



DATE: February 5, 2014

AGENDA ITEM # 2

TO: Design Review Commission
FROM: Sean K. Gallegos, Assistant Planner
SUBJECT: Modification to 13-SC-16 – 767 Santa Rita Avenue

RECOMMENDATION:

Approve modification to approved design review application 13-SC-16 subject to the findings and conditions

PROJECT DESCRIPTION

This project is a modification to an approved new two-story house. The proposed modification maintains the previously approved size of the project and relocates and reduces the size of the second story balcony; relocates bedroom No. 2 from the rear to the front of the house; and revises the landscape plan.

BACKGROUND

The design review application for a two-story addition and remodel was approved by the Design Review Commission on December 18, 2013. The agenda report for the original project, meeting minutes and the final conditions of approval are included in Attachments D, E and F.

DISCUSSION

As part of the approval, the Design Review Commission included a condition to remove the 118-square-foot second-floor balcony to reduce privacy impacts along the right side and rear property lines. The modified plan includes a smaller second story balcony (96 square feet), which is recessed between the master bedroom and bedroom No. 3. This design creates a more passive outdoor space and effectively minimizes privacy impacts to right side and rear properties.

The approval also included a condition to revise the landscape plan to omit the proposed Italian Cypress trees, and incorporate a moderate height landscape screening trees along the left side and rear property lines. The applicant has revised the landscape plan (Sheet L1.1) to incorporate the “moderate height” landscape screening, which will mitigate privacy impacts from the balcony or second-floor windows. As recommended, this condition will still be maintained.

In response to prior Design Review Commission comments regarding massing, the applicant revised the design of the proposed house. The design changes include relocating bedroom No. 2 from the rear of the house to the front of the house. Bedroom No. 2 is tucked into the southwest gable, which was previously the high vaulted ceiling for the entry. Overall, the proposed design has

incorporated substantial changes from the approved design that have reduced the overall bulk of the structure as viewed from the rear.

As noted in the January 13, 2014 approval and final conditions letter, the Design Review Commission added a condition that the design shall be revised to eliminate the master bedroom's second floor balcony. The applicant has requested that this condition be removed due to the design modifications. Staff agrees that the proposed design has incorporated substantial changes to address the Commission's comments regarding privacy impacts to adjacent properties. Based upon these changes, staff has prepared positive design review findings and conditions of approval for the Commission's consideration to permit a two-story structure with a second story balcony.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15303 of the Environmental Quality Act because it involves the construction of a single-family house.

Cc: Enrique Gantisky, Applicant/Owner

Attachments:

- A. Application
- B. Neighborhood Compatibility
- C. Area Map and Vicinity Map
- D. Agenda Report to the DRC Commission, December 18, 2013
- E. Meeting Minutes, September 18, 2013
- F. Approval letter with final conditions of approval, January 13, 2014
- G. Original Site Plan, Floor Plans
- H. Design Review Comment Letter from Applicant, January 20, 2014

FINDINGS

13-SC-16 – 767 Santa Rita Avenue

With regard to the modification to the approved two-story design review to relocate and reduce the size of the second story balcony; relocate bedroom No. 2 from the rear to the front of the house; and revise the landscape plan, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- A. The proposed structure complies with all provision of this chapter;
- B. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- D. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- E. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- F. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

13-SC-16—767 Santa Rita Avenue

1. The approval is based on the plans received on January 21, 2014 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. These conditions supersede the conditions approved on December 18, 2013.
3. An encroachment permit must be issued from the Engineering Division prior to doing any work within the public street right-of-way.
4. Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.
5. The landscape plan shall be revised to provide for the removal of the proposed Italian Cypress trees, and the incorporation of a moderate height landscape screening trees along the side and rear property lines to the rear of the structure. As shown on the plans, the screening trees shall be a minimum of 15 gallon in size.
6. All proposed privacy screening trees along the left, right, and rear property lines and the proposed Oak street in the semicircular driveway, as shown on the landscape plan are protected under this application and cannot be removed without a tree removal permit from the Community Development Director.
7. **Prior to the issuance of a demolition permit**, install tree protection fencing around the dripline, or as required by the project arborist, of the following trees (Nos. 1-7) as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.
8. **Prior to building permit submittal, the project plans shall contain/show:**
 - a. The conditions of approval shall be incorporated into the title page of the plans.
 - b. On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground." The tree protection fencing shall be installed prior to issuance of the demolition permit and shall not be removed until all building construction has been completed.
 - c. Provide a landscape plan prepared by a licensed landscape professional showing how the plans comply with the City's Water Efficient Landscape Regulations (LAMC Chapter 12.36).
 - d. Verification that the house will comply with the City's Green Building Standards (Section 12.26 of the Municipal Code) from a Qualified Green building Professional.
 - e. Fire sprinklers to be installed pursuant to Section 12.10 of the Municipal Code.

- f. The location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches should avoid the drip-lines of all protected trees.
- g. The location of any air conditioning equipment on the site plan and the sound rating for such equipment.
- h. Compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

9. **Prior to final inspection:**

- a. All front yard landscaping and privacy screening shall be maintained and/or installed as required by the Planning Division.
- b. Submit verification that the house was built in compliance with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code.



ATTACHMENT A

CITY OF LOS ALTOS
GENERAL APPLICATION

Type of Review Requested: (Check all boxes that apply)

Permit # 1105708

Table with 3 columns and 7 rows listing review types: One-Story Design Review, Two-Story Design Review, Variance(s), Lot Line Adjustment, Tentative Map/Division of Land, Subdivision Map Review, Sign Review, Sidewalk Display Permit, Use Permit, Tenant Improvement, Preliminary Project Review, Commercial Design Review, Multiple-Family Review, Rezoning, RLS Overlay, General Plan/Code Amendment, Appeal, Other.

Project Address/Location: 767 SANTA RITA AVE

Project Proposal/Use: RESIDENTIAL

Current Use of Property: SAME

Assessor Parcel Number(s) 167-21-004 Site Area:

New Sq. Ft.: 3992 Remodeled Sq. Ft.: N/A Existing Sq. Ft. to Remain: 0

Total Existing Sq. Ft.: Total Proposed Sq. Ft. (including basement):

Applicant's Name: ENRIQUE GANITSKY

Home Telephone #: 650 255-9278 Business Telephone #: 650 255 9278

Mailing Address: 120 PLUM COURT

City/State/Zip Code: MT VIEW CA 94043

Property Owner's Name: SAME AS APPLICANT

Home Telephone #: Business Telephone #:

Mailing Address:

City/State/Zip Code:

Architect/Designer's Name: DAVE HAUGLAND AHJ ENGINEERS, PC Telephone #: 208 323-0199

*** If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. ***

(continued on back)



City of Los Altos

Planning Division

(650) 947-2750

Planning@losaltosca.gov

NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos. *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 767 Santa Rita 94022

Scope of Project: Addition or Remodel _____ or New Home

Age of existing home if this project is to be an addition or remodel? _____

Is the existing house listed on the City's Historic Resources Inventory? NO

Address: 767 Santa Rita
Date: 7/10/2013

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 12,500 square feet
Lot dimensions: Length 100 feet
Width 125 feet

If your lot is significantly different than those in your neighborhood, then note its: area _____, length _____, and width _____.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? _____
What % of the front facing walls of the neighborhood homes are at the front setback 15 %
Existing front setback for house on left 35 ft./on right 35 ft.
Do the front setbacks of adjacent houses line up? some do

3. Garage Location Pattern: (Pg. 19-Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)

Garage facing front projecting from front of house face all

Garage facing front recessed from front of house face

Garage in back yard

Garage facing the side

Number of 1-car garages ; 2-car garages ✓; 3-car garages

Address: 767 Santa Rita
Date: 7-10-13

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:

One-story 60
Two-story 40 % 30 %

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? _____
Are there mostly hip , gable style ^{and} , or other style _____ roofs*?
Do the roof forms appear simple _____ or complex _____?
Do the houses share generally the same eave height NO?

6. Exterior Materials: (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood*?

siding wood shingle stucco board & batten clapboard
 tile stone brick combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

composition 80 %
If no consistency then explain: _____

7. Architectural Style: (Appendix C, Design Guidelines)

Does your neighborhood* have a consistent identifiable architectural style?
 YES NO

Traditional
Type? Ranch Shingle Tudor Mediterranean/Spanish
 Contemporary Colonial Bungalow Other

Address: 767 Santa Rita
Date: 7-10-2013

8. Lot Slope: (Pg. 25 Design Guidelines)

Does your property have a noticeable slope? no

What is the direction of your slope? (relative to the street)

Is your slope higher _____ lower _____ same in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind? no

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

big trees

How visible are your house and other houses from the street or back neighbor's property?

not visible

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

gravel

10. Width of Street:

What is the width of the roadway paving on your street in feet? _____

Is there a parking area on the street or in the shoulder area? yes

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? unimproved

Address: 767 Santa Rita
Date: 7-10-13

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

General Study

- A. Have major visible streetscape changes occurred in your neighborhood?
 YES NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?
 YES NO
- C. Do the lots in your neighborhood appear to be the same size?
 YES NO
- D. Do the lot widths appear to be consistent in the neighborhood?
 YES NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?
 YES NO
SANTA RITA YES LOS ALTOS AVE. NARROWER
50%
- F. Do you have active CCR's in your neighborhood? (p.36 Building Guide)
 YES NO
- G. Do the houses appear to be of similar size as viewed from the street?
 YES NO
LOS ALTOS AVE YES SANTA RITA NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?
 YES NO

