

ABBREVIATIONS			
(REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL ABBREVIATIONS)			
AC. TILE	ACOUSTIC TILE	LAV.	LAVATORY
ADJ.	ADJUSTABLE	LAM.	LAMINATE
ALUM.	ALUMINUM	M.B.	MACHINE BOLT
A.S.	ANCHOR BOLT	M.H.	MANHOLE
APPROX.	APPROXIMATELY	MFG.	MANUFACTURER
A.C.	ASPHALTIC CONCRETE	M.O.	MASONRY OPENING
A.F.F.	ABOVE FINISHED FLOOR	MATL.	MATERIAL
@	AT	MAX.	MAXIMUM
BLKG.	BLOCKING	MECH.	MECHANICAL
BD.	BOARD	MTL.	METAL
BOT.	BOTTOM	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
CAB.	CABINET	MTD.	MOUNTED
C.I.	CAST IRON	(N)	NOT IN CONTRACT
C.B.	CATCH BASIN	N.I.C.	NOT TO SCALE
		NO. or #	NUMBER
CLG.	CEILING	OB.S.	OBSCURE
CEM.	CEMENT	ON CENTER	ON CENTER
C.O. or O.C.	CENTER TO CENTER	OPNG.	OPENING
CL	CENTERLINE	OPP.	OPPOSITE
CER. TILE	CERAMIC TILE	OPPOS. HAND	OPPOSITE HAND
C.O.	CLEANOUT	O.H.	OUTSIDE FACE OF STUD
C.O.T.G.	CLEANOUT TO GRADE	O.D.	OVERFLOW DRAIN and/or
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER
RDW.	REDWOOD	O.F.C.I.	OWNER FURNISHED and
C.W.	COLD WATER		CONTRACTOR INSTALLED
COL.	COLUMN	PART.	PARTITION
CONC.	CONCRETE	P.A.F.	POWDER ACTUATED
C.P.	CONCRETE PIPE	PL	PLASTER
CONST.	CONSTRUCTION	PW/PLYWD.	PLYWOOD
C.H.	CONSTRUCTION HEART	P.	PROPERTY LINE
C.J.	CONSTRUCTION JOINT	P.L.	PROPERTY LINE
CONT.	CONTINUOUS	P.V.C.	POLY VINYL CHLORIDE
CTR.	COUNTER	Q	
CTSK.	COUNTER SUNK	R. or RAD.	RADIUS
		R.W.L.	RAIN WATER LEADER
D.A.	DISABLED ACCESS	RWD/R.W.	REDWOOD
DTL.	DETAIL	R.C.P.	REINFORCED CONCRETE
DI.A. or Ø	DIAMETER	REIN.	REINFORCING
DIM.	DIMENSION	REQD.	REQUIRED
DW	DISHWASHER	R.D.	ROOF DRAIN
DISP.	DISPOSAL	RM.	ROOM
DO	DITTO	R.O.	ROUGH OPENING
DR.	DOOR	RND. or Ø	ROUND
D.S.	DOWNSPOUT	R.H.M.S.	ROUND HEAD METAL
DWG.	DRAWING	R.H.W.S.	ROUND HEAD WOOD
D.F.	DRINKING FOUNTAIN		SCREW
	and/or DOUGLAS FIR	S.C.	SOLID CORE
EA.	EACH	SPEC.	SPECIFICATIONS
E.W.	EACH WAY	SC. or Ø	SQUARE
ELECT.	ELECTRIC or ELECTRICAL	S.S.	STAINLESS STEEL
E.W.C.	ELECTRIC WATER	STD.	STANDARD
	COOLER	STL.	STEEL
EL. or	ELEVATION	STRL.	STRUCTURAL
ELEV.		STRUC.T.	
ENCL.	ENCLOSE and/or	TEL	TELEPHONE
	ENCLOSURE	T.T.B.	TELEPHONE TERMINAL
EQ.	EQUIP.		BOARD
(E)	EXISTING	TERR.	TERRAZZO
EX.	EXPANSION	T.&G.	TONGUE & GROOVE
E.J.	EXPANSION JOINT	T.J.	TOILED JOINT
EXP.	EXPOSED	T.O.B.	TOP OF BEAM
EXT.	EXTERIOR	T.O.C.	TOP OF CURB
		or CONCRETE	
F.O.C.	FACE OF CONCRETE	T.O.S.	TOP OF STEEL
F.O.M.	FACE OF MASONRY	T.O.W.	TOP OF WALK
F.O.S.	FACE OF STUD	TYP.	TYPICAL
FN	FINISH	U.O.N.	UNLESS OTHERWISE
F.E.	FIRE EXTINGUISHER		NOTED
F.E.C.	FIRE EXTINGUISHER	V.T.R.	VENT THROUGH ROOF
	CABINET	VERT.	VERTICAL
F.H.C.	FIRE HOSE CABINET	V.G.	VERTICAL GRAIN
F.H.M.S.	FLAT HEAD METAL	V.C.T.	VINYL COMPOSITION
	SCREW	TILE	TILE
F.H.W.S.	FLAT HEAD WOOD	V.C.P.	VITRIFIED CLAY PIPE
	SCREW	V.W.C.	VINYL WALL COVERING
FL. or FLR.	FLOOR	W.C.	WATER CLOSET
F.D.	FLOOR DRAIN	W.H.	WATER HEATER
FTG.	FOOTING	WP.	WATERPROOF
FND.	FOUNDATION	W/	WITH
		W/O	WITHOUT
GALV.	GALVANIZED	WO	WOOD
G.I.	GALVANIZED IRON	W.W.M.	WELDED WIRE MESH
GA.	GAUGE		
GL.	GLASS		
GLULAM	GLUE-LAMINATED		
GRD.	GRADE		
GYP. BD.	GYP.SUM BOARD		
HDW.	HARDWARE		
HT.	HEIGHT		
H.C.	HOLLOW CORE		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
H.B.	HOSE BIBB		
HR.	HOUR		
INSUL.	INSULATION		
INT.	INTERIOR		
INV.	INVERT		
JT	JOINT		

SYMBOLS	
REFER TO ARCHITECTURAL FLOOR PLAN SHEETS AND CONSULTANT DRAWINGS FOR ADDITIONAL SYMBOLS AND REFERENCE DESIGNATIONS	
DIMENSION REFERENCE	MATERIALS REFERENCE
SECTION REFERENCE	
DETAIL REFERENCE	
SCHEDULE REFERENCE	

DEFERRED APPROVAL ITEMS	
AUTOMATIC FIRE SPRINKLER SYSTEM	

PROJECT TEAM	
OWNER	ENERGY COMPLIANCE
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DRAWINGS INDEX	
	ARCHITECTURAL
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C-1	GRADING AND DRAINAGE PLAN

PROJECT SUMMARY TABLE			
NET LOT AREA	17,516 sq.ft.		
	Existing	Change in	Total Proposed
% OF FRONT YARD PAVING:	N/A	N/A	27%
HABITABLE LIVING AREA:	2,276 sq.ft.	+1,774 sq.ft.	4,050 sq.ft.
NON HABITABLE AREA:	470 sq.ft. (garage)	-19 sq.ft.	451 sq.ft.
	Existing	Proposed	Allowed/Required
LOT COVERAGE:	2,843 sq.ft. (16%)	4,195 sq.ft. (23%)	5,254 sq.ft. (30%)
FLOOR AREA	1st Floor 2,746 sq.ft. 2nd Floor 0 sq.ft. (15%)	1st Floor 3,688 sq.ft. 2nd Floor 813 sq.ft. (25%)	4,501 sq.ft. (25%)
SETBACKS			
Front	30'6"	27'6"	25'0"
Rear	13'10"	122'0"	25'0"
Right side (1st/2nd)	9'4" N/A	7'4" 16'	6'11" 14'5"
Left side (1st/2nd)	3'6" N/A	3'6" 14'5"	6'11" 14'5"
HEIGHT:	+/- 15'	26'	27'0"

LOCATION MAP

SCOPE OF WORK

FIRST FLOOR REMODEL AND ADDITION. SECOND STORY ADDITION.

FIVE BEDROOMS HOUSE WITH OFFICE AND PLAY ROOM, REAR AND SIDE FACING TERRACE. TWO CARS GARAGE TO REMAIN.

THIS PROJECT COMPRISES STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK.

APPLICABLE CODES

2010 California Residential Building Code
2010 California Historical Building Code
2010 California Mechanical Code
2010 California Plumbing Code
2010 California Electrical Code
2010 California Energy Code
Appendix Chapters A2, A3, A4 and A5 of the 2010 International Existing Building Code adopted.
2010 Green Building Standards Code

PROJECT INFORMATION			
APN	167 10 049		
COUNTY	SANTA CLARA		
ZONING DISTRICT	R1-10		
FLOOD ZONE	PORTION IN FLOOD ZONE A		
HISTORIC DISTRICT	N		
OCCUPANCY	R-3+ U		
BUILDING TYPE	V-N		
AVERAGE SLOPE	1%		
LOT SIZE	17,516 +/-		
NET LOT SIZE	17,516 +/-		
ALLOWED FLOOR AREA	4,501		
MAX COVERAGE	5,254 (30% of site)	Proposed: (4,195) 24%	
MIN. SETBACK	F:25' R:25' S: 6'11" **2ND Floor S: 14'5"		
MAXIMUM HEIGHT	Allowed	Proposed	
	27'0"	+ 25'2"	
FIRST FLOOR ADDITION (sq.ft.)	942		
SECOND FLOOR ADDITION (sq.ft.)	813		
FLOOR AREA (sq.ft.)	Existing	Proposed	
	2,746 +/-	4,501	
*FAR calculation: 17,516 -11,000=6,516	** First Floor Side Setback: 10% of lot width		
10%= 651 3,850+651=4,501	Second Floor Side Setback: 10% of lot width + 7.5'		

Gauri Residence

Addition and Remodel

1060 Laureles Dr. Los Altos CA
APN 167 10 049

DEFERRED APPROVAL ITEMS	
AUTOMATIC FIRE SPRINKLER SYSTEM	



Revision	Revision	Revision
GAURI RESIDENCE		
1060 Laureles Dr. Los Altos CA		
PROJECT INFO		
Sheet Scale : AS NOTED	Drawn By: DG	Reviewed By: DG
02/05/2013		
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DRAINAGE NOTES

- 1- ALL DOWNSPOUTS AND FOUNDATION PERIMETER DRAINS TO BE CONNECTED TO SPLASH BLOCKS AWAY FROM BUILDING
- 2- SURFACE DRAINAGE TO FLOW THROUGH GRASS SWALES
- 3- NOT USED
- 4- NO TREES TO BE REMOVED
- 5- SLOPE GRADE AWAY FROM BUILDING 5% FOR A DISTANCE OF 5' AWAY FROM BUILDING. PROVIDE 2% SLOPE ON IMPERVIOUS SURFACES
- 6- NOT USED
- 7- ENSURE PROPER LOT DRAINAGE PER CHAPTER 11 CPC 2007 FOR LOCATION OF CATCH BASINS TO THE PROPERTY LINES.
- 8- THE RUNOFF SHOULD REMAIN ON THE PROPERTY NOT BE TAKEN TO A PUBLIC WAY.

