

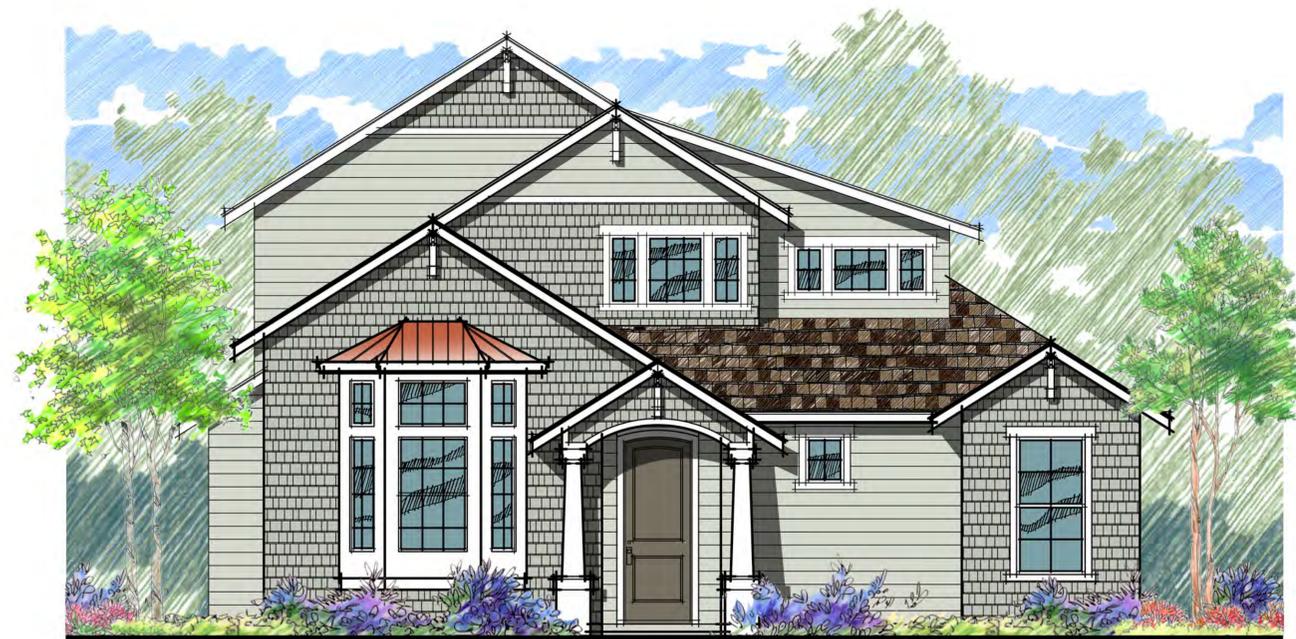
DEL MONTE AVENUE LLC

171 DEL MONTE AVENUE, LOS ALTOS, CA 94022

NOVEMBER 3, 2013

PROJECT SUMMARY			
NET LOT AREA	7,750 SQ.FT.		
	EXISTING	CHANGE IN	TOTAL PROPOSED
% OF FRONT YARD PAVING	98 SQ.FT. (6.5%)	+80 SQ.FT. (5.3%)	178 SQ.FT. (11.8%)
HABITAL LIVING AREA:	1,234 SQ. FT.	+ 2,386 SQ.FT.	3,620 SQ.FT.
NON-HABITAL AREA:	400 SQ.FT.	NA	400 SQ.FT.

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE:	1,603 SQ. FT.	2,105 SQ.FT. (27.17%)	2,325 SQ.FT. (30%)
FLOOR AREA:	1,634 SQ.FT. (21.08%)	HOUSE = 2,312.14 SQ.FT. GARAGE = 400 SQ.FT. TOTAL = 2712.14 SQ.FT. (35%)	NA 2,712.50 SQ.FT. (35%)
SETBACKS:			NARROW LOT
FRONT	28'	25'	25'-0"
REAR	45'	47.35'	25'-0"
RIGHTSIDE (1ST / 2ND)	8.50/16.0'	6.20/14.50'	6.20/13.7'
LEFTSIDE (1ST / 2ND)	18'	14.91'	12.4'
HEIGHT:	20'-2"	26'-2"	27'-0"



Owner
Del Monte Avenue LLC
Contact: Steve Johnson
650.814.5371

Architect
SDG Architects, Inc.
Contact: Jeff Potts
925.634.7000
3361 Walnut Ave., Suite 120
Brentwood, CA 94513

Civil Engineer
SDG Architects, Inc.
Contact: David Bahr
925.634.7000
3361 Walnut Ave., Suite 120
Brentwood, CA 94513

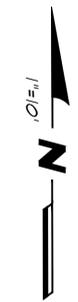
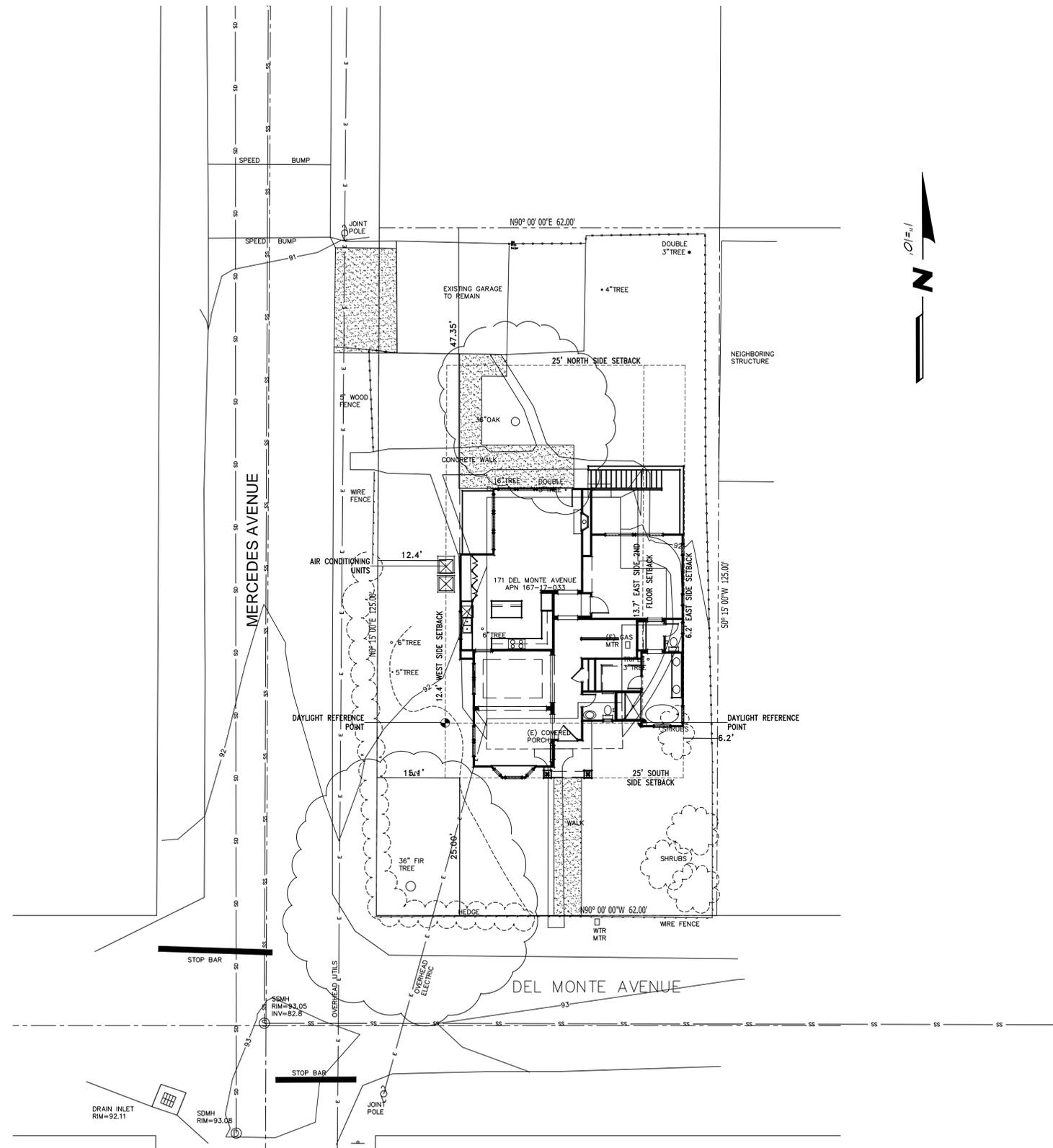
Landscape Architect
Strickland Design
Contact: Kathy Strickland
650.383.5160
1014 Mercedes Ave.,
Los Altos, CA 94022