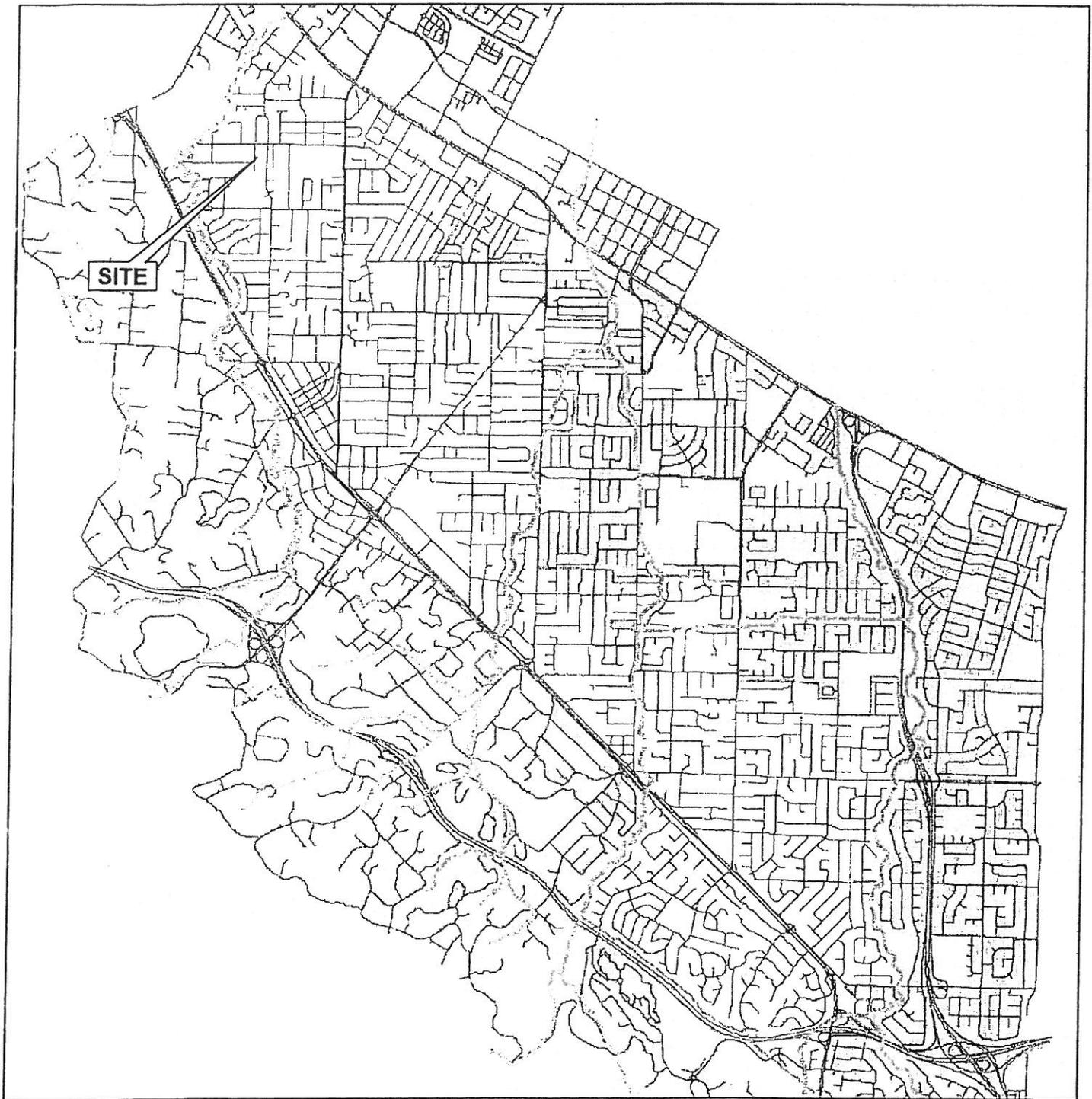
Address: 767 Santa Rita
 Date: 7-10-13

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
397 VAN BUREN	35'?		ON SANTA RITA	TWO	24'+-	STUCCO composition roof	TRADITIONAL
780 SANTA RITA	25'		SANTA RITA	ONE	15-17'	STUCCO COMPOSITION	TRADITIONAL
400 W. PORTOLA	25'	25'	ON SANTARITA	TWO	24'+-	SHINGLE COMPOSITION	TRADITIONAL
755 SANTA RITA	30'		SANTA RITA	SINGLE ONE	17'+-	SHINGLE SIDING WOOD SHAKE	RANCH
779 SANTA RITA	40'		SANTA RITA	ONE	17'+-	WOOD SIDING SHAKE ROOF	RANCH
366 W. PORTOLA	30'+-		SANTA RITA	ONE	17'+-	STUCCO COMPOSITION ROOF	RANCH
780 LOS AUTOS AVE	25'		LOS AUTOS	ONE	17'+-	SIDING WOOD COMPOSITION	RANCH
772 LOS AUTOS	25'		LOS AUTOS	ONE	17'+-	COMPOSITION	RANCH
764	25'		LOS AUTOS	ONE	17'+-	COMPOSITION	RANCH
754	25'		LOS AUTOS	ONE	17'+-	COMPOSITION	RANCH

ATTACHMENT C AREA MAP



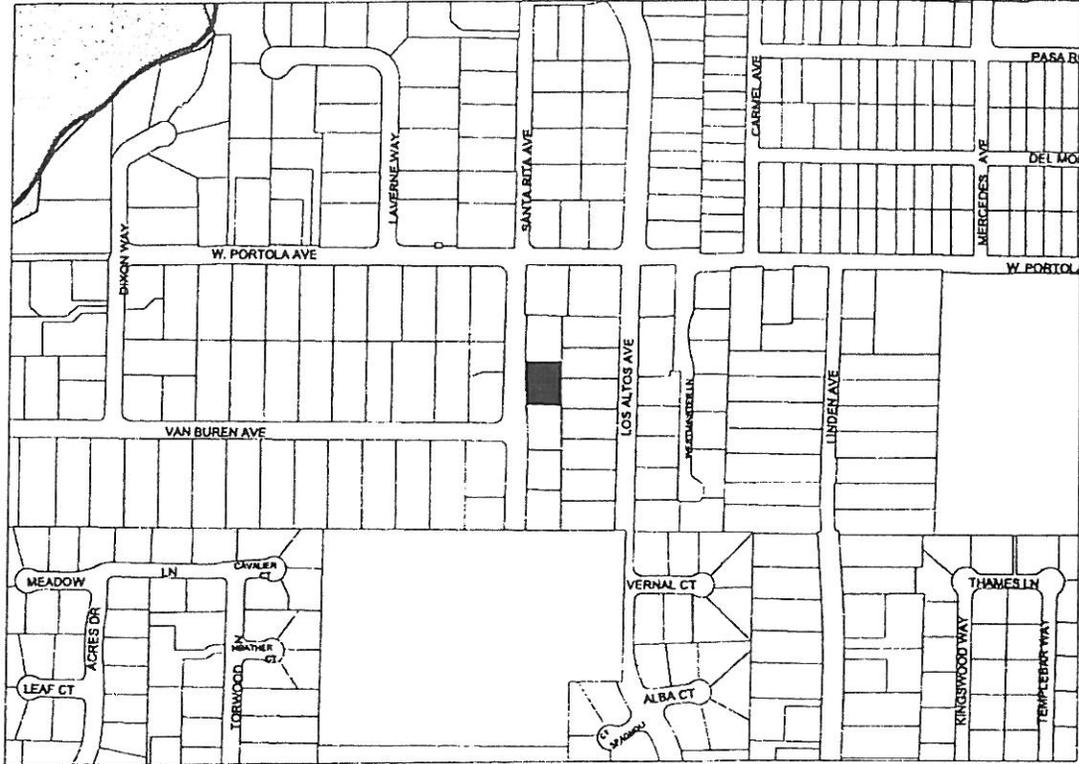
CITY OF LOS ALTOS

APPLICATION: 13-SC-16
APPLICANT: E. Ganitsky
SITE ADDRESS: 767 Santa Rita Avenue

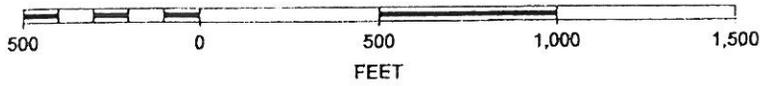


Not to Scale

VICINITY MAP



SCALE 1 : 6,000



CITY OF LOS ALTOS

APPLICATION: 13-SC-16
APPLICANT: E. Ganitsky
SITE ADDRESS: 767 Santa Rita Avenue



ATTACHMENT D

DATE: December 18, 2013

AGENDA ITEM # 2

TO: Design Review Commission
FROM: Sean K. Gallegos, Assistant Planner
SUBJECT: 13-SC-16 – 767 Santa Rita Avenue

RECOMMENDATION:

Consider the revised design review application 13-SC-16 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a reconsideration of a design review application for a new two-story, single-family house. The project will demolish an existing one story house and accessory structure and construct a new house with 2,528 square feet on the first story and 1,471 square feet on the second story. The following table summarizes the project:

GENERAL PLAN DESIGNATION:	Single-family, Residential
ZONING:	R1-10
PARCEL SIZE:	12,500 square feet
MATERIALS:	Composite shingle and copper roof, horizontal wood lap siding, wood trim, aluminum wood clad windows and doors, and painted wood garage doors

	Existing	Proposed	Allowed/Required
LOT COVERAGE:	2,754 square feet	3,631 square feet	3,750 square feet
FLOOR AREA:			
First floor	2,663 square feet	2,528 square feet	
Second floor		1,471 square feet	
Total	2,663 square feet	3,999 square feet	4,000 square feet
SETBACKS:			
Front	31 feet	25 feet	25 feet
Rear	38 feet	25 feet	25 feet
Right side	36 feet	20 feet/36 feet	10 feet/17.5 feet
Left side	13 feet	15 feet/27 feet	10 feet/17.5 feet
HEIGHT:	None	27 feet	27 feet

BACKGROUND

On September 18 2013, the Design Review Commission held a public meeting to consider the proposed project. The Commission heard neighbor concerns about the project's scale, compatibility and privacy impacts from the rear windows and balcony. Following the discussion, the Commission voted unanimously to continue the application and directed the applicant to address the following issues:

- Re-consider window design and reduce the privacy impacts toward the rear;
- Reduce bulk of the rear elevation; and
- Reduce the privacy impacts from the balcony.

