

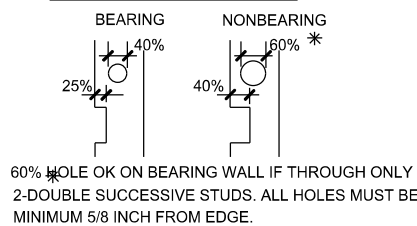
GENERAL CONSTRUCTION NOTES:

- The information on this set of construction documents is related to basic design intent and framing details. They are intended as a construction aid, not a substitute for generally accepted good building practice and compliance with current California State building codes. The General Contractor is responsible for providing standard construction details and procedures to ensure a professionally finished, structurally sound and weatherproof completed product.
- The General Contractor is responsible for ensuring that all work and construction meets current federal, state, county and local codes, ordinances and regulations, etc. These codes are to be considered as part of the specifications for this building and should be adhered to even if they are in variance with the plan.
- Dimensions shall take precedent over scale drawings (do not scale drawings).
- The designer has not been engaged for construction supervision and assumes no responsibility for construction coordinating with these plans, nor responsibility for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work. There are no warranties for a specific use expressed or implied in the use of these plans.
- Refer to floor plans, exterior elevations, and window & exterior door schedule for types and sizes of windows and exterior doors.
- General Contractor is to ensure that masonry and fireplace construction meets or exceeds all manufacturers specifications and applicable codes.
- General Contractor to consult and coordinate with the owner for all built in items such as bookcases, shelving, pantry, closets, trim, etc.
- Wind load required connections shall be taken into account during construction. The wind protection page should be reviewed prior to starting.

GENERAL FRAMING NOTES

- Unless otherwise noted, all framing material to be #2+BTR. Doug Fir.
- Floors, walls, ceilings and rafters to be 16" O.C. unless otherwise noted. Provide fire-blocking where applicable.
- Unless otherwise noted, all bearing wall headers to be min. 2-ply 2x10. All headers to have adequate bearing on each end or as specified.
- All flush beams / headers to be installed with heavy duty galvanized hangers. Provide Galvanized Hangers and anchors where applicable to all joists connected to beams
- Double up floor joist under walls that run parallel to floor joist and under bathtubs. Floors getting ceramic tile shall be verified for load capacity.
- Provide blocking / bridging in floor joists @ 8' O.C.. Use solid blocking in floor joists under all bearing walls.
- Provide insulation baffles at eave vents between rafters. Install draft blocking as needed.
- Unless otherwise noted, Roof and Walls to have a min. 4-ply 1/2" Fir CDX exterior sheathing grade plywood. Plywood to cover over plates and headers.
- Unless otherwise noted, 3/4" T&G Fir or Advantech plywood to be adhered to joist w/ PL400 adhesive and nailed to floor joists for sub flooring. Finished floor to be installed over as per manufacturers instructions.
- All bathroom walls to have 1/2" moisture resistant sheetrock. Garage Walls and ceilings to have 5/8" Type-X sheetrock. Unless otherwise noted, rest of building to have 1/2" regular sheetrock. All sheetrock to be taped and finished.
- All roofs with a pitch of less than 4:12 shall be installed with Ice & Water Barrier or approved equal.
- Sill plates to be pressure treated. Use with sill gasket and cop-r-tex or approved equal termite shield. Plates to be anchored to foundation with a minimum 1/2" dia.x7" long anchor bolts @ 6' O.C. and w/1" of ends and corners.

NOTCHING AND BORING STUDS:



GENERAL COMMENT

The notes, recommendation, and considerations included herein are offered in good faith for the Contractor's reference. These notes are not all-inclusive and do not, by any means, include all the information necessary to cover all aspects of the construction project. These notes are superseded by the Contractor's experience, best judgment, and local applicable building codes. The drawings, illustrations, and diagrams included in this package are design of the building and improvements and are to be used in coordination of work. The Contractor is responsible for the integrity of all assemblies and all work is to conform to accepted residential construction standards.

ELECTRICAL NOTES

ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOM, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSET, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12(B).

125-VOLT, 15-AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.

ELECTRICAL RECEPTACLES SHALL BE NO MORE THAN 12 FT. APART INCLUDING ANY WALL 2 FT. OR WIDER (BATHROOMS AND UTILITY ROOMS EXCEPTED).

ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMP KITCHEN: MIN. 2 SMALL-APPLIANCE CIRCUITS SERVING COUNTERTOPS. NO POINT ALONG COUNTER GREATER THAN 24" MAX. FROM GFCI RECEPTACLES. 2FT./4FT. RULE APPLIES FOR COUNTERTOP SPACES.

RECEPTACLES IN GARAGES, OUTDOORS, BATHS AND KITCHEN COUNTERTOPS TO BE GFCI.

BATHROOMS SHALL BE PROVIDED WITH SWITCHES CONTROLLING LIGHT FIXTURES AND MECHANICAL VENTILATION. EXTERIOR LIGHT FIXTURES SHALL BE PROVIDED AT ALL DOORS TO THE EXTERIOR. SWITCHES SHALL BE PROVIDED NEAR DOORS CONTROLLING OUTDOOR LIGHT FIXTURES.

PRE-WIRE FOR PHONE AND T.V. REINFORCE ALL CEILING MOUNTED LIGHTS, FIXTURES, AND/OR DEVICES.

PROVIDE FRONT DOOR CHIME. OUTLETS, SWITCH BOXES AND DEVICES ON EXTERIOR WALLS SHALL BE INSTALLED WITH SEALANT, GASKETING AND FLASHINGS AS REQUIRED.

AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED IN ATTICS, UNDER FLOOR SPACE, IN UTILITY ROOMS, IN BASEMENTS USED FOR STORAGE.

PROVIDE A DEDICATED 20 AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

RECEPTACLES ARE REQUIRED AT THE FRONT AND REAR OF THE HOME, AND THEY MUST BE WITHIN 6'-6" OF GRADE, AND WEATHERPROOF GFCI PROTECTED.

EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS OR AUTOMATIC DAMPERS.

ELECTRICAL LIGHTING FIXTURES IN CLOTHES CLOSET SHALL BE INSTALLED WITH A MINIMUM OF 18 INCHES CLEARANCE TO COMBUSTIBLE MATERIALS. FIXTURES SHALL BE VERTICALLY CLEAR TO FLOOR OR RECESSED. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

PLUMBING NOTES

MAXIMUM 2.0 GALLONS PER MINUTE FOR SHOWER HEADS. MAXIMUM 1.28 GALLONS PER FLUSH FOR NEW TOILETS. MAXIMUM 1.5 GALLONS PER MINUTE FOR LAVATORY FAUCETS. MAXIMUM 1.5 GALLONS PER MINUTE FOR KITCHEN FAUCETS. NEW DISHWASHER SHALL USE LESS THAN 6.5 GALLONS PER CYCLE, OR BE ENERGY STAR QUALIFIED. MAX. WATER USAGE - 5 GALLONS.

WATER HEATER SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL-SIZED DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT

MORE THAN 2 FT. OR LESS THAN 6 IN. ABOVE THE GRADE, POINTING DOWNWARD. PROVIDE COMBUSTION AIR VENTS (WITH SCREEN AND BACK DAMPER) FOR ANY APPLIANCE WITH OPEN FLAME PROVIDE INDIVIDUAL SHUT-OFF VALVE FOR AT MAXIMUM 3 FEET FROM EVERY GAS APPLIANCE

UNDERGROUND FERROUS GAS PIPING SHALL BE ELECTRICALLY ISOLATED FROM TO REST OF THE GAS SYSTEM WITH LISTED ISOLATION FITTINGS INSTALLED A MINIMUM OF 6 IN. ABOVE GRADE.

ALL EXTERIOR HOSE BIBS TO HAVE NON-REMOVABLE BACKFLOW PREVENTION DEVICES.

