

PROJECT INFORMATION

1990 Laver Court Los Altos
Santa Clara County
Owners: Anjali & Nipun Saxena
Owner Contact Number:
650-814-7527

Jurisdiction: City of Los Altos
A.P. # 342-07-020
Zoning: R1-10 Occupancy: R-3
Type: VN

Existing SFR: One Story
2,803 sq ft Habitable Space
Proposed SFR: One Story
3,341 sq ft Habitable Space

Architect: Patrick J. Burger
441 Banbury Street
Hayward, CA 94544
mobile: 415-595-5457

List of Applicable Codes (2010 CBC)

The Current Codes adopted, as amended by the City of Los Altos effective January 1, 2011, are 2010 California Building Code:

- Part 1 California Administrative Code
- Part 2 California Building Code, Volumes 1 & 2
- Part 2.5 California Residential Code (NEW)
- Part 3 California Electrical Code
- Part 4 California Mechanical Code
- Part 5 California Plumbing Code
- Part 6 California Energy Code
- Part 8 California Historical Building Code
- Part 9 California Fire Code
- Part 11 California Green Building Standards Code - CALGreen, 1st State-Adopted Green Code
- Part 12 California Referenced Standards Code

SPECIAL INSPECTIONS:

All epoxy anchors for holddowns: hole depth - clean out - epoxy admixture.
To be performed by Architect or Engineer of Record.