The prior memorandum to the Commission and meeting minutes are attached for reference. For reference and comparison, the plans that were originally reviewed by the Commission on September 18, 2013 are also included with this report (Attachment D and E).

DISCUSSION

In response to the Commission's action, the applicant revised the design of the proposed house. The design changes include modifying the gable roof along the right and rear elevation to a hip roof. The new hipped roof reduces the profile and bulk of the roof. Additionally, the rear patio has been extended a few feet toward the rear property line, which provides a visual reduction of the bulk of the upper floor. While the overall height of the house was not reduced, many of the elements, such as the second story hipped roof forms on the rear elevation and the revised porch element work to improve the design. These changes have reduced the overall bulk of the structure as viewed from the rear.

To alleviate the privacy concerns, the large second story windows facing the rear yard were replaced with high-sill windows. In addition, the second story balcony has been lowered by nearly one foot, which creates a balcony recessed within the roof form and surrounded with solid walls, instead of an open railing. This design combined with a rear facing privacy railing of three feet, nine inches, and a side facing wing wall with a height of five foot, nine inches, effectively minimizes privacy impacts to the south and the east neighboring properties. In addition, the landscape plans has been modified to retain a redwood tree along the rear (east) property line and incorporates numerous screening plants along the north, south, and east property lines to mitigate additional privacy impacts.

The adjacent structures plan sheet was revised to indicate the relative location of the neighboring properties and the subject site. These plan modifications show the increased distance from project site to the neighboring properties, which reduces the effect of bulk and privacy impacts. Overall, the proposed design has incorporated substantial changes to address the Commission's comments. Based upon these changes, staff has prepared positive design review findings and conditions of approval for the Commission's consideration.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15303 of the Environmental Quality Act because it involves the construction of a single-family land use.

Cc: Enrique Gantisky, Applicant/Owner

Attachments:

- A. Application
- B. Neighborhood Compatibility Worksheet
- C. Area Map and Vicinity Map
- D. Memorandum to the DRC Commission and Meeting Minutes, September 18, 2013
- E. Original Site Plan, Floor Plans and Elevations, September 3, 2013
- F. Design Review Comment Letter from Applicant, December 3, 2013

FINDINGS

13-SC-16—767 Santa Rita Avenue

1. With regard to design review for the two-story structure, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:
 - a. The proposed structure complies with all provision of this chapter;
 - b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
 - c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
 - d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk;
 - e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
 - f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

13-SC-16—767 Santa Rita Avenue

1. The approval is based on the plans received on December 6, 2013 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. An encroachment permit must be issued from the Engineering Division prior to doing any work within the public street right-of-way.
3. Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.
4. Provide a fast growing evergreen landscape screening trees along the side and rear property lines to the rear of the structure. As shown on the plans, the screening trees shall be a minimum of 15 gallon in size.
5. All proposed privacy screening trees along the left, right, and rear property lines and the proposed Oak street in the semicircular driveway, as shown on the landscape plan are protected under this application and cannot be removed without a tree removal permit from the Community Development Director.
6. **Prior to the issuance of a demolition permit, install tree protection fencing around the dripline, or as required by the project arborist, of the following trees (Nos. 1-7) as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground. The tree protection fencing shall not be removed until the building permit is ready for final.**
7. **Prior to zoning clearance, the project plans shall contain/show:**
 - a. The conditions of approval shall be incorporated into the title page of the plans.
 - b. On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground." **The tree protection fencing shall be installed prior to issuance of the demolition permit and shall not be removed until all building construction has been completed.**
 - c. Provide a landscape plan prepared by a licensed landscape professional showing how the plans comply with the City's Water Efficient Landscape Regulations (LAMC Chapter 12.36).
 - d. Verification that the house will comply with the City's Green Building Standards (Section 12.26 of the Municipal Code) from a Qualified Green building Professional.
 - e. Fire sprinklers to be installed pursuant to Section 12.10 of the Municipal Code.

- f. The location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches should avoid the drip-lines of all protected trees.
 - g. The location of any air conditioning equipment on the site plan and the sound rating for such equipment.
 - h. Show the measures to comply with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).
8. **Prior to final inspection:**
- a. All front yard landscaping and privacy screening shall be maintained and/or installed as required by the Planning Division.
 - b. Submit verification that the house was built in compliance with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code.

MINUTES OF A REGULAR MEETING OF THE DESIGN REVIEW COMMISSION
OF THE CITY OF LOS ALTOS, HELD ON WEDNESDAY, DECEMBER 18, 2013,
BEGINNING AT 7:00 P.M. AT LOS ALTOS CITY HALL, ONE NORTH SAN
ANTONIO ROAD, LOS ALTOS, CALIFORNIA

ESTABLISH QUORUM

ALL PRESENT: Chair WHEELER, Vice-Chair FARRELL and Commissioners MEADOWS,
BLOCKHUS and KIRIK

STAFF: Planning Services Manager KORNFIELD and Assistant Planners DAVIS and
GALLEGOS

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Design Review Commission Minutes**
Approve minutes of the regular meeting of December 4, 2013

MOTION by Commissioner MEADOWS, seconded by Commissioner BLOCKHUS, to approve the minutes of the December 4, 2013 regular meeting as-amended.

THE MOTION CARRIED UNANIMOUSLY.

PUBLIC HEARING

2. **13-V-16 – M. Kornei – 789 Manor Way**
Variance to allow basement projections beyond the footprint of the main structure. *Project Planner: Kornfield*

Planning Services Manager KORNFIELD presented the staff report, recommending denial of variance application 13-V-16 subject to the listed findings.

The property owner's son, Mark Kornei, stated that they were intending to make the space more livable, not substantially increase its size. He said that the intent to allow more light, was not brought to their attention as an issue during the inspection process. There was no other public comment.

The Commission discussed the project and expressed their opposition.

MOTION by Commissioner MEADOWS, seconded by Vice-Chair FARRELL, to deny variance application 13-V-16, per the staff report findings.

THE MOTION CARRIED UNANIMOUSLY.

DISCUSSION

3. 13-SC-16 – E. Ganitsky – 767 Santa Rita Avenue

Reconsideration of design review for a new, two-story house. The project includes 2,528 square feet on the first floor and 1,471 square feet on the second floor. *Project Planner: Gallegos*

Assistant Planner GALLEGOS presented the staff report, recommending consideration of the revised design review application 13-SC-16 subject to the listed findings and conditions. He outlined the prior DRC recommendations, summarized the proposed changes, and recommended moderate screening with regard to the neighbor's concerns.

The project designer, Dave Houland, summarized the bulk reducing changes to the roof and balcony and stated that it was a better design now with privacy improved too. Resident Kathy Bridgeman, the Realtor representing the owner, spoke in support of the project. Neighbor Jon Jacob stated that some of the issues were addressed, but the design remains incompatible with the one-story context, size is too big, and privacy impacts remain. There was no other public comment.

The Commission discussed the project and expressed their general support for the design changes, encouraged more moderate landscape, and opposed the balcony.

MOTION by Commissioner KIRIK, seconded by Commissioner MEADOWS, to approve design review application 13-SC-16 per the staff report findings and conditions, with the following additional condition:

- Modify condition No. 4 to omit the Italian Cypress and provide moderate height trees.
- Remove the balcony.

THE MOTION PASSED BY A 4/1 VOTE, WITH COMMISSIONER FARRELL OPPOSED.

4. 13-SC-25 – H. Balazadeh – 766 Raymundo Avenue

Design Review for a new, two-story house. The project includes 2,819 square feet on the first story and 1,661 square feet on the second story. *Project Planner: Davis*

Assistant Planner DAVIS presented the staff report, recommending continuance of design review application 13-SC-25 subject to the listed recommended direction. She summarized the direction to: increase the front yard setback, reduce the width and setback for the second story, reduce the entry element, window changes to improve privacy, improve the landscape plan, and provide a more comprehensive arborist report.

Property owner, Nick Tellado, stated that the three block area of Arroyo Road, Vista Grande, and Raymundo Avenue have larger homes and lots, the two immediate neighbors support the project on the east and west sides, and wants all the bedrooms on one floor. He said that he could increase the front yard setback per staff and increase some sills, but wants lower sills at the front elevation.

Neighbors Charles Baker, John McBirney, Trinkia Dyer, Emily Wu and Nancy Ellickson spoke in opposition to the project design with the following concerns: the house violates the CC&R's and is out of character with the rest of the neighborhood; and the project needs to respect the front yard setback of 40 feet and move the house back 15 feet to keep a consistent character. Neighbor Curt Flory spoke in support of the project. There was no other public comment.

The Commission discussed the project and expressed their design and setback concerns.

MOTION by Commissioner BLOCKHUS, seconded by Commissioner KIRIK, to continue design review application 13-SC-25 per the staff report recommended direction.
THE MOTION CARRIED UNANIMOUSLY.

5. **13-SC-31 – J. and D. James – 428 Traverso Avenue**

Design review for a new, two-story house. The project includes 2,384 square feet on the first story and 1,195 square feet on the second story. *Project Planner: Davis*

Assistant Planner DAVIS presented the staff report, recommending approval of design review application 13-SC-31 subject to the listed findings and conditions and highlighted the conditions of approval with the landscape changes.

The project architect, Andrew Young, stated that he worked with staff on the design concerns and changed the plans to respect both rear yards.

Neighbors Sheri and Tom Blaisdell spoke in opposition to the design stating concerns with their views being affected and privacy impacts. There was no other public comment.

The Commission discussed the project and expressed their general support, because although the neighbor's views are impacted, the design meets code and privacy is maintained with a 60-foot rear yard setback and landscape screening.

MOTION by Commissioner MEADOWS, seconded by Vice-Chair FARRELL, to approve design review application 13-SC-31 per the staff report findings and conditions.
THE MOTION CARRIED UNANIMOUSLY.

COMMISSIONERS' REPORTS AND COMMENTS

None.

POTENTIAL FUTURE AGENDA ITEMS

None.

ADJOURNMENT

Chair WHEELER adjourned the meeting at 9:00 PM.