PROVIDE AN ACCESS DOOR, 18" x 24" MINIMUM, WITHIN 20 FT. OF THE PLUMBING CLEANOUT.

ALL DISHWASHER WASTE LINES SHALL BE PROVIDED WITH AN APPROVED AIRGAP SEPARATION DEVICE.

PROVIDE MIN. 30 INCH WIDE SPACE AT WATER CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT.

ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST 6 IN. ABOVE GRADE OR STRUCTURE.

INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

ALL CONSTRUCTION WORK SHALL COMPLY WITH THE CALIFORNIA ENERGY EFFICIENCY STANDARDS (CNC), 2010 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC); AND CALIFORNIA ELECTRICAL CODE (CEC), 2010 CRC.

REFERENCE NAILING SCHEDULE PER CRC TABLE R602.3(1)

**ADDITION & HOME REMODEL FOR:
HUE TRUONG
860 SOUTH EL MONTE AVE.
LOS ALTOS CALIFORNIA
(408) 607-7700**

LOT SIZE 29,185 S.Q. F.T.

APN 336-02-066
ZONE R3-2.2
FAR FLOOR 5,312/29,185 = 0.182
OCCUPANCY GROUP R-3/U
TYPE OF CONSTRUCTION V-B

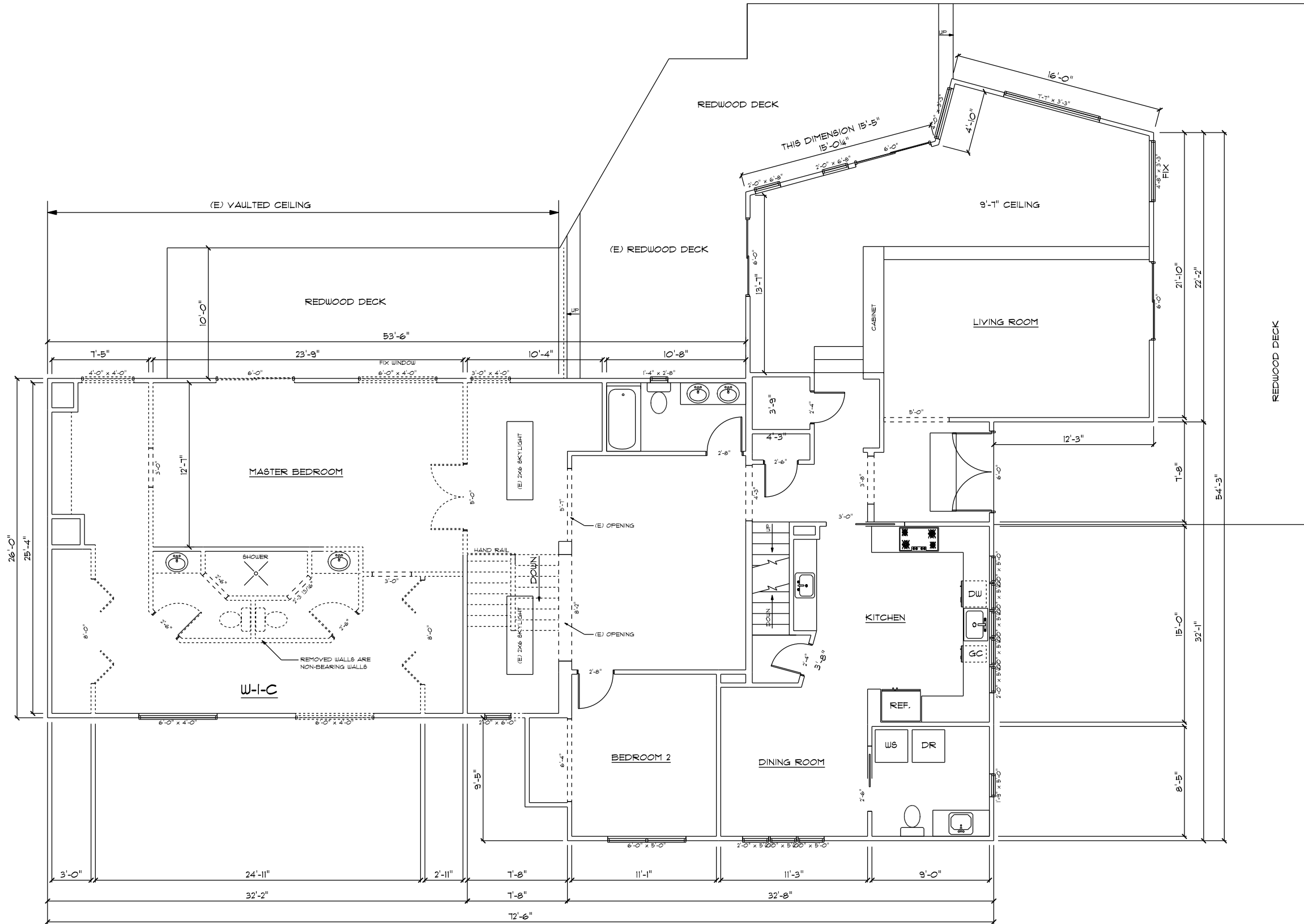
DRAWING INDEX

- 01.1 COVER PAGE
- V1.1 SITE PLAN, VICINITY & ASSESSOR'S MAP
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- A1.2 (E) MAIN FLOOR PLAN & DEMOLITION PLAN
- A1.3 (E) UPPER FLOOR PLAN
- A1.4 (N) LOWER FLOOR PLAN
- A1.5 (N) MAIN FLOOR PLAN
- A1.6 (N) UPPER FLOOR PLAN
- A1.7 AREA CALCULATIONS
- A1.8 PROPOSED CROSS SECTION & GUARDRAIL
- A2.1 (E) FRONT & REAR ELEVATIONS
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- S1.1 FOUNDATION PLAN
- S1.2 LOWER FRAMING PLAN
- S1.3 MAIN & UPPER FRAMING PLAN & CROSS SECTION A-A
- T24-1: TITLE 24
- T24-2: TITLE 24

SCOPE OF WORK:

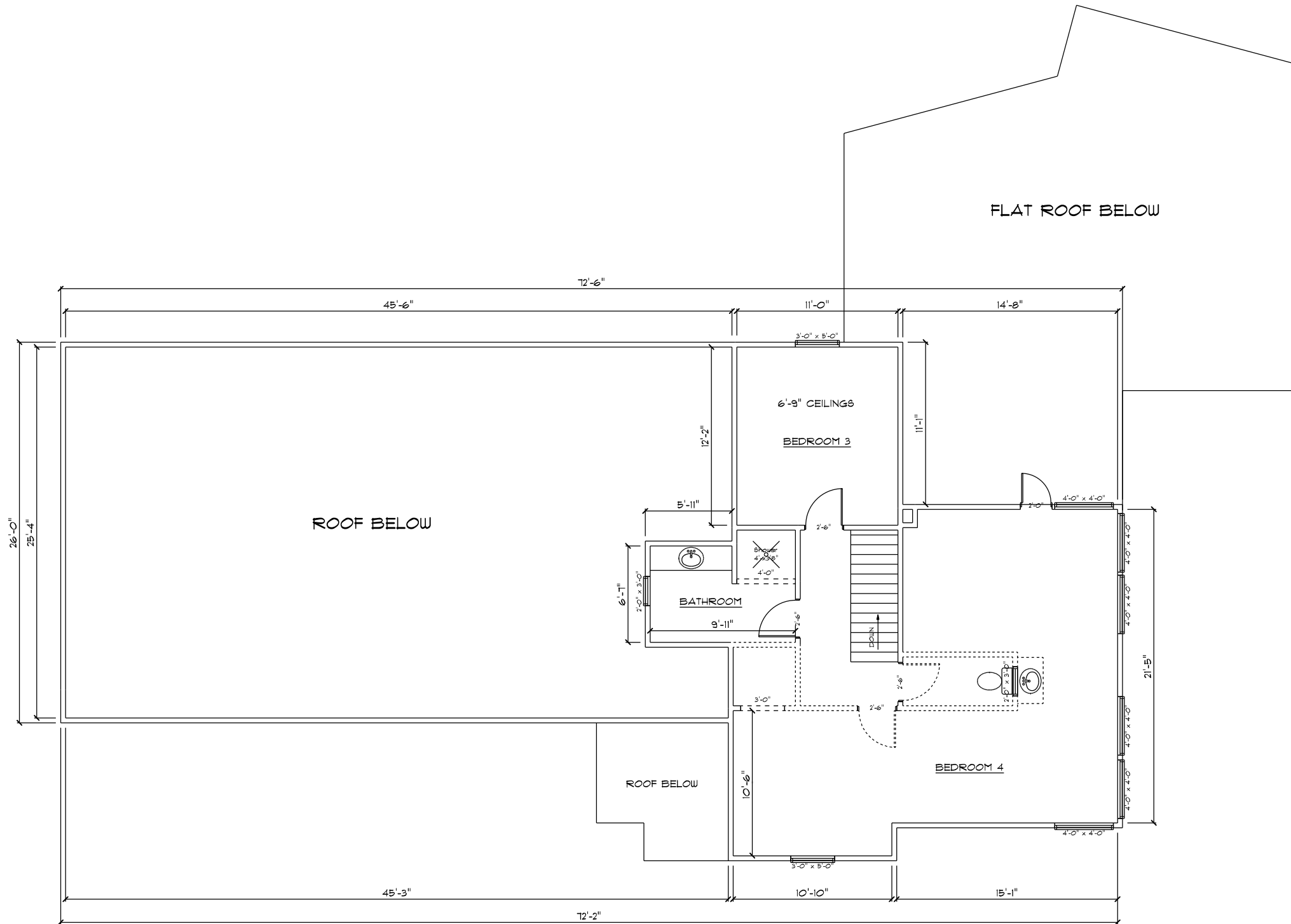
- (N) BEDROOM AND BATHROOM AT LOWER FLOOR
- REMODEL LOWER FLOOR
- REMODEL MASTER BEDROOM AND MASTER BATHROOM AT MAIN FLOOR
- EXTEND DECK AT MAIN FLOOR
- REPLACE STAIRS WITH (N) SPIRAL STAIRS
- RECONFIGURE INTERIOR WALLS AT UPPER FLOOR

NET LOT AREA:	28,185 SQ. FT.		
	EXISTING	CHANGE IN	TOTAL PROPOSED
% OF FRONT YARD PAVING	N/A	N/A	SQ. FT. (%)
HABITABLE LIVING AREA:	5,015.3 SQ. FT.	154 SQ. FT.	5,169.3 SQ. FT.
NON-HABITABLE AREA:	369.7 SQ. FT.	N/A SQ. FT.	369.7 SQ. FT.
	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE	2,841.2 SQ. FT. (9.73%)	2,995.2 SQ. FT. (10.26%)	8,785 SQ. FT. (30.00%)
FLOOR AREA	1ST FLR: 1,428.6 SQ. FT. 2ND FLR: 2,114.6 SQ. FT. 3RD FLR: 812.1 SQ. FT. TOTAL: 5,015.3 SQ. FT. (17.18%)	1ST FLR: 1,582.6 SQ. FT. 2ND FLR: 2,114.6 SQ. FT. 3RD FLR: 812.1 SQ. FT. TOTAL: 5,169.3 SQ. FT. (17.11%)	5,668 SQ. FT. (19.42%)
SETBACKS:			
FRONT	53'-0" FEET	53'-0" FEET	25'-0" FEET
REAR	50'-0" FEET	39'-0" FEET	25'-0" FEET
RIGHT SIDE	11'-0" FEET	11'-0" FEET	10'-0" FEET
LEFT SIDE	32'-0" FEET	32'-0" FEET	10'-0"/11'-6" FEET
2nd FLOOR RIGHT SIDE	- FEET	- FEET	- FEET
2ND FLOOR LEFT SIDE	- FEET	- FEET	- FEET
HEIGHT:	30'-6" FEET	30'-8" FEET	21'-0" FEET



EXISTING MAIN FLOOR PLAN & DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

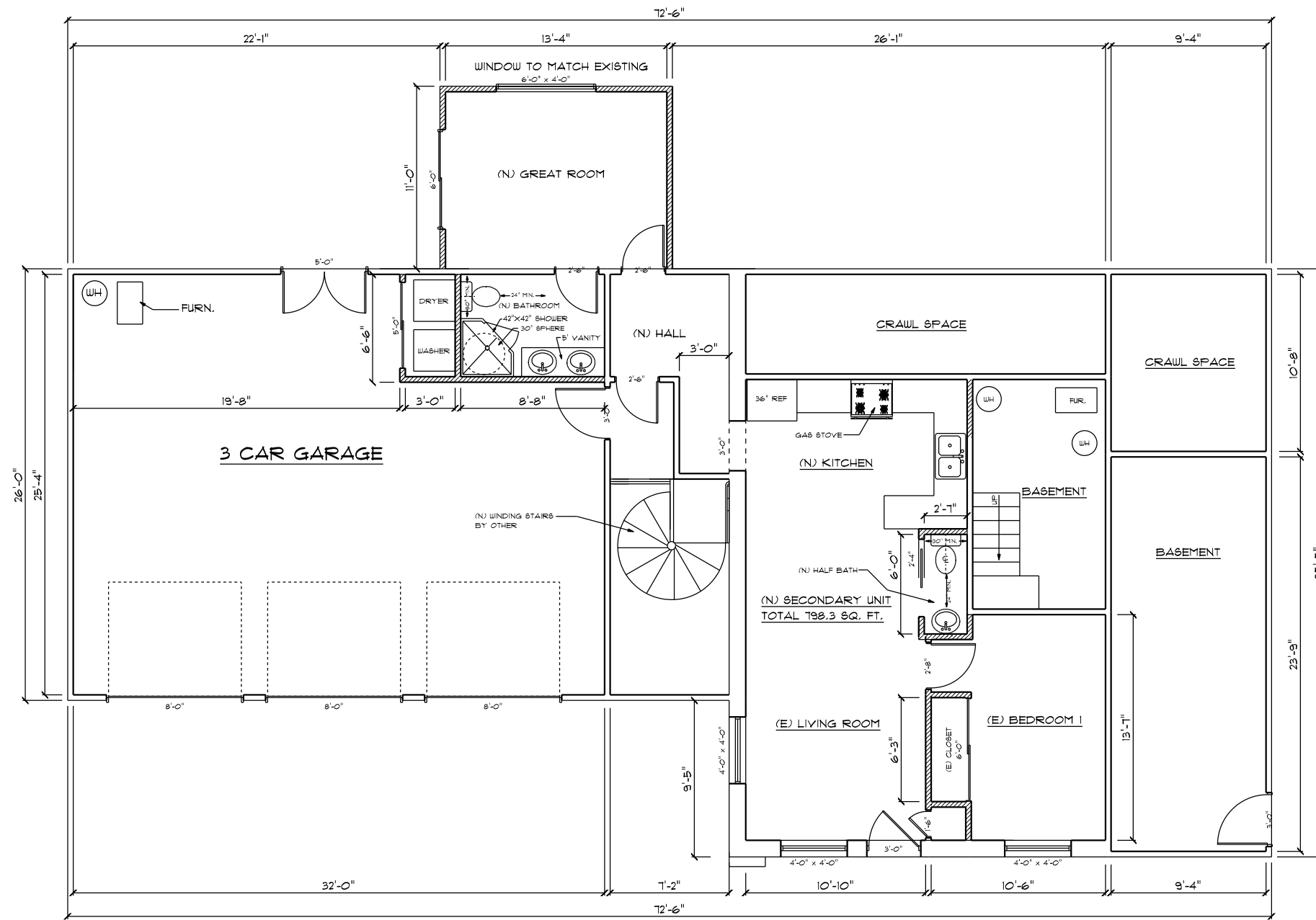
- LEGEND:**
- EXISTING WALLS
 - REMOVED WALLS
 - NEW WALLS
 - * AT NUMBER
 - DF DOUGLAS FIR
 - DI ST DISTANCE
 - DU DISH WASHER
 - (E) EXISTING
 - E.W. EACH WAY
 - FREZ FREEZER
 - HCR HEADER
 - LE LENGTH OF EMBEDMENT
 - MAX MAXIMUM
 - MIN MINIMUM
 - (N) NEW
 - O.C. ON CENTER
 - P.T. PRESSURE TREATED
 - REF REFRIGERATOR
 - T.B. TOP & BOTTOM
 - U.O.N. UNLESS OTHERWISE NOTED
 - W.I.C. WALK-IN-CLOSET
 - W/ WITH
 - ⊠ CONTROL VALVE & SHOWER HEAD
 - ⊞ HEAT SUPPLY REGISTER