DIMENSIONS NOTES

- 1- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE ANY CONSTRUCTION
- 2- CONTRACTOR TO STAKE PROPERTY LINES WITH SURVEYOR AND USE SETBACKS FOR ADDITION LAY-OUT

NOTE: NO TREES TO BE REMOVED

TREE PROTECTION MEASURES: 11.08.120 - Tree protection during construction.

Protected trees designated for preservation shall be protected during development of a property by compliance with the following, which may be modified by the planning director.

- A. Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree. The fence shall be a minimum of four feet in height and shall be set securely in place. The fence shall be of a sturdy but open material (i.e., chainlink), to allow visibility to the trunk for inspections and safety. There shall be no storage of any kind within the protective fencing.
- B. The existing grade level around a tree shall normally be maintained out to the dripline of the tree. Alternate grade levels may be approved by the planning director.
- C. Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a tree (the root system generally extends to the outermost edges of the branches).
- D. Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
- E. No signs, wires, or any other object shall be attached to the tree.

SITE PLAN NOTES

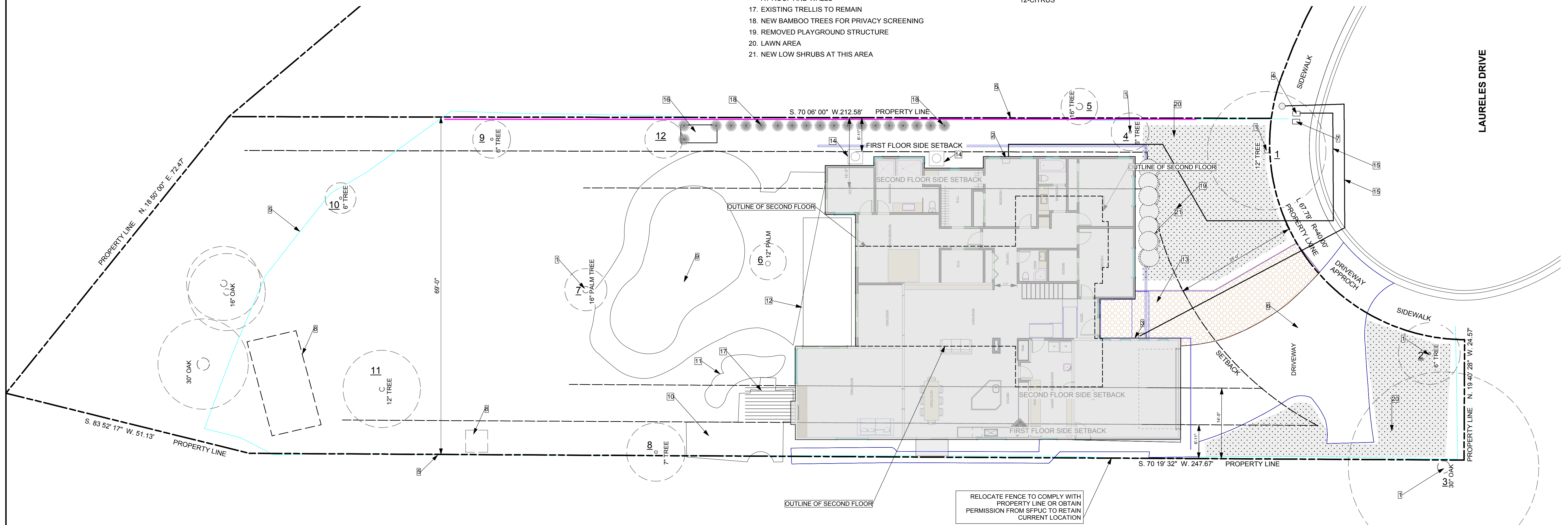
1. EXISTING TREE, PROTECT DURING CONSTRUCTION PER CITY GUIDELINES
2. RELOCATED GAS METER
3. NEW ELECTRICAL METER
4. EXISTING JP
5. EXISTING WOOD FENCE
6. EXISTING DRIVEWAY
7. EXISTING WATER MAIN
8. EXISTING SHED TO BE REMOVED
9. EXISTING SWIMMING POOL, NO CHANGES
10. EXISTING BRICK PAVED SURFACE
11. EXISTING POND
12. PROPOSED WOOD DECK WITH OPEN SKY TRELLIS ABOVE
13. NEW PERCOLATING PAVERS OVER SAND
14. AC UNIT
15. UNDERGROUND UTILITIES LINES TO AVOID (E) TREE DRIPLINE
16. (E) POOL EQUIPMENT SHED TO RECEIVE SOUND INSULATION AT ROOF AND WALLS
17. EXISTING TRELLIS TO REMAIN
18. NEW BAMBOO TREES FOR PRIVACY SCREENING
19. REMOVED PLAYGROUND STRUCTURE
20. LAWN AREA
21. NEW LOW SHRUBS AT THIS AREA

TREE INVENTORY:

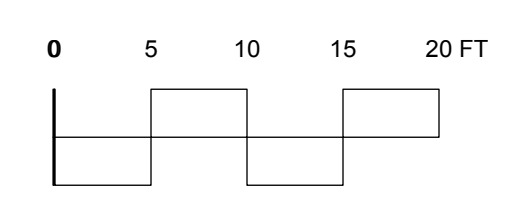
- 1-SOUTHERN MAGNOLIA
- 2-SOUTHERN MAGNOLIA
- 3-OAK
- 4-APRICOT
- 5-SABAL PALMETTO
- 6-CHUSAN PALM
- 7-SABAL PALMETTO
- 8-LOQUAT
- 9-DWARF BARLETT PEAR
- 10-LOQUAT
- 11-PLUM
- 12-CITRUS

HARDSCAPE / SOFTSCAPE CALCULATION:

- (E)-POOL PAVED DECK AREA : 1,512 SQ.FT.
- (E)-REAR PAVED BRICK AREA BY FAMILY ROOM : 224 SQ.FT.
- (E)-DRIVEWAY AND SIDE CONCRETE WALK : 1,056 SQ.FT.
- (N)-PAVED AREA FRONT WALK-LANDING : 439 SQ.FT.
- (N)-HOUSE FOOTPRINT : 3,688 SQ.FT.
- TOTAL HARDSCAPE: 6,919 SQ.FT.
- LOT AREA: 17,516 SQ.FT.
- RATIO : 6,919 SQ.FT. / 17,516 = 39% (INCLUDING RESIDENCE)



1 SITE PLAN
Scale: 1" = 10 ft



Revision	Revision	Revision
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GAURI RESIDENCE
1060 Laureles Dr. Los Altos CA
SITE PLAN