Del Monte
Los Altos
November 3, 2013

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



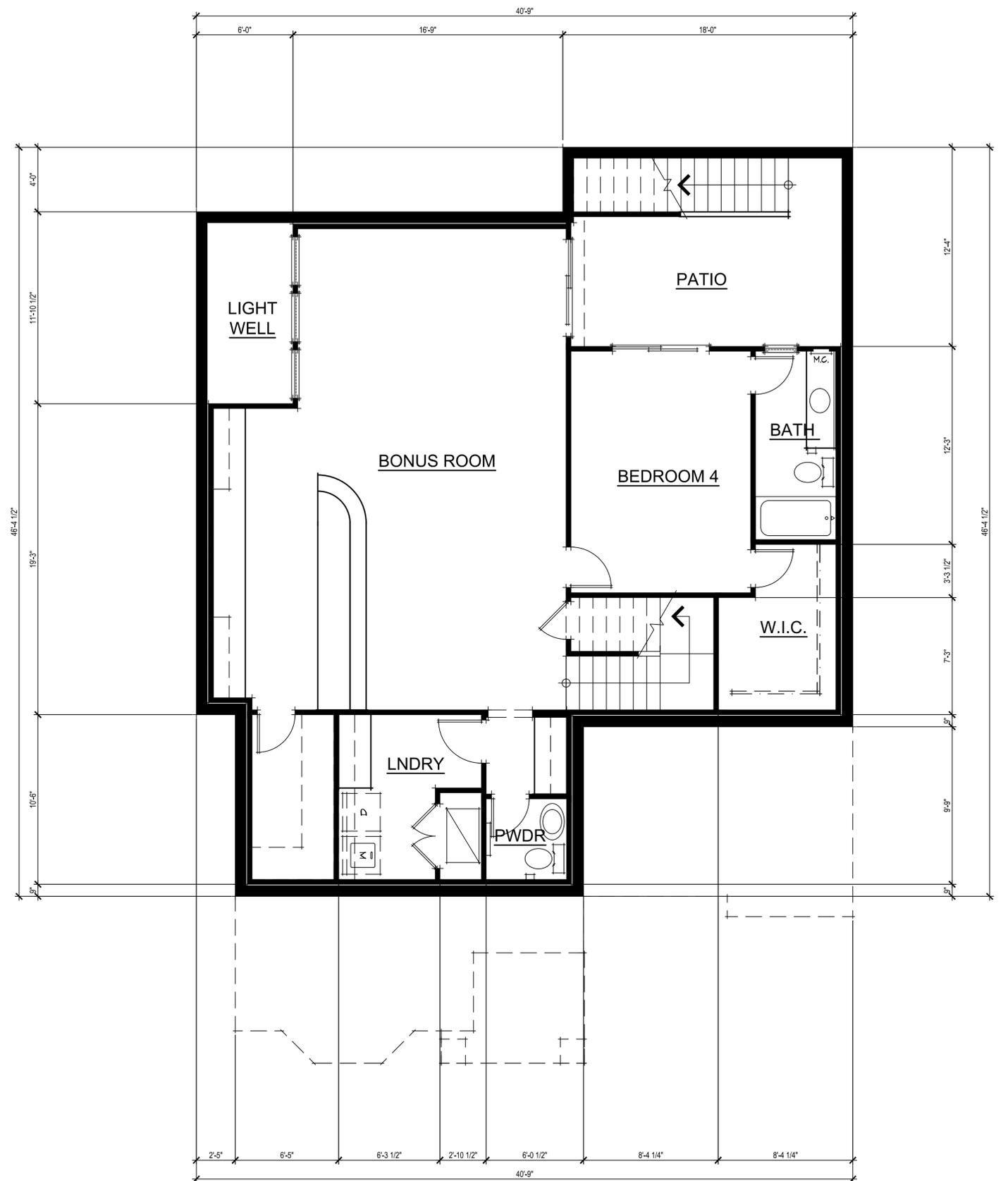
SITE PLAN

Del Monte
Los Altos
November 3, 2013



3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





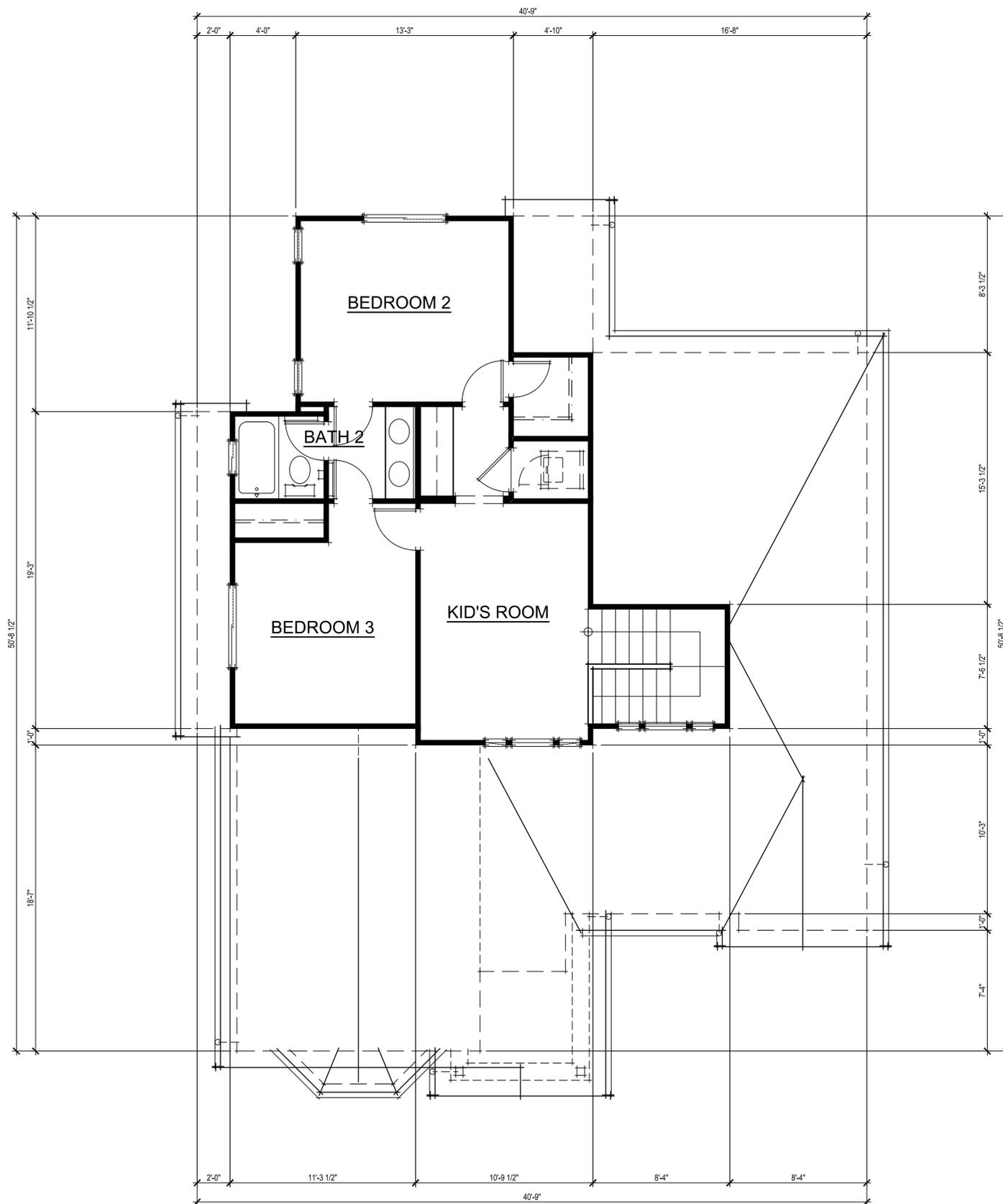
BASEMENT FLOOR PLAN

Del Monte
 Los Altos
 November 3, 2013

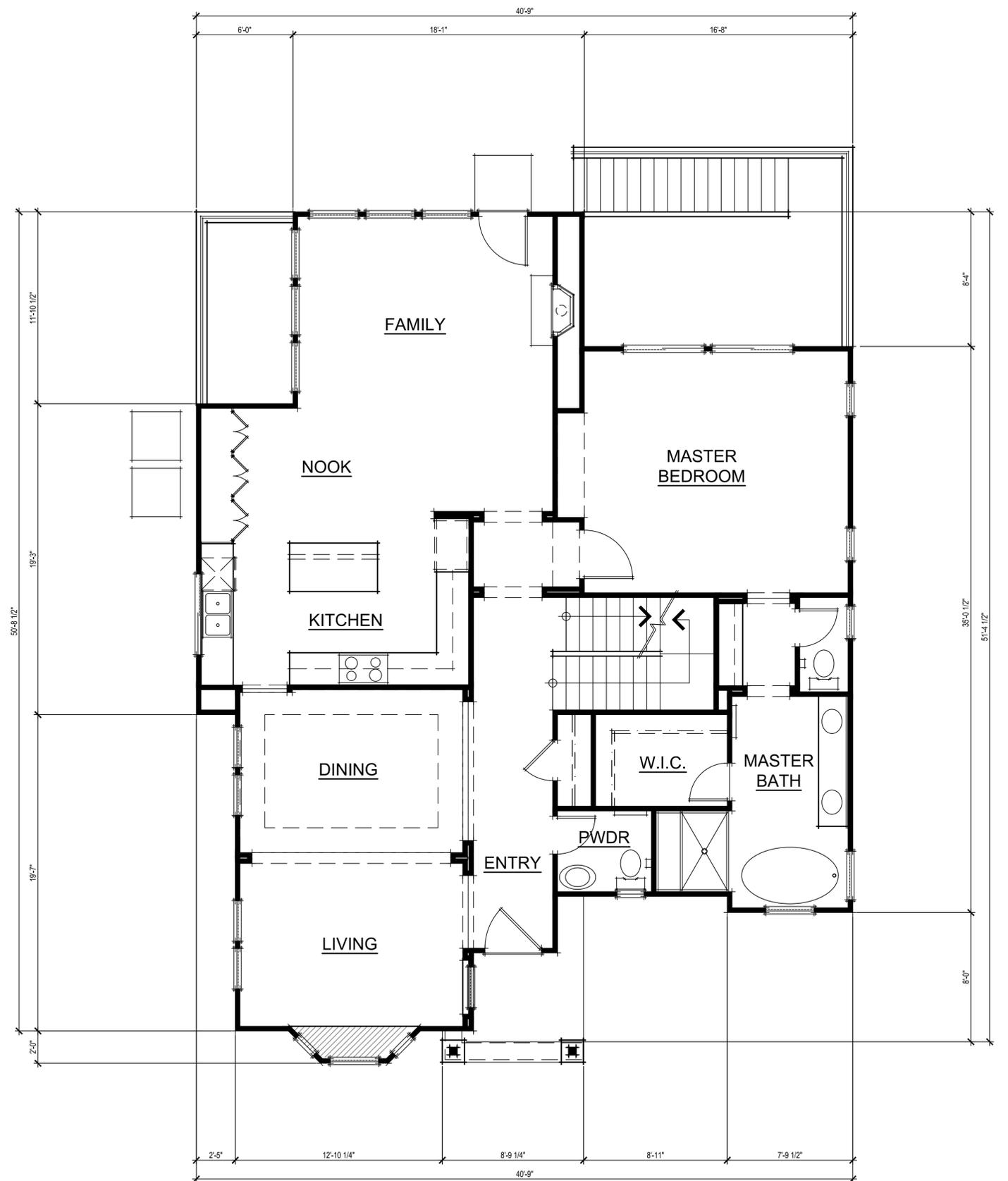
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.