EXISTING UPPER FLOOR PLAN & DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

EXISTING WALLS	
REMOVED WALLS	
NEW WALLS	
•	AT
DF	NUMBER
DFB	DOUGLAS FIR
DJ	DISTANCE
(E)	DISH WASHER
E.W.	EXISTING
FRE	EACH WAY
HCR	FREEZER
LE	HEADER
MAX	LENGTH OF EMBEDMENT
MIN	MAXIMUM
(N)	MINIMUM
O.C.	NEW
P.T.	ON CENTER
REF	FRESSURE TREATED
T.B.	REFRIGERATOR
U.O.N.	TOP & BOTTOM
W.I.C.	UNLESS OTHERWISE NOTED
W/	WALK-IN-CLOSET
	WITH
	CONTROL VALVE & SHOWER HEAD
	HEAT SUPPLY REGISTER



PROPOSED LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND:

- EXISTING WALLS
- REMOVED WALLS
- NEW WALLS
- AT NUMBER
- DF DOUGLAS FIR
- DIST DISTANCE
- DW DISH WASHER
- (E) EXISTING
- E.W. EACH WAY
- FREZ FREEZER
- HDR HEADER
- LE LENGTH OF EMBEDMENT
- MAX MAXIMUM
- MIN MINIMUM
- (N) NEW
- O.C. ON CENTER
- P.T. PRESSURE TREATED
- REF REFRIGERATOR
- T.B. TOP & BOTTOM
- U.O.N. UNLESS OTHERWISE NOTED
- W.I.C. WALK-IN-CLOSET
- W/ WITH
- ⊠ CONTROL VALVE & SHOWER HEAD
- ⊞ HEAT SUPPLY REGISTER

REVISIONS	BY
DRAWN BY: VALDEZ DESIGN / (408) 466-7578 3056 CASTRO VALLEY BLVD SUITE 54 CASTRO VALLEY, CA 94546 CONTACT@VALDEZDESIGN.ORG WWW.VALDEZDESIGN.ORG	
PROPOSED LOWER FLOOR PLAN	
ADDITION & HOME REMODEL FOR: HUE TRUONG 860 SOUTH EL MONTE AVE. LOS ALTOS CALIFORNIA (408) 607-7700 APN 336-02-066	
DATE	01/21/2014
SCALE	1/4"=1'-0"
SHEET	A1.4

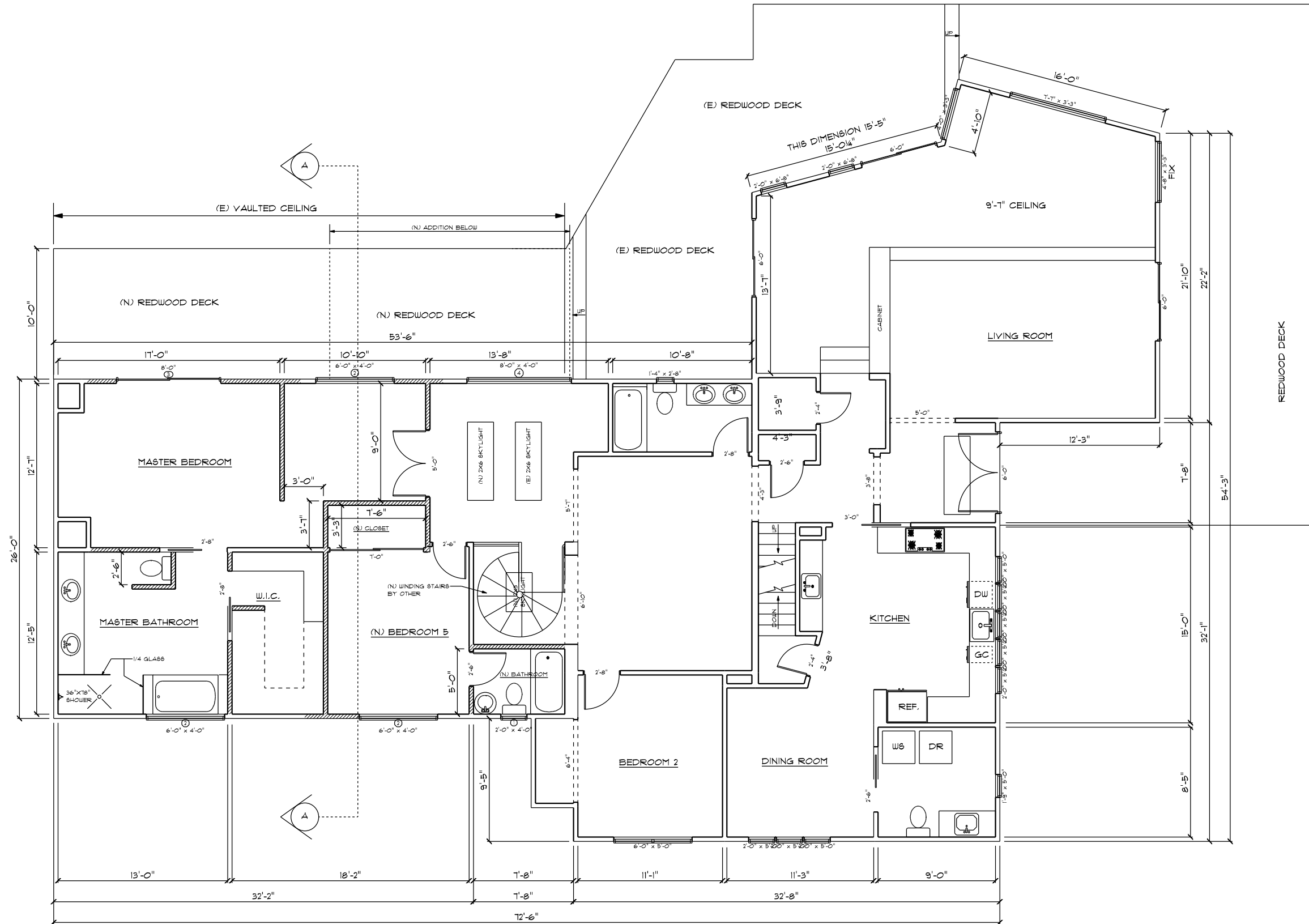
PROPOSED MAIN FLOOR PLAN

HUE TRUONG
 860 SOUTH EL MONTE AVE.
 LOS ALTOS CALIFORNIA
 (408) 607-7700

ADDITION & HOME
 REMODEL FOR:
 APN 336-02-066

DATE
 01/21/2014
 SCALE
 1/4"=1'-0"

