

### VICINITY MAP:



PROPERTY LOCATION / NIS

### SCOPE OF WORK:

NEW 2 STORY COSTUME HOME  
4496 SQ BUILDING AREA INCLUDING 6 BEDS, 5.5 BATHS, 1 LAUNDRY AND A 2 CAR GARAGE

### GENERAL NOTES:

1. The project shall incorporate green building aspects to the maximum extent possible.

### PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 189 - 29 - 042  
PROJECT TYPE: NEW COSTUME HOUSE  
PROJECT LOCATION: 766 RAYMUNDO AVE., Los Altos, CA 94024  
ZONING: R - 1 - 10  
OCCUPANCY GROUP: R - 3 / U  
CONSTRUCTION TYPE: V - B  
NUMBER OF FLOORS: TWO (2) STORY  
FIRE PROTECTION: SPRINKLERED

### CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL 2010 EDITION  
B. CALIFORNIA BUILDING 2010 EDITION  
C. CALIFORNIA MECHANICAL 2010 EDITION  
D. CALIFORNIA PLUMBING 2010 EDITION  
E. CALIFORNIA ELECTRICAL 2010 EDITION  
F. CALIFORNIA ENERGY: 2008 EDITION  
G. CALIFORNIA FIRE: 2010 EDITION  
H. ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

### AREA CALCULATION:

TOTAL "E" BLDG TO BE REMOVED: 3056 SQF  
"N" 1st FLOOR LIVING AREA: 2312 SQF  
"N" 2nd FLOOR LIVING AREA: 1661 SQF  
"N" TOTAL LIVING: 3973 SQF  
"N" FRONT PORCH: 16 SQF  
"N" GARAGE: 507 SQF  
"N" TOTAL BUILDING: 4496 SQF  
LOT AREA: 17500 SQF

EAVE AREA= 240 X 1.5 = 360  
FLOOR AREA RATIO (FAR) = 3850+(10%(17500-11000))=4500  
LOT COVERAGE: 1st FLOOR BLDG AREA 2819 SQF  
COVERED AREA 16 SQF  
TOTAL % 2835/17500 = 16.2 %

% OF FRONT YARD PAVING: 560 / 2500 = 22.4 %  
FRONT YARD: 25 X 100 = 2500 sqf.  
PROPOSED PAVING : (60 Walk Way) + (500 Drive Way)=560

### PROJECT CONTACT:

OWNER: NICK STAVRAKOS & MONICA TELLADO  
(650) 219-3882  
2048 LOUISE LN., LOS ALTOS, CA 94024  
DESIGNER: BOD esign  
(408) 771-5935  
21060 HOMESTEAD RD., CUPERTINO, CA 95014  
SUITE 130  
CONTACT@BOD-E.COM  
STRUCTURAL: ---  
MECHANICAL: ---  
T24 & ENERGY: ---  
SOIL ENGINEER: ---

### LEGEND:



GRAPHIC SCALE: 1 INCH = 4 FEET  
0 1 2 3 4 5 10 15

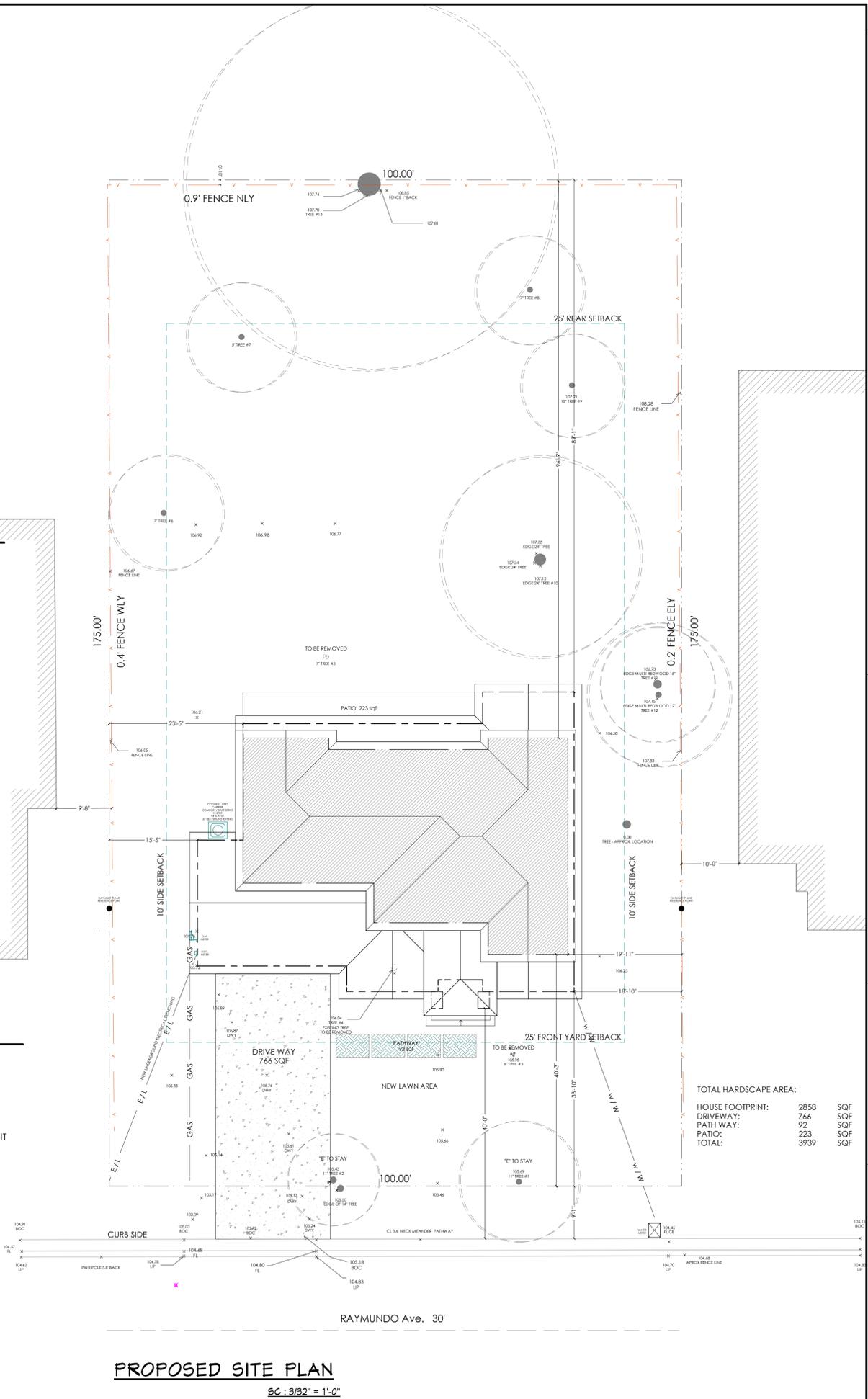
- 2nd FLOOR
- PROPERTY LINE
- BLDG 1st FLOOR FOOTPRINT LINE
- BLDG 2nd FLOOR FOOTPRINT LINE