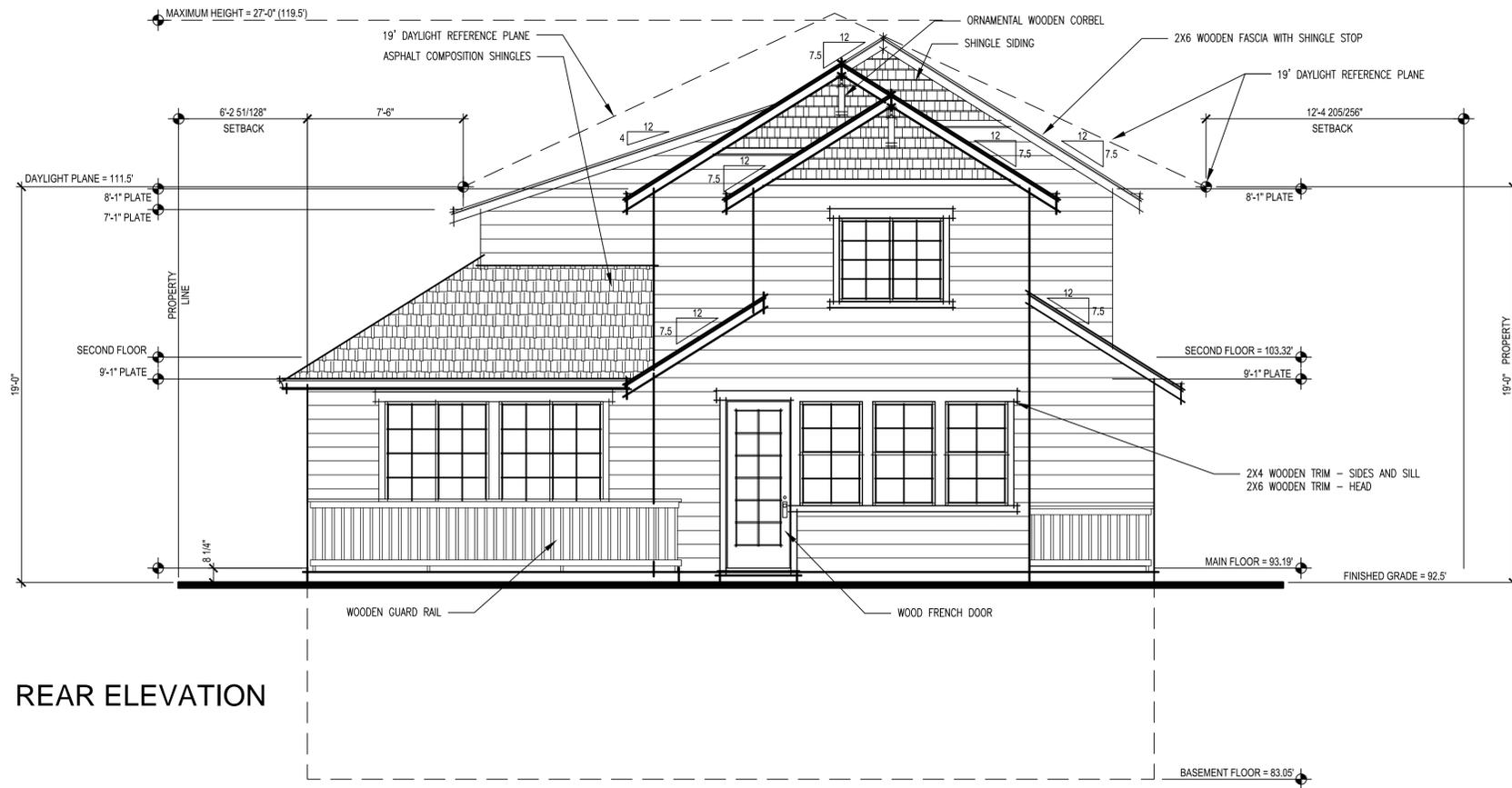


SECOND FLOOR PLAN

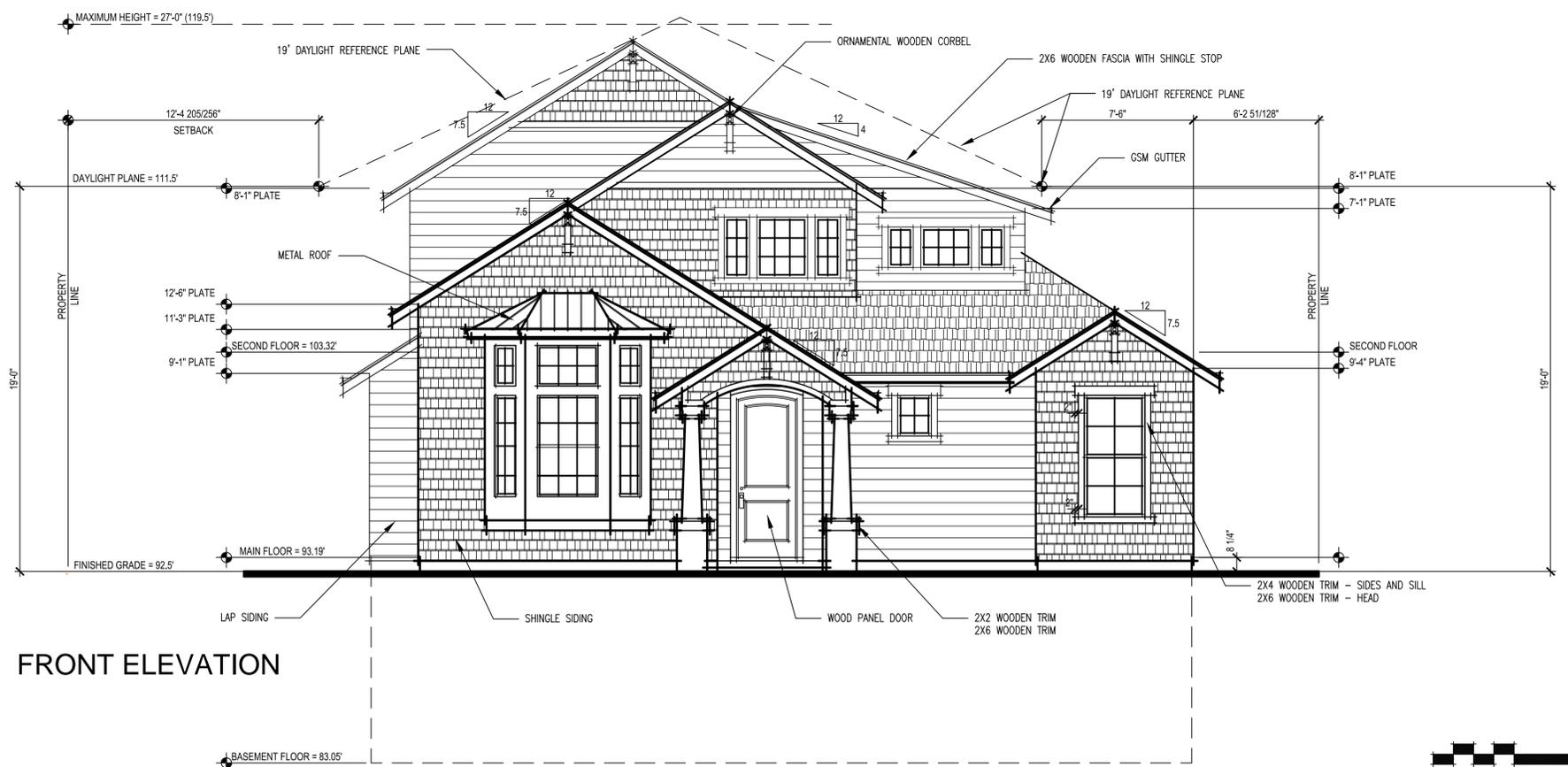


FIRST FLOOR PLAN

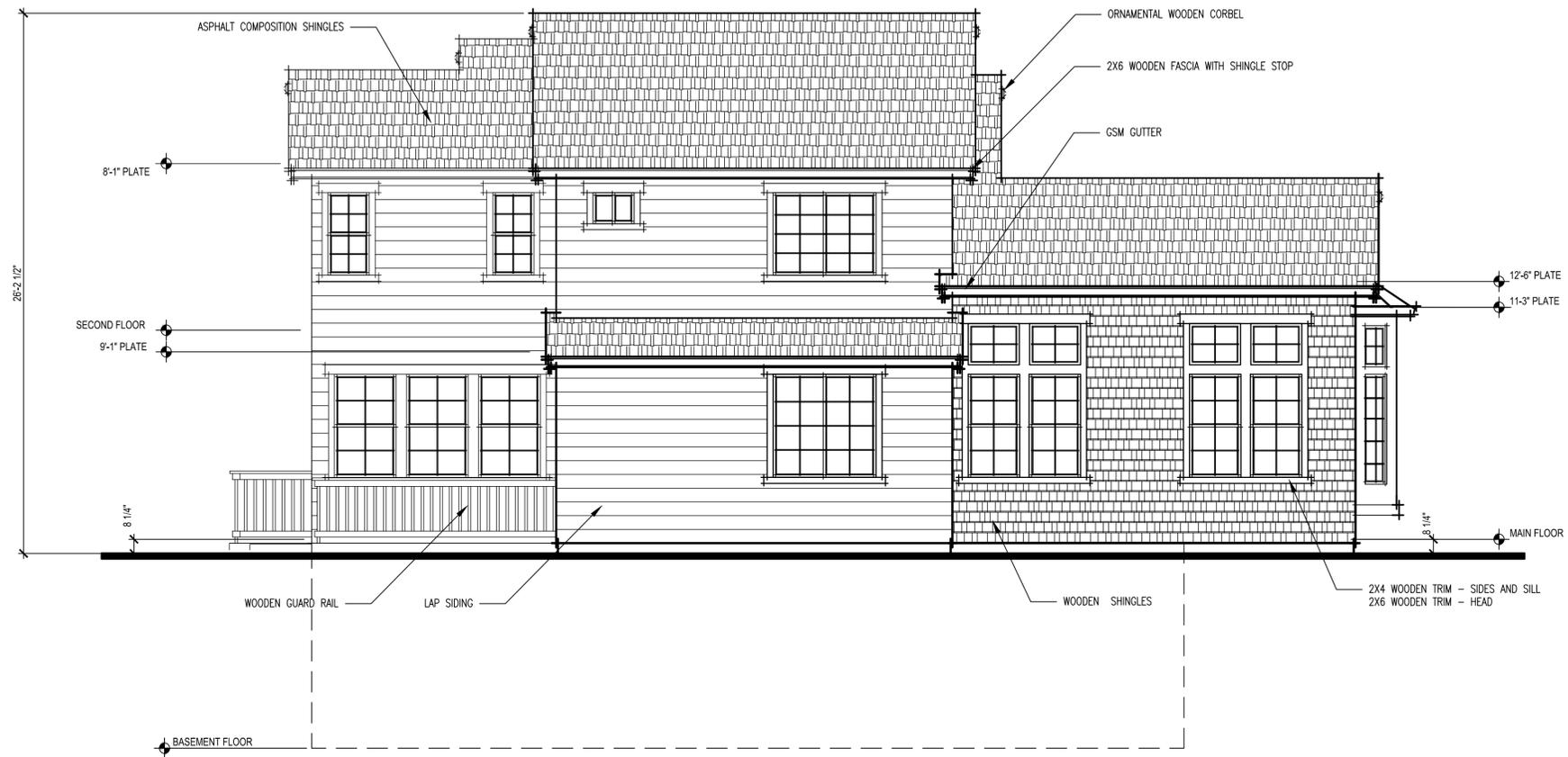




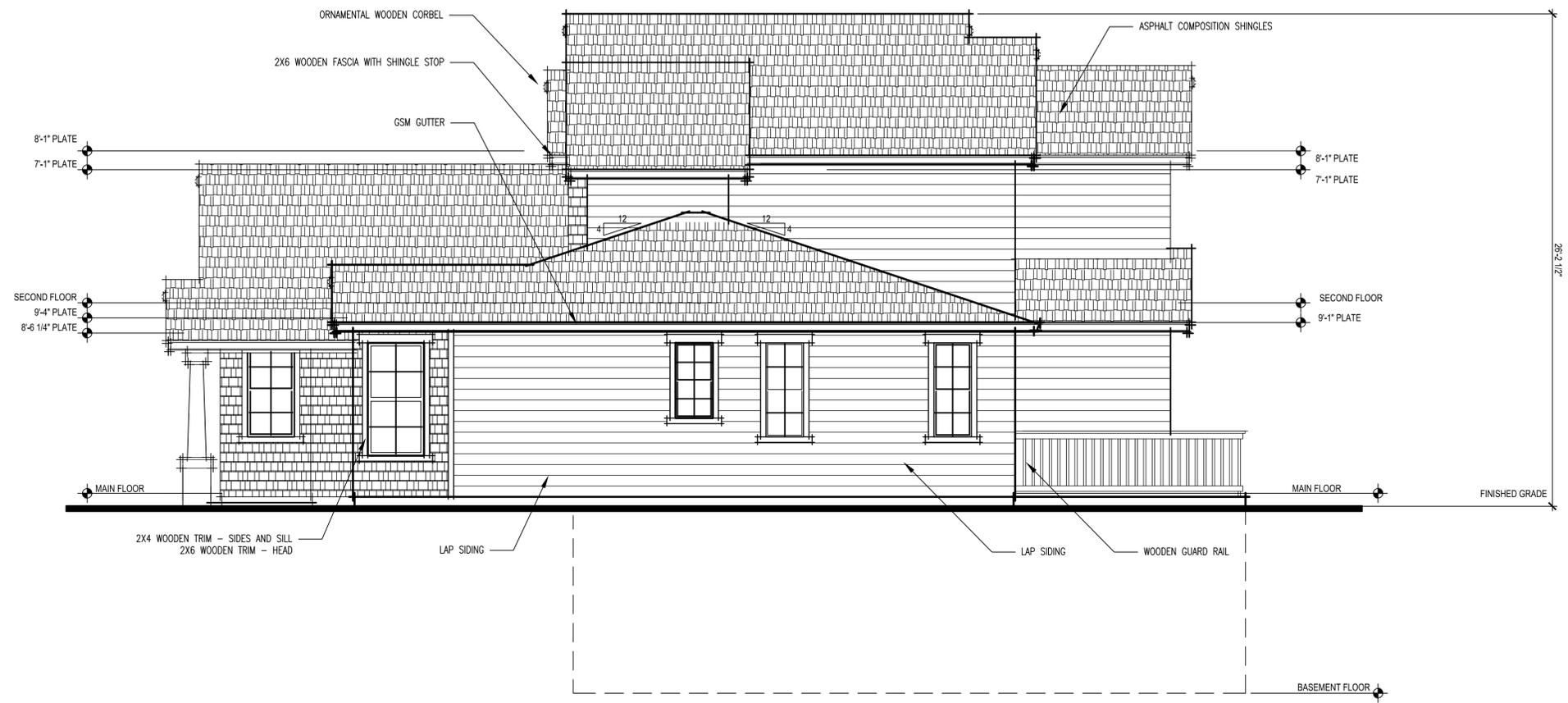
REAR ELEVATION



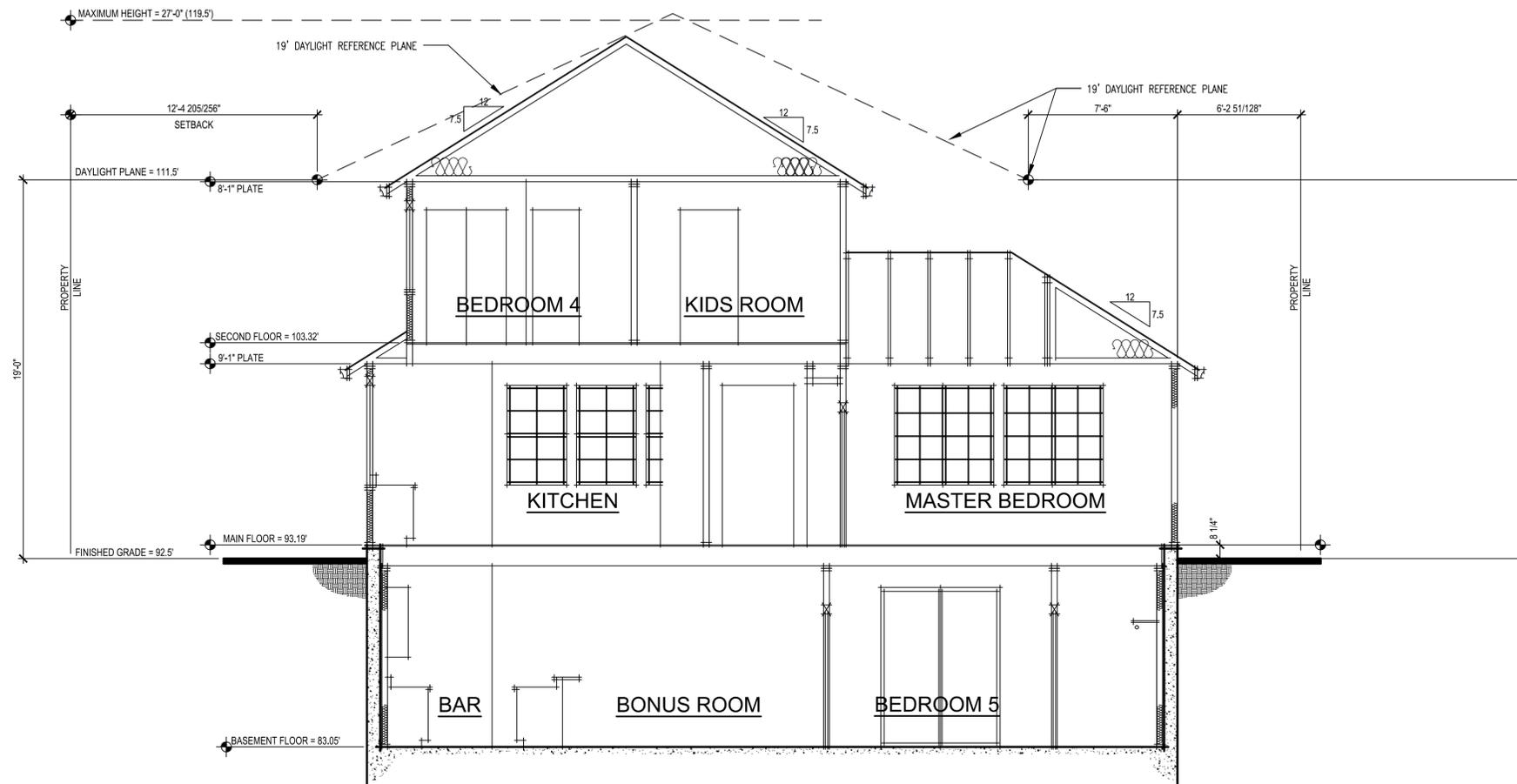
FRONT ELEVATION



LEFT ELEVATION

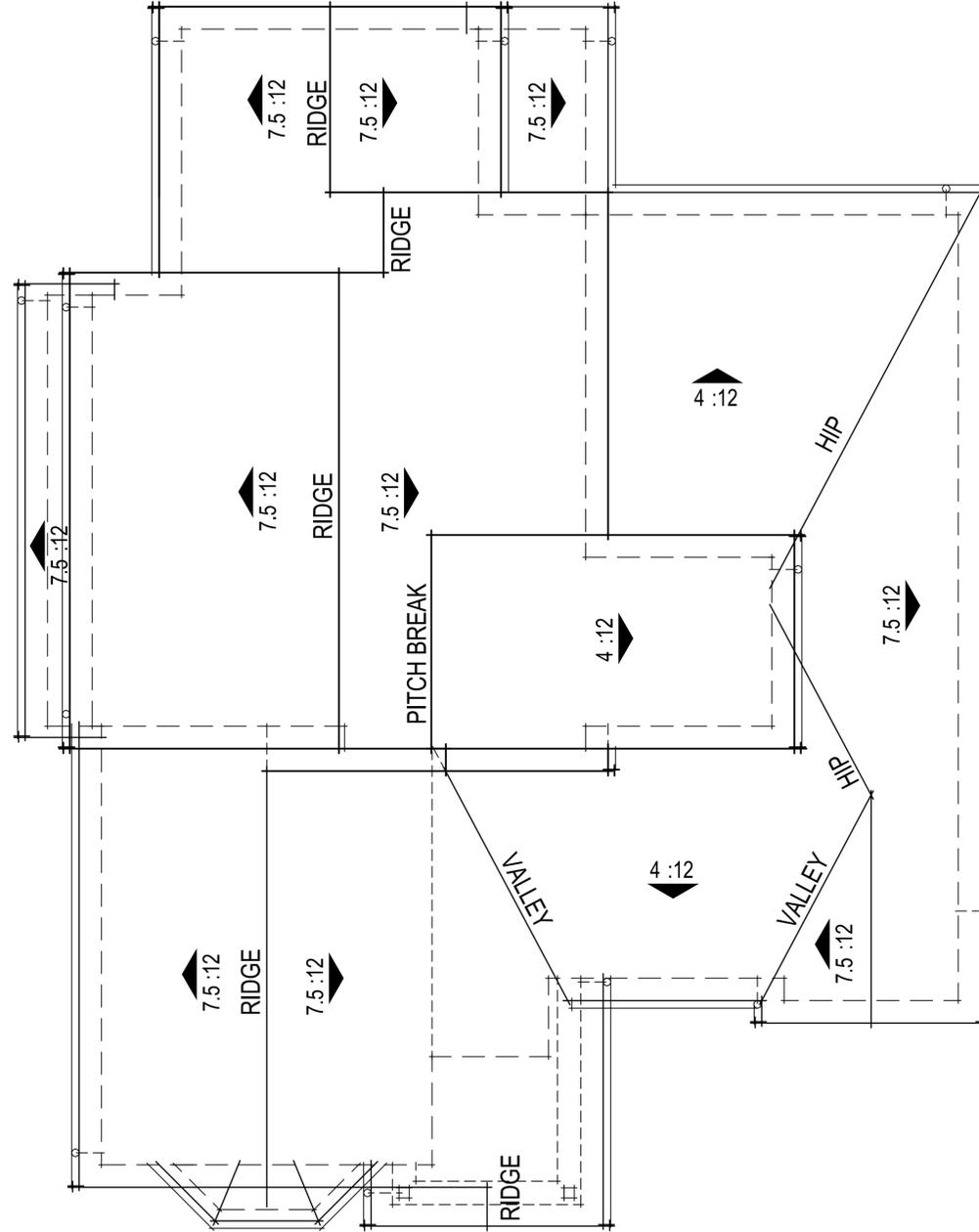


RIGHT ELEVATION



CROSS SECTION





ROOF PLAN

PLANT LEGEND

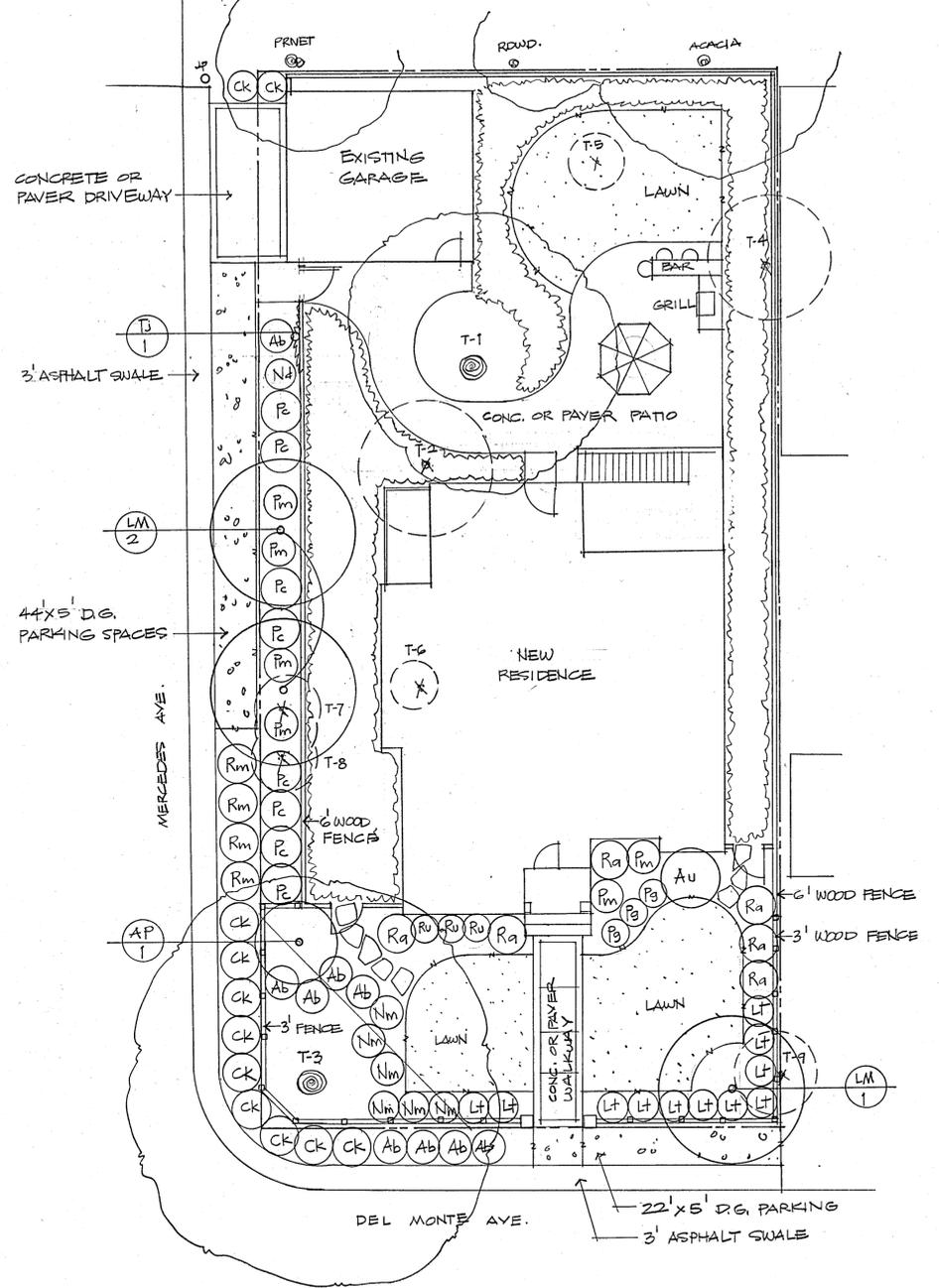
SYM	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
Trees					
AP	1	24" box	Acer palmatum 'Bloodgood'	Red Japanese Maple	standard
LM	3	24" box	Lagerstroemis 'Muskogee'	Crape Myrtle	standard
Shrubs/Vines/Groundcovers					
Ab	8	5 gal	Abelia g. 'Confetti'	Variegated Dwarf Abelia	
Au	1	15 gal	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	multi
Ck	11	5 gal	Coprosma kirkii	Mirror Plant	
Lt	11	5 gal	Ligustrum texanum	Texas Privet	
Nm	6	5 gal	Nandina d. 'Moon Bay'	Moon Bay Dwarf Heavenly Bamboo	
Nd	2	5 gal	Nandina d. 'Compacta'	Compact Heavenly Bamboo	