SHEET
A1.5



PROPOSED MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- LEGEND:**
- EXISTING WALLS [Solid line]
 - REMOVED WALLS [Dashed line]
 - NEW WALLS [Thick solid line]
 - AT NUMBER
 - DF DOUGLAS FIR
 - DI.DT DISTANCE
 - DW.DI DISH WASHER
 - (E) EXISTING
 - E.W. EACH WAY
 - FRE. FREEZER
 - HDR. HEADER
 - LE LENGTH OF EMBEDMENT
 - MAX. MAXIMUM
 - MIN. MINIMUM
 - (N) NEW
 - O.C. ON CENTER
 - P.T. PRESSURE TREATED
 - REF. REFRIGERATOR
 - T.B. TOP & BOTTOM
 - U.O.N. UNLESS OTHERWISE NOTED
 - W.I.C. WALK-IN-CLOSET
 - W/ WITH
 - W/ CONTROL VALVE & SHOWER HEAD
 - H.R. HEAT SUPPLY REGISTER

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DRAWN BY:

PROPOSED UPPER FLOOR PLAN

HUE TRUONG
860 SOUTH EL MONTE AVE.
LOS ALTOS CALIFORNIA
(408) 607-7700

ADDITION & HOME
REMODEL FOR:
APN 336-02-066

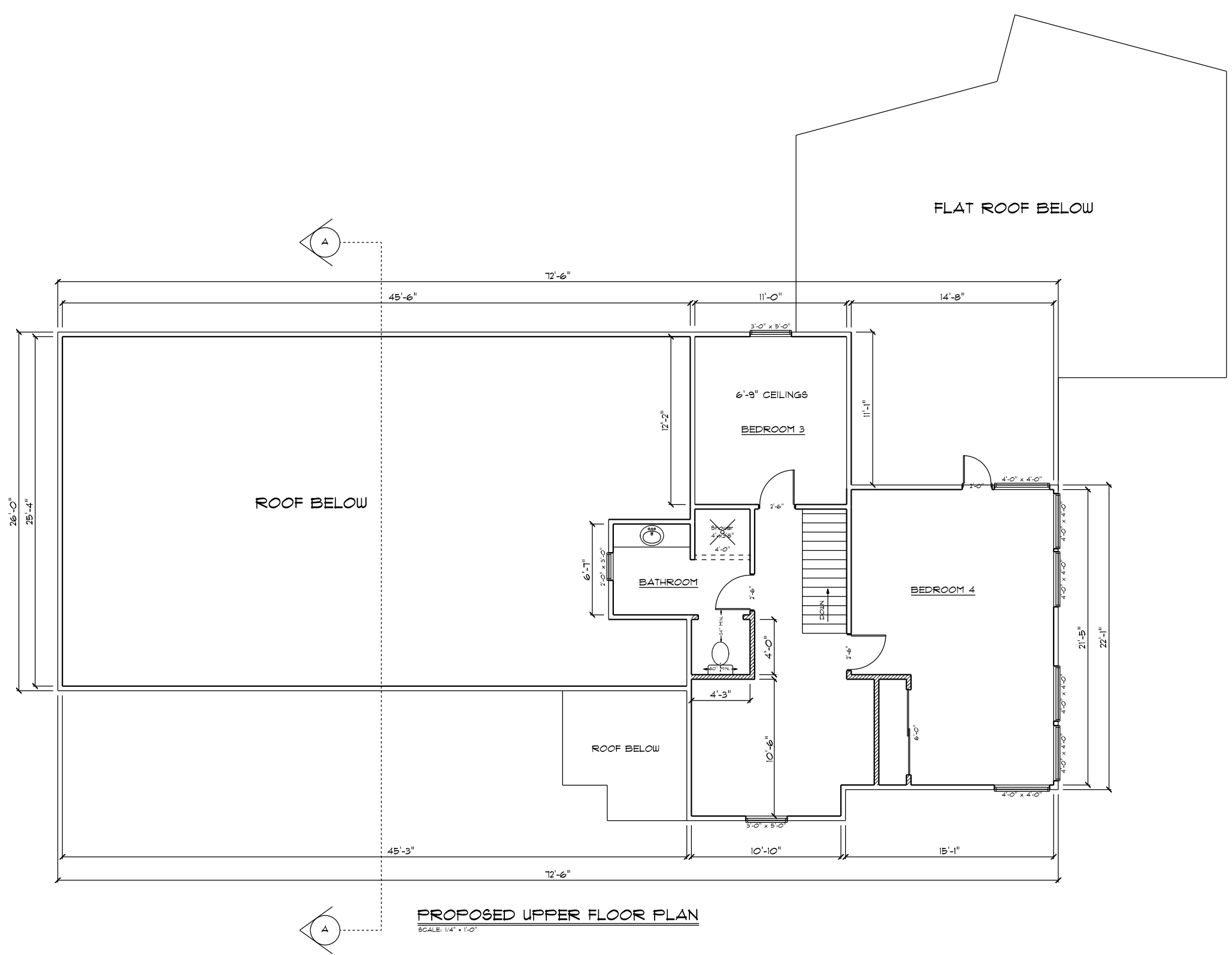
DATE

01/21/2014

SCALE

1/4"=1'-0"
SHEET

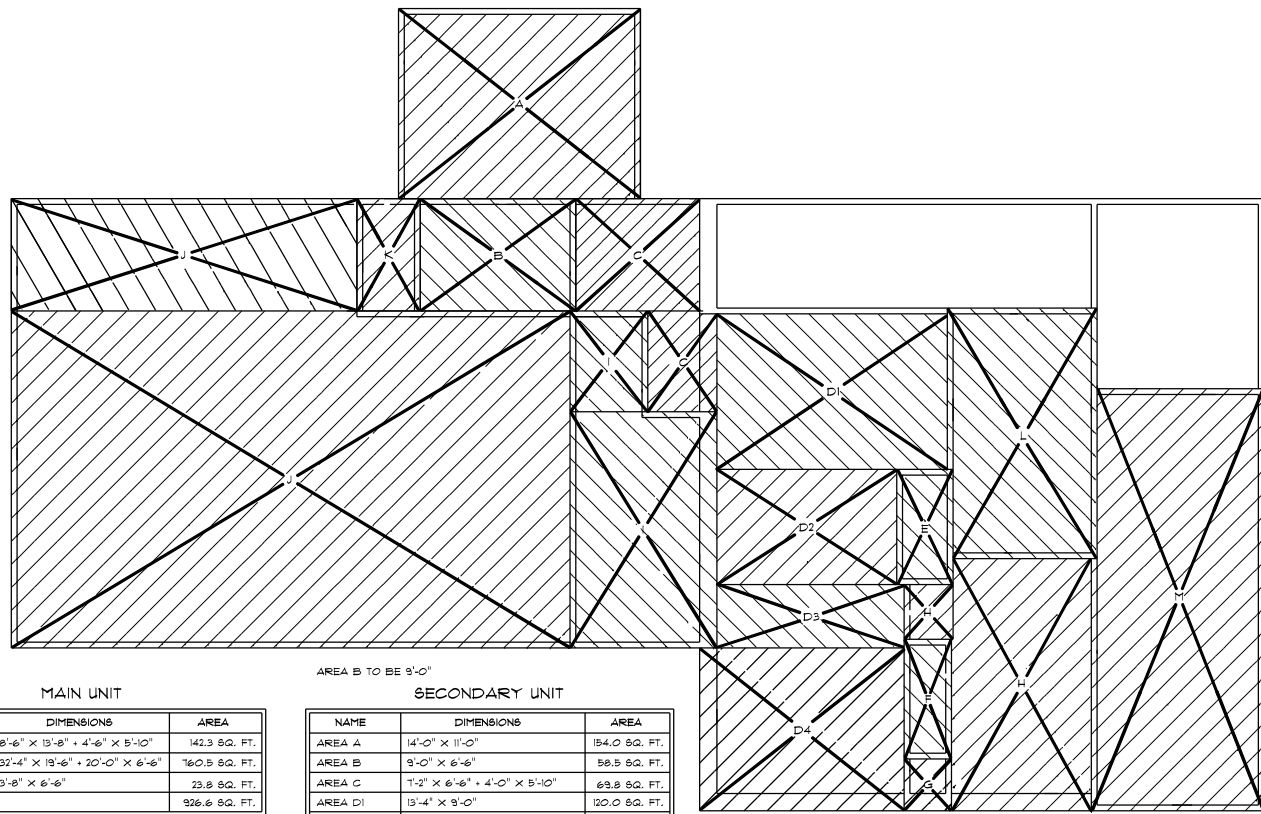
A1.6



PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

EXISTING WALLS	[Solid line]
REMOVED WALLS	[Dashed line]
NEW WALLS	[Thick solid line]
•	AT
DF	NUMBER
DF	DOUGLAS FIR
DIST	DISTANCE
DW	DISH WASHER
(E)	EXISTING
E.W.	EACH WAY
FRE	FREEZER
HDR	HEADER
LE	LENGTH OF EMBEDMENT
