facade will include an addition under the Dutch gable and includes two new graduated hipped roofs for a new bathroom and additions to the existing bedrooms at the front of the house. The addition has 10-foot-plate heights which transition into the existing eight-foot plate. There is also a 23 square foot addition at the rear of the structure for an addition to the master bathroom at the first story. A new covered patio and fireplace area extend off the back of the house adjacent to the master bathroom.

The existing garage doors face the north and open toward the front door. The proposed plan will reorient the garage door opening to face the street. The driveway will be maintained in front of the garage door and the northern portion of the driveway will be landscaped.

The 70-square-foot addition at the second story on the left side will accommodate an interior remodel for two bedrooms and a bathroom. The addition will project two feet toward the front of the structure addition and includes a new hipped roof element that increases the overall height of the structure by two feet. The existing second story south elevation has one bay window in the bedroom. The remodel will place two bay windows in the two new bedrooms at the second story. The new windows face the exterior side yard and will not result in a significant privacy concern. The second story addition will add a hipped roof form and maintain the non-conforming gable.

The project uses materials compatible with the design concept and incorporates materials that are found in the neighborhood. The building materials are of a high quality and include stone veneer, composition roof, lap siding, board and batten siding, redwood vents, wood columns and trim. A new front entry column and wainscot has been added to the front facade.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15301 of the Environmental Quality Act because it involves an addition to an existing structure.

CC: Christopher Anderson, Architect
Sam Abbey, Owner

Attachments:

- A. Application
- B. Neighborhood Compatibility Worksheet
- C. Area Map and Vicinity Map

FINDINGS

13-SC-34—610 Twelve Acres Drive

With regard to additions at the first-and second-story of an existing single-family structure, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- A. The proposed project complies with all provision of this chapter;
- B. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- D. The orientation of the proposed additions in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- E. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- F. The proposed additions have been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

13-SC-34—610 Twelve Acres Drive

1. The approval is based on the plans received on February 5, 2014 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. An encroach permit issued from the Engineering Division must be obtained prior to doing any work within the public street right-of-way.
3. Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.
4. **Prior to zoning clearance, the project plans shall contain/show:**
 - a. The conditions of approval shall be incorporated into the title page of the plans.
 - b. Verification that the house will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code from a Qualified Green building Professional.
 - c. The location of any air conditioning units on the site plan and the manufacturer's sound rating for each unit.
 - d. Compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).
5. **Prior to final inspection:**
 - a. All front yard, exterior side, interior side, and rear yard landscaping, street trees and privacy screening shall be maintained and/or installed as required by the Planning Division.
 - b. Submit verification that the house was built in compliance with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code.



ATTACHMENT A

CITY OF LOS ALTOS
GENERAL APPLICATION

Type of Review Requested: (Check all boxes that apply)

Permit # 1105948

Table with 3 columns and 7 rows listing review types: One-Story Design Review, Two-Story Design Review, Variance(s), Lot Line Adjustment, Tentative Map/Division of Land, Subdivision Map Review, Sign Review, Sidewalk Display Permit, Use Permit, Tenant Improvement, Preliminary Project Review, Commercial Design Review, Multiple-Family Review, Rezoning, RI-S Overlay, General Plan/Code Amendment, Appeal, Other.

Project Address/Location: 610 TWELVE ACRES
Project Proposal/Use: SINGLE FAMILY
Current Use of Property: SINGLE FAMILY
Assessor Parcel Number(s): 167-25-068 Site Area: 16986
New Sq. Ft.: 130 Remodeled Sq. Ft.: 1186 Existing Sq. Ft. to Remain: 2954
Total Existing Sq. Ft.: 3640 Total Proposed Sq. Ft. (including basement): 3770

Applicant's Name: CHRISTOPHER J. ANDERSON
Home Telephone #: 650-996-3489 Business Telephone #: SAME
Mailing Address: 1647 QUAIL CT. LIVE
City/State/Zip Code: LIVERMORE CA 94550

Property Owner's Name: SAM ABBEY
Home Telephone #: Business Telephone #: 908-328-0688
Mailing Address: 204 ALVARADO AVE
City/State/Zip Code: LOS ALTOS CA 94022