David Kornfield, AICP
Planning Services Manager



Community Development Department

One North San Antonio Road
Los Altos, California 94022-3087

January 13, 2014

Enrique Ganitsky
120 Plum Court
Mountain View, CA 94043

SECTION I

At its December 18, 2013 meeting, the Design Review Commission held a public meeting to consider application 13-SC-16 from E. Ganitsky for a new, two-story house. The project includes 2,528 square feet on the first floor and 1,471 square feet on the second floor.

Project Address: 767 Santa Rita Avenue

SECTION II

Your application was presented to the Design Review Commission on the above date and was:

- ✓ **Approved:** Prior to submittal for Building permits, applicant shall submit to the Planning Division staff four (4) sets of complete construction plans incorporating the Conditions of Approval into the title page.
- ✓ **Conditions:** See Attachment
- ✓ **Other agency comments:** Santa Clara County Fire Department
- ✓ **Enclosures:** Notice of Building Permit Processing, Demolition Permit Materials & Instructions, 2013 CALGreen Residential Checklist Mandatory Items, Submittal Requirements for a Building Permit, and Residential Plan Check Application

CC: Dave Haugland
AHJ Engineers, PC
5418 N. Eagle Road, #140
Boise, ID 83713

City of Los Altos
Building Division

Sean Gallegos
Assistant Planner



CONDITIONS

13-SC-16—767 Santa Rita Avenue

CONDITIONS

1. The approval is based on the plans received on December 6, 2013 and the written application materials provided by the applicant, except as may be modified by these conditions.
2. An encroachment permit must be issued from the Engineering Division prior to doing any work within the public street right-of-way.
3. Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.
4. The landscape plan shall be revised to provide for the removal of the proposed Italian Cypress trees, and the incorporation of a moderate height landscape screening trees along the side and rear property lines to the rear of the structure. As shown on the plans, the screening trees shall be a minimum of 15 gallon in size.
5. All proposed privacy screening trees along the left, right, and rear property lines and the proposed Oak street in the semicircular driveway, as shown on the landscape plan are protected under this application and cannot be removed without a tree removal permit from the Community Development Director.
6. The design shall be revised to eliminate the master bedroom's second floor balcony.
7. **Prior to the issuance of a demolition permit**, install tree protection fencing around the dripline, or as required by the project arborist, of the following trees (Nos. 1-7) as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground. **The tree protection fencing shall not be removed until the building permit is ready for final.**
8. **Prior to zoning clearance, the project plans shall contain/show:**
 - a. The conditions of approval shall be incorporated into the title page of the plans.
 - b. On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground." **The tree protection fencing shall be installed prior to issuance of the demolition permit and shall not be removed until all building construction has been completed.**
 - c. Provide a landscape plan prepared by a licensed landscape professional showing how the plans comply with the City's Water Efficient Landscape Regulations (LAMC Chapter 12.36).
 - d. Verification that the house will comply with the City's Green Building Standards (Section 12.26 of the Municipal Code) from a Qualified Green building Professional.

- e. Fire sprinklers to be installed pursuant to Section 12.10 of the Municipal Code.
- f. The location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches should avoid the drip-lines of all protected trees.
- g. The location of any air conditioning equipment on the site plan and the sound rating for such equipment.
- h. Show the measures to comply with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

9. **Prior to final inspection:**

- a. All front yard landscaping and privacy screening shall be maintained and/or installed as required by the Planning Division.
- b. Submit verification that the house was built in compliance with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code.

DESIGN REVIEW DOCUMENTS FOR A NEW RESIDENCE 767 SANTA RITA AVE.- LOS ALTOS, CA



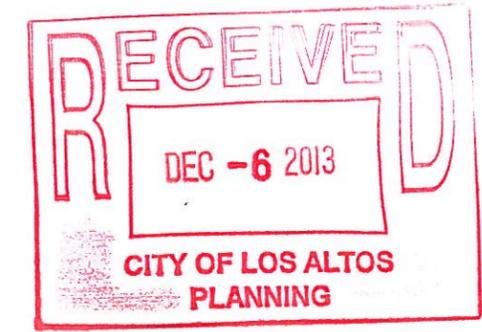
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AHJ ENGINEERS, PC
STRUCTURAL CONSULTANTS

5418 N. Eagle Road #140, Boise, ID 83713 p 208-325-0199 f 208-375-5251
www.ahjengineers.com
ahj@ahjengineers.com



REVISIONS



767 SANTA RITA AVENUE
NEW RESIDENCE
OWNER: ENRIQUE'S VENTURES
120 PLUM CT. MTN VIEW, CA 94043

JOB NO: 13031.00
DATE: 10/14/2013
DRN. BY: G.V.
CHKD. BY: D.H.

A0.1
GENERAL INFORMATION

CONDITIONS OF APPROVAL

1 TO BE DETERMINED

PROJECT INFORMATION

OWNER: ENRIQUE'S VENTURES
120 PLUM COURT MOUNTAIN VIEW, CA 94043
PHONE: (850) 255-9278
DESIGNER: AHJ ENGINEERS, P.C. 5418 N. EAGLE RD. #140 BOISE, ID 83713
PHONE: (208) 325-0199
PROJECT ADDRESS: 767 SANTA RITA AVENUE, LOS ALTOS, CA 94022
CROSS STREET: VAN BUREN
CITY OF LOS ALTOS JURISDICTION
PLANNING DIVISION - (650) 947-2640
BUILDING DIVISION - (650) 947-2152
BUILDING DATA: R3 AND U OCCUPANCY, Y-B CONSTRUCTION
BUILDING AREA: 3998 S.F. INCLUDES GARAGE
BUILDING CODE: THIS PROJECT SHALL COMPLY W/ THE 2010 CBC, CRC, CMC, CBC, CGBC, 2006 CEC ENERGY CODE AND LOCAL ORDINANCES

SCOPE OF PROJECT: THIS PROJECT INVOLVES THE COMPLETE DEMOLITION AND REMOVAL OF AN EXISTING RESIDENCE IN AN ESTABLISHED NEIGHBORHOOD A NEW RESIDENCE WILL BE CONSTRUCTED WHICH CONSIST OF A TWO STORY WITH ATTACHED GARAGE. THE HOUSE DESIGN IS DESCRIBED AS TRADITIONAL STYLE.
BUILDING DATA: R3 AND U OCCUPANCY, Y-B CONSTRUCTION, FIRST FLOOR 2078 SF, SECOND FLOOR 1464.4 SF GARAGE 451 SF, BUILDING CODE: 2010 CBC

1. FIRE SPRINKLERS: WHERE REQUIRED, APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES AND IN EXISTING MODIFIED BUILDINGS AND STRUCTURES, SHALL BE PROVIDED IN THE LOCATIONS DESCRIBED IN THIS SECTION, AND SHALL BE INSTALLED PER THE REQUIREMENTS OF CBC SECTIONS 903.2.1 THROUGH 903.2.1.3 AND LOCAL AMENDMENTS, WHICHEVER IS MORE RESTRICTIVE. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL NEW BUILDINGS. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE SANTA CLARA COUNTY FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK.

SHEET INDEX

COVER GENERAL INFORMATION	A0.1
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ADJACENT STRUCTURES PLAN	C1.4
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CAL GREEN MANDATORY MEASURES

THIS HOME WILL BE DESIGNED TO MEET THE CITY OF LOS ALTOS SUSTAINABILITY PROGRAM REQUIREMENTS ALL CAL GREEN POINT REQUIREMENTS WILL BE DOCUMENTED AND VERIFIED BY A CERTIFIED GREEN POINT RATER.

THE GENERAL CONTRACTOR AND EACH APPLICABLE SUBCONTRACTOR SHALL AGREE TO COORDINATE WITH THE OWNER/DEVELOPER IN PREPARING AN OPERATION AND MAINTENANCE MANUAL ADDRESSING THE FUNCTIONS OF ALL OF THE RESIDENCE'S SYSTEMS REQUIRED BY THE CITY OF LOS ALTOS.

BEFORE CONSTRUCTION BEGINS THE INFILTRATION TRENCHES AND SHAKES SHOWN IN THESE PLANS SHALL BE CONSTRUCTED TO DIRECT STORM WATER TO THE EAST, WEST AND NORTH SIDES OF THE PROPERTY TEMPORARY MEASURES MUST BE TAKEN TO ENSURE RUNOFF DOES NOT EXIT THE PROPERTY.

DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE RECYCLED OR SALVAGED AT A RATE OF 50% OF ALL MATERIAL LEAVING THE CONSTRUCTION SITE. PROVIDE DOCUMENTATION FROM REPUTABLE RECYCLING FACILITY.

PLUMBING FIXTURE MAXIMUM FLOW RATES

FIXTURE	MAX. FLOW
SHOWER HEADS (MULTIPLE HEADS NOT ALLOWED)	2 GPM AT 80PSI
LAUNDRY FAUCETS	1.5 GPM AT 60PSI
KITCHEN FAUCETS	1.8 GPM AT 60PSI
GRAVITY TANK TYPE WATER CLOSETS	1.28 GALLONS PER FLUSH

AUTOMATIC IRRIGATION CONTROLLERS MUST BE INSTALLED TO REGULATE WATER AT ALL LANDSCAPE AREAS. PROVIDE APPROVED WEATHER OR SOIL MOISTURE BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IN RESPONSE TO CHANGES IN PLANTS NEEDS, USING RAIN SENSORS OR A WEATHER DATA COMMUNICATIONS LINK.

JOINTS AND OPENINGS AROUND PIPES, CABLES, ETC. IN EXTERIOR WALLS SHALL BE SEALED WITH A CEMENTITIOUS MORTAR OR OTHER APPROVED DURABLE PRODUCT TO PREVENT RODENT INTRUSION.

ALL DUCT MATERIALS, HEATING AND COOLING EQUIPMENT AND OTHER AIR DISTRIBUTION COMPONENTS SHALL BE COVERED, TAPED OR OTHERWISE SEALED TO REDUCE THE POSSIBILITY OF DUST OR DEBRIS COLLECTING IN THEM.