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
O.C.	ON CENTER
P.T.	PRESSURE TREATED
REF	REFRIGERATOR
T.B.	TOP & BOTTOM
U.O.N.	UNLESS OTHERWISE NOTED
W.I.C.	WALK-IN-CLOSET
W	WITH
⊗	CONTROL VALVE & SHOWER HEAD
⊞	HEAT SUPPLY REGISTER



LOWER FLOOR - AREA
SCALE: 3/16" = 1'-0"

MAIN UNIT

NAME	DIMENSIONS	AREA
AREA I	8'-6" X 13'-8" + 4'-6" X 5'-10"	142.3 SQ. FT.
AREA J (GARAGE)	37'-4" X 19'-6" + 20'-0" X 6'-6"	160.5 SQ. FT.
AREA K	3'-8" X 6'-6"	23.8 SQ. FT.
TOTAL AREA		326.6 SQ. FT.

AREA B TO BE 9'-0"

SECONDARY UNIT

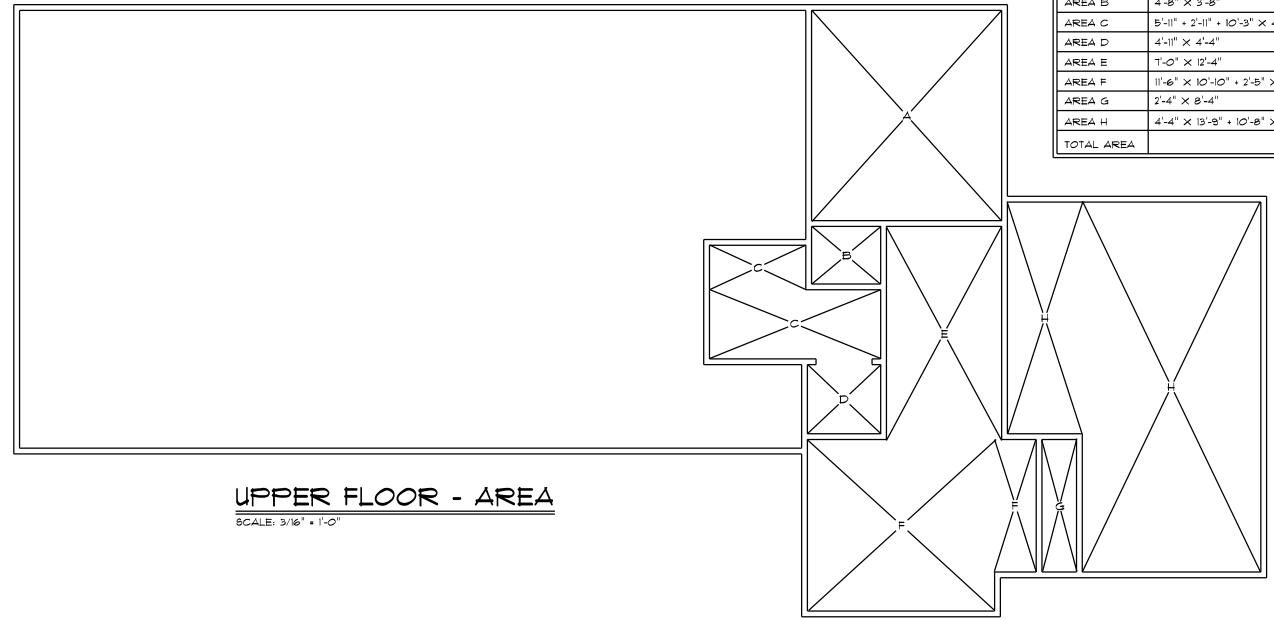
NAME	DIMENSIONS	AREA
AREA A	14'-0" X 11'-0"	154.0 SQ. FT.
AREA B	9'-0" X 6'-6"	59.5 SQ. FT.
AREA C	7'-2" X 6'-6" + 4'-0" X 5'-10"	69.8 SQ. FT.
AREA D1	13'-4" X 9'-0"	120.0 SQ. FT.
AREA D2	10'-5" X 6'-8"	69.4 SQ. FT.
AREA D3	10'-10" X 3'-8"	39.7 SQ. FT.
AREA D4	11'-10" X 9'-5"	111.4 SQ. FT.
AREA E	3'-3" X 6'-8"	21.6 SQ. FT.
AREA F	2'-8" X 6'-11"	19.2 SQ. FT.
AREA G	2'-8" X 3'-0"	8.2 SQ. FT.
AREA H	2'-8" X 3'-2" + 8'-1" X 14'-1"	126.5 SQ. FT.
TOTAL AREA		788.3 SQ. FT.

BASEMENT

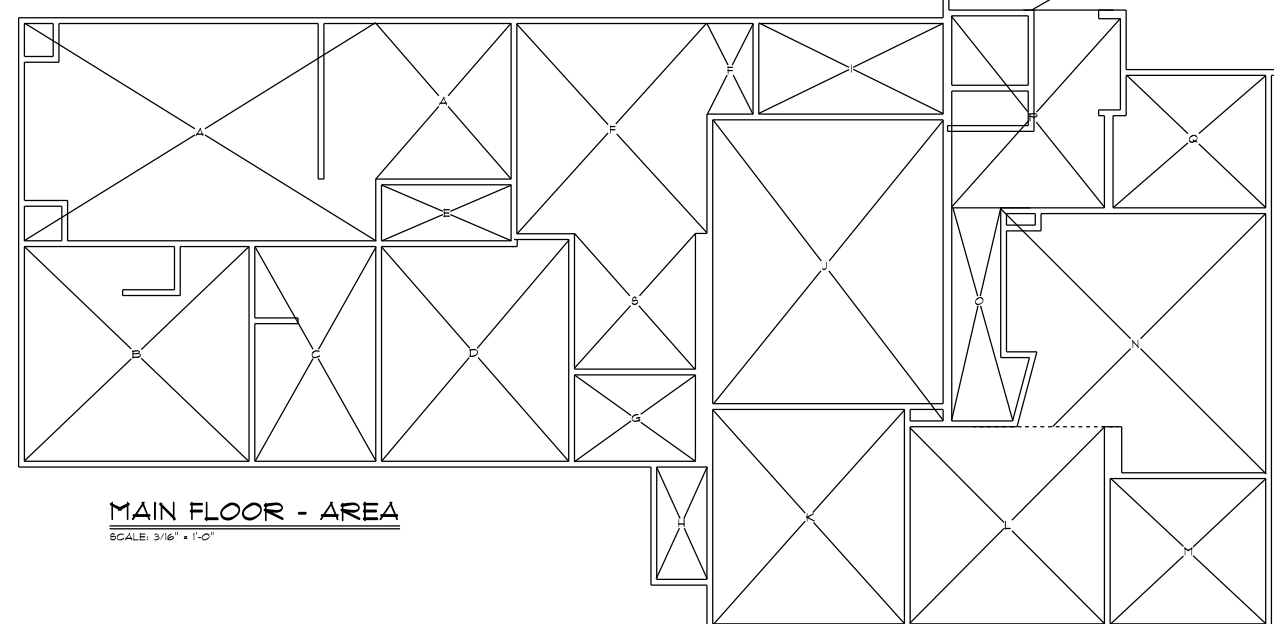
NAME	DIMENSIONS	AREA
AREA L	8'-8" X 14'-6"	125.6 SQ. FT.
AREA M	10'-0" X 24'-5"	244.1 SQ. FT.
TOTAL AREA		369.7 SQ. FT.