Sheet Scale : AS NOTED	Drawn By : DG	Reviewed By : DG	21/05/2013
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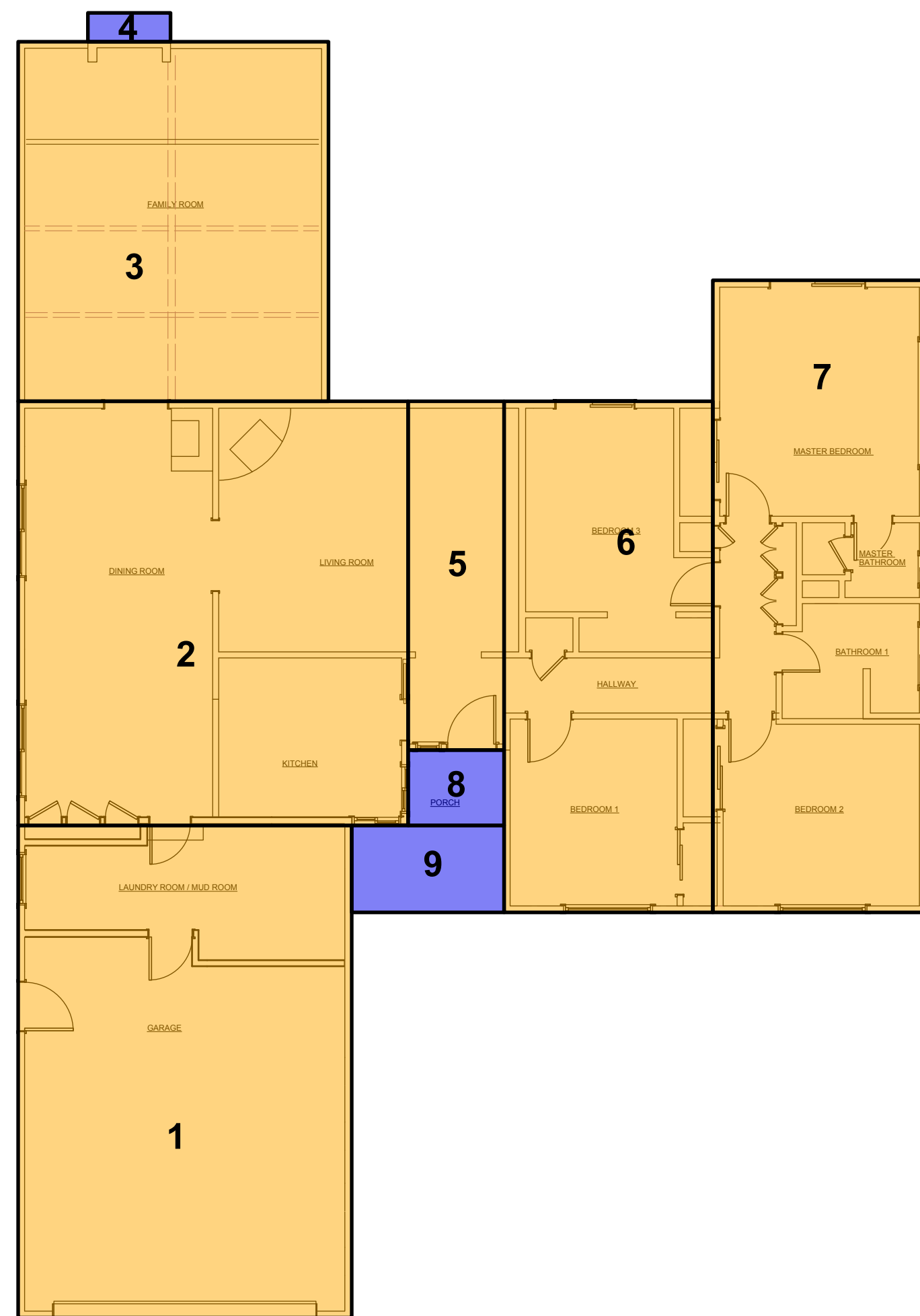
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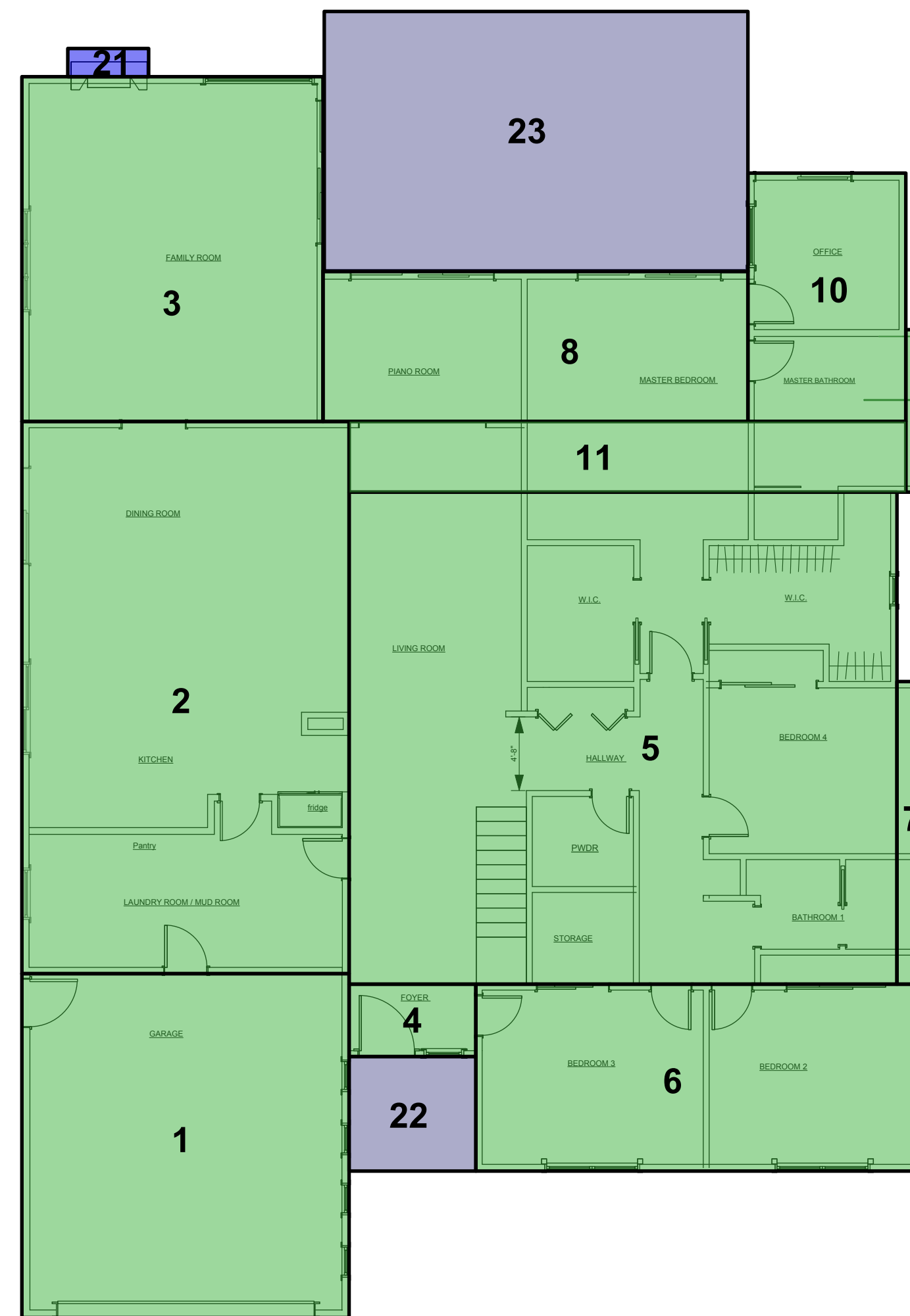
Area Diagram Calculation		
FAR Space	Dimensions	Area (sq.ft.)
First Floor		
1	20'8" x 30'6"	630
2	24' 2 1/2" x 26'3"	635
3	19'3" x 22'4"	428
5	5'11 1/2" x 21'7"	128
6	29'6" x 11'9 1/2"	409
7	13' 3 1/2" x 39' 2"	516
Total		2,746
Coverage		
4	5'1" x 1'9 1/2"	9
8	5'11" x 4'8"	28
9	9'5" x 5'5"	51
Total		2,834

1 AREA CALCULATION DIAGRAM-(E) FLOOR PLAN
Scale: 1/8" = 1'-0"



Area Diagram Calculation		
FAR Space	Dimensions	Area (sq.ft.)
First Floor		
1	20'8 1/2" x 21'9 1/2"	451
2	20'8 1/2" x 35'	724
3	19' x 21'10"	415
4	8' x 4'7"	37
5	34'8 1/2" x 31'2"	1082
6	29'0" x 11'9 1/2"	343
7	24' x 12'9"	45
8	26'10" x 9'6"	257
9	1'10" x 10'3 1/2"	19
10	10'0" x 15'8 1/2"	157
11	35'2 1/2" x 4'6"	158
Total		3,688
Second Floor		
12	9'10" x 17'9"	174
13	11'11" x 18'10 1/2"	225
14	5'9 1/2" x 17'9"	103
15	8'2 1/2" x 15'9"	129
16	3'9 1/2" x 17'9"	67
17	3'2" x 12'7"	40
18	3'2" x 12'7"	40
19	4'11" x 4'1"	20
20	3'2" x 4'11"	15
Total		813
TOTAL 2 FLOORS		4,501
Coverage		
21	5'1" x 1'9 1/2"	9
22	8'2" x 7'3"	58
23	26'10" x 16'5"	440
Total		4195

1 AREA CALCULATION DIAGRAM- PROPOSED 2ND FLOOR PLAN
Scale: 1/8" = 1'-0"



1 AREA CALCULATION DIAGRAM- PROPOSED 1ST FLOOR PLAN
Scale: 1/8" = 1'-0"

Revision	Revision	Revision
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GAURI RESIDENCE
1060 Laureles Dr. Los Altos CA
AREA DIAGRAM

Sheet Scale : AS NOTED	Drawn By: DG	Reviewed By: DG	052113
			21/05/2013

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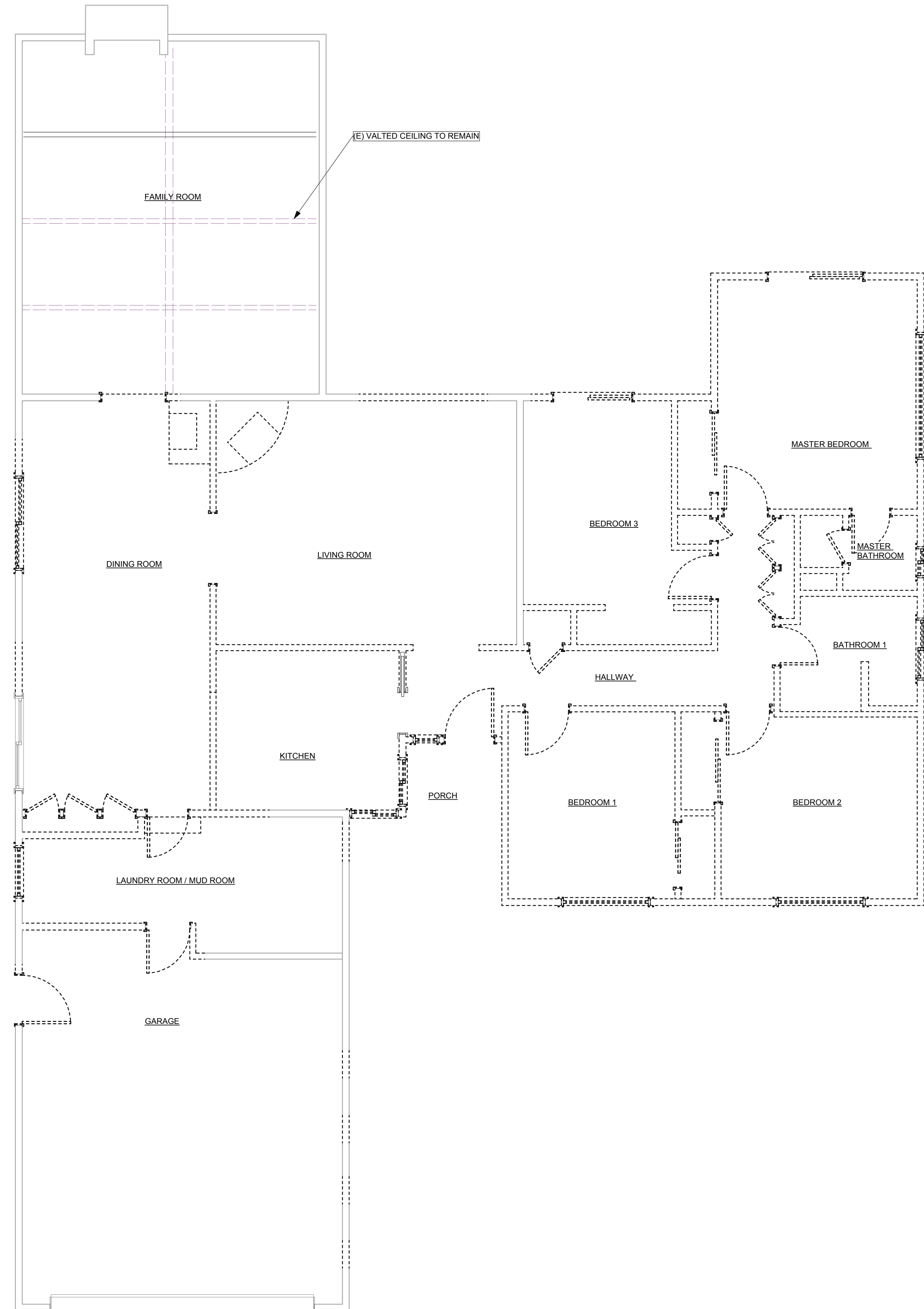
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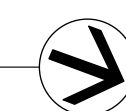