### TREE TABLE:

Number	Species	Size	To Be Removed
1	Prunus cerasifera	DBH: 11" Height: 30' Crown Sp. 21' LCE: 80%	NO
2	Prunus cerasifera	DBH: 11" Height: 20' Crown Sp. 14' LCE: 80%	NO
3	Lagerstroemia indica	DBH: 8" Height: 18' Crown Sp. 18' LCE: 80%	YES
4	Arbutus unedo	DBH: 10" Height: 12' Crown Sp. 14' LCE: 80%	YES
5	Quercus agrifolia	DBH: 7" Height: 26' Crown Sp. 14' LCE: 90%	YES
6	Citrus x sinensis	DBH: 7" Height: 18' Crown Sp. 20' LCE: 80%	NO
7	Prunus americana	DBH: 9" Height: 20' Crown Sp. 19' LCE: 70%	NO
8	Prunus americana	DBH: 16" Height: 20' Crown Sp. 20' LCE: 70%	YES
9	Prunus serotina	DBH: 12" Height: 18' Crown Sp. 18' LCE: 80%	NO
10	Platanus racemosa	DBH: 13" Height: 43' Crown Sp. 60' LCE: 70%	NO
11	Sequoia sempervirens	DBH: 80" Height: 25' Crown Sp. 25' LCE: 80%	NO
12	Laurus nobilis	DBH: 12" Height: 30' Crown Sp. 20' LCE: 70%	NO
13	Schinus molle	DBH: 57" Height: 65' Crown Sp. 105'	NO

### DRAWING INDEX:

- A0: COVER SHEET & SITE PLAN
- T0: BOUNDARY AND TOPO. MAP
- C1: GRADING AND DRAINAGE
- C2: GRADING AND DRAINAGE
- A0.1: ROOF PLAN & FLOOR AREA DIAGRAM
- A1: EXISTING FLOOR PLAN AND ELEVATIONS
- A1.1: EXISTING GARAGE AND ACCESSORY UNIT
- A2: PROPOSED 1st FLOOR PLAN
- A2.1: PROPOSED 2nd FLOOR PLAN
- A3: PROPOSED ELEVATIONS
- A3.1: PROPOSED ELEVATIONS
- A4: PROPOSED SECTIONS



**PROPOSED SITE PLAN**  
S.C. : 3/32" = 1'-0"



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SHEET TITLE:

COVER SHEET  
SITE / ROOF PLAN

NEW CONSTRUCTION FOR:

**Nick & Monica**

766 Raymundo Ave.  
Los Altos, CA 94024

TOTAL HARDSCAPE AREA:

HOUSE FOOTPRINT:	2858	SQF
DRIVEWAY:	766	SQF
PATHWAY:	92	SQF
PATIO:	223	SQF
TOTAL:	3939	SQF

DATE: 09.09.13  
SCALE: 3/32" = 1'  
DRAWN BY: PF  
JOB NO: D - 1306 - 06  
SHEET:

**A-0**







*[Signature]*

REVISION BY

**BOD**esign

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SHEET TITLE:

**DRAINAGE & GRADING**

DRAINAGE DESIGN FOR:

**NICK & MONICA**

766 Raymundo Avenue  
Los Altos, CA 94024

DATE : 11.19.2013

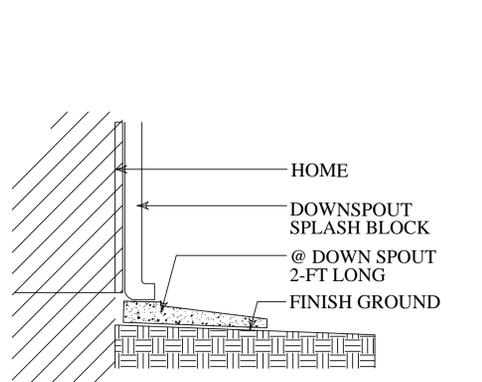
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DRAWN BY : B.O.D

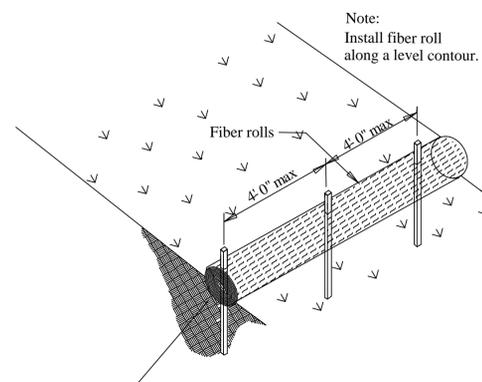
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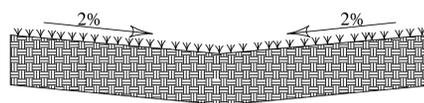
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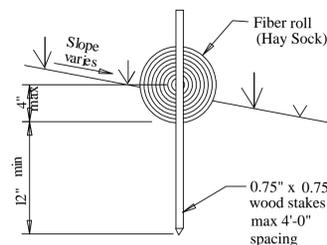
**SPLASH BLOCK AT EVERY DOWNSPOUT**  
N.T.S.



**TYPICAL FIBER ROLL INSTALLATION**  
N.T.S.



**TYPICAL SWALE AT LAWN YARD**  
N.T.S.



**ENTRENCHMENT DETAIL**  
N.T.S.

**EROSION CONTROL/SEDIMENT CONTROL ver Rolls)**

**Purpose:**  
Fiber rolls diment logs or wattlescomposed of bio-degradable fibers stuffed in a photo-degradable open weave netting, are designed to reduce sediment runoff from disturbed soils into the storm drain system or watercourses . Fiber rolls are porous and allow water to filter through fibers and trap sediment, increase filtration rates, slow runoff and reduce sheet and rill erosion. Wattles also create a favorable environment for plant establishment.

**Application :**  
Along the face of exposed and erodible slopes to shorten slope length  
At grade breaks where slopes transition to a steeper slope  
In drainage swales to slow flows  
Along streambanks to assist stabilization and revegetation

**Inspection and Maintenance:**  
Follow manufacturer's recommendations for installation. In general, these will be as follows:  
Fine grade the subgrade by hand dressing where necessary to remove local deviations and to remove larger stones or debris that will inhibit intimate contact of the fiber roll with the subgrade.  
Prior to roll installation, contour a concave key trench 2 to 4 inches deep along the proposed installation route.  
Soil excavated in trenching should be placed on the uphill or flow side of the roll to prevent water from undercutting the roll.  
Place fiber rolls into the key trench and stake on both sides of the roll within 6 feet of each end and then 3-5 feet with 1 " x 2" stakes or as suggested by manufacturer.  
Stakes are typically driven in on alternating sides of the roll . When more than one fiber roll is placed in a row, the rolls should be abutted securely to one another to provide a tight joint, not overlapped.