Architect/Designer's Name: CHRIS ANDERSON Telephone #: 650-996-3489

*** If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. ***

ATTACHMENT B



City of Los Altos

Planning Division

(650) 947-2750

Planning@losaltosca.gov

NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 610 TWELVE ACRES
Scope of Project: Addition or Remodel or New Home
Age of existing home if this project is to be an addition or remodel? 35
Is the existing house listed on the City's Historic Resources Inventory? NO

Address: 610 TWELVE ACRES
Date: DEC. 18 2013

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 10-11,000 square feet
Lot dimensions: Length 115 feet
Width 100 feet

If your lot is significantly different than those in your neighborhood, then note its: area 16,986, length 168, and width 119.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? 27'
What % of the front facing walls of the neighborhood homes are at the front setback 25 %
Existing front setback for house on left 25' ft./on right 25' ft.
Do the front setbacks of adjacent houses line up? NO

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)

Garage facing front projecting from front of house face 5
Garage facing front recessed from front of house face 1
Garage in back yard 0
Garage facing the side 1
Number of 1-car garages ; 2-car garages 7; 3-car garages

Address: 610 TWELVE ACRES
Date: DEC. 18 2013

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:
One-story 75%
Two-story 25%

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? YES
Are there mostly hip ____, gable style X, or other style ____ roofs*?
Do the roof forms appear simple ____ or complex ____?
Do the houses share generally the same eave height ____?

6. Exterior Materials: (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood*?
 wood shingle stucco board & batten clapboard
 tile stone brick combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?
WOOD SHAKE
If no consistency then explain: _____

7. Architectural Style: (Appendix C, Design Guidelines)

Does your neighborhood* have a consistent identifiable architectural style?
 YES NO
Type? XRanch __ Shingle __ Tudor __ Mediterranean/Spanish
__ Contemporary __ Colonial __ Bungalow __ Other

Address: 610 TWELVE ACRES
Date: DEC. 18. 2013

8. Lot Slope: (Pg. 25 Design Guidelines)

Does your property have a noticeable slope? NO

What is the direction of your slope? (relative to the street)

Is your slope higher _____ lower _____ same X in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

NOTHING IS TYPICAL EXCEPT FOR A STD. FRONT LAWN

How visible are your house and other houses from the street or back neighbor's property?

FAIRLY VISIBLE

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

LARGE OAK TREES AND PALM AND R.O.W IS LANDSCAPED

10. Width of Street:

What is the width of the roadway paving on your street in feet? 27'

Is there a parking area on the street or in the shoulder area? YES

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? PAVED

WITH CURB & GUTTER

Address: 610 TWELVE ACRES
Date: DEC. 18 2013

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

MOST OF THE HOMES IN THIS NEIGHBORHOOD ARE SIMILAR IN NATURE IN THAT MOST ARE A RANOLT STYLE HOME W/ DIFFERENT MATERIALS

General Study

- A. Have major visible streetscape changes occurred in your neighborhood?
 YES NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?
 YES NO
- C. Do the lots in your neighborhood appear to be the same size?
 YES NO
- D. Do the lot widths appear to be consistent in the neighborhood?
 YES NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?
 YES NO
- F. Do you have active CCR's in your neighborhood? (p.36 Building Guide)
 YES NO
- G. Do the houses appear to be of similar size as viewed from the street?
 YES NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?
 YES NO