Pm	6	5 gal	Phormium 'Maori Maiden'	Bronze Flax	
Pg	3	5 gal	Polygala f. 'Petite Butterflies'	Dwarf Sweet Pea Shrub	
Pc	8	5 gal	Prunus c. 'Compacta'	Carolina Cherry	
Ra	6	5 gal	Rhamnus a. 'Variegata'	Variegated Italian Buckthorn	
Ru	3	5 gal	Rhaphiolepis u. 'Minor'	Dwarf Yeddo Hawthorne	
Rm	4	5 gal	Rosmarinus 'Ken Taylor'	Dwarf Rosemary	
Tj	1	15 gal	Trachelospermum jasminoides	Star Jasmine	espallier
			Sod	Centennial or equal	9010 Dwarf Fescue mix
Rear yard ornamental landscaping					

EXISTING TREE LEGEND

SYM	SIZE diam.	BOTANICAL NAME	COMMON NAME	NOTES
T-1	32"	Quercus agrifolia	Coast Live Oak	keep
T-2	16"	Ligustrum japonicum	Japanese Privet	remove
T-3	30"	Cedrus deodara	Deodar Cedar	keep
T-4	10"	Acacia	Acacia	remove
T-5	4"	Citrus	Lemon Tree	remove
T-6	6"	Pittosporum tobira	Mock Orange	remove
T-7	1"-6"	Ligustrum jap./Cotoneaster- multi trunked shrubs		remove
T-8	1"-5"	Ligustrum jap./Cotoneaster- multi trunked shrubs		remove
T-9	1"-5"	Ligustrum japonicum- multi trunked shrubs	Japanese Privet	remove

IMPERVIOUS COVERAGE

	Proposed sf	Existing sf