ALL FINISH MATERIALS, (CARPET, MOF, ETC.) AS WELL AS GEL LIQUID AND SPRAY PRODUCTS TO BE USED IN THE CONSTRUCTION OF THE RESIDENCE SHALL MEET THE CITY MANDATED VOC AND FORMALDEHYDE LIMITS AND SHALL BE CAREFULLY DOCUMENTED IN A MANNER CONSISTENT WITH TABLES AND METHODS SPECIFIED BY THE CITY OF LOS ALTOS.

ALL FRAMING MEMBERS AND OTHER BUILDING MATERIALS MUST BE VERIFIED AND DOCUMENTED TO BE DRY TO A MOISTURE CONTENT OF LESS THAN 16% BEFORE RECEIVING APPROVAL TO COVER. WATER DAMAGED MATERIALS MUST NOT BE USED.

ALL BATHROOMS MUST HAVE AN ENERGY STAR COMPLIANT EXHAUST FAN DUCTED TO THE OUTSIDE AND BE CONTROLLED BY A HUMIDISTAT WITH RELATIVE HUMIDITY RANGE CONTROL OF 50 TO 80 PERCENT.

HVAC SYSTEMS AND DUCTWORK SHALL BE SIZED AND SELECTED ACCORDING TO ACCA MANUAL J, D OR S. HVAC INSTALLERS MUST BE TRAINED AND CERTIFIED BY A NATIONALLY RECOGNIZED CERTIFICATION PROGRAM.

ALL CAL GREEN MANDATORY MEASURES MUST BE INSPECTED AND DOCUMENTED BY AN APPROVED RATER, ACCEPTABLE TO THE CITY OF LOS ALTOS.

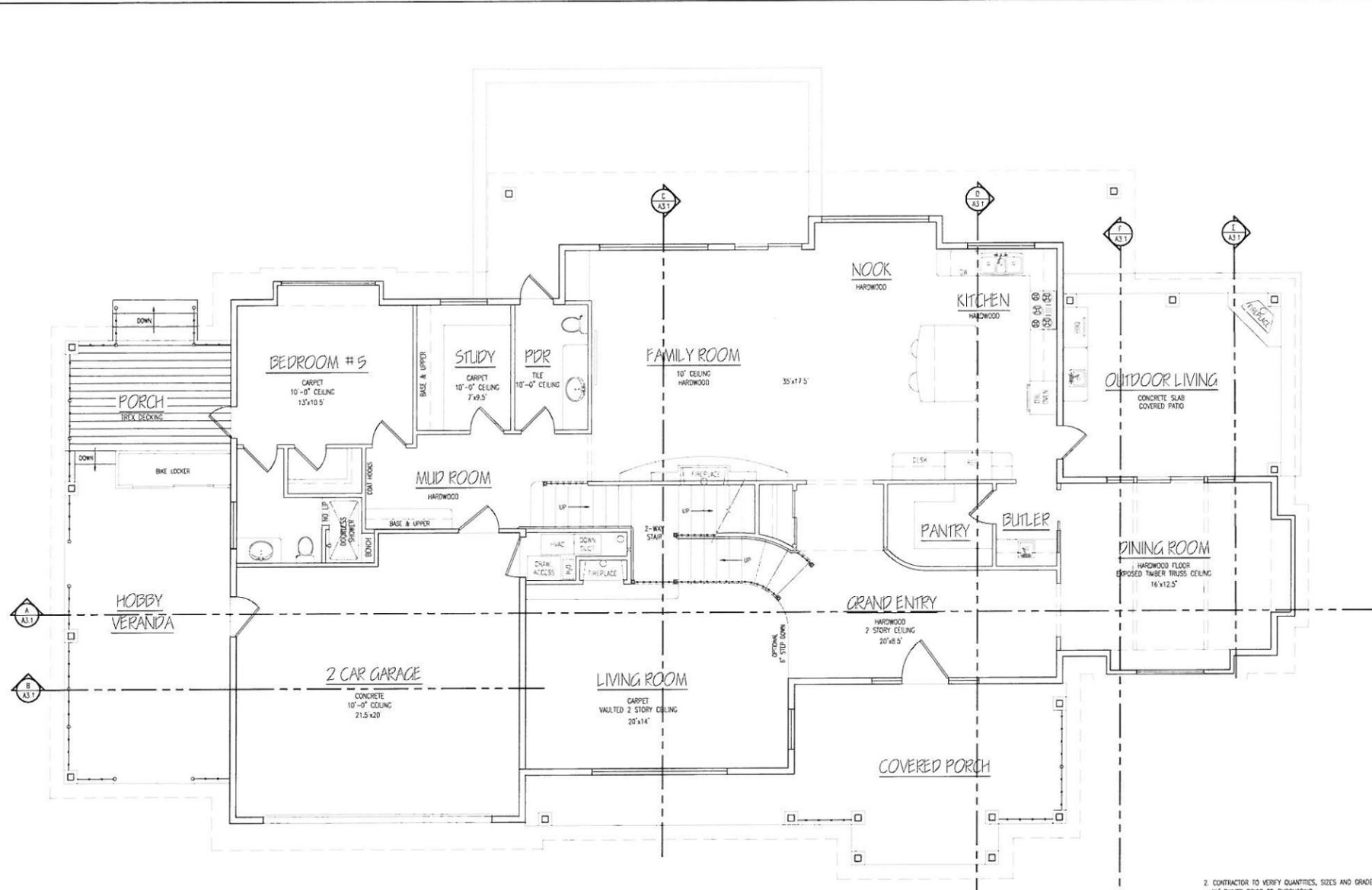
AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OWNER.

NET LOT AREA	12,500 S.F.		
	EXISTING S.F.	CHANGE IN S.F.	TOTAL PROPOSED S.F.
% OF FRONT YARD PAVING	2200.0 (49.2%)	-410.6 (-9.1%)	1789.4 (40.2%)
HABITABLE LIVING AREA	2322.0	+1230.3	3552.3
NON-HABITABLE AREA (GARAGE)	400.0	+47.3	447.3 S.F.

	EXISTING S.F.	PROPOSED S.F.	ALLOWED S.F.
LOT COVERAGE	2754 (22.0%)	3630.5 (29.0%)	3750.0 (30%)
FLOOR AREA	2652 (21.6%)	3099.6 (24.8%)	4000 (32.0%)

ENTIRE LOT	EXISTING S.F.	PROPOSED S.F.	---
SOFTSCAPE	7704.5	6612.6	---
HARDSCAPE INCLUDING STRUCTURE	5395.5	5887.4	---
TOTAL LOT AREA	12500 S.F.	12500 S.F.	---

SETBACKS	EXISTING	PROPOSED	REQUIRED
FRONT (NORTH)	30'	25'	25'
REAR (SOUTH)	36'	26'-9"	25'
RIGHT SIDE	8.8'	20'	10'
LEFT SIDE	24.3'	15'	10'
HEIGHT	<20'	26'-9"	<27'



PLAN NOTES

1. ALL EXTERIOR STUDS ARE TO BE 2x6 UNLESS OTHERWISE NOTED. ALL INTERIOR STUDS ARE TO BE 2x4 UNLESS OTHERWISE NOTED. STUDS ARE TO BE PLACED ON 24" CENTERS.
2. BASE MATERIAL BENEATH SHOWER PAN SHALL BE SLOPED TO DRAIN PER LIRC SECTION 410.5.
3. PROVIDE 5/8" M.P. DYP. BO AROUND ALL TUBS, SHOWERS, AND SPAS.
4. CYPRESUM BOARD USED AS A BASE FOR TILE/MARBLE AT THE SHOWERS AND TUBS SHALL BE MOISTURE-RESISTANT.
5. VENT EXTERIOR AND ALL FANS TO OUTSIDE AIR THRU VENT W/DAMPER.
6. SHOWERS AND TUBS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBANT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. OTHER THAN STRUCTURAL MATERIALS SHALL BE MOISTURE RESISTANT.
7. ALL EXTERIOR STUD WALLS ARE TO RECEIVE FULL BATT INSULATION. SHIM SPACES BETWEEN THE LAST "STUD" AND THE WINDOW OR DOOR FRAMES, I.E. THE ROUGH OPENING SPACE, SHALL BE INSULATED COMPLETELY. USE INSULATION WITH PROPER R-VALUE RATINGS AS REQUIRED BY THE CITY AND/OR THE TITLE 24 REPORT, FOR FLOORS, WALLS, AND CEILING.
8. PROVIDE ACOUSTICAL INSULATION AT ALL WALLS SURROUNDING BATHROOMS, POWDER ROOM, LAUNDRY ROOM AND OTHER MECHANICAL AND LIVING SPACES AND IN FLOOR.
9. FINISH FLOOR" REFERS TO THE TOP OF THE STRUCTURAL DECK (FLOOR FINWOOD).
10. WHERE FINISH MATERIALS APPLY A PATTERN, SUCH PATTERNS SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
11. ALL WOODWORK, WHETHER PAINTED OR STAINED, TO BE EQUAL TO PREMIUM GRADE SECTION OF ANI MANUAL.
12. NOTE THAT THESE PLANS AS DRAWN ARE SPECIFIC, NOT GENERIC. DIMENSIONAL OR OTHER CHANGES ARE NOT TO BE MADE TO ELEMENTS OF THESE PLANS WITHOUT PRIOR REVIEW WITH THE DESIGNER AND OWNER.
13. CONTRACTOR SHALL PROVIDE AN ON SITE DEBRIS CONTAINER FOR CONSTRUCTION AND OTHER JOBSITE WASTE FOR USE BY ALL SUB-TRADES. CLEAN-UP SHALL OCCUR ON A DAILY BASIS. NO TRASH SHALL BE ALLOWED TO ACCUMULATE OUTSIDE OF THE TRASH CONTAINER.
14. NECESSARY HEAVY EQUIPMENT/MACHINERY SHALL BE ALLOWED TO REMAIN ON SITE THROUGHOUT THE COURSE OF CONSTRUCTION, BUT SHALL BE POSITIONED TO ALLOW THE OWNER ACCESS.
15. LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 36".
16. NO WOOD BURNING PREPLACES ALLOWED ON THIS PROJECT.
17. KITCHEN AND BATH CABINETS SHALL BE 22" DEEP AND 36" TALL.