MAIN UNIT

NAME	DIMENSIONS	AREA
AREA A	14'-10" X 11'-0"	166.8 SQ. FT.
AREA B	4'-8" X 3'-8"	17.1 SQ. FT.
AREA C	5'-11" X 2'-11" + 10'-3" X 4'-4"	61.6 SQ. FT.
AREA D	4'-11" X 4'-4"	21.3 SQ. FT.
AREA E	7'-0" X 12'-4"	86.3 SQ. FT.
AREA F	11'-6" X 10'-10" + 2'-5" X 8'-4"	144.6 SQ. FT.
AREA G	2'-4" X 8'-4"	19.4 SQ. FT.
AREA H	4'-4" X 13'-8" + 10'-8" X 22'-1"	255.0 SQ. FT.
TOTAL AREA		812.1 SQ. FT.



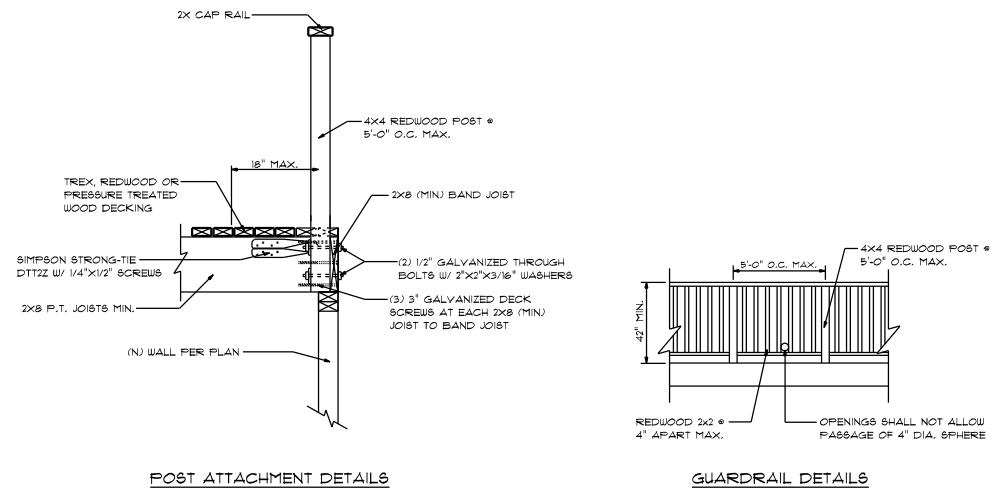
UPPER FLOOR - AREA
SCALE: 3/16" = 1'-0"



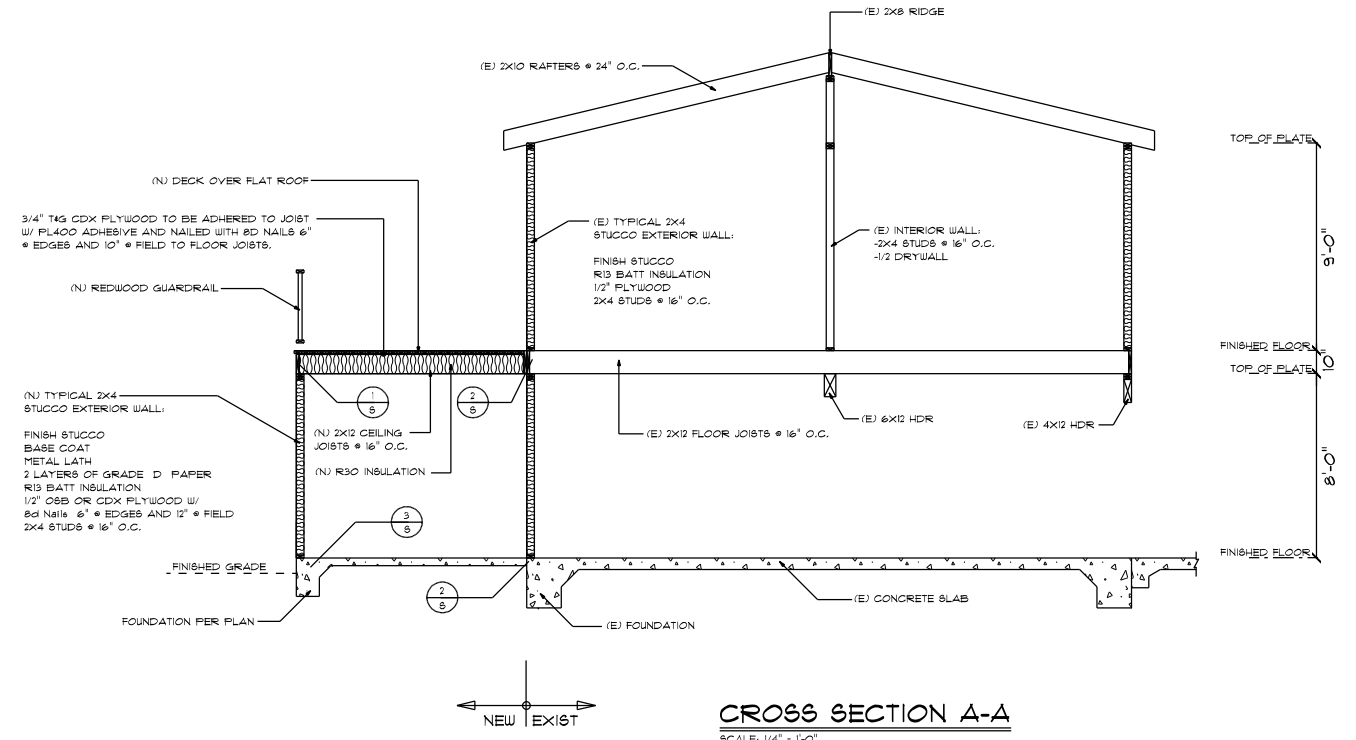
MAIN FLOOR - AREA
SCALE: 3/16" = 1'-0"

MAIN UNIT

NAME	DIMENSIONS	AREA
AREA A	20'-8" X 13'-3" + 8'-2" X 9'-8"	352.7 SQ. FT.
AREA B	13'-4" X 12'-9"	170.0 SQ. FT.
AREA C	7'-4" X 12'-9"	93.5 SQ. FT.
AREA D	11'-6" X 13'-1"	150.4 SQ. FT.
AREA E	8'-2" X 3'-3"	26.5 SQ. FT.
AREA F	11'-4" X 12'-10" + 2'-8" X 5'-11"	161.1 SQ. FT.
AREA G	8'-0" X 5'-8"	45.3 SQ. FT.
AREA H	3'-3" X 6'-10"	22.2 SQ. FT.
AREA I	10'-8" X 5'-11"	63.1 SQ. FT.
AREA J	13'-4" X 16'-5"	218.9 SQ. FT.
AREA K	11'-3" X 12'-9"	143.8 SQ. FT.
AREA L	11'-1" X 11'-9"	136.1 SQ. FT.
AREA M	9'-4" X 9'-7"	84.7 SQ. FT.
AREA N	(AUTO CAD CALCULATION)	28.8 SQ. FT.
AREA O	(AUTO CAD CALCULATION)	46.8 SQ. FT.
AREA P	(AUTO CAD CALCULATION)	118.0 SQ. FT.
AREA Q	(AUTO CAD CALCULATION)	71.3 SQ. FT.
AREA R	(AUTO CAD CALCULATION)	645.4 SQ. FT.
TOTAL AREA		2,714.6 SQ. FT.