House footprint, covered porch	1693 sf	1,184
Garage	400	400
Driveway on property	189	54
Walkways and rear patio	913	515
Basement lightwells, stairs	279	0
Softscape	4,276	5,557
Lot size	7,750	7,750



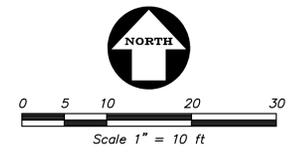
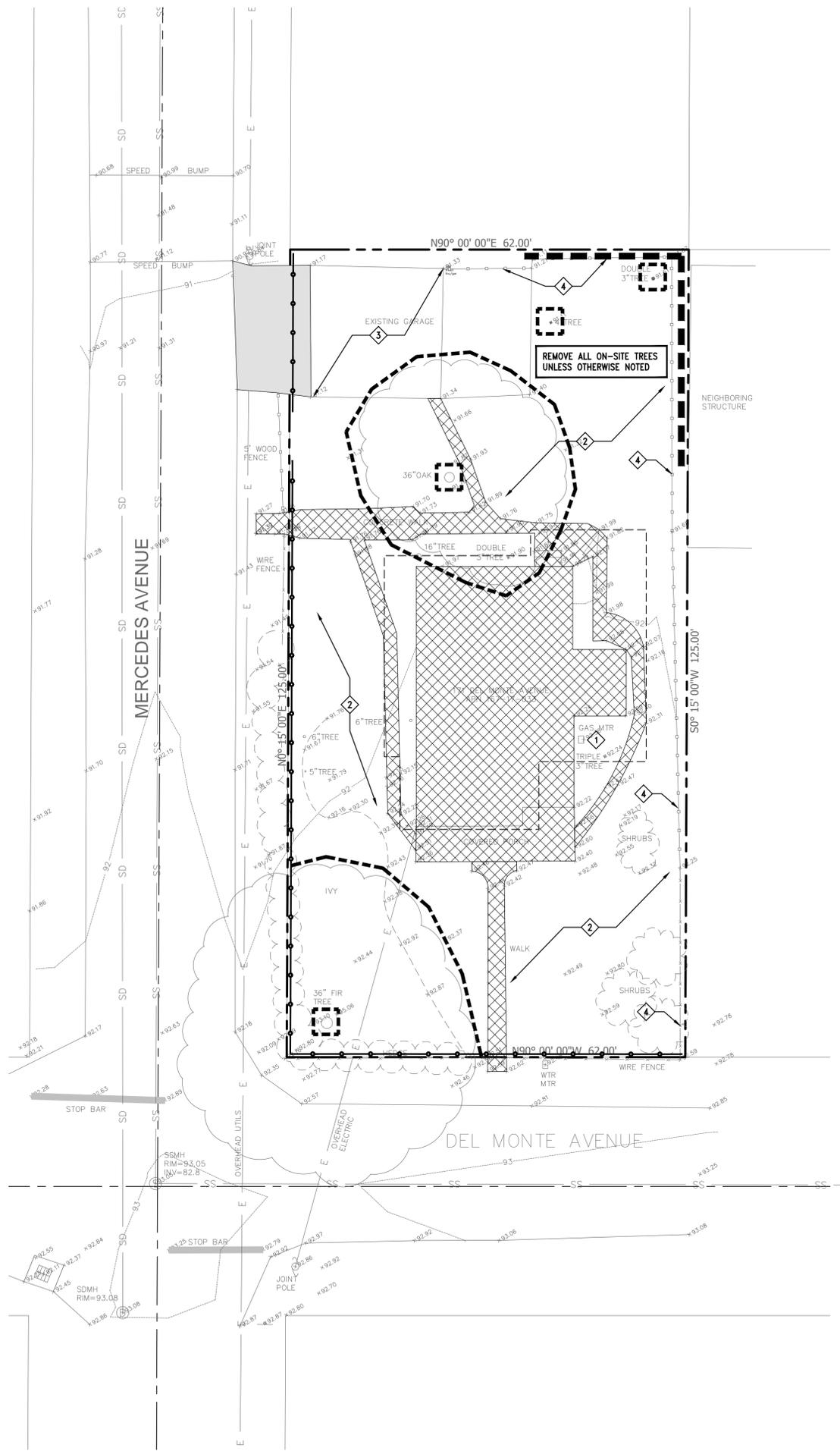
REVISIONS	BY
10-4-2013	
CITY COMMENTS	

Strickland Design
 Landscape Architecture
 1014 Mercedes Avenue, Los Altos, CA 94022
 650.388.3560
 strickland.design@comcast.net

Landscape Plan

171 DEL MONTE AVENUE
 Los Altos, CA 94022
 For: SJR Ventures, Inc.

DRAWN
CHECKED
DATE
18 JULY 2013
SCALE
1" = 10'-0"
JOB NO.
SHEET
1
OF 1 SHEETS



DEMOLITION LEGEND

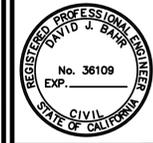
-  EXISTING BUILDING, CONCRETE AND HARDSCAPE TO BE DEMOLISHED
-  EXISTING AC PAVEMENT TO BE REMOVED
-  EXISTING TREE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION
-  REMOVE GAS, ELECTRIC AND TELEPHONE FACILITIES PER APPLICABLE UTILITY COMPANY REQUIREMENTS
-  REMOVE IRRIGATION AND LANDSCAPING
-  EXISTING GARAGE TO REMAIN
-  EXISTING FENCE TO BE REMOVED