- GENERAL DEMOLITION NOTES**
- 1- SECURELY SHORE IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO REMOVAL OF ANY EXISTING SUPPORTING STRUCTURES
 - 2- REMOVE ALL APPLIANCES, CABINETS AND PLUMBING FIXTURES CAP OFF OR RE-ROUTE PLUMBING AND GAS AS NECESSARY FOR NEW CONSTRUCTION

WALL LEGEND:

- INDICATES EXISTING WALLS TO REMAIN
- - - - - INDICATES EXISTING WALLS AND OTHER FEATURES TO BE REMOVED

1 DEMOLITION PLAN
Scale: 1/4" = 1'-0"



Revision

GAURI RESIDENCE
1060 Laureles Dr. Los Altos CA

052113

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Drawn By: DG
Reviewed By: DG
2/10/2013

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12-31-13

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FIRE DEPARTMENT SANTA CLARA COUNTY

14700 Winchester Blvd., Los Gatos, CA 95032-1818
(408) 378-4010 • (408) 378-9342 (fax) • www.sccfd.org



PLAN REVIEW NO. 13 1311
BLDG PERMIT NO. 1105637

DEVELOPMENTAL REVIEW COMMENTS

Proposed 1,737 square-foot addition and remodel of 420 square-foot of an existing 2,764 square-foot one-story single-family residence with attached garage. A new second story will be created.

Comment #1: Review of this Developmental proposal is limited to acceptability of site access and water supply as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Department all applicable construction permits.

Comment #2: Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in all new one and two-family dwellings and in existing dwellings, when modifications are made that include alterations and /or additions of fifty (50) percent or greater to existing floor area (area calculations shall not include existing basement floor areas). When automatic fire sprinklers systems are required by this section, all associated garages shall be included. **NOTE:** The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. **NOTE:** Covered porches, patios, balconies, and attic spaces may require fire sprinkler coverage. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. Section R313.2 as adopted and amended by LAMC

Comment #3: Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and /or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the

CITY	PLANS	SPECS	NEW	REMODEL	AS	OCCUPANCY	CONST. TYPE	APPLICANT NAME	DATE	PAGE
LOS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SFR	V-B	Acadia Architecture	05/31/2013	1 OF 2
SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION		PROJECT TYPE OR SYSTEM					
2 Story	see plans		Residential Development		Site Plan					
NAME OF PROJECT		LOCATION								
SFR - GAURI		1060 Laureles Dr Los Altos								
TABULAR FIRE FLOW		REDUCTION FOR FIRE SPRINKLERS		REQUIRED FIRE FLOW @ 20 PSI						
1750		50%		1500		BY Harding, Doug				

Organized as the Santa Clara County Central Fire Protection District
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga



FIRE DEPARTMENT SANTA CLARA COUNTY

14700 Winchester Blvd., Los Gatos, CA 95032-1818
(408) 378-4010 • (408) 378-9342 (fax) • www.sccfd.org



PLAN REVIEW NO. 13 1311
BLDG PERMIT NO. 1105637

DEVELOPMENTAL REVIEW COMMENTS

requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

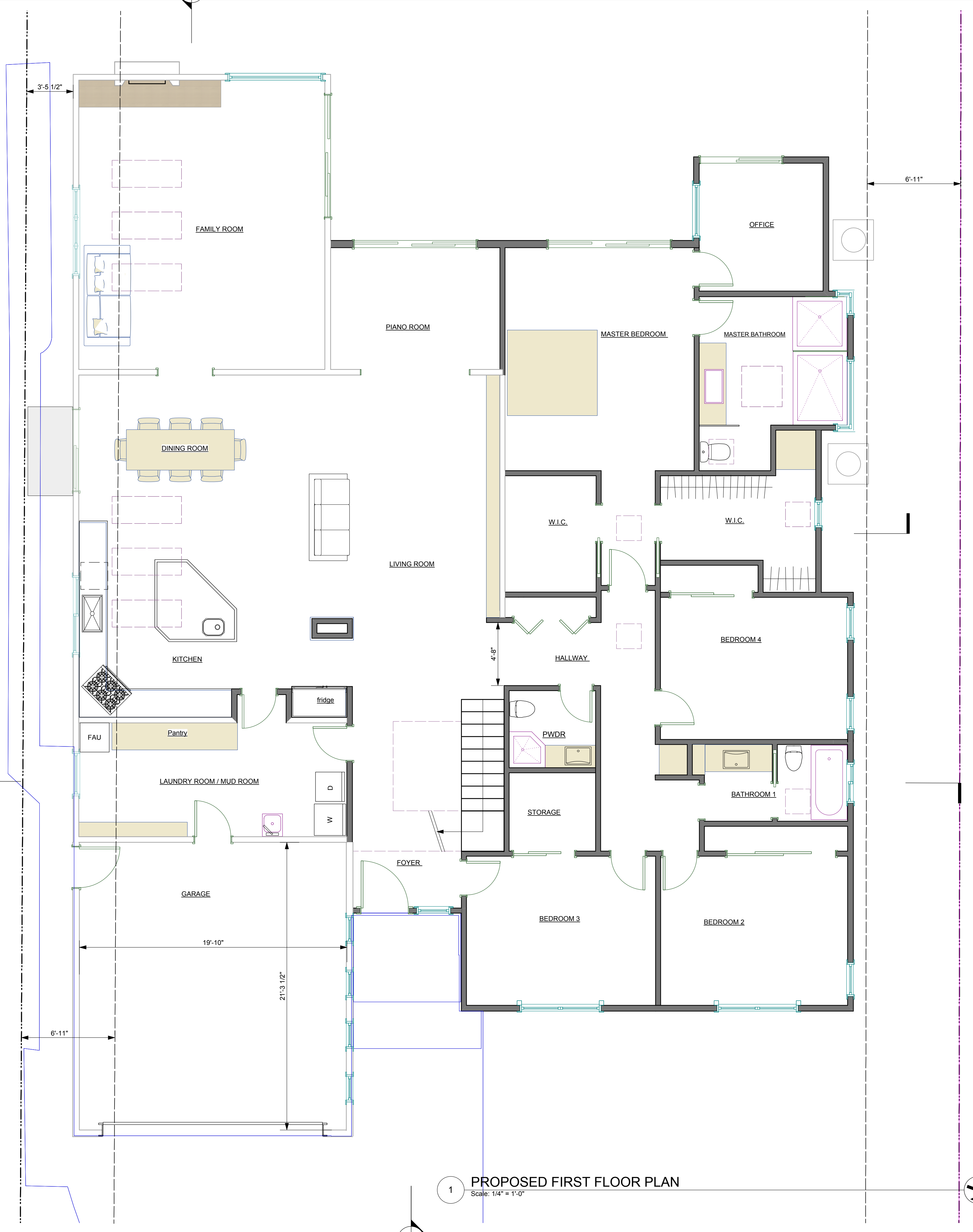
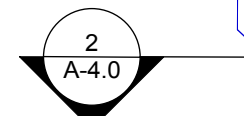
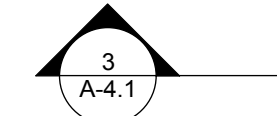
Comment #4: Premises Identification: Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background. CFC Sec. 505

Comment #5: Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 14 and our Standard Detail and Specification 5I-7.

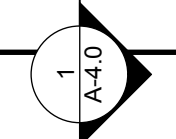
To prevent plan review and inspection delays, the above noted Developmental Review Conditions shall be addressed as "notes" on all pending and future plan submittals and any referenced diagrams to be reproduced onto the future plan submittal.