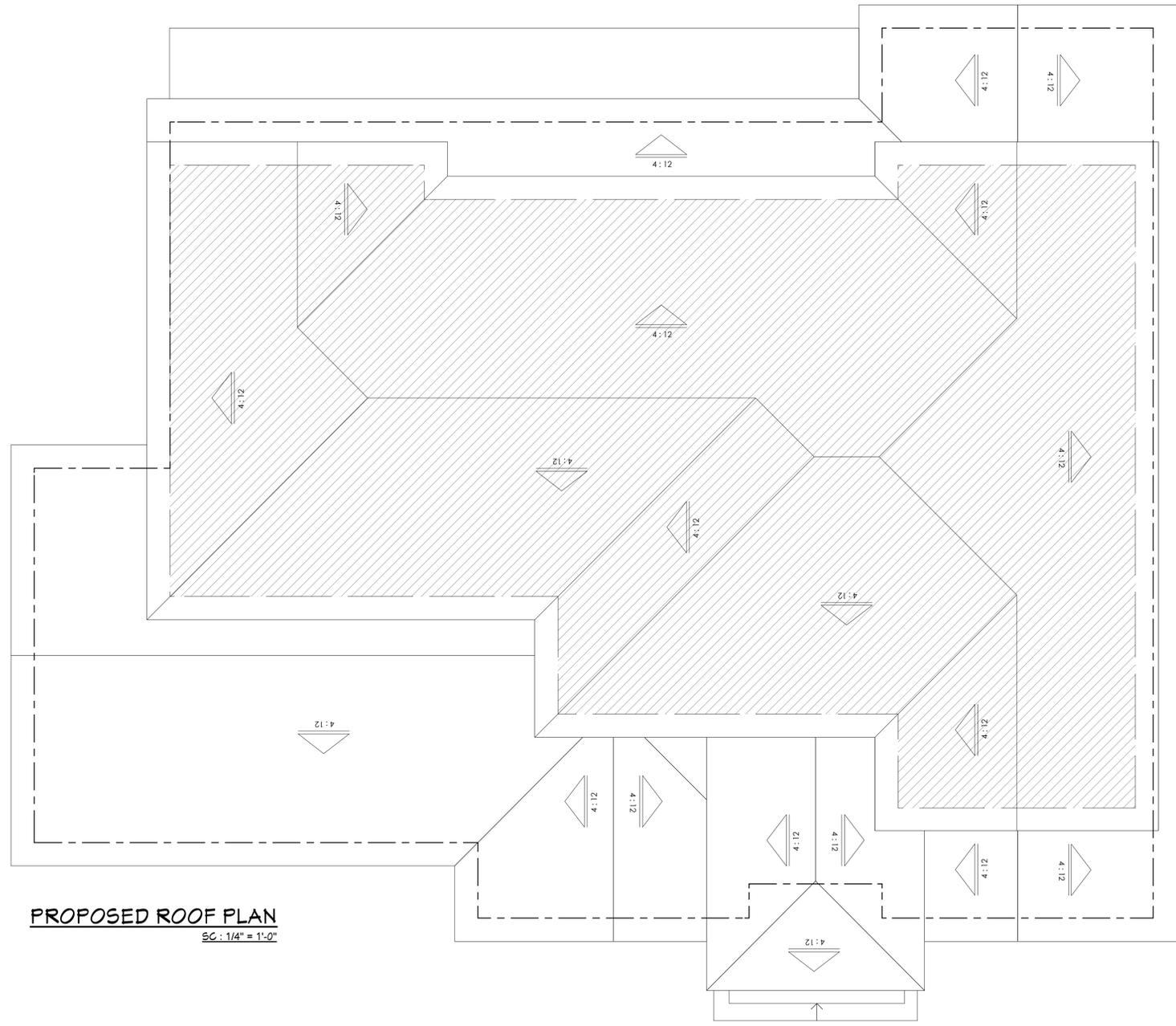
**Limitations:**  
A Designed for low surface flows not to exceed 1 cfs for small areas.  
A Designed for short slopes or slopes flatter than 3 :1.  
A Primary purpose is not sediment control, although do provide some sediment removal.

**Maintenance:**  
Repair or replace split, torn, unraveling or slumping fiber rolls.  
Inspect fiber rolls when rain is forecast, following rain events and at least daily during prolonged rainfall. Perform required maintenance.  
In most cases, fiber rolls do not require removal and can be abandoned in place. If not excessively soiled, rolls may be removed, replaced and reused.

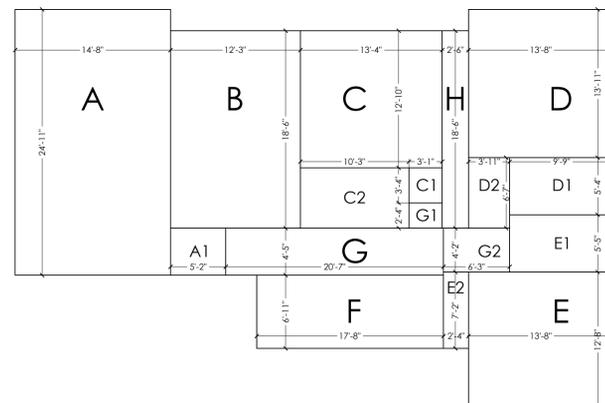
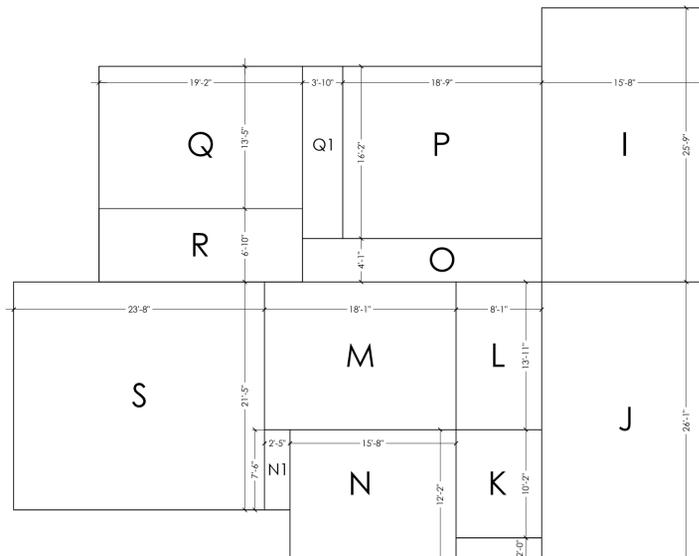
# FLOOR AREA DIAGRAM:

SCALE: 1/8" : 1'

FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
2nd FLOOR	A	14'-8" X 25'-0"	367	1661
	A1	5'-3" X 4'-5"	23	
	B	12'-3" X 18'-7"	228	
	C	13'-5" X 12'-11"	173	
	C1	3'-2" X 3'-3"	10	
	C2	10'-3" X 5'-8"	58	
	D	13'-8" X 13'-11"	190	
	D1	9'-10" X 5'-5"	53	
	D2	3'-10" X 6'-8"	26	
	E	13'-8" X 12'-8"	173	
	E1	9'-10" X 5'-4"	52	
	E2	2'-5" X 7'-2"	17	
	F	17'-7" X 6'-10"	120	
	G	20'-6" X 4'-5"	91	
	G1	3'-2" X 2'-5"	8	
	G2	6'-3" X 4'-1"	26	
H	2'-6" X 18'-7"	46		
1st FLOOR	I	15'-8" X 25'-9"	403	2312
	J	15'-8" X 26'-1"	409	
	K	8'-1" X 10'-2"	82	
	L	8'-1" X 13'-10"	112	
	M	18'-1" X 13'-10"	250	
	N	15'-8" X 12'-2"	191	
	N1	2'-5" X 7'-6"	18	
	O	22'-7" X 4'-1"	92	
	P	18'-10" X 16'-2"	304	
	Q	19'-3" X 13'-4"	257	
	Q1	3'-9" X 16'-2"	61	
R	19'-3" X 6'-11"	133		
GARAGE	S	23'-8" X 21'-5"	507	507
FRONT PORCH	T	8'-1" X 2'-0"	16	16
TOTAL LIVING			4496	4496