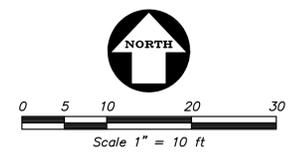
DEMOLITION NOTES

1. ALL BACK FILLING OF THE FOOTING, EXCAVATION, TRENCHING, HOLES, OVER EXCAVATION, ETC. DURING CONSTRUCTION SHALL BE BACK FILLED AND RECOMPACTED TO 90% RELATIVE COMPACTION PER ASTM D-1557, LATEST EDITION, AND SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND APPROVAL. THE COMPACTION OF ALL EXCAVATIONS GREATER THAN 5 FEET IN DEPTH SHALL BE 95% RELATIVE COMPACTION OR PER THE GEOTECHNICAL ENGINEER'S REQUIREMENTS. IN ROADWAYS & UNDER SLABS THE UPPER 2 FEET OF BACKFILL SHALL BE COMPACTED TO 95%.
2. ANY UTILITIES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED PER THE REQUIREMENTS OF THE PERSPECTIVE UTILITY COMPANY AND AS APPROVED BY THE CITY OF LOS ALTOS STANDARDS AND REQUIREMENTS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE GEOTECHNICAL ENGINEER 48 HOURS IN ADVANCE OF ANY GRADING AND FILLING OF THE SITE RELATING TO ANY DEMOLITION OR REMOVAL OF SITE FEATURES. ALL A.C. PAVEMENT, CONCRETE AND BASE ROCK SHALL BE CRUSHED, SALVAGED AND STOCK PILED FOR USE ON-SITE AS FILL MATERIAL. ALL REMOVAL, CRUSHING AND STOCK PILING SHALL BE INSPECTED, TESTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
4. IN GENERAL, FILL MATERIAL SHALL NOT CONTAIN CLUMPS LARGER THAN 6 INCHES IN ITS GREATEST DIMENSION WITH NO MORE THAN 15% LARGER THAN 2.5 INCHES.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT FROM DAMAGE THROUGHOUT THE COURSE OF CONSTRUCTION OF ALL BUILDINGS AND SITE FEATURES ITEMS SUCH AS, BUT NOT LIMITED TO CATCH BASINS, CONDUIT, TELEPHONE AND POWER POLES, FENCING, RETAINING WALLS, GAS LINES, OIL LINES, GASOLINE LINES, FIRE AND WATER SERVICE ASSEMBLIES, CONCRETE CURBS, GUTTER AND SIDEWALK, TREES, BUSHES AND PLANT MATERIAL, ETC. BOTH ON-SITE AND OFF-SITE. THE CONTRACTOR SHALL PROVIDE ALL REPAIRS, MAINTENANCE, SHORING, SUPPORT, ETC. TO MAINTAIN ALL FEATURES DESIGNATED TO REMAIN IF DAMAGED. NOTIFY ARCHITECT/ENGINEER IF ANY DISCREPANCIES EXIST OR IF CLARIFICATIONS ARE REQUIRED.
6. NO BURNING SHALL BE ALLOWED WITHOUT THE PERMISSION OF THE AIR POLLUTION CONTROL DISTRICT. DISPOSE OF ALL MATERIAL IN ACCORDANCE WITH ACCEPTED SAFETY STANDARDS DESCRIBED BY AUTHORITIES HAVING JURISDICTION. NO PILING OR BURNING OF ANY MATERIAL WILL BE PERMITTED WITHIN AREAS OF 90% COMPACTION.
7. COMPLY WITH ALL APPLICABLE REGULATIONS AND SAFETY ORDERS IN EFFECT AT THE CONSTRUCTION SITE. PROTECT OPEN EXCAVATION, TRENCHES, ETC., WITH FENCES, COVERS, OR RAILINGS AS REQUIRED TO MAINTAIN SAFE PEDESTRIAN AND VEHICLE TRAFFIC. MAINTAIN DESIGNATED SITE ACCESS FOR VEHICLE AND PEDESTRIAN TRAFFIC.
8. WHEN DUST CONDITIONS EXIST, DAMPEN THE AREAS TO PREVENT THE TRANSPORTATION OF DEBRIS INTO THE BUILDINGS AND ONTO ADJACENT PROPERTY.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE FINISHED CONDITION OF HIS WORK. BEFORE WORKING OVER BACKFILL OR SIMILAR WORK COMPLETED BY OTHER CONTRACTORS, VERIFY THAT SUCH WORK HAS BEEN PROPERLY BACKFILLED AND COMPACTED. NOTIFY THE ARCHITECT PROMPTLY IN WRITING IF ANY CONDITIONS DO NOT MEET THE PROPER STANDARDS. WITHOUT EXTRA COST TO THE OWNER, ALL FEATURES DAMAGED IN THE PERFORMANCE OF ALL WORK SHALL BE RESTORED TO THE SATISFACTION OF THE OWNER AND AUTHORITIES HAVING JURISDICTION.
10. THE GEOTECHNICAL INVESTIGATION FOR THIS SITE HAS BEEN PREPARED BY _____ PROJECT NO. _____ DATED _____. THIS REPORT REMAINS THE RESPONSIBILITY OF THE GEOTECHNICAL ENGINEER AND IS INCLUDED IN THE SPECIFICATIONS OF THIS PROJECT. THE GEOTECHNICAL REPORT SHALL BE READ BY THE CONTRACTOR BEFORE SUBMISSION OF HIS BID. ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT. THE OWNER WILL RETAIN THE GEOTECHNICAL ENGINEER TO INSURE CONFORMANCE WITH THE GEOTECHNICAL REPORT.
11. CONTRACTOR ACKNOWLEDGES THAT HE HAS THOROUGHLY INFORMED HIMSELF REGARDING REQUIREMENTS OF DRAWINGS, SPECIFICATIONS, AND REGULATIONS PERTAINING TO THE PROJECT. SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY. WHAT IS CALLED BY ONE IS AS BINDING AS IF CALLED FOR BY ALL. THE CONTRACTOR IS TO FAMILIARIZE HIMSELF WITH THE SITE AND COMPARE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATION WITH WORK TO BE PERFORMED BY THE CONTRACTOR, INCLUDING TOPOGRAPHY, APPROACHES AND IMPROVEMENTS ON OR ABOUT THE SITE.
12. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF DEMOLITION WORK, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. ANY ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK OR TO MEET THEIR SCHEDULE WILL MAINTAIN RESPONSIBILITY.
13. CONTRACTOR TO PROVIDE ALL CONSTRUCTION BARRICADES REQUIRED BY GOVERNING AGENCIES AND AS NOTED IN SPECIFICATIONS.
14. NO TRENCHING DEEPER THAN 5 FEET SHALL BE ALLOWED WITHOUT THE CONTRACTOR OBTAINING A PERMIT FROM OSHA.
15. REMOVE EXISTING STRIPING AS REQUIRED THROUGHOUT THE ENTIRE SITE.



PRELIMINARY

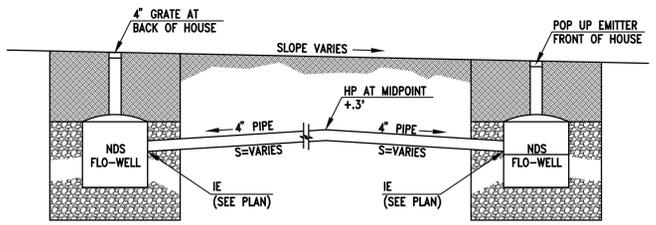
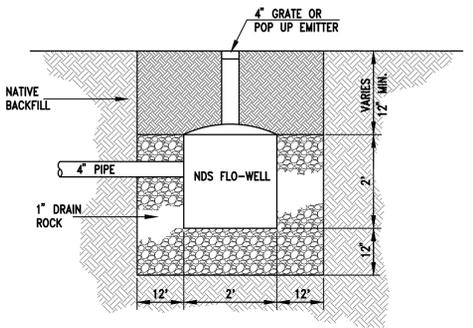
BY									
REVISION									
DATE									
<p>DEMOLITION PLAN SINGLE FAMILY RESIDENCE 171 DEL MONTE AVENUE LOS ALTOS COUNTY CALIFORNIA</p>									
<p>SDG ARCHITECTS INC. Architects Planners Engineers Surveyors 3361 WALNUT BLVD, STE 120 BERRINGHAM, CA 94513 office: (925) 634-7000 fax: (925) 634-8020 or send us an email to info@strausdesign.com</p>									
									
<p>PROJECT# 410.293 DATE: 11/06/13 SCALE: 1" = 10' DRAWN BY: SHEET: C1 OF SHEETS</p>									



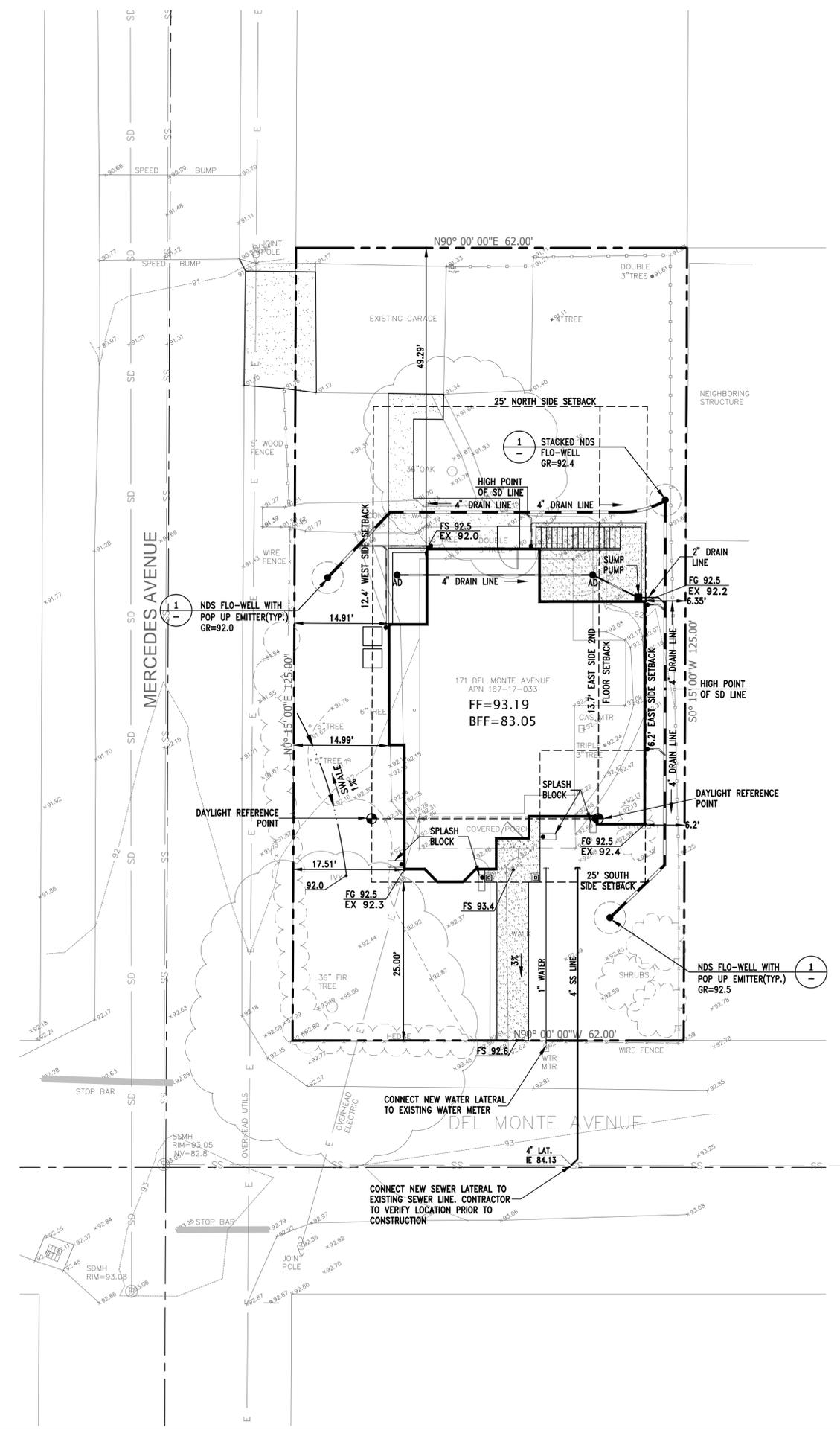
GRADING NOTES

1. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL AND FOUNDATION INVESTIGATION PREPARED FOR THIS SITE BY _____, DATED _____, FILE NO. _____.
2. CONTRACTOR SHALL DETERMINE HIS OWN EARTH QUANTITIES AND BASE HIS BID ACCORDINGLY.
3. TOP OF CURB ELEVATION IS 0.5' ABOVE THE A.C. PAVING AND SPOT ELEVATIONS ARE TO FINISHED SURFACE (UNLESS OTHERWISE NOTED).
4. COMPACTION TO BE DETERMINED USING ASTM D1557, LATEST EDITION LABORATORY TEST PROCEDURE.
5. STORM DRAIN DESIGNATED AS "SD" SHALL BE CLASS III RCP, SDR 35 PVC OR HDPE AS STATED BELOW. PVC AND HDPE PIPES SHALL ONLY BE USED WHEN MINIMUM COVER REQUIREMENTS ARE MET AS SPECIFIED IN THE PVC PIPE BEDDING DETAIL AS SHOWN ON THESE PLANS. SUBSTITUTIONS FOR ANY PIPE WITH A PARTICULAR MATERIAL SPECIFIED ON THIS PLAN SHALL ONLY BE MADE WITH THE WRITTEN APPROVAL OF THE ENGINEER.
6. STORM DRAIN PIPE SHALL BE: 10" DIAMETER AND SMALLER SDR 35 PVC OR HDPE WITH RUBBER GASKETS MEETING ASTM F477. 12" DIAMETER TO BE SDR 35 PVC, CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATER TIGHT JOINTS MEETING ASTM F477 AND ASTM D3212. 15" THROUGH 24" DIAMETERS; PIPE TO BE CLASS III RCP OR BLUE SEAL HDPE AS SPECIFIED ABOVE. PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE (DIP).
7. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS, AND PULL BOXES, THAT LIE WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS OR AREAS AFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
8. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN NOT ASSUME RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
9. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED, ABOVE OR BELOW, BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
10. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR THE TRENCHING OR PLACEMENT OF CONCRETE.
11. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
12. ALL WORK, ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE CITY OF LOS ALTOS STANDARDS AND REQUIREMENTS.