WINDOW NOTES

1. LEGEND: A-awning casement
C-casement
F-fixed
V-VELUX FLAT GLASS SKYLIGHT, WPWD ER-0199, SEE ROOF PLAN ALSO FOR ORDERING.
2. CONTRACTOR TO VERIFY QUANTITIES, SIZES AND GRADES W/ OWNER PRIOR TO PURCHASING.
3. SEE MTR. RECOMMENDATIONS FOR ROUGH OPENING SIZES.
4. TEMPERED SAFETY GLASS IS REQUIRED WHERE GLASS IS WITHIN 18" OF FLOOR AND BATHROOMS, OR 24" OF DOORS. A PERMANENT LABEL PER CBC 2406.2 SHALL IDENTIFY EA. LIFE OF SAFETY GLAZING.
5. EGRESS WINDOWS SHALL HAVE A NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. THE MIN. OPERABLE HEIGHT SHALL BE 24" AND WIDTH SHALL BE 20". THE FINISHED SILL HEIGHT SHALL BE NO MORE THAN 44" ABOVE THE FINISH FLOOR.
6. ALL OPERABLE FINES SHALL HAVE SOLAR INSECT SCREENS.
7. ALL GLAZING SHALL HAVE A U-FACTOR 0.71 NFR.
8. ALL WINDOWS TO HAVE ROLL DOWN SHADES OR EQUIVALENT SHADING DEVICES PER TITLE-24 REQUIREMENTS.
9. "1026" - DENOTES SIZE IN FEET AND INCHES (7'-0" WIDE X2'-6" TALL).

CAL GREEN MANDATORY MEASURES

PLUMBING FIXTURE MAXIMUM FLOW RATES

FIXTURE	MAX. FLOW
SHOWER HEADS (MULTIPLE HEADS NOT ALLOWED)	2.0 gpm @ 80psi
LAVATORY FAUCETS	1.2 gpm @ 60psi
KITCHEN FAUCETS	1.8 gpm @ 60psi
GRAVITY TANK TYPE WATER CLOSETS	1.28 gallons per flush

AUTOMATIC IRRIGATION CONTROLLERS MUST BE INSTALLED TO REGULATE WATERING AT ALL LANDSCAPE AREAS. PROVIDE APPROVED WEATHER OR SOIL MOISTURE BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IN RESPONSE TO CHANGES IN PLANTS' NEEDS, USING RAIN SENSORS OR A WEATHER DATA COMMUNICATIONS LINK.

JOINTS AND OPENINGS AROUND PIPES, CHIMNEYS, ETC. IN EXTERIOR WALLS SHALL BE SEALED WITH A CEMENTITIOUS MORTAR OR OTHER APPROVED DURABLE PRODUCT TO PREVENT RODENT INTRUSION.

ALL FINISH MATERIALS, (CARPET, WDF, ETC.) AS WELL AS GEL, LIQUID AND SPRAY PRODUCTS TO BE USED IN THE CONSTRUCTION OF THE RESIDENCE SHALL MEET THE CITY MANDATED VOC AND FORMALDEHYDE LIMITS AND SHALL BE CAREFULLY DOCUMENTED IN A MANNER CONSISTENT WITH TABLES AND METHODS SPECIFIED BY THE CITY OF LOS ALTOS.

ALL FINISH MATERIALS AND OTHER BUILDING MATERIALS MUST BE VERIFIED AND DOCUMENTED TO BE DRY TO A MOISTURE CONTENT OF LESS THAN 15% BEFORE RECEIVING APPROVAL TO COVER. WATER DAMAGED MATERIALS MUST NOT BE USED.

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www.ahjengineers.com
ahj@ahjengineers.com



REVISIONS

NO.	DESCRIPTION

767 SANTA RITA AVENUE
NEW RESIDENCE
OWNER: ENRIQUE'S VENTURES
120 PLUM CT. MTN VIEW, CA 94043

JOB NO: 13031.00
DATE: 10/14/2013
DRN. BY: G.V.
CHKD. BY: D.H.

A1.1
DETAILED
FLOOR PLAN

INSULATION SCHEDULE

LOCATION	TYPE	MIN. R-VALUE
2x6 EXTERIOR WALLS	FIBERGLASS BATTS	R-19
2x4 INTERIOR WALLS	SOUND BATTS	R-11
FRAMED FLOORS ABOVE DRAIN SPACE	FIBERGLASS BATTS	R-30
ROOF, TYP. ABOVE CEILING	BLOWN-IN	R-30

1. OTHER INSULATION TYPES ARE POSSIBLE BUT MAY AFFECT COMPLIANCE WITH THE TITLE 24 ANALYSIS AND REQUIRE RECALCULATION AND CITY APPROVAL.

FLOOR AREA TOTALS

HOUSE (1ST+2ND, 2ND+1271.1)	3552.3 S.F.
GARAGE	447.3 S.F.
TOTAL	3999.6 S.F.
TOTAL ALLOWED	4000 S.F.

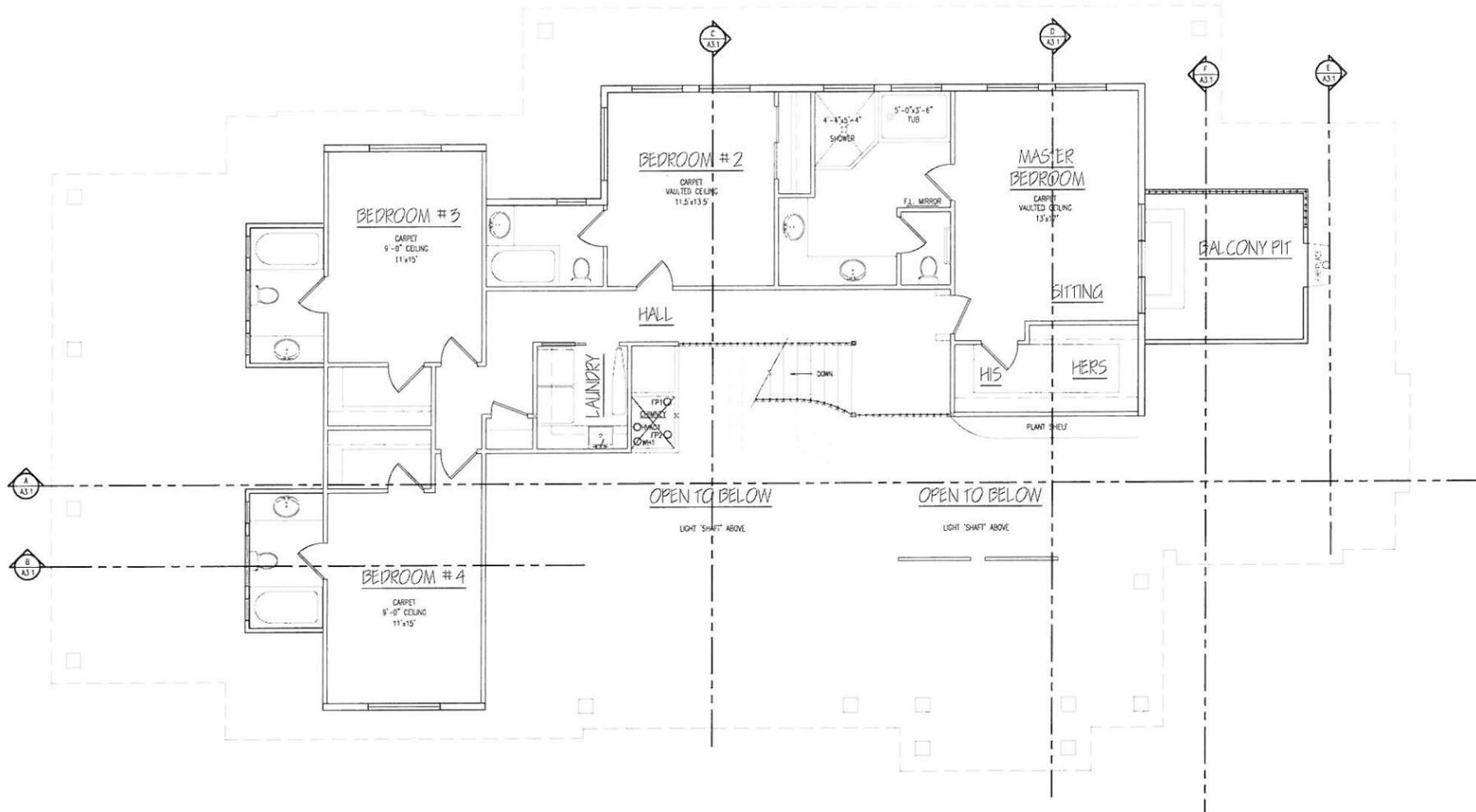
UNDERFLOOR VENTING REQUIREMENTS

AREA REQUIRED = 1/150 X 4000 = 26.7 S.F. PROVIDE (48) 6" x 16" FOUNDATION VENTS W/ 1/8" MESH AND 1/4" MAXIMUM NON-CORROSIVE MESH WHICH HAS 84 S.I. OF FREE AREA MINIMUM. INSTALL UNIFORMLY IN ALL CRAWLSPACE FOUNDATION WALLS, BUT NOT MORE THAN 6' FROM ANY CORNER. THIS EQUALS 84 X 48/144 = 28.0 S.F. PROVIDED WHICH IS GREATER THAN 26.7 S.F. REQUIRED SEE FOUNDATION PLAN S1.1 FOR LOCATIONS.