**PROPOSED ROOF PLAN**  
 SC: 1/4" = 1'-0"



**LEGEND:**



GRAPHIC SCALE: 1 INCH = 4 FEET



- 2nd FLOOR
- BLDG 1st FLOOR FOOTPRINT LINE
- BLDG 2nd FLOOR FOOTPRINT LINE



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SHEET TITLE:

**PROPOSED ROOF PLAN  
 AND  
 FLOOR AREA DIAGRAM**

NEW CONSTRUCTION FOR:

**Nick & Monica**

766 Raymundo Ave.  
 Los Altos, CA 94024

DATE: 09.09.13  
 SCALE: 1/4" = 1"  
 DRAWN BY: PF  
 JOB NO: D - 1306 - 06  
 SHEET:

**A0.1**



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SHEET TITLE:

EXISTING FLOOR PLAN & ELEVATIONS

NEW CONSTRUCTION FOR:

**Nick & Monica**

766 Raymundo Ave.  
Los Altos, CA 94024

DATE: 09.09.13

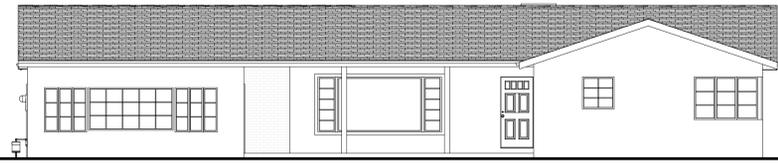
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DRAWN BY: PF

JOB NO: D - 1306 - 06

SHEET:

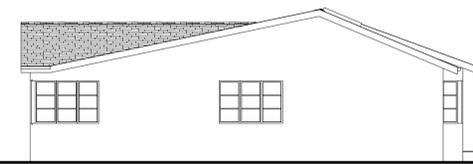
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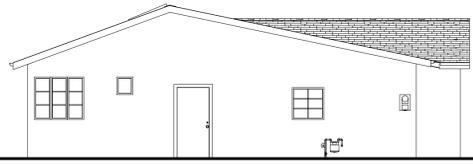
EXISTING FRONT ELEVATION  
SC: 1/8" = 1'-0"



EXISTING REAR ELEVATION  
SC: 1/8" = 1'-0"



EXISTING RIGHT ELEVATION  
SC: 1/8" = 1'-0"

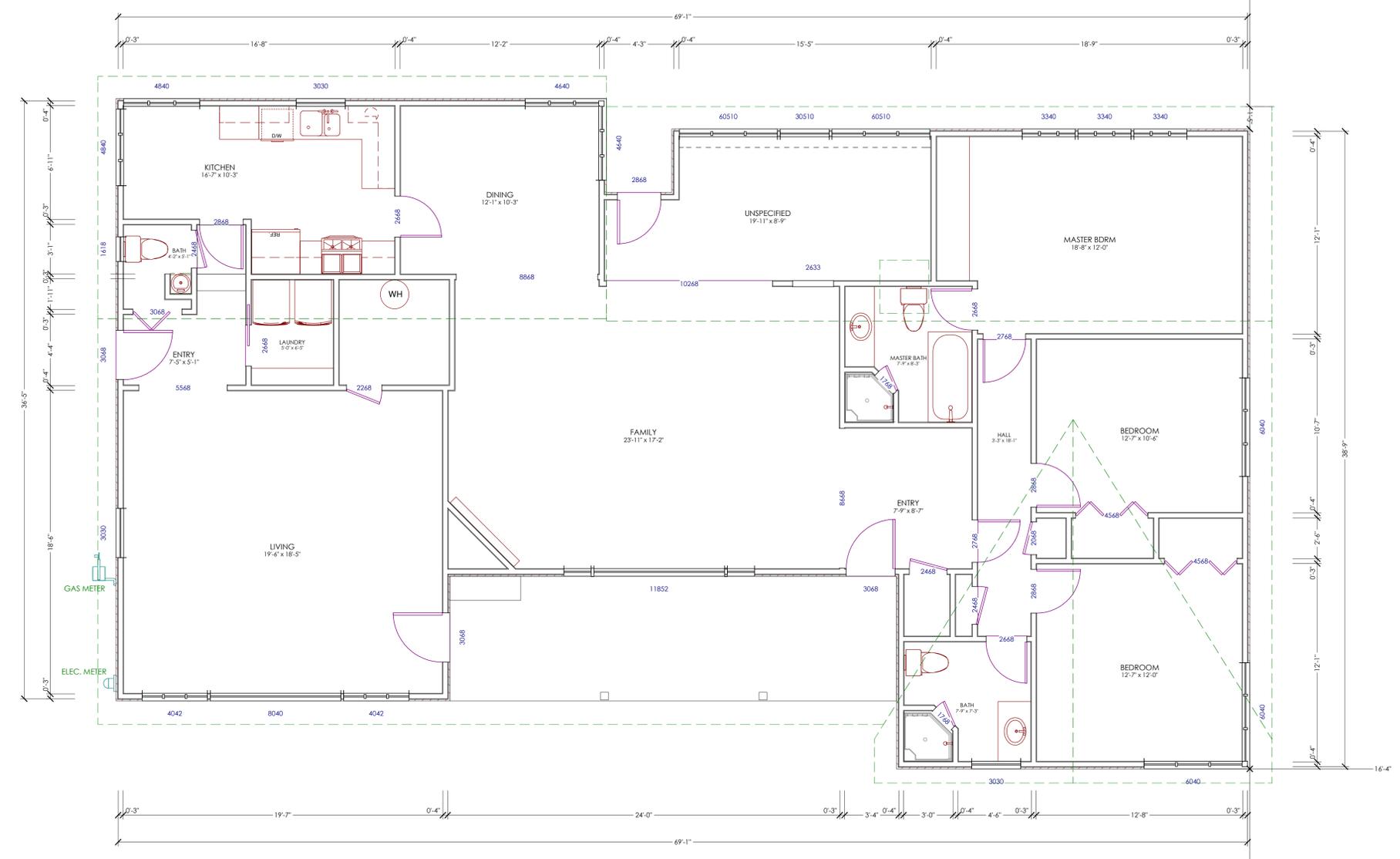


EXISTING LEFT ELEVATION  
SC: 1/8" = 1'-0"



**LEGEND:**

EXISTING WALL TO BE REMOVED



EXISTING FLOOR PLAN  
SC: 1/4" = 1'-0"



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SHEET TITLE:

EXISTING GARAGE & ACCESSORY UNIT

NEW CONSTRUCTION FOR:

**Nick & Monica**

766 Raymundo Ave.  
 Los Altos, CA 94024

DATE: 09.09.13  
 SCALE: 1/4" = 1"  
 DRAWN BY: PF  
 JOB NO: D - 1306 - 06  
 SHEET:

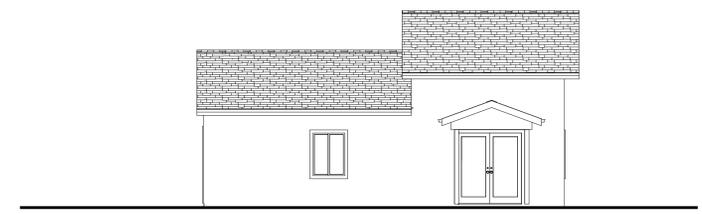
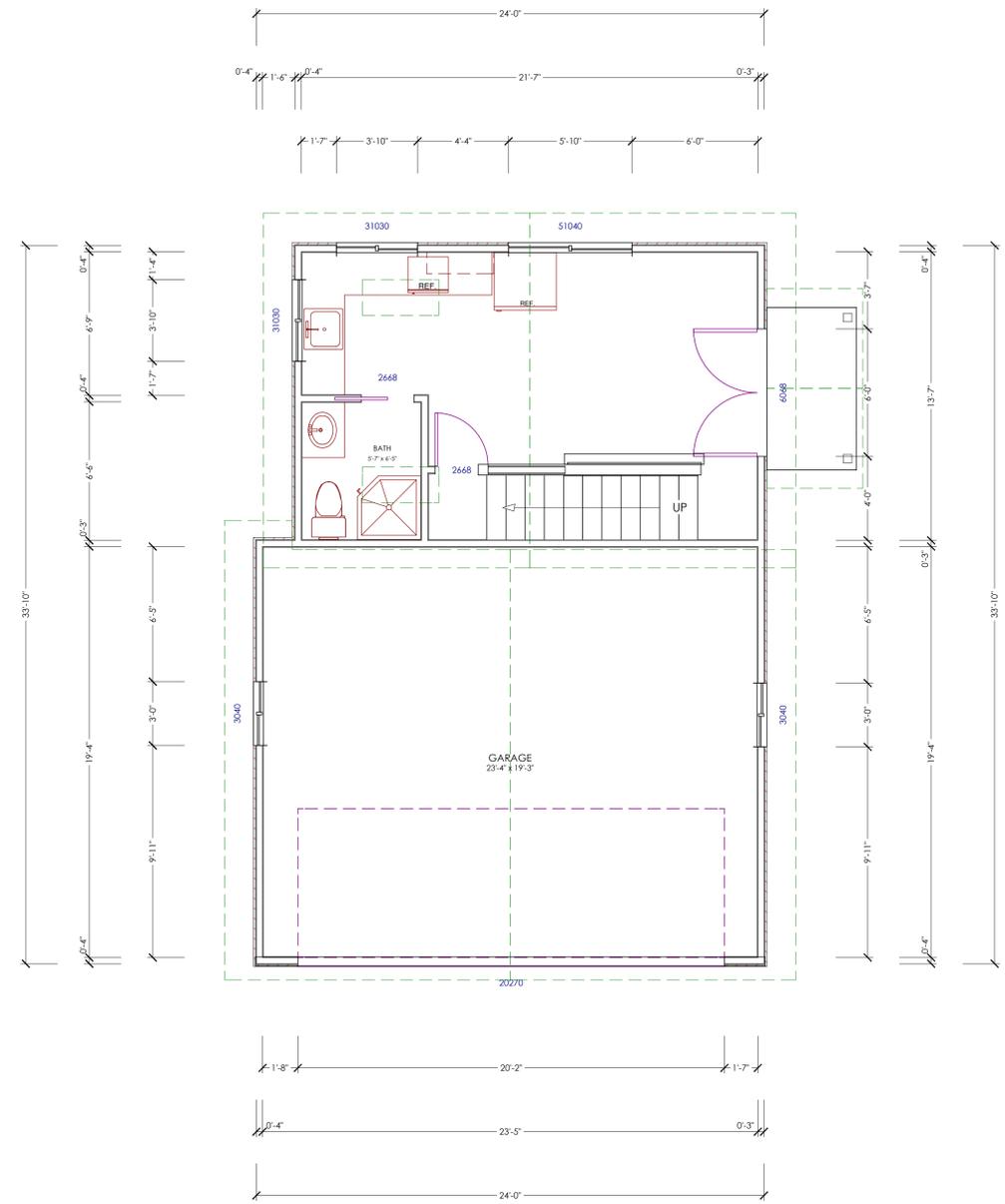
A-1.1

**EXISTING FLOOR PLAN**  
 SC: 1/4" = 1'-0"

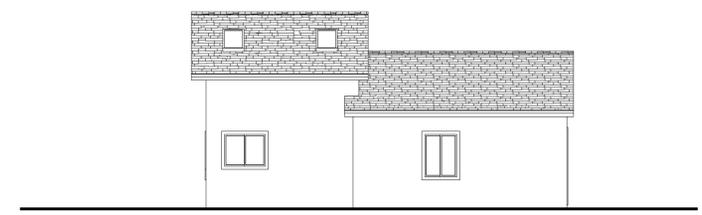


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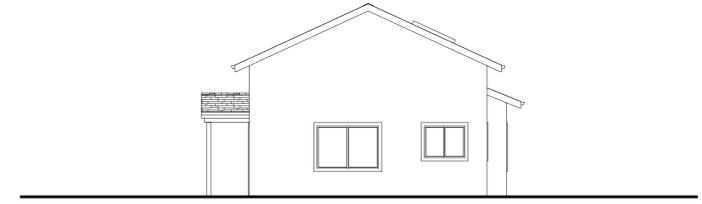
— EXISTING WALL TO BE REMOVED



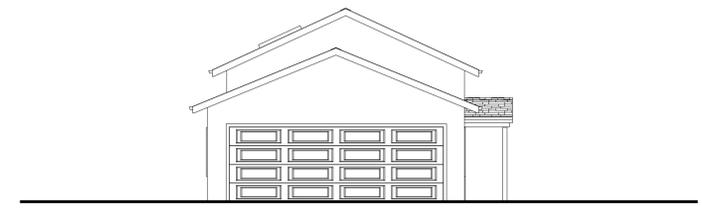
EXISTING FRONT ELEVATION  
 SC: 1/8" = 1'-0"



EXISTING REAR ELEVATION  
 SC: 1/8" = 1'-0"



EXISTING RIGHT ELEVATION  
 SC: 1/8" = 1'-0"



EXISTING LEFT ELEVATION  
 SC: 1/8" = 1'-0"



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SHEET TITLE:

PROPOSED 1st FLOOR PLAN

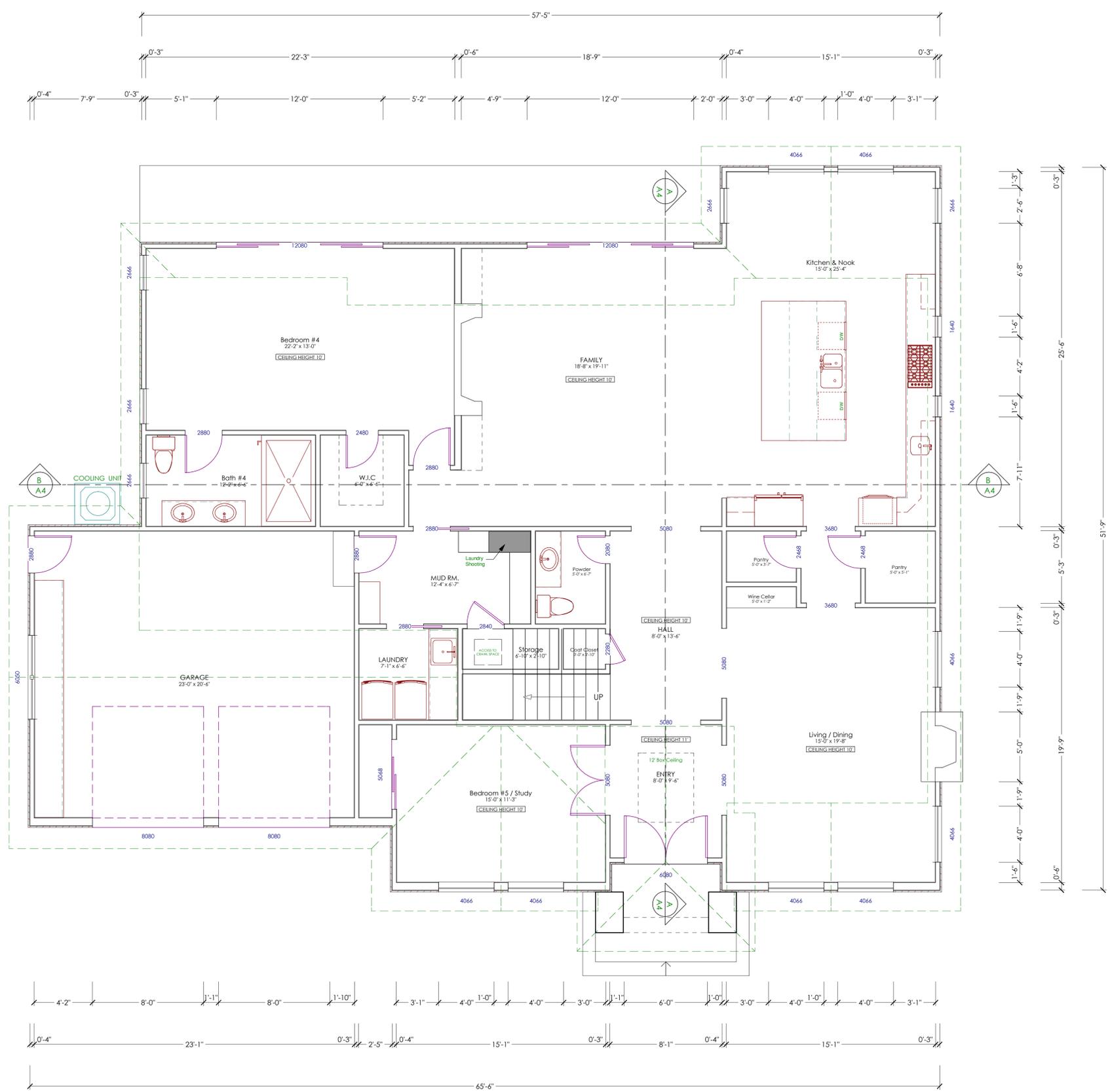
NEW CONSTRUCTION FOR:

**Nick & Monica**

766 Raymundo Ave.  
 Los Altos, CA 94024

DATE: 09.09.13  
 SCALE: 1/4" = 1"  
 DRAWN BY: PF  
 JOB NO: D - 1306 - 06  
 SHEET:

A-2



**LEGEND:**

— NEW CONSTRUCTION WALL

**PROPOSED 1st FLOOR PLAN**

SC: 1/4" = 1'-0"



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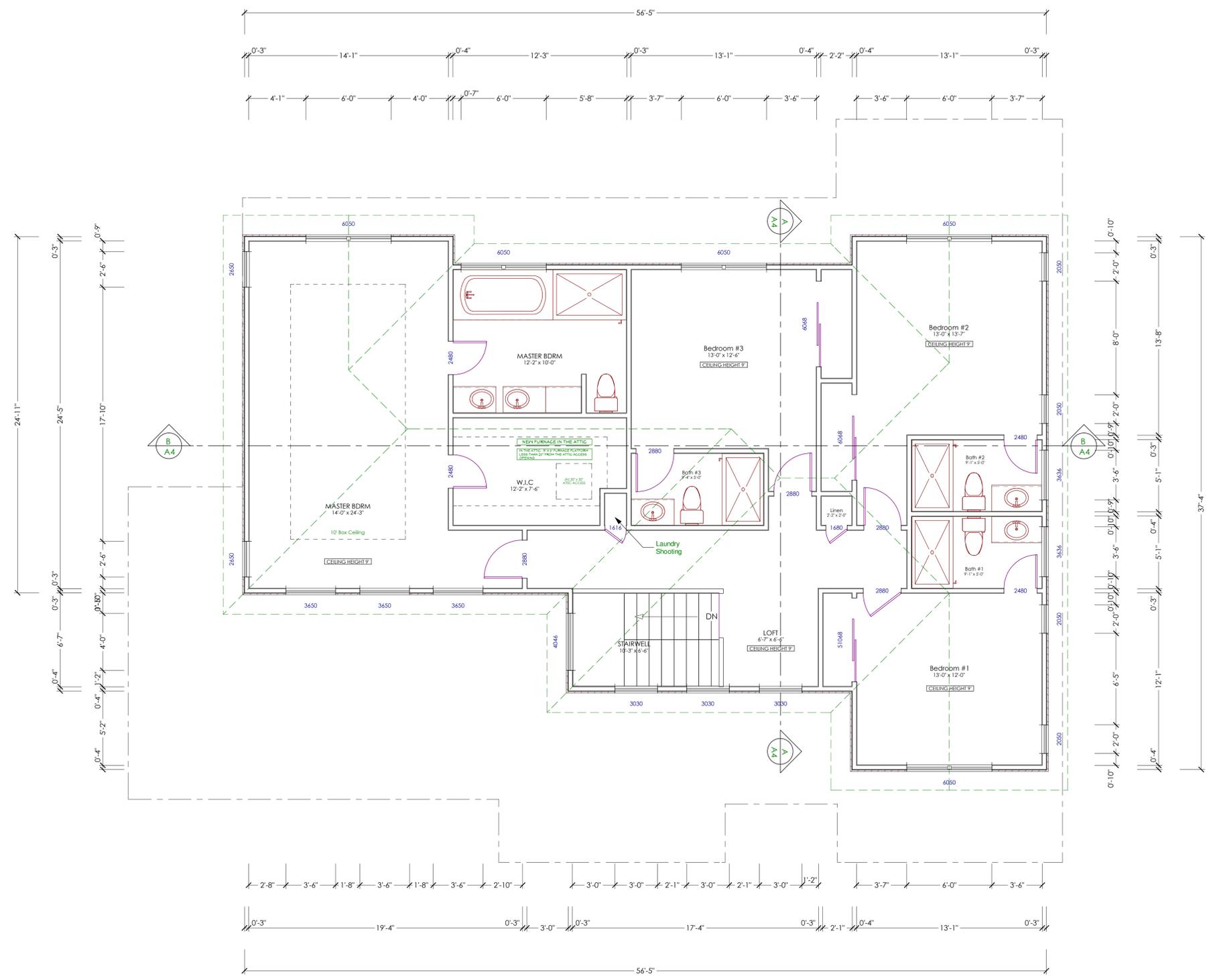
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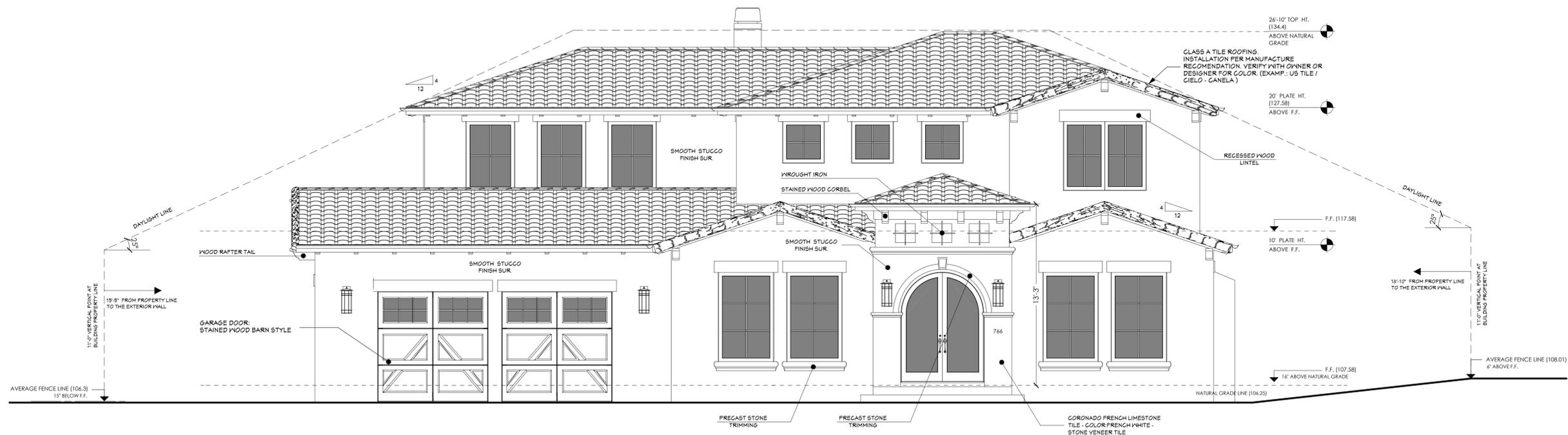
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— NEW CONSTRUCTION WALL