EARTHWORK		
171 DEL MONTE AVE.		
ITEM	CUT	FILL
BLDG	621	0
DRIVEWAY	12	0
LANDSCAPE	0	20
TOTAL:	633	20



1 STORM DRAIN LINE SECTION
NOT TO SCALE



DATE	REVISION

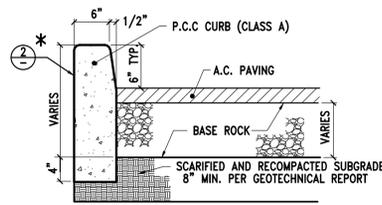
GRADING & DRAINAGE PLAN
SINGLE FAMILY RESIDENCE
171 DEL MONTE AVENUE
LOS ALTOS COUNTY CALIFORNIA

SDG ARCHITECTS INC.
Architects | Planners | Engineers | Surveyors
3361 WALNUT BLVD., STE. 120 BRIGHTWOOD, CA 94513
office: (925) 634-7000 at www.sdga.com
or send us an email to info@traussdesign.com



PROJECT# 410.293
DATE: 11/06/13
SCALE: 1" = 10'
DRAWN BY: VHS
SHEET: C2
OF SHEETS

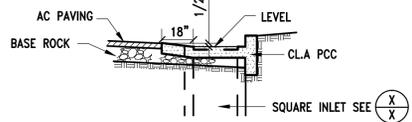
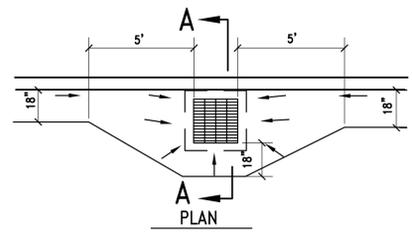
PRELIMINARY



* WEEPHOLES TO BE PLACED ON ALL CURBS AND CURB & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

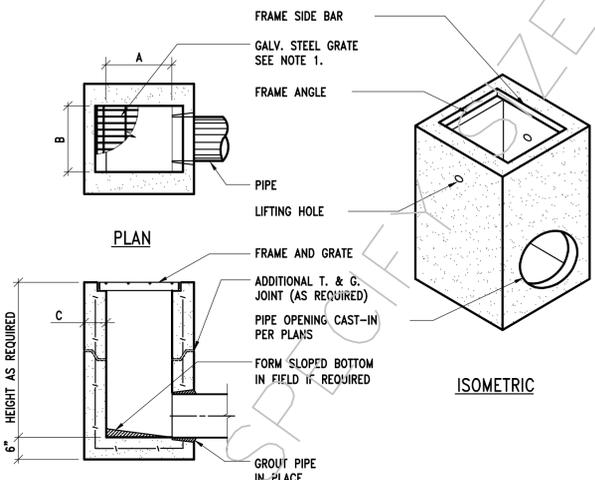
CONCRETE CURB
NOT TO SCALE

1



GUTTER FLARE DETAIL
NOT TO SCALE

4



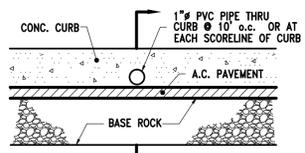
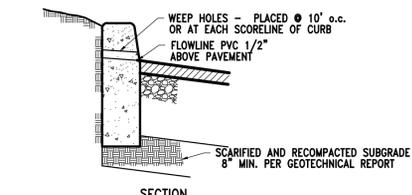
TYPICAL SECTION

NOTES:
1. FRAMES AND GRATES MAY BE SPECIFIED FOR PEDESTRIAN OR H2O TRAFFIC LOADING. ALL GRATES ARE BICYCLE PROOF. OPTIONAL GRATE LOCKING DEVICE AVAILABLE ON REQUEST SEE DRAWING "LOCK" ON PAGE 1-7. CLOSED-MESH GRATES OR CAST IRON FRAME AND GRATES ARE AVAILABLE ON REQUEST.
2. FOR SURFACE AND DISCHARGE OPTIONS AVAILABLE SEE DRAWING NO. "DI-SO" PAGE 1-6 AND "DI-DO" PAGE 1-5.
3. FRAMES AND GRATES DETAILS SEE PAGES 1-8, 1-9, AND 1-10.
4. WALL THICKNESSES ON ALL D.I.S. CAN BE CHANGED UPON REQUEST. 5. 18" WIDE D.I.'S REPLACE THE OLD 16" WIDE BOX BK & 1K.

MODEL No.	CPC MODEL NAME	A		B		C	
		IN	MM	IN	MM	IN	MM
CP1212	EK	12	300	12	300	4	100
CP1818	CK	18	450	18	450	5	125
CP1824	1K*	18	450	24	600	5	125
*CP2424	2K	24	600	24	600	5	125
CP2430	3K	24	600	30	750	5	125
CP3030	5K	30	750	30	750	6	150
CP2436	1L	24	600	36	900	6	150
CP3636	1M	36	900	36	900	6	150
CP2448	3L	24	600	48	1200	6	150
CP3648	3M	36	900	48	1200	6	150
CP4848	1R	48	1200	48	1200	6	150

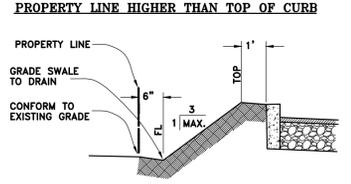
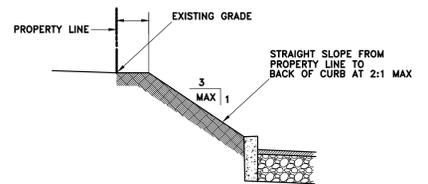
**DROP INLET
US CONCRETE PRECAST GROUP**
NOT TO SCALE

7



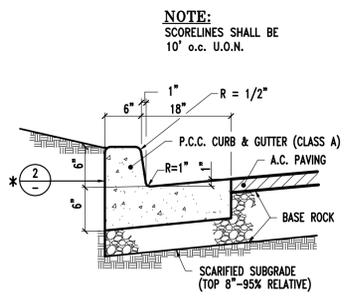
WEEP HOLE
NOT TO SCALE

2



TYPICAL SECTION AT PROPERTY LINE
NOT TO SCALE

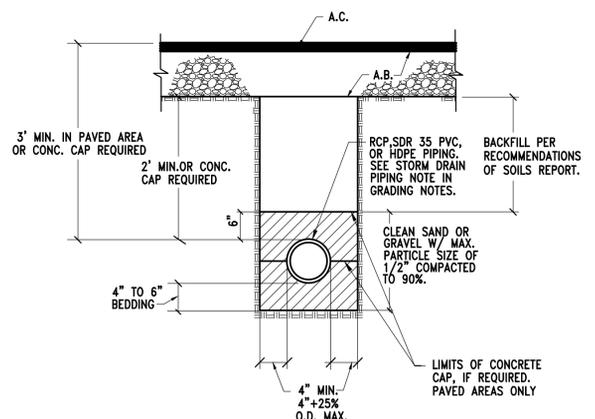
5



* WEEPHOLES TO BE PLACED ON ALL CURBS AND CURB & GUTTER WHERE LANDSCAPING SLOPES TOWARD CURB. WEEPHOLES SHALL BE PLACED AT 10' O.C. OR AT EACH SCORELINE OF THE CURB.

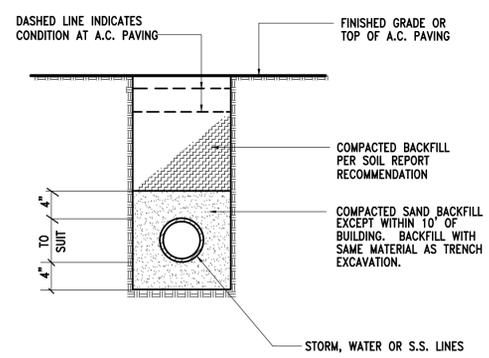
CURB AND GUTTER
NOT TO SCALE

3



P.V.C. & H.D.P.E. PIPE BEDDING DETAIL
NOT TO SCALE

6



**PIPE LINE
BACKFILL & BEDDING DETAIL**
NOT TO SCALE

8

PROGRESS SET

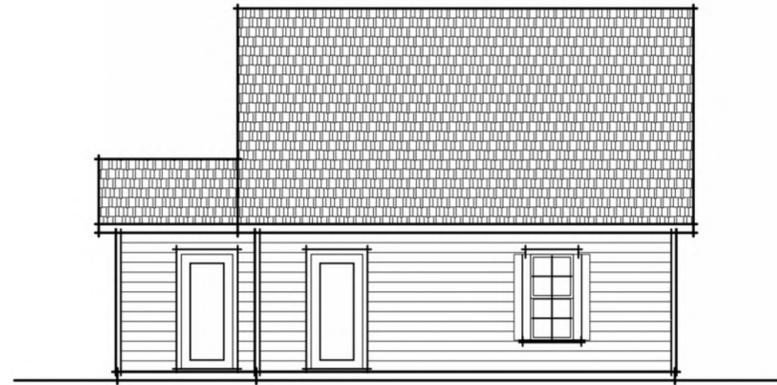
BY: _____
REVISION: _____
DATE: _____

LOS ALTOS COUNTY
DETAILS
SINGLE FAMILY RESIDENCE
171 DEL MONTE AVENUE
CALIFORNIA

SDG ARCHITECTS INC.
Architects | Planners | Engineers | Surveyors
3361 W. ALHAMBRA BLVD., STE. 120 BRIGHTWOOD, CA 94513
office: (925) 634-7000 at www.sdga.com
or send us an email to info@traussdesign.com