CITY	PLANS	SPECS	NEW	REMODEL	AS	OCCUPANCY	CONST. TYPE	APPLICANT NAME	DATE	PAGE
LOS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SFR	V-B	Acadia Architecture	05/31/2013	2 OF 2
SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION		PROJECT TYPE OR SYSTEM					
2 Story	see plans		Residential Development		Site Plan					
NAME OF PROJECT		LOCATION								
SFR - GAURI		1060 Laureles Dr Los Altos								
TABULAR FIRE FLOW		REDUCTION FOR FIRE SPRINKLERS		REQUIRED FIRE FLOW @ 20 PSI						
1750		50%		1500		BY Harding, Doug				

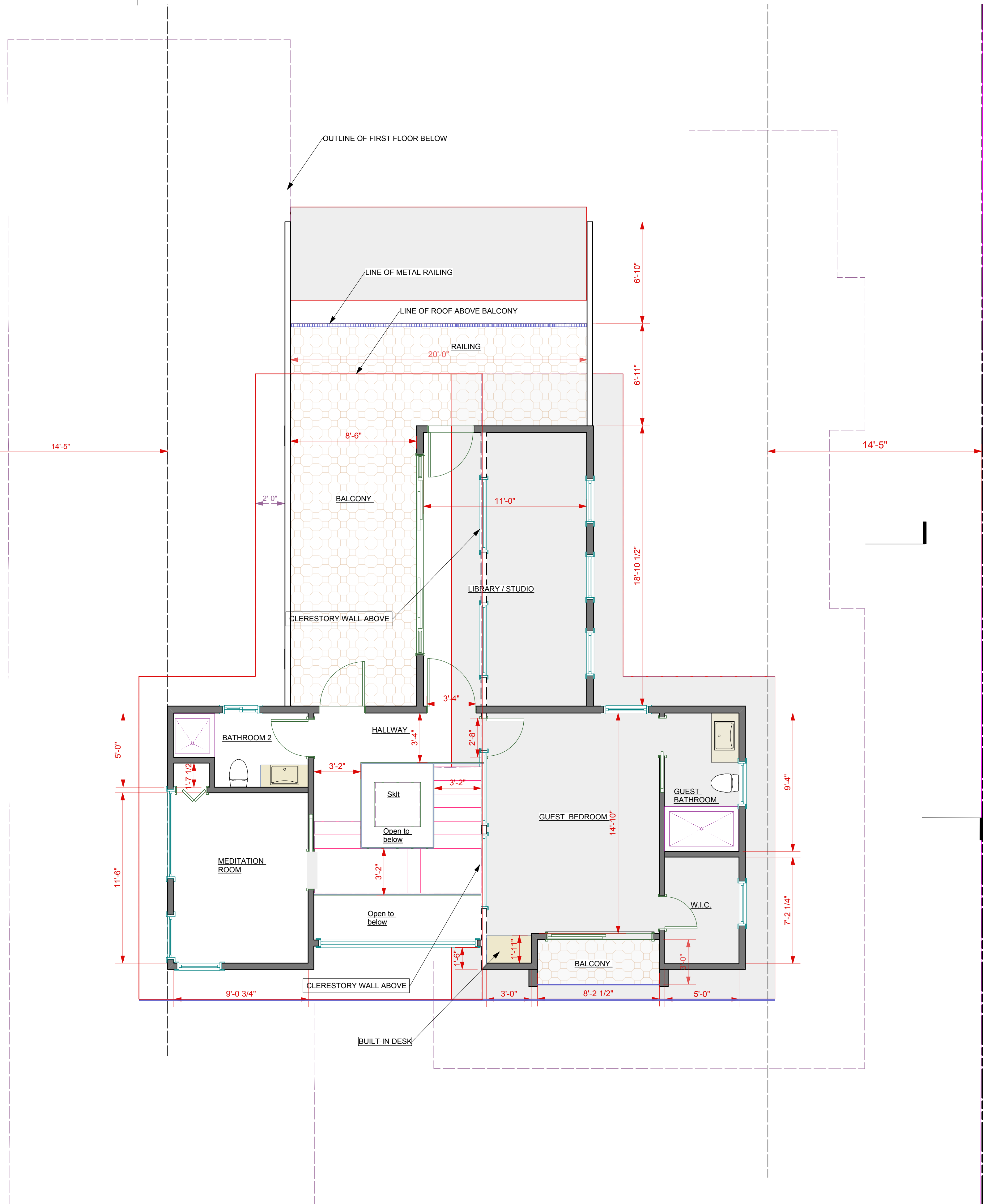
Organized as the Santa Clara County Central Fire Protection District
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga



1 PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

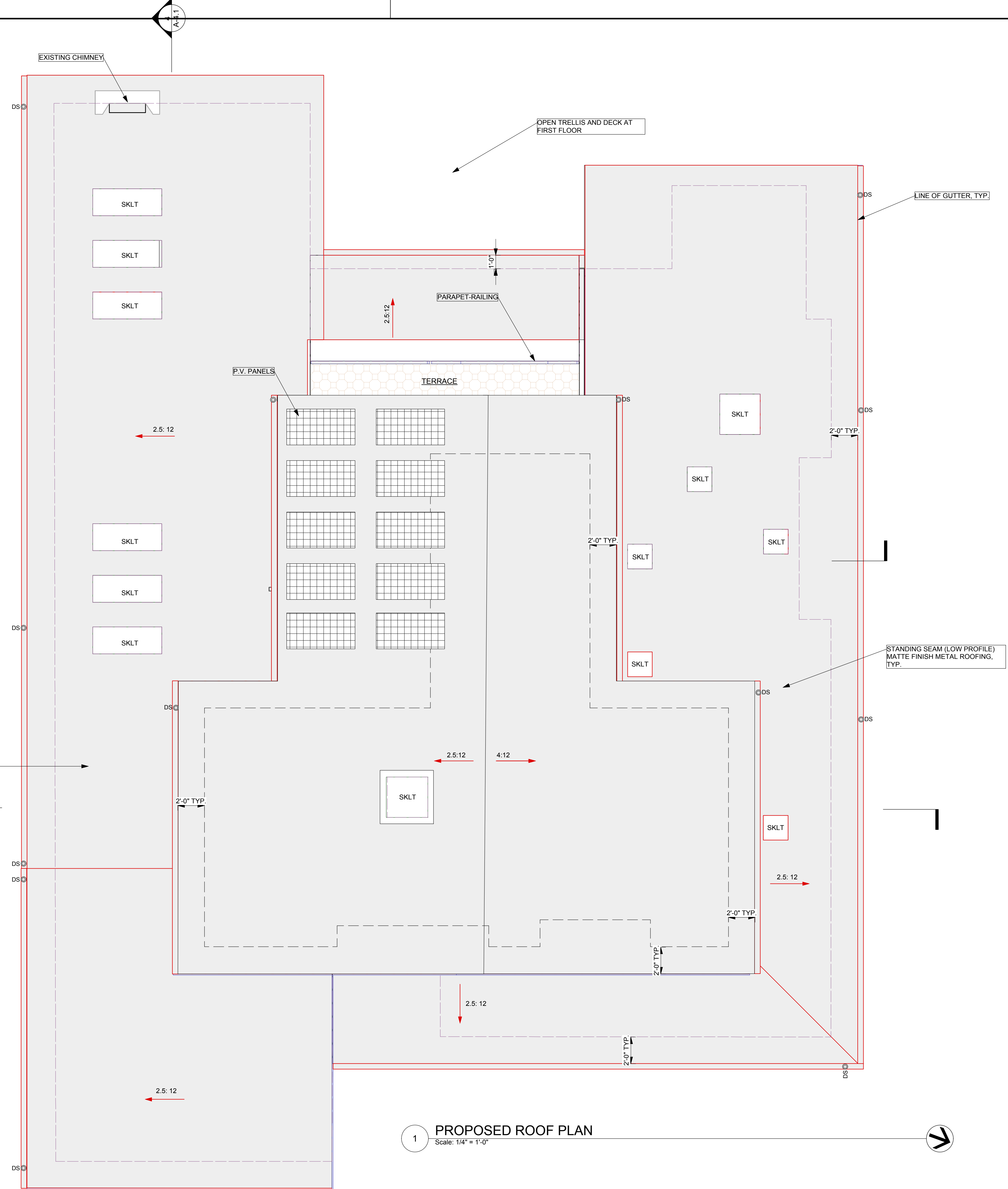


Revision	Revision	Revision
GAURI RESIDENCE 1060 Laureles Dr. Los Altos CA		
PROPOSED FIRST FLOOR PLAN		
Sheet Scale : AS NOTED	Drawn By : DG	Reviewed By : DG
Davide Giannella A.I.A.		052113
		21/05/2013
644 N. Santa Cruz Ave. Suite 6 Los Gatos, California 95030 T. 408-219-0601 dg@acadia-architecture.com		
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12-31-13		
A 2.4		