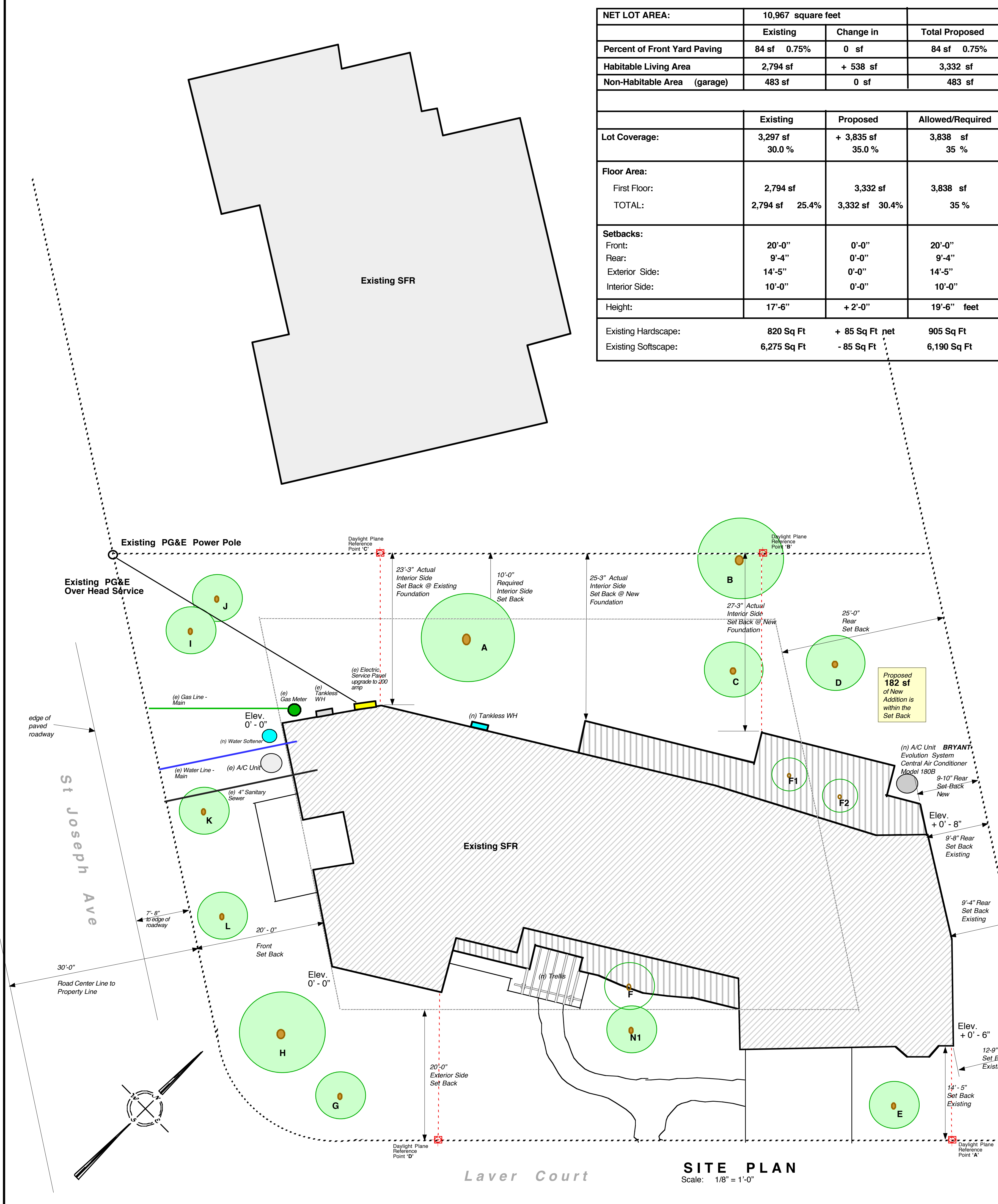
Drawing Index - Variance Submittal

- A-1.0 Title Sheet & Site Plan
- A-1.1 Floor Area Calculations
- A-2.0 Existing Floor Plan
- A-2.1 Existing Elevations
- A-3.0 Floor Plan
- A-3.1 Grading & Drainage Plan
- A-4.0 Elevations
- A-5.0 Roof Plan
- A-6.0 Cross Section
- A-6.1 Longitudinal Section
- A-7.0 Details, Cabinet Elevations, Notes
- A-8.0 Finish, Window & Door Schedules
- S-1.0 Structural Notes, Shear Wall Schedule
- S-2.0 Roof Framing Plan & Details
- S-3.0 Floor Framing & Foundation Plan
- S-4.0 Framing Details & Notes
- MP-1.0 Mechanical & Plumbing Plan
- E-1.0 Electrical Plan
- T-24 Title 24
- BP-1.0 Blueprint For A Clean Bay Roof Truss Layout

NET LOT AREA:	10,967 square feet		
	Existing	Change in	Total Proposed
Percent of Front Yard Paving	84 sf 0.75%	0 sf	84 sf 0.75%
Habitable Living Area	2,794 sf	+ 538 sf	3,332 sf
Non-Habitable Area (garage)	483 sf	0 sf	483 sf
	Existing	Proposed	Allowed/Required
Lot Coverage:	3,297 sf 30.0 %	+ 3,835 sf 35.0 %	3,838 sf 35 %
Floor Area:			
First Floor:	2,794 sf	3,332 sf	3,838 sf
TOTAL:	2,794 sf 25.4%	3,332 sf 30.4%	35 %
Setbacks:			
Front:	20'-0"	0'-0"	20'-0"
Rear:	9'-4"	0'-0"	9'-4"
Exterior Side:	14'-5"	0'-0"	14'-5"
Interior Side:	10'-0"	0'-0"	10'-0"
Height:	17'-6"	+ 2'-0"	19'-6" feet
Existing Hardscape:	820 Sq Ft	+ 85 Sq Ft net	905 Sq Ft
Existing Softscape:	6,275 Sq Ft	- 85 Sq Ft	6,190 Sq Ft

Tree I.D.	TYPE & SIZE	STATUS	COMMENT
A	Carob 60"	To Remain	13' Drip
B	Chinese Pistacche 6"	To Remain	22' Drip
C	Crape Myrtle 4"	To Remain	6' Drip
D	Crape Myrtle 4"	To Remain	5' Drip
E	Orange 4"	To Remain	4' Drip
F, F1, F2	3" to 4" Cherry, Maple & C. Myrtle	To Be Removed	
G	Maiden Hare 4"	To Remain	4' Drip
H	Chinese Pistacche 6"	To Remain	9' Drip
I	Flowering Cherry 5"	To Remain	6' Drip
J	Flowering Cherry 5"	To Remain	6' Drip
K	Birch 5"	To Remain	7' Drip
L	Birch 5"	To Remain	7' Drip
NEW			
N 1	Flowering Cherry	New Tree	3' Box