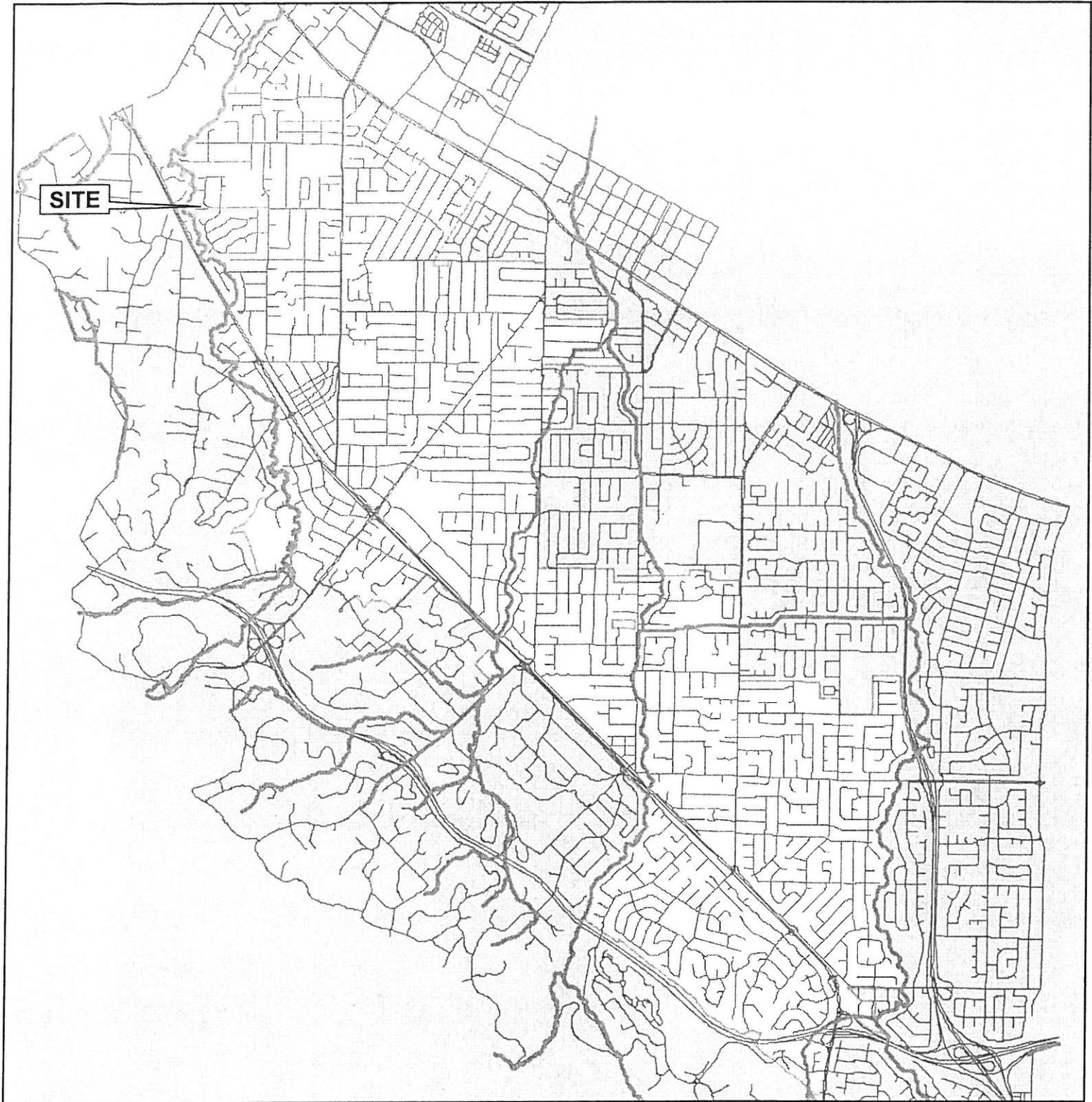
Address: 610 TWELVE ACRES
 Date: DEC. 18 2013

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
626 TWELVE ACRES	25'	20'	FRONT	ONE	15'	CEAR SHINGLE LAP SIDING	SIMPLE
630 TWELVE ACRES	27'	20'	FRONT	ONE	13'	CEAR SHINGLE VERTICAL SIDING	SIMPLE
621 TWELVE ACRES	30'	40'	FRONT	ONE	14'6"	CAR. SHINGLE LAP SIDING	SIMPLE
611 TWELVE ACRES	20'	20'	SIDE	ONE	14'	COMP SHINGLE BRICK	SIMPLE
601 TWELVE ACRES	25'	45'	SIDE	ONE		TILE ROOF STUCCO	SIMPLE
490 PINE LANE	20'	25'	FRONT	ONE	13'6"	COMP SHINGLE STUCCO / STONE	SIMPLE
500 PINE LANE	20'	25'	FRONT	ONE	14'	COMP SHINGLE SHINGLE SIDING	SIMPLE
510 PINE LANE	20'	25'	FRONT	ONE	13'6"	TILE ROOF STUCCO	SIMPLE
620 PINE LANE	20'	25'	FRONT	TWO	19'6"	CEAR SHINGLE BRICK	SIMPLE
625 PINE LANE	25'	25'	FRONT	ONE	15'	CEAR SHINGLE LAP SIDING	SIMPLE