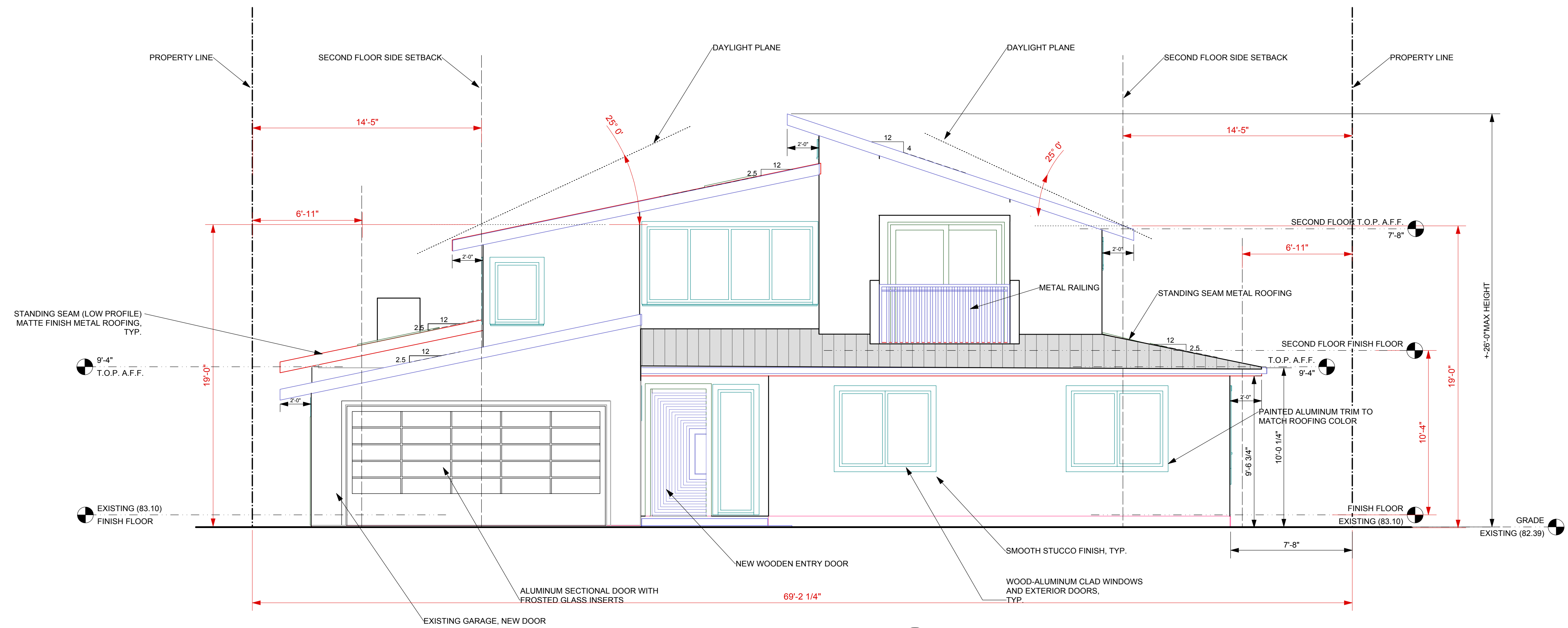


1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

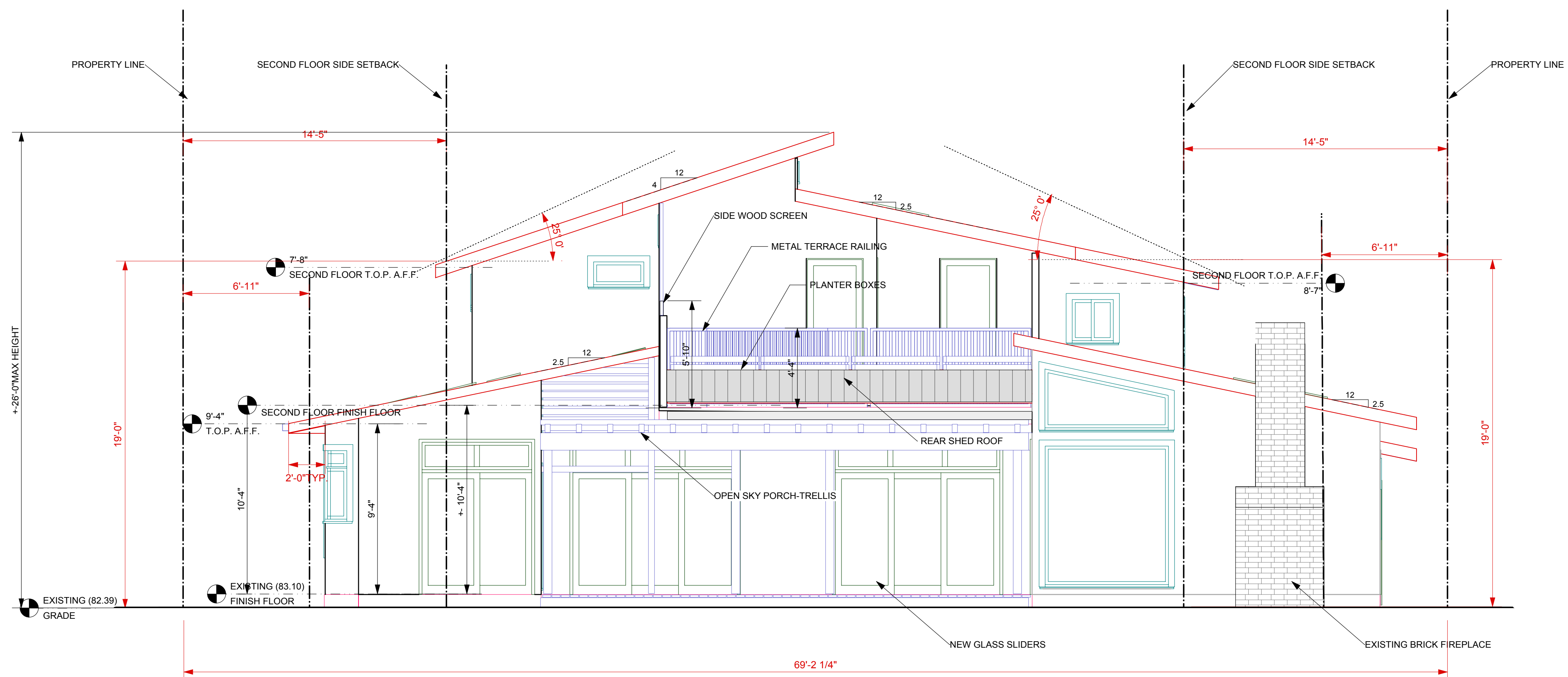
Revision	Revision	Revision
GAURI RESIDENCE 1060 Laureles Dr. Los Altos CA		
Sheet Scale : AS NOTED		052113
Drawn By: DG	Reviewed By: DG	21/05/2013
Davide Giannella A.I.A.		
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12-31-13		
A 2.4.1		



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Sheet Scale : AS NOTED		052113
Drawn By: DG	Reviewed By: DG	21/05/2013
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12-31-13		
A 2.9		



1 Front Elevation
Scale: 1/4" = 1'-0"



2 Rear Elevation
Scale: 1/4" = 1'-0"

Revision

GAURI RESIDENCE
1060 Laureles Dr. Los Altos CA

052113

Sheet Scale : AS NOTED
Drawn By: DG
Reviewed By: DG
21/05/2013

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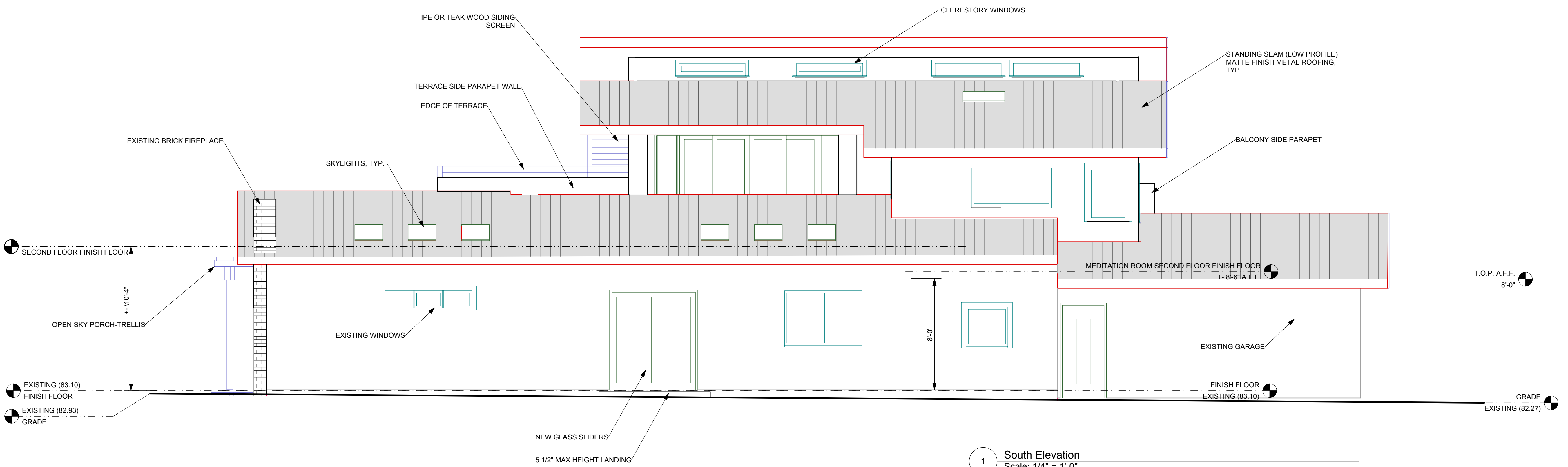
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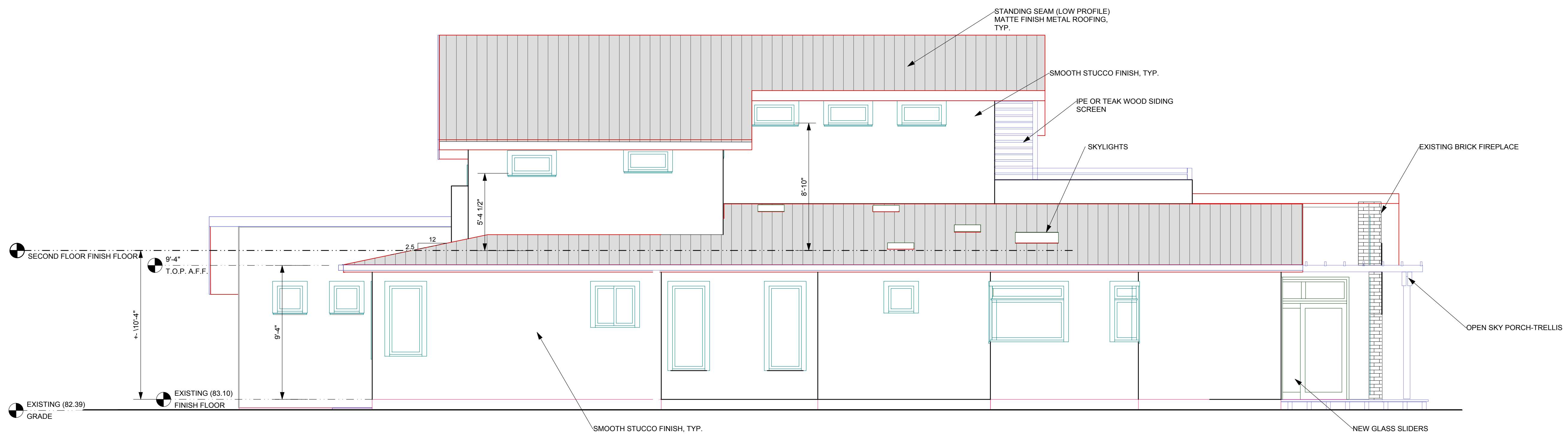
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12-31-13