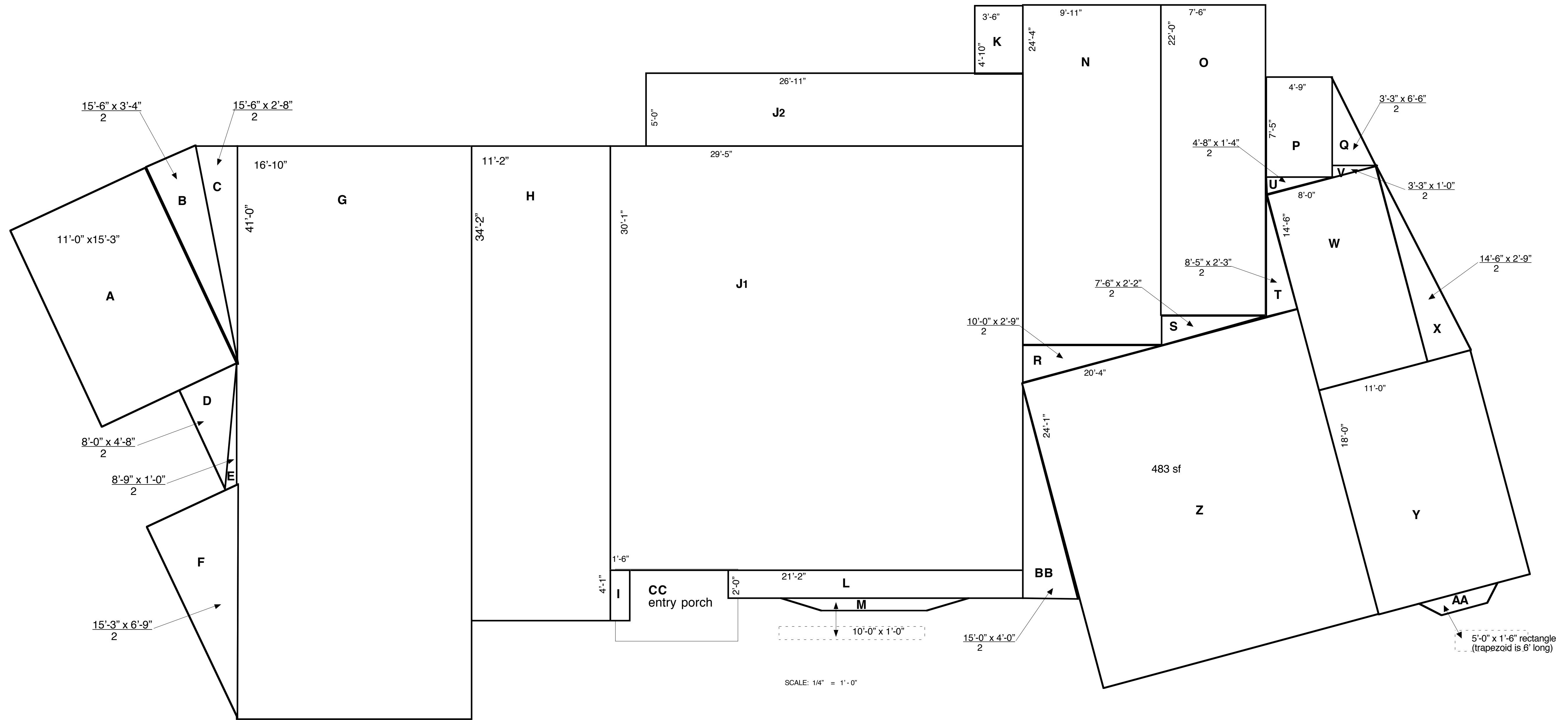
Currently
492 sf
of Existing
Dwelling is within
the Set Back - as
previously permitted



CONDITIONS OF APPROVAL: Pending

- 1) Plans herein reflect the plans submitted on
- 2)

SITE PLAN
Scale: 1/8" = 1'-0"