AREA MAP



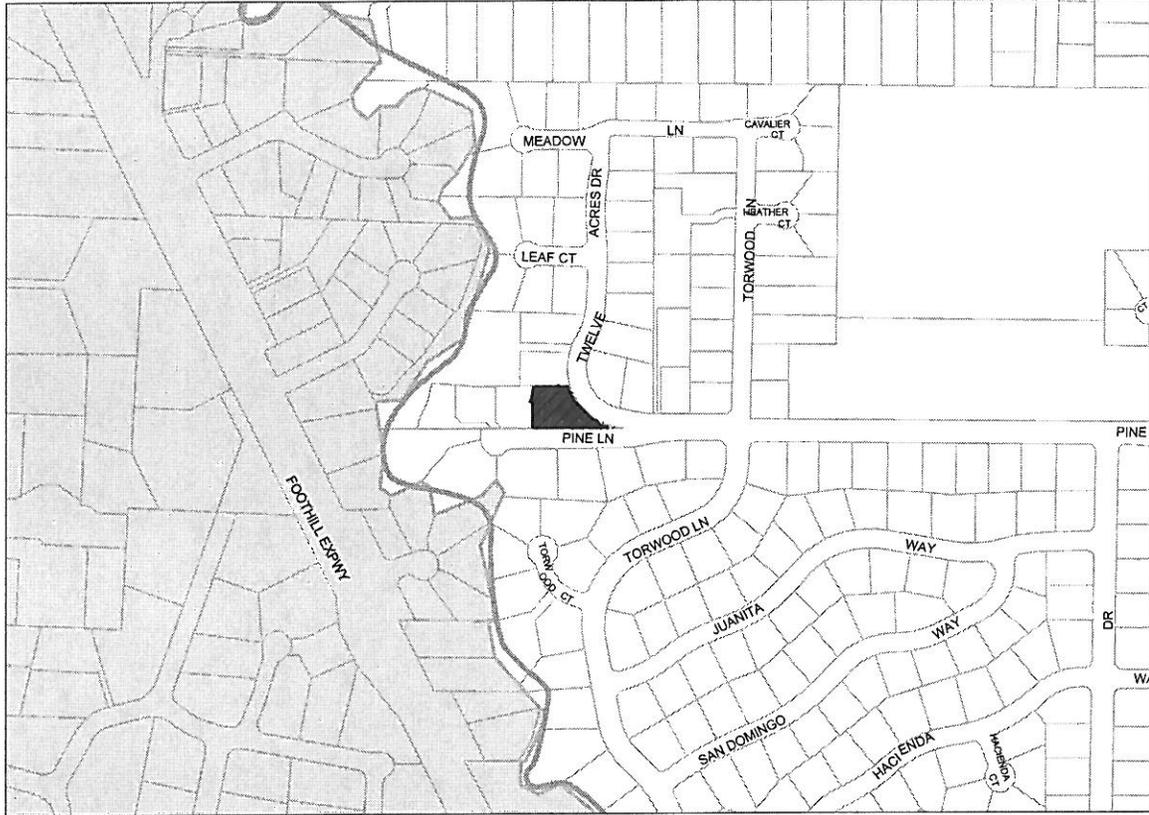
CITY OF LOS ALTOS

APPLICATION: 13-SC-34
APPLICANT: C. Anderson/S. Abbey
SITE ADDRESS: 610 Twelve Acres Drive

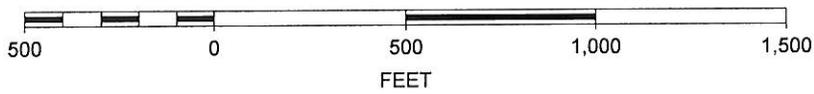


Not to Scale

VICINITY MAP



SCALE 1 : 6,000



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