FLOOR PLAN

1/4" = 1'-0"





PLAN NOTES

1. ALL EXTERIOR STUDS ARE TO BE 2x6 UNLESS OTHERWISE NOTED. ALL INTERIOR STUDS ARE TO BE 2x4 UNLESS OTHERWISE NOTED. STUDS ARE TO BE PLACED ON 24" CENTERS.
2. BASE MATERIAL, BENEATH SHOWER PAN SHALL BE SLOPED TO DRAIN PER UPC SECTION 410.5.
3. PROVIDE 5/8" M.R. DYP. ED AROUND ALL TUBS, SHOWERS, AND SPAS.
4. DYP/SUM BOARD USED AS A BASE FOR TILE/MARBLE AT THE SHOWERS AND TUBS SHALL BE MOISTURE-RESISTANT.
5. VENT DRYER AND ALL FANS TO OUTSIDE AIR THRU VENT W/DAMPNER.
6. SHOWERS AND TUBS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBANT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. OTHER THAN STRUCTURAL MATERIALS SHALL BE MOISTURE-RESISTANT.
7. ALL EXTERIOR STUD WALLS ARE TO RECEIVE FULL BATT INSULATION. SHM SPACES BETWEEN THE LAST "STUD" AND THE WINDOW OR DOOR FRAMES, I.E. THE ROUGH OPENING SPACE SHALL BE INSULATED COMPLETELY. USE INSULATION WITH PROPER R-VALUE RATINGS AS REQUIRED BY THE CITY, AND/OR THE TITLE 24 REPORT, FOR FLOORS, WALLS, AND CEILINGS.
8. PROVIDE ACOUSTICAL INSULATION AT ALL WALLS SURROUNDING BATHROOMS, POWDER ROOM, LAUNDRY ROOM AND BTHN. MECHANICAL AND LIVING SPACES AND IN FLOOR.
9. "FINISH FLOOR" REFERS TO THE TOP OF THE STRUCTURAL DECK (FLOOR PLYWOOD).
10. WHERE FINISH MATERIALS IMPLY A PATTERN, SUCH PATTERNS SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
11. ALL WOODWORK, WHETHER PAINTED OR STAINED, TO BE EQUAL TO PREMIUM GRADE SECTION OF JANI MANUAL.
12. NOTE THAT THESE PLANS AS DRAWN ARE SPECIFIC, NOT GENERIC, DIMENSIONAL OR OTHER CHANGES ARE NOT TO BE MADE TO ELEMENTS OF THESE PLANS WITHOUT PRIOR REVIEW WITH THE DESIGNER AND OWNER.
13. CONTRACTOR SHALL PROVIDE AN ON SITE DEBRIS CONTAINER FOR CONSTRUCTION AND OTHER JOBSITE WASTE FOR USE BY ALL SUB-TRADES. CLEAN-UP SHALL OCCUR ON A DAILY BASIS. NO TRASH SHALL BE ALLOWED TO ACCUMULATE OUTSIDE OF THE TRASH CONTAINER.
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16. NO WOOD BURNING FIREPLACES ALLOWED ON THIS PROJECT.
17. KITCHEN AND BATH CABINETS SHALL BE 22" DEEP AND 36" TALL.

WINDOW NOTES

1. LEGEND: A-CASING CASSETMENT
C-CASSETMENT
F-FIXED
V-VELUX FLAT GLASS SKYLIGHT, W/PO EB-0199, SEE ROOF PLAN ALSO.
2. CONTRACTOR TO VERIFY QUANTITIES, SIZES AND GRADES W/ OWNER PRIOR TO PURCHASING.
3. SEE MFR. RECOMMENDATIONS FOR ROUGH OPENING SIZES.
4. TEMPERED SAFETY GLASS IS REQUIRED WHERE GLASS IS WITHIN 18" OF FLOOR AND BATHUBS, OR 24" OF DOORS. A PERMANENT LABEL PER CBC 2406.2 SHALL IDENTIFY EA. LIFE OF SAFETY GLAZING.
5. EGRESS WINDOWS SHALL HAVE A NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. THE MIN. OPERABLE HEIGHT SHALL BE 24" AND WIDTH SHALL BE 20". THE FINISHED SILL HEIGHT SHALL BE NO MORE THAN 44" ABOVE THE FINISH FLOOR.
6. ALL OPERABLE FRAMES SHALL HAVE SQUARE INSECT SCREENS.
7. ALL GLAZING SHALL HAVE A U-FACTOR 0.71 NRC.
8. ALL WINDOWS TO HAVE ROLL DOWN SHADES OR EQUIVALENT SHADING DEVICES PER TITLE 24 REQUIREMENTS.
9. "1020" - DENOTES SIZE IN FEET AND INCHES (7'-0" WIDE x2'-0" TALL).

CAL GREEN MANDATORY MEASURES

PLUMBING FIXTURE MAXIMUM FLOW RATES

FIXTURE	MAX. FLOW
SHOWER HEADS (MULTIPLE HEADS NOT ALLOWED)	2.0 gpm @ 80psi
LAUNDRY FAUCETS	1.5 gpm @ 60psi
KITCHEN FAUCETS	1.5 gpm @ 60psi
GRAVITY TANK TYPE WATER CLOSETS	1.28 gpm @ 80psi

AUTOMATIC IRRIGATION CONTROLLERS MUST BE INSTALLED TO REGULATE WATERING AT ALL LANDSCAPE AREAS. PROVIDE APPROVED WEATHER OR SOIL MOISTURE BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IN RESPONSE TO CHANGES IN PLANTS' NEEDS, USING RAIN SENSORS OR A WEATHER DATA COMMUNICATIONS LINK.

JOINTS AND OPENINGS AROUND PIPES, CABLES, ETC. IN EXTERIOR WALLS SHALL BE SEALED WITH A CEMENTITIOUS MORTAR OR OTHER APPROVED DURABLE PRODUCT TO PREVENT RODENT INTRUSION.

ALL FINISH MATERIALS, (CARPET, MOG, ETC.) AS WELL AS OIL, LIQUID AND SPRAY PRODUCTS TO BE USED IN THE CONSTRUCTION OF THE RESIDENCE SHALL MEET THE CITY MANDATED VOC AND FORMALDEHYDE LIMITS AND SHALL BE CAREFULLY DOCUMENTED IN A MANNER CONSISTENT WITH TABLES AND METHODS SPECIFIED BY THE CITY OF LOS ALTOS.

ALL FRAMING MEMBERS AND OTHER BUILDING MATERIALS MUST BE VERIFIED AND DOCUMENTED TO BE DRY TO A MOISTURE CONTENT OF LESS THAN 19% BEFORE RECEIVING APPROVAL TO COVER. WATER DAMAGED MATERIALS MUST NOT BE USED.

INSULATION SCHEDULE

LOCATION	TYPE	MIN. R-VALUE
2x6 EXTERIOR WALLS	FIBERGLASS BATTS	R-19
2x4 INTERIOR WALLS	SOUND BATTS	R-11
FRAMED FLOORS ABOVE CSRM. SPACE	FIBERGLASS BATTS	R-30
ROOF, TYP. ABOVE CEILING	BLOWN-IN	R-30

FLOOR AREA TOTALS

HOUSE (1ST+2ND+2, 2ND+1271.1)	3502.3 S.F.
GARAGE	447.3 S.F.
TOTAL	3999.6 S.F.
TOTAL ALLOWED	4000 S.F.

1. OTHER INSULATION TYPES ARE POSSIBLE BUT MAY AFFECT COMPLIANCE WITH THE TITLE 24 ANALYSIS AND REQUIRE RECALCULATION AND CITY APPROVAL.

UNDERFLOOR VENTING REQUIREMENTS
 AREA REQUIRED = 1/150 X 4000 = 26.7 S.F. PROVIDE (46) 8" x 11" FOUNDATION VENTS 1/2" MINIMUM AND 1/4" MAXIMUM NON-CORROSIVE MESH, WHICH HAS 84 S.F. OF FREE AREA MINIMUM. INSTALL UNIFORMLY IN ALL CRACKSPACE FOUNDATION WALLS, BUT NOT MORE THAN 6" FROM ANY CORNER. THIS EQUALS 84 X 48/144 = 28.0 S.F. PROVIDED WHICH IS GREATER THAN 26.7 S.F. REQUIRED SEE FOUNDATION PLAN S1.1 FOR LOCATIONS.

UPPER LEVEL FLOOR PLAN
 1/4" = 1'-0"



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REVISIONS

NO.	DESCRIPTION

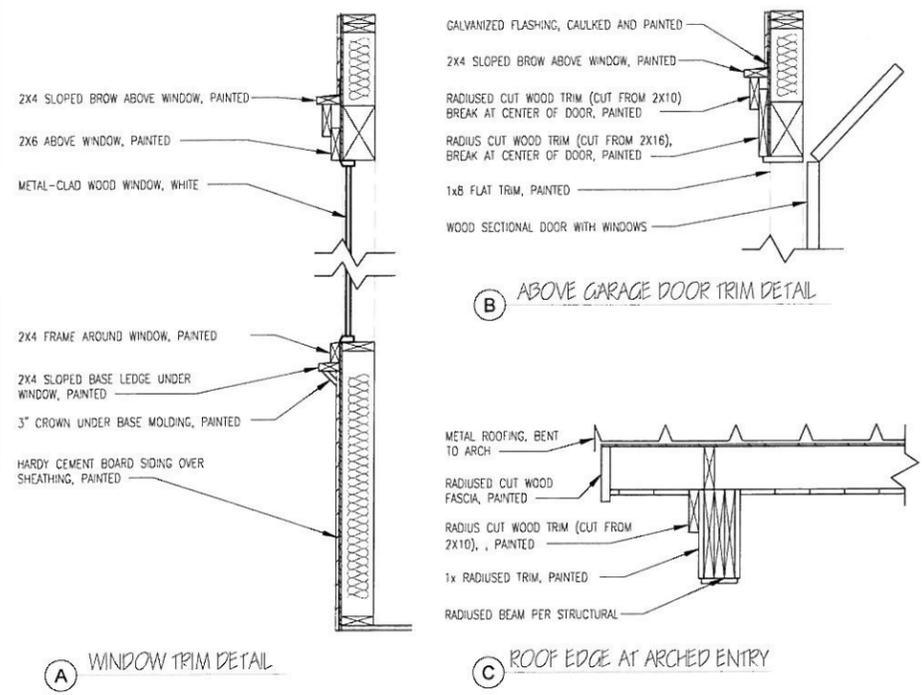
767 SANTA RITA AVENUE
NEW RESIDENCE
OWNER: ENRIQUE'S VENTURES
120 PLUM CT. MTN VIEW, CA 94043

JOB NO. 13031.00
 DATE: 10/14/2013
 DRN. BY: GY
 CHKD. BY: D.H.