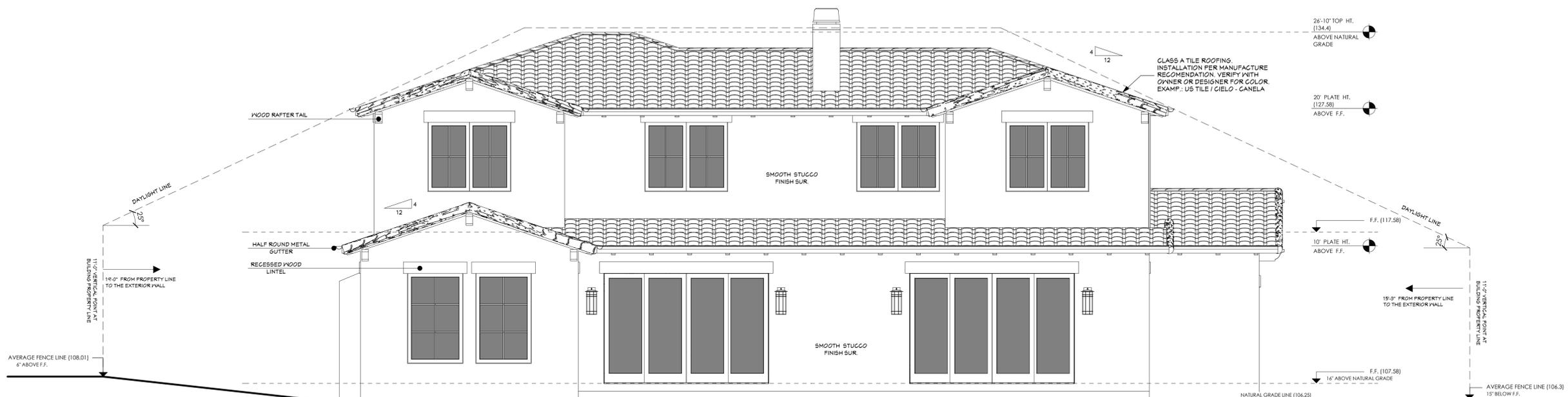
PROPOSED 2nd FLOOR PLAN

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**PROPOSED FRONT ELEVATION**  
SC : 1/4" = 1'-0"



**PROPOSED REAR ELEVATION**  
SC : 1/4" = 1'-0"

SHEET TITLE:

PROPOSED ELEVATIONS

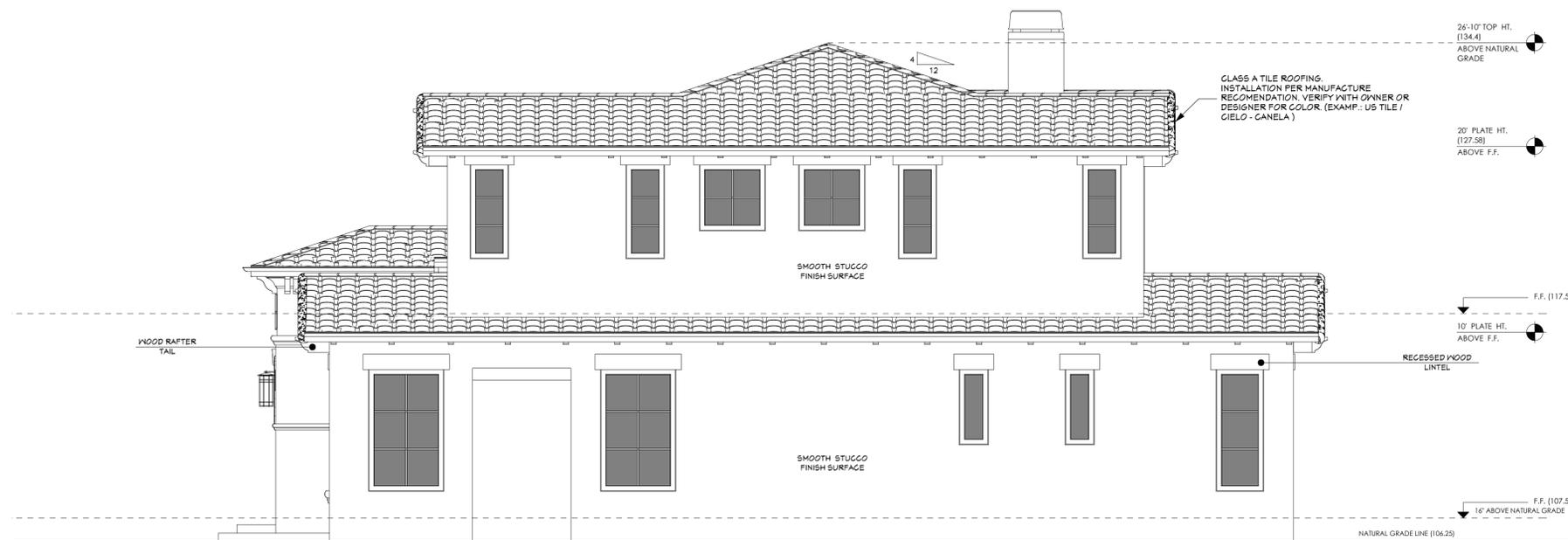
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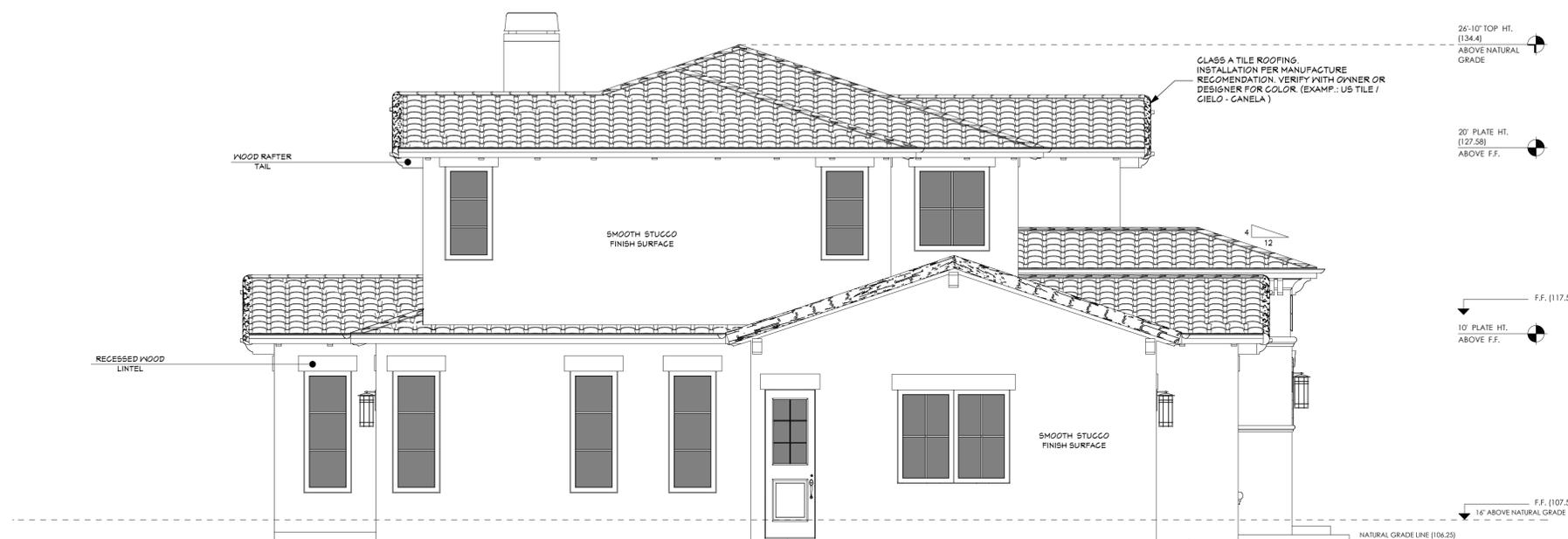
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**PROPOSED RIGHT ELEVATION**