A 3.0



1 South Elevation
Scale: 1/4" = 1'-0"



2 North Elevation
Scale: 1/4" = 1'-0"

Revision
Revision
Revision

GAURI RESIDENCE
1060 Laureles Dr. Los Altos CA
EXTERIOR ELEVATIONS

Sheet Scale : AS NOTED
Drawn By: DG
Reviewed By: DG
21/05/2013

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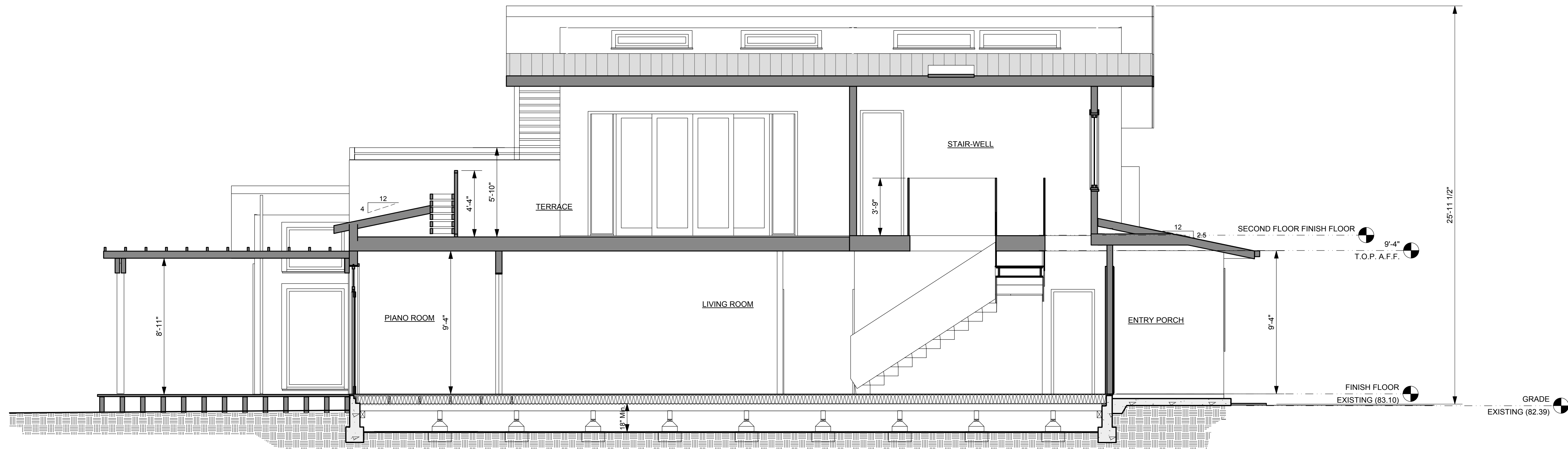
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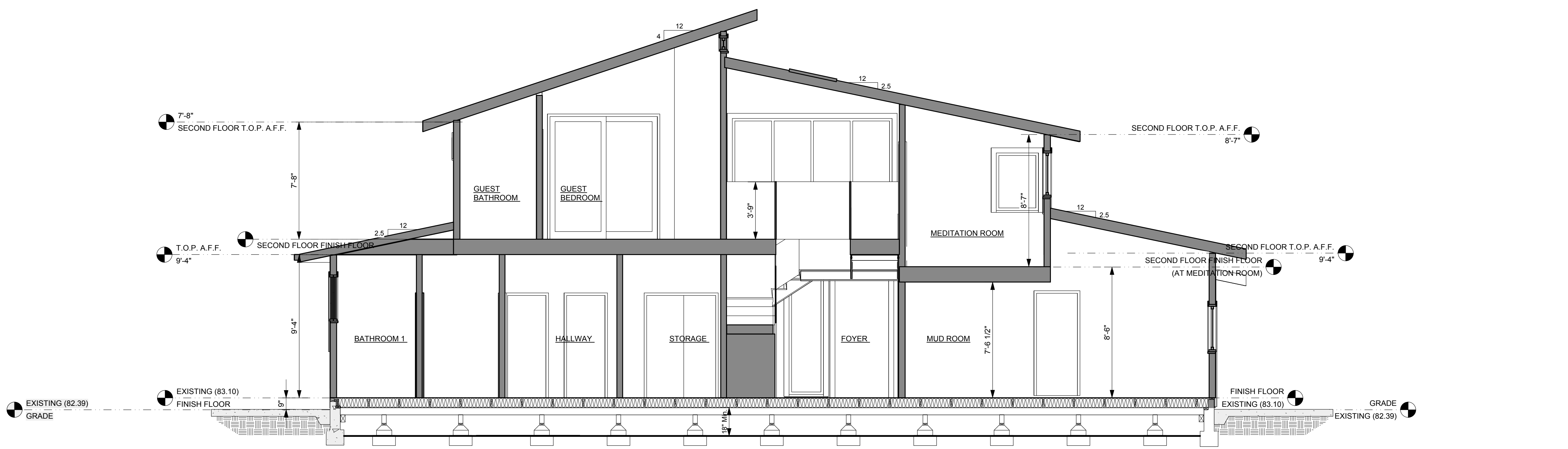
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12-31-13


A 3.1

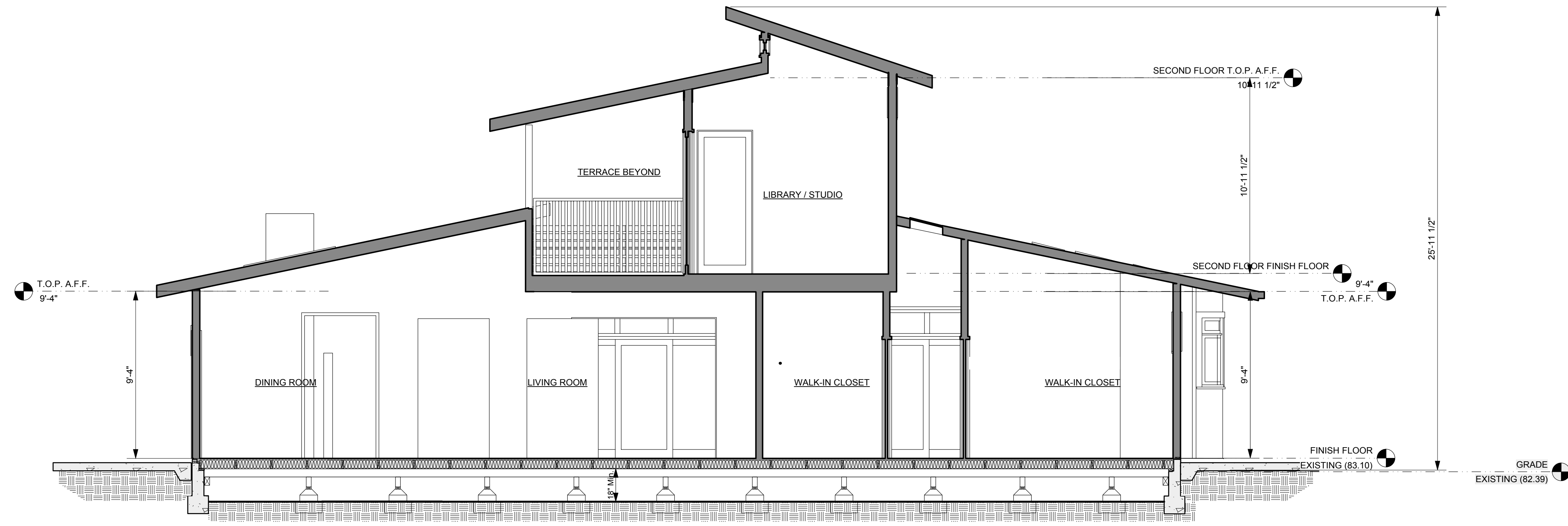


1 Section
Scale: 1/4" = 1'-0"

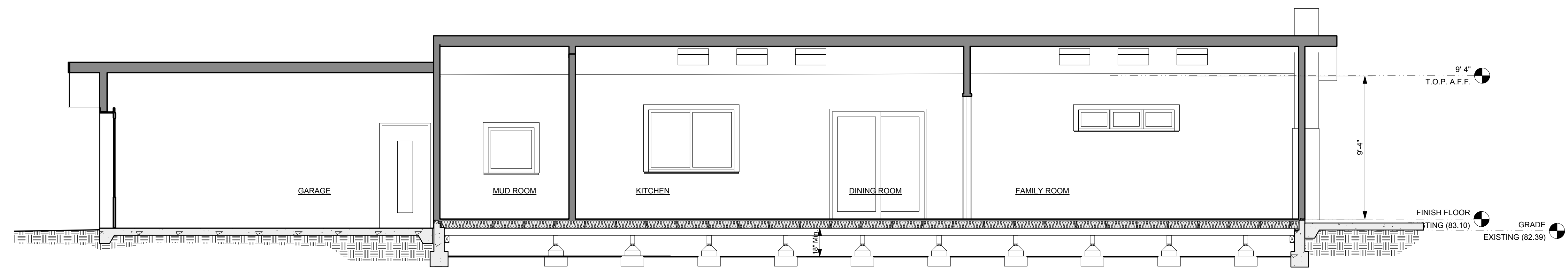


2 Section
Scale: 1/4" = 1'-0"


Revision	Revision	Revision
GAURI RESIDENCE 1060 Laureles Dr. Los Altos CA BUILDING SECTIONS		
Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG
		21/05/2013
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12-31-13		
A 4.0		



3 Section
Scale: 1/4" = 1'-0"



4 Section
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
GAURI RESIDENCE 1060 Laureles Dr. Los Altos CA		
BUILDING SECTIONS		052113
Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG
		21/05/2013
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12-31-13		
A 4.1		

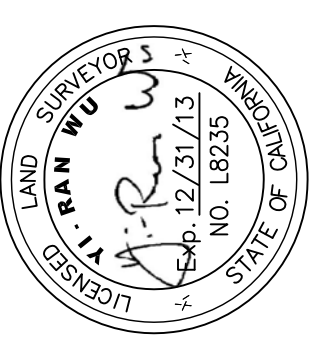
**GAURI
RESIDENCE**

1060 LAURELES DRIVE
LOS ALTOS, CA
APN: 167-10-049

**W E C
& ASSOCIATES**

2625 MIDDLEFIELD RD #638
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CM CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- CRN CROWN
- EW EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FW FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND CORNER
- GC GARAGE FACE/FRONT
- GC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PERKY WALL
- PC PERKY WALL
- SI STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOD TOP OF DRAIN
- TOD TOP OF BANK
- TP TOP OF PAVEMENT
- TRC TOP ROLLED CURB
- TRC TOP OF WALK
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WM WATER METER
- WM WATER METER BOX
- CW- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SD- SANITARY SEWER LINE
- TD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

BASIS OF BEARINGS:

THE BEARING, N57°03'26"E, OF THE CENTER LINE OF LAURELES DRIVE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE COUNTY CLERK OF SAN FRANCISCO AT PAGE 55, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV = 80.79 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-442-2444.