A1.2
 DETAILED FLOOR PLAN



1 FRONT (WEST) ELEVATION
SCALE 1/4" = 1'-0"



2 LEFT (NORTH) ELEVATION
SCALE 1/4" = 1'-0"

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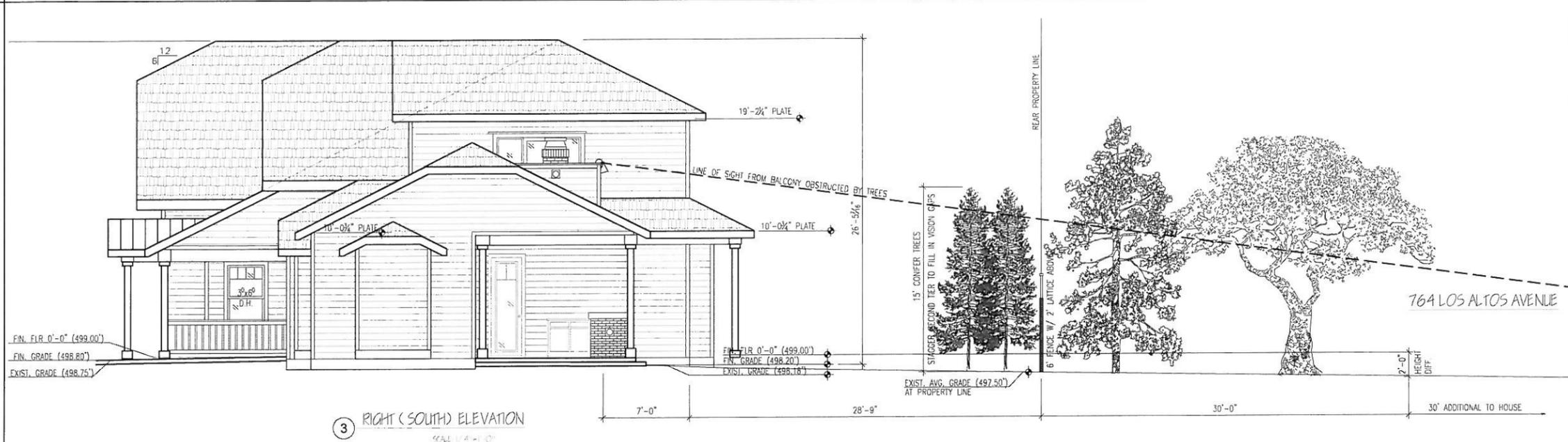


REVISIONS

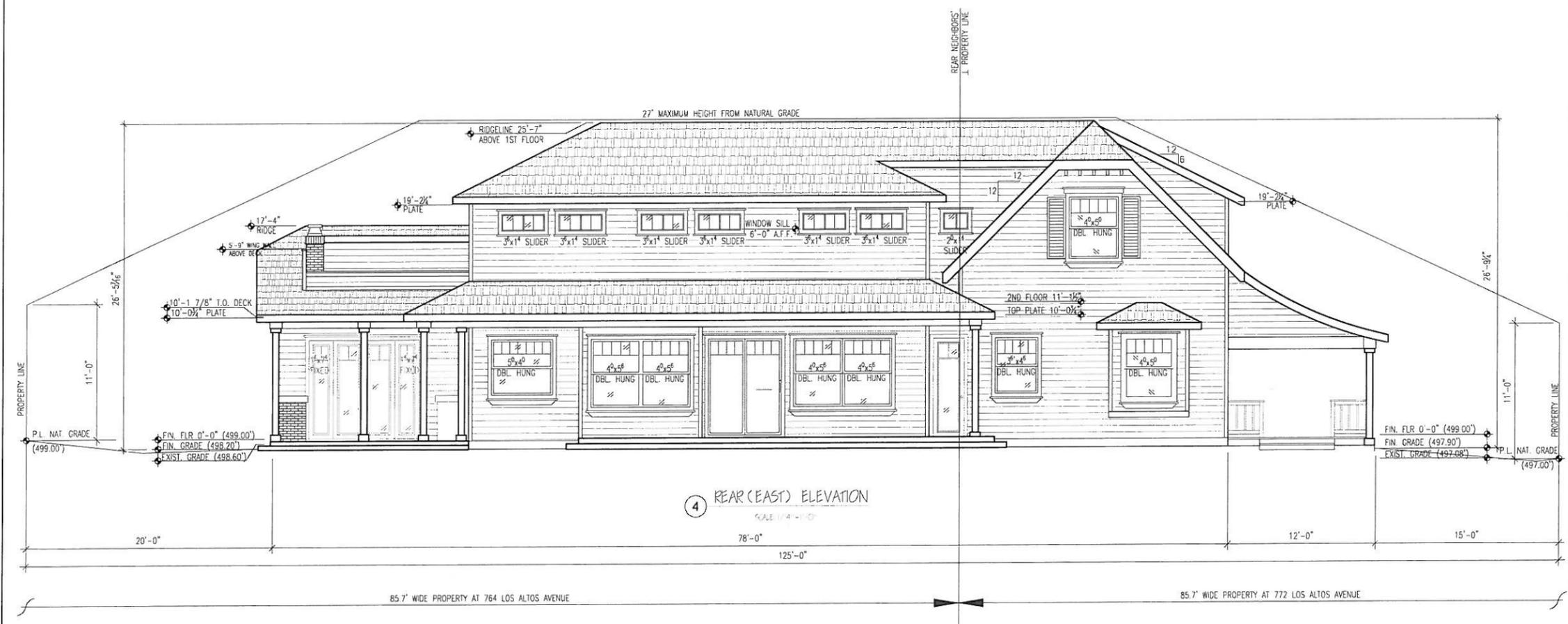
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DATE: 10/14/2013
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CHKD. BY: D.H.

A2.1
ELEVATIONS



3 RIGHT (SOUTH) ELEVATION
SCALE 1/4" = 1'-0"



4 REAR (EAST) ELEVATION
SCALE 1/4" = 1'-0"

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A2.2
ELEVATIONS

ATTACHMENT H

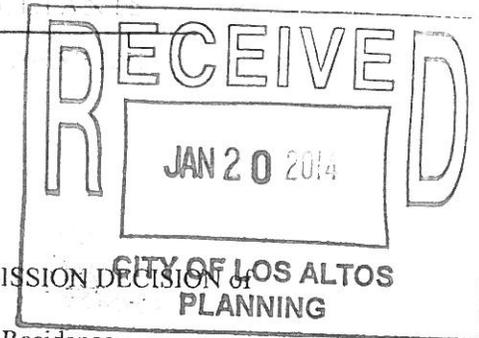


AHJ ENGINEERS, PC
STRUCTURAL CONSULTANTS

January 20, 2014

City of Los Altos
Planning Department & Design Review Commissioners
1 North San Antonio Road, Los Altos, California 94022

Subject: AMENDMENT REQUEST TO THE DESIGN REVIEW COMMISSION DECISION of
December 18, 2013 – 'APPROVED WITH CONDITIONS'
13-SC-16 E. Ganitsky - 767 Santa Rita Avenue – Proposed New Residence



Dear Design Review Commission, Sean Gallegos, City Planner et al:

The applicant of the subject project appreciates the Approval decision made on December 18, 2013. The conditions attached to it, however, were not desirable as it left minimal daylight and scant view of the yard for the owners to monitor and enjoy, not to mention egress limitations in case of emergency. A few procedural options were considered and the best decision for all parties seemed to be to redesign the upstairs to address all the concerns that have been brought to the applicant's attention.

Therefore new plans are being submitted as an Amendment to the previously submitted plans. The issues of a.) windows facing the rear neighbors, b.) the bulk and mass of the rear of the house and c.) the privacy issues associated with the balcony have been addressed in a more satisfactory fashion. It is hoped that this effort will constitute a mutually agreeable solution and a beneficial outcome for all community stakeholders will ensue.

The main features of the redesign are as follows:

- The center bedroom #2 has been moved from the rear of the house to the front to reduce windows and overall mass of the rear elevation of the home. The bedroom was able to be moved to the front without changing the front elevation at all. It has been tucked into the southwest gable which would have been a high vaulted ceiling for the entry. The entry now has a flat 10' ceiling and the bedroom utilizes the high gable window facing the street.
- The large balcony on the southeast corner, built into the roof, has been removed. A small passive use balcony has been incorporated between the master bedroom and bedroom #3. It is located roughly in line with the property line between the two rear neighbors, thus eliminating direct views. This balcony provides a light well effect and allows the owners to get a breath of fresh air, without having windows facing the rear or side neighbor's yards. High sill windows (6' above the floor) have been used to give additional light into the master bedroom and bath.
- The rear rooflines and corners have been softened with smaller gables and setback walls. This is more easily observed in the drawings than described in writing.
- The landscape plan and screening strategy has been improved to include wider leafy evergreen tree species, staggered about the existing trees that are to remain. The Italian cypress wall look has been abandoned. Since the only viewing space is now to the northeast, larger specimens are planned for that area.

Through this process, we feel the home has been greatly improved and hope this redesign will be acceptable for approval at the February hearing. If comments or issues remain, we would appreciate the opportunity to address them before or during the hearing so as to eliminate further time commitments for all parties involved. Thank you for your time and consideration.

Respectfully submitted,

David W. Haugland, PE, LEED AP for Enrique Ganitsky, applicant
Principal, AHJ Engineers, PC