SC: 1/4" = 1'-0"



**PROPOSED LEFT ELEVATION**

SC: 1/4" = 1'-0"

SHEET TITLE:

PROPOSED ELEVATIONS

NEW CONSTRUCTION FOR:

**Nick & Monica**

766 Raymundo Ave.  
 Los Altos, CA 94024

DATE: 09.09.13  
 SCALE: 1/4" = 1"  
 DRAWN BY: PF  
 JOB NO: D - 1306 - 06  
 SHEET:

**A-3.1**

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF B.O.DESIGN. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF B.O.DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF B.O.DESIGN. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

SHEET TITLE:

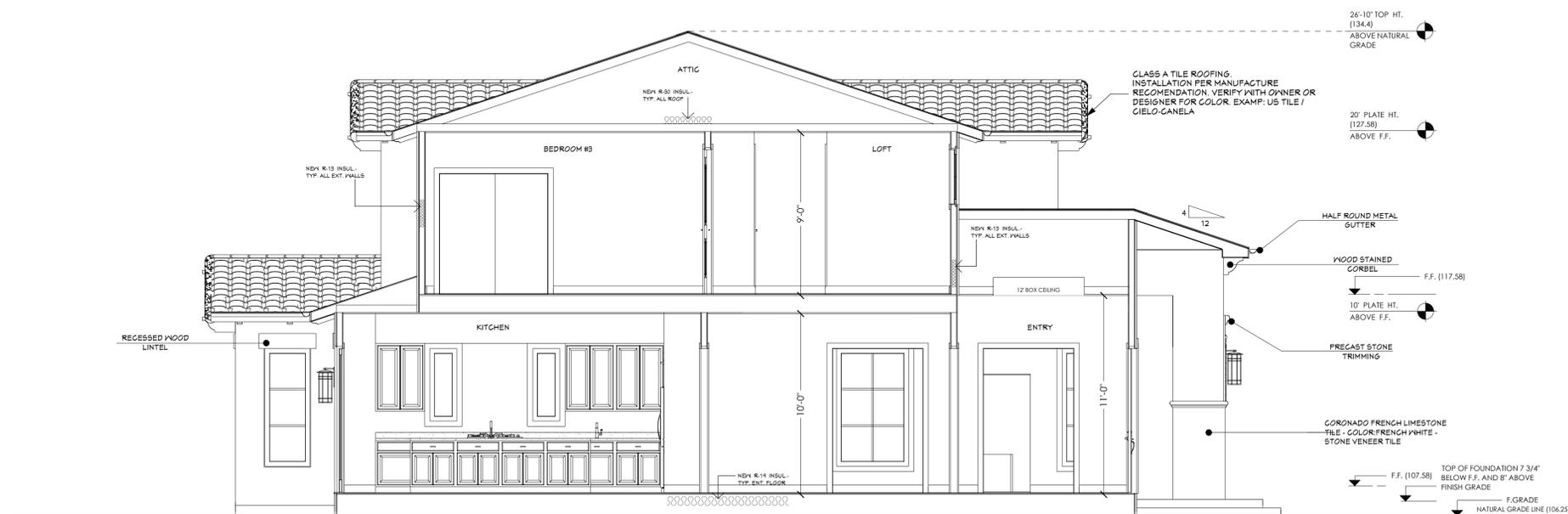
PROPOSED SECTIONS

NEW CONSTRUCTION FOR:

**Nick & Monica**

766 Raymundo Ave.  
Los Altos, CA 94024

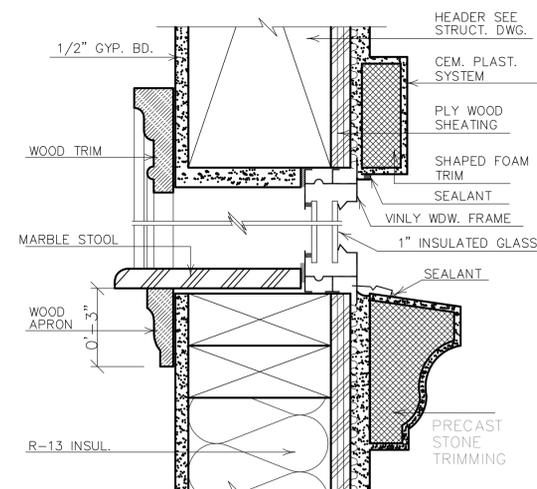
DATE: 09.09.13  
SCALE: 1/4" = 1"  
DRAWN BY: PF  
JOB NO: D - 1306 - 06  
SHEET:



**A - A CROSS SECTION**  
SC : 1/4" = 1'-0"



**B - B CROSS SECTION**  
SC : 1/4" = 1'-0"



DETAIL : WINDOW TRIM & SILL