LEGAL DESCRIPTION:

LOT 32, TRACT NO.903, MAP REF: BOOK 51 PAGE 55

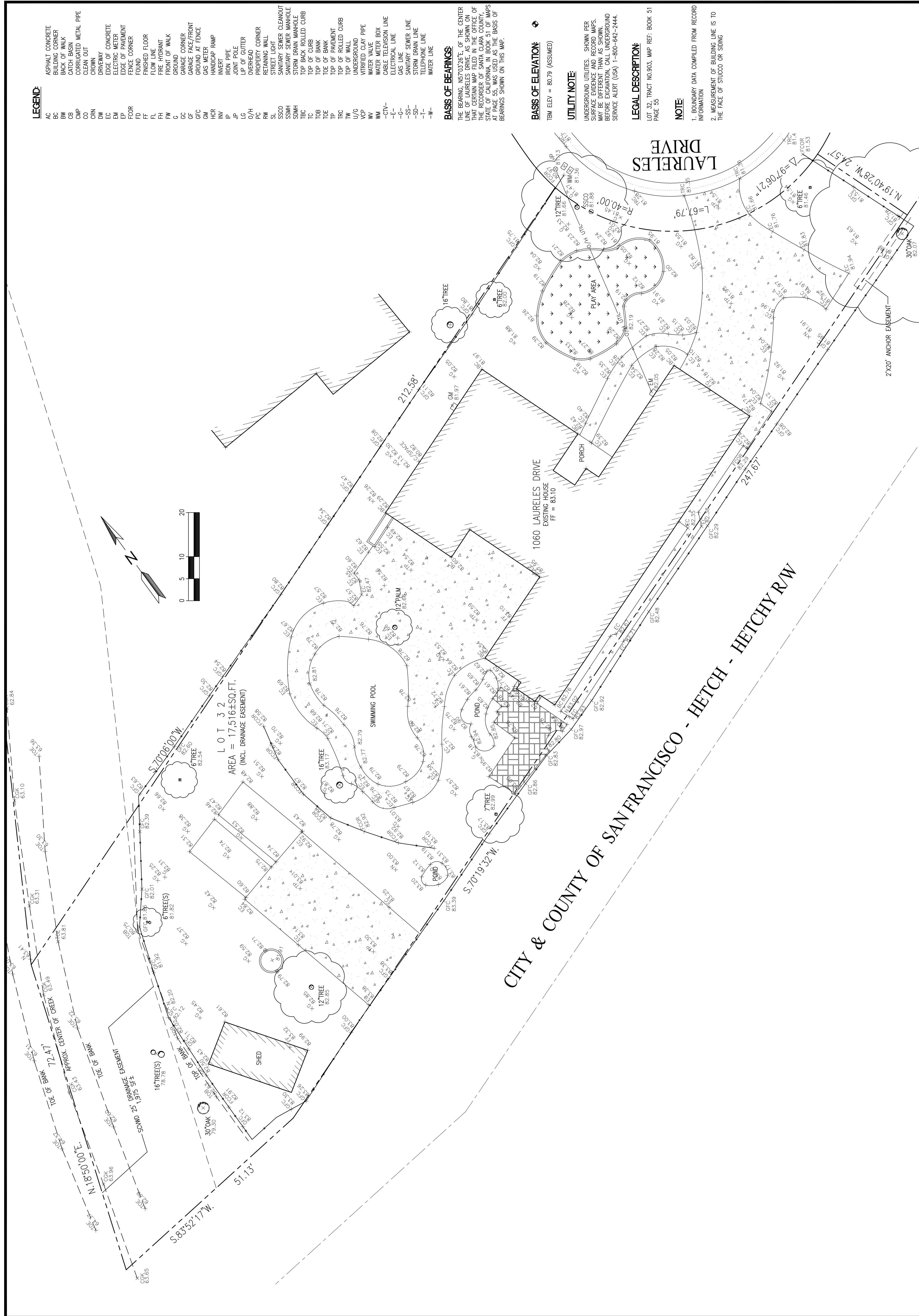
NOTE:

1. BOUNDARY DATA COMPILED FROM RECORD INFORMATION
2. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

**TOPOGRAPHIC
SURVEY**

SHEET NO.

C.O.



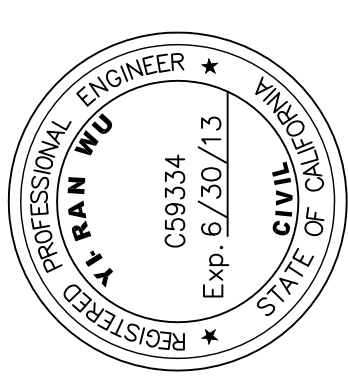
**GAURI
RESIDENCE**

1060 LAURELES DRIVE
LOS ALTOS, CA
APN: 167-10-049

**W E C
& ASSOCIATES**

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 387-2692
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED	No.	Description	Date

DATE: APRIL 29, 2013
SCALE: AS NOTED
DRAWN: J
JOB: 09030

SHEET TITLE:

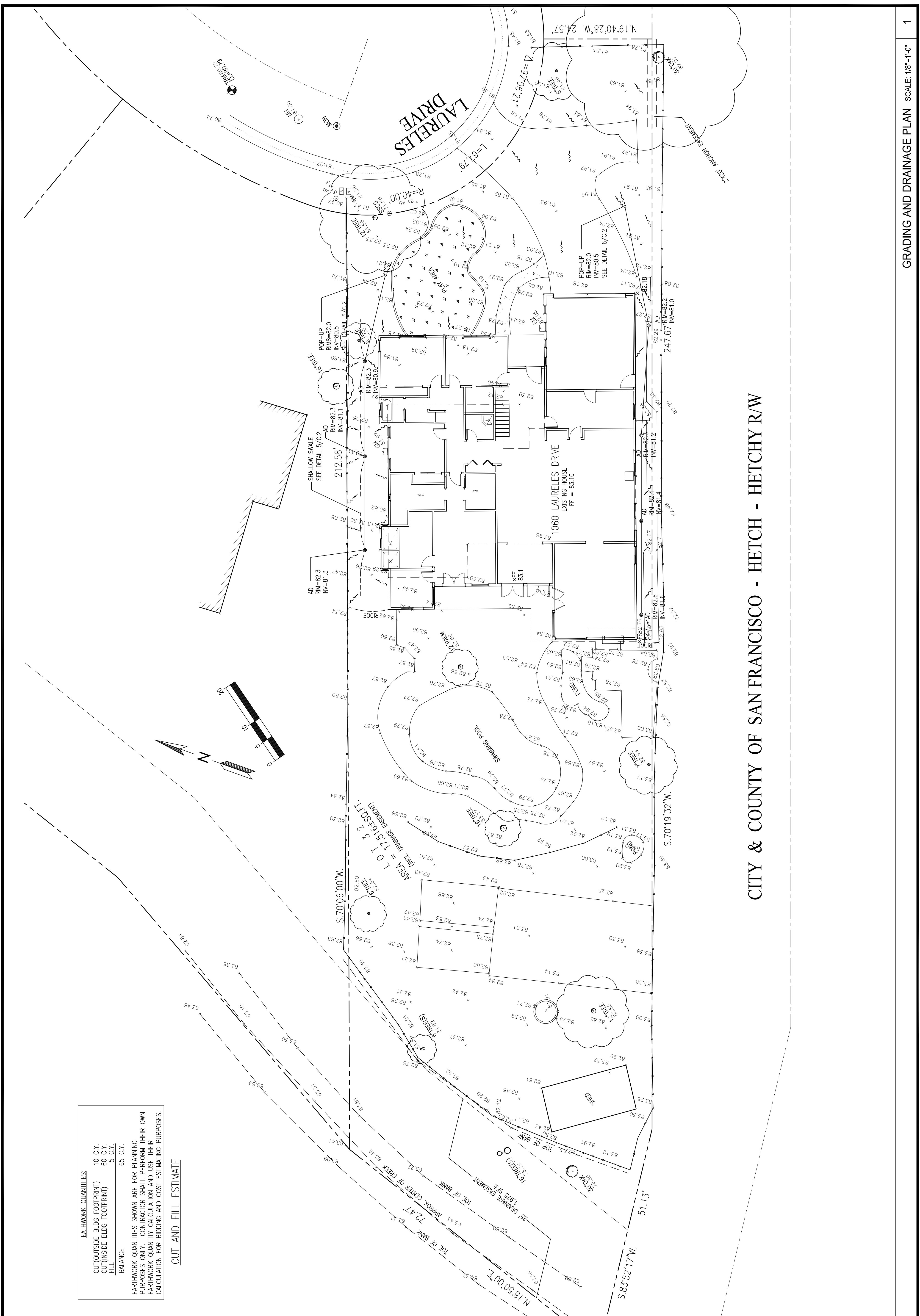
**GRADING &
DRAINAGE
PLAN**

SHEET NO.

C.1

GRADING AND DRAINAGE PLAN SCALE: 1/8"=1'-0" 1

© WEC



EARTHWORK QUANTITIES:
CUT (OUTSIDE BLDG FOOTPRINT) 10 C.Y.
CUT (INSIDE BLDG FOOTPRINT) 60 C.Y.
FILL 5 C.Y.
BALANCE 65 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL ESTIMATE

CITY & COUNTY OF SAN FRANCISCO - HETCH - HETCHY R/W