1 POST ATTACHMENT & GUARDRAIL DETAILS
A1.8 NOT TO SCALE



CROSS SECTION A-A
SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

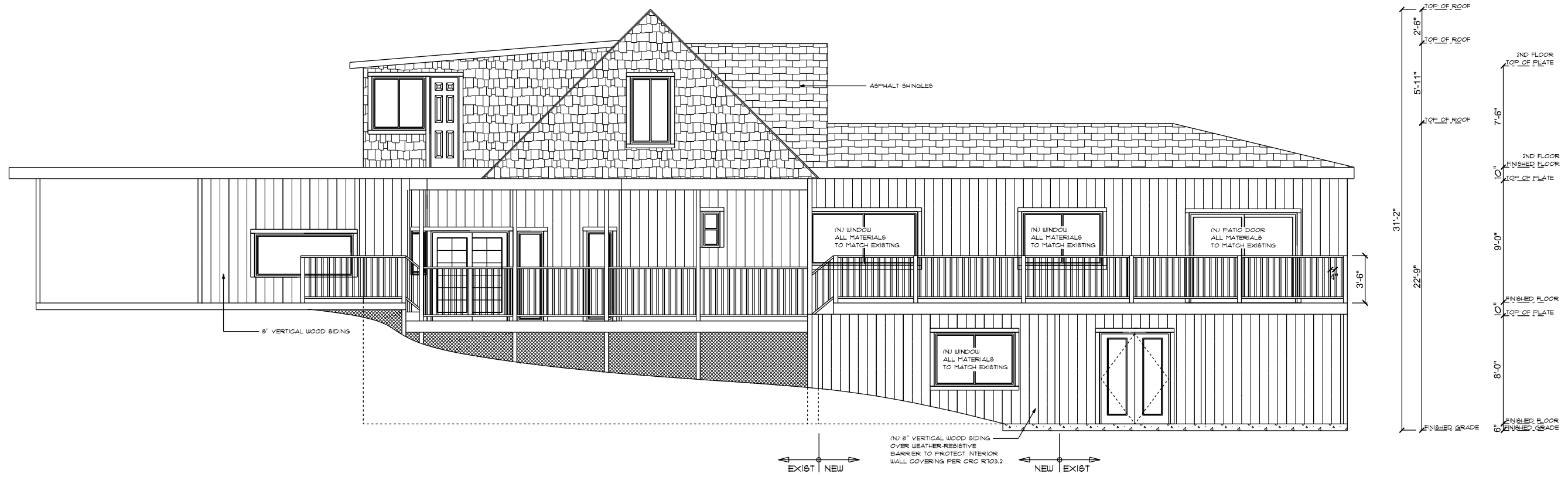


EXISTING REAR ELEVATION
 SCALE: 1/4" = 1'-0"

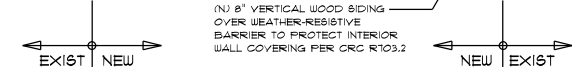


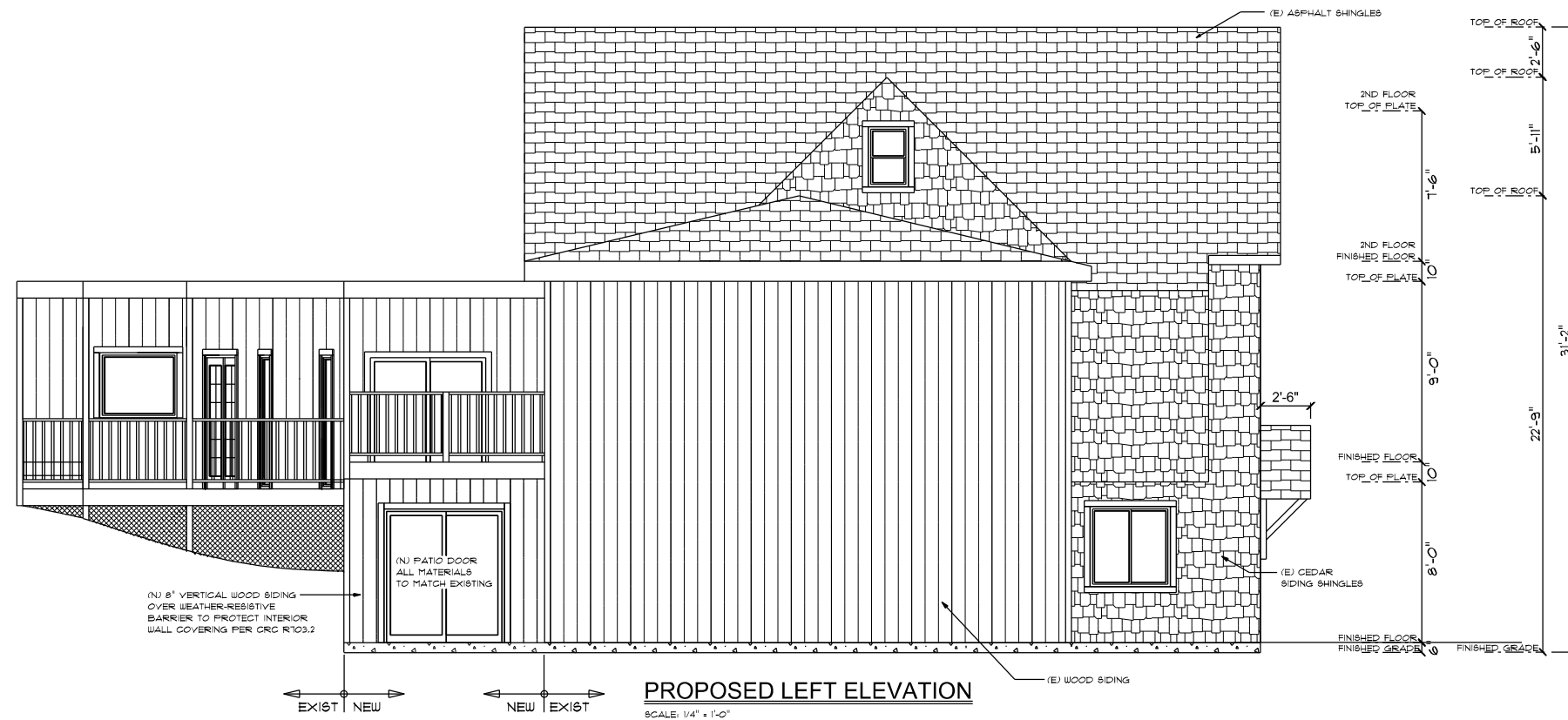


PROPOSED FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0"





PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS BY

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PROPOSED LEFT ELEVATION
PROPOSED RIGHT ELEVATION

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ADDITION & HOME
REMODEL FOR:
APN 336-02-066

DATE
01/21/2014
SCALE
1/4"=1'-0"
SHEET

A2.4