REGISTERED PROFESSIONAL ENGINEER
DAVID J. BAUER
No. 36109
EXP. _____
CIVIL
STATE OF CALIFORNIA

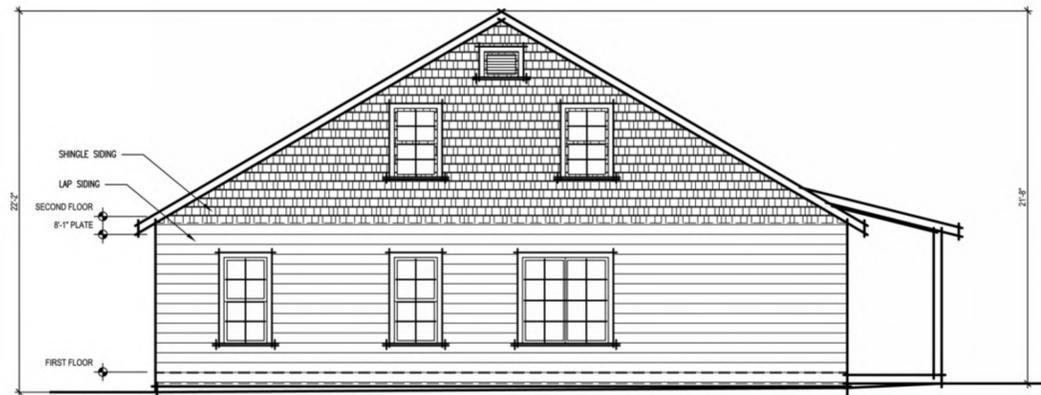
PROJECT# 410.293
DATE: 11/05/13
SCALE: 1" = 00'
DRAWN BY:
SHEET: **C6**
OF SHEETS



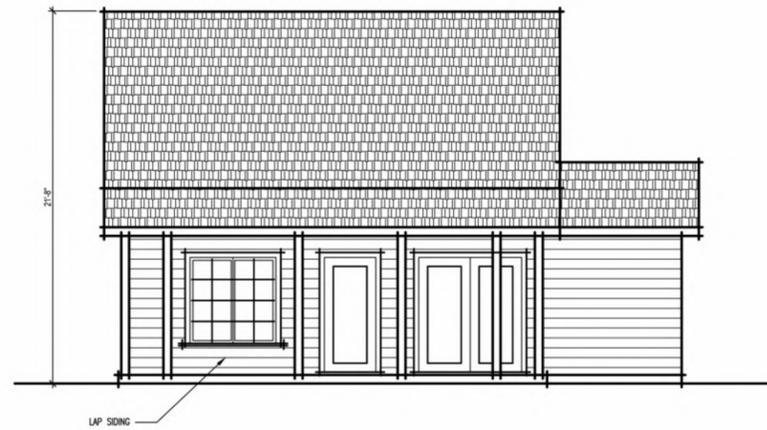
EXISTING REAR ELEVATION



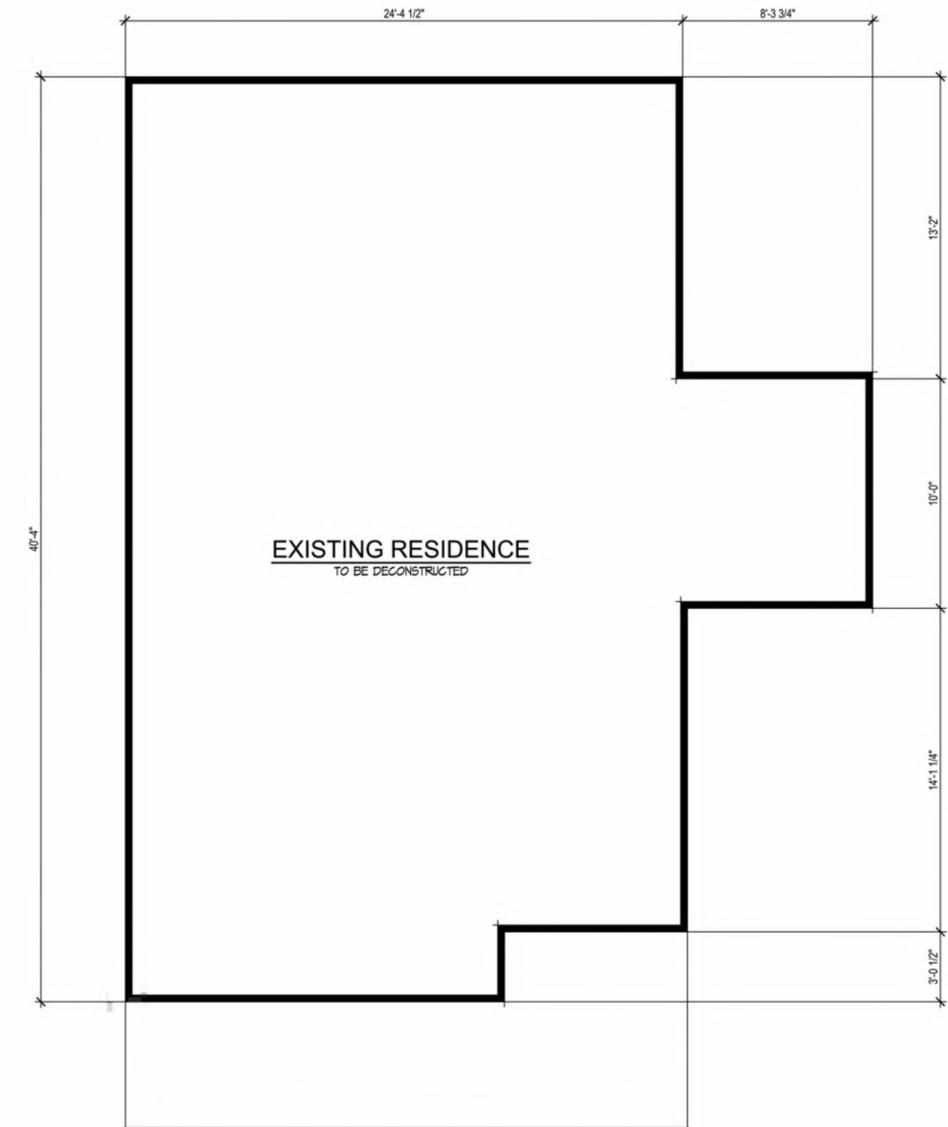
EXISTING RIGHT ELEVATION



EXISTING LEFT ELEVATION

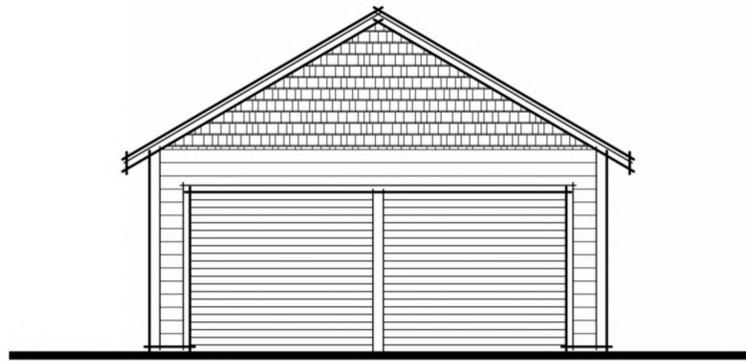


EXISTING FRONT ELEVATION

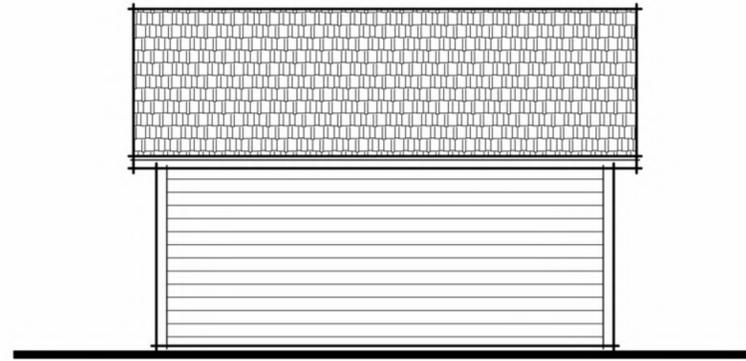


EXISTING RESIDENCE
TO BE DECONSTRUCTED

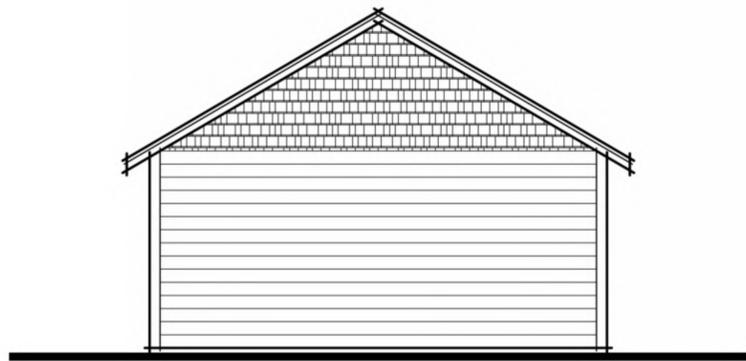
EXISTING FLOOR PLAN



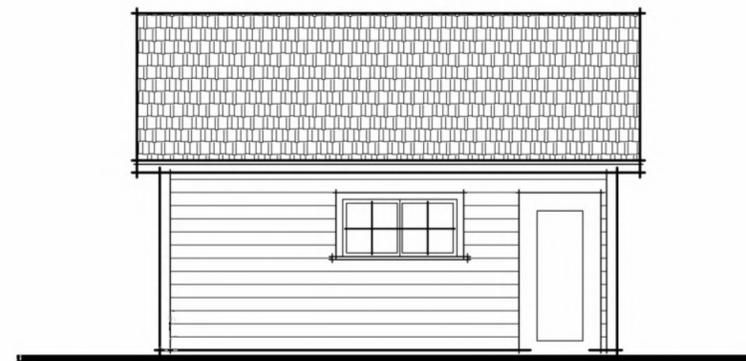
EXISTING LEFT ELEVATION



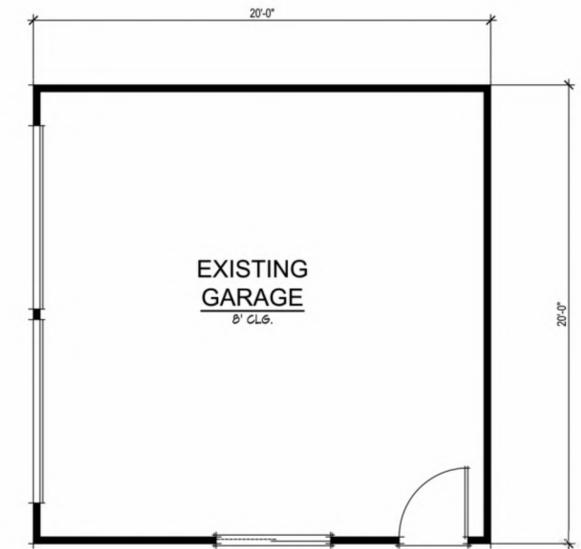
EXISTING REAR ELEVATION



EXISTING RIGHT ELEVATION



EXISTING FRONT ELEVATION



EXISTING GARAGE PLAN

Roofing
GAF - Charcoal /
Copper Standing Seam Roof



Body 1
KM 3844-2
Beachcomber



Accent
KM AC 251-5
Vermeer's Fields



Body 2
Hardie Shingle Straight Edge Panel
Light Mist



Trim
KM OW 206-1
Apple White



Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.



171 Del Monte Ave.



163 Del Monte Ave.



153 Del Monte Ave.



147 Del Monte Ave.



172 Del Monte Ave.



162 Del Monte Ave.



152 Del Monte Ave.



146 Del Monte Ave.



184 Del Monte Ave.



185 Del Monte Ave.



190 Pasa Robles Ave.



863 Mercedes Ave.

Del Monte
Los Altos
November 3, 2013