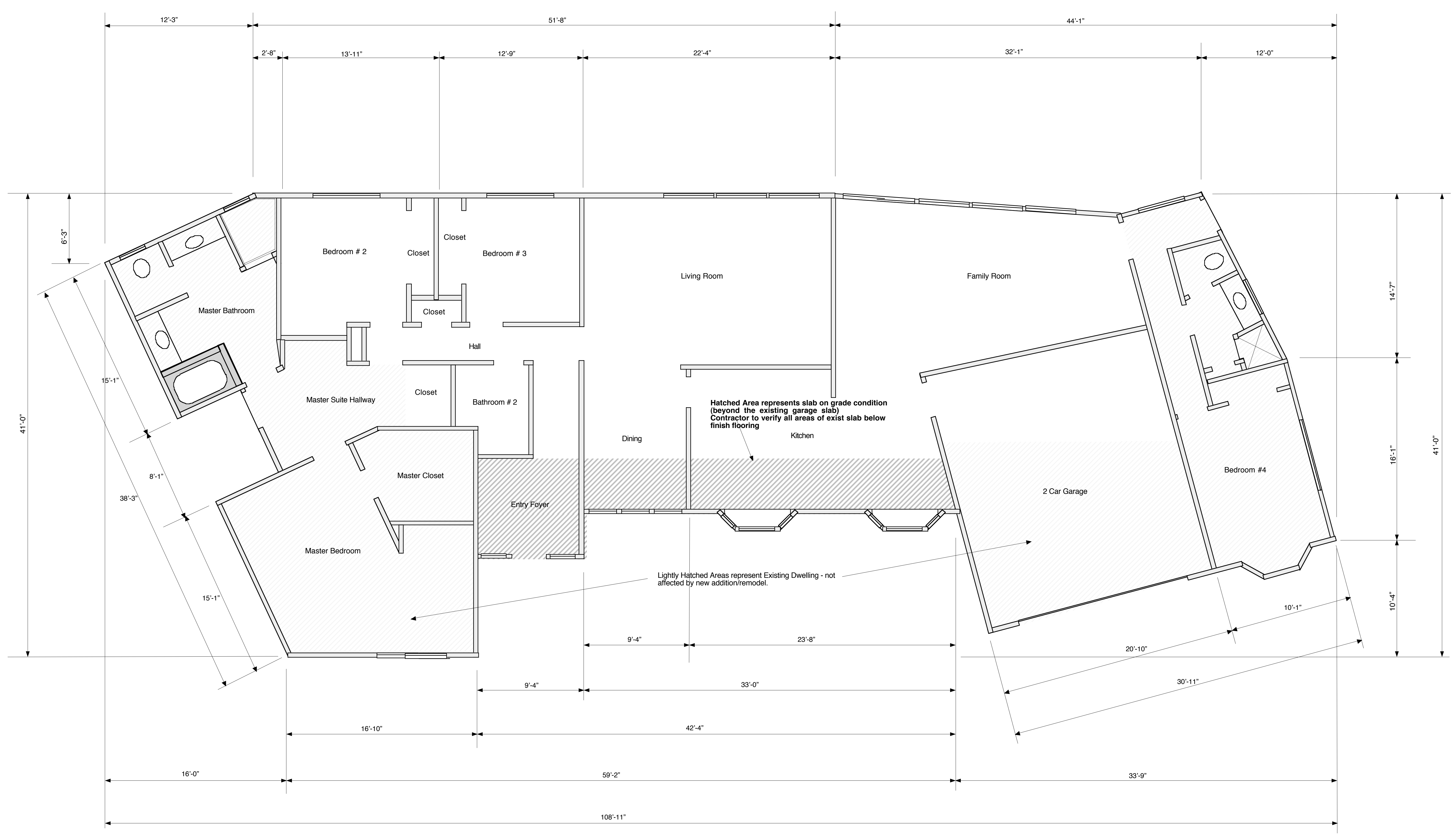
Section	Dimensions	Area	Section	Dimensions	Area	Section	Dimensions	Area
A	11'-0" x 15'-3"	167 sq ft	K	4'-10" x 3'-6"	17 sq ft	U	$\frac{4'-8" \times 1'-4"}{2}$	3 sq ft
B	$\frac{15'-6" \times 3'-4"}{2}$	26 sq ft	L	2'-0" x 21'-2"	42 sq ft	V	$\frac{3'-3" \times 1'-0"}{2}$	2 sq ft
C	$\frac{15'-6" \times 2'-8"}{2}$	21 sq ft	M	10'-0" x 1'-0"	10 sq ft	W	14'-6" x 9'-0"	131 sq ft
D	$\frac{8'-0" \times 4'-8"}{2}$	19 sq ft	N	24'-4" x 9'-11"	241 sq ft	X	$\frac{14'-6" \times 2'-9"}{2}$	20 sq ft
E	$\frac{8'-9" \times 1'-0"}{2}$	5 sq ft	O	22'-0" x 7'-6"	165 sq ft	Y	18'-0" x 11'-0"	198 sq ft
F	$\frac{15'-3" \times 6'-9"}{2}$	47 sq ft	P	7'-5" x 4'-9"	35 sq ft	Z	24'-3" x 20'-4"	483 sq ft
G	16'-10" x 41'-0"	697 sq ft	Q	$\frac{3'-3" \times 6'-6"}{2}$	11 sq ft	AA	5'-0" x 1'-6"	8 sq ft
H	11'-2" @" x 34'-2"	381 sq ft	R	$\frac{10'-0" \times 2'-9"}{2}$	14 sq ft	BB	$\frac{15'-0" \times 4'-0"}{2}$	30 sq ft
I	1'-6" x 4'-0"	6 sq ft	S	$\frac{7'-6" \times 2'-2"}{2}$	8 sq ft	CC	8'-6" x 6'-6"	55 sq ft
J1	30'-1" x 29'-5"	883 sq ft	T	$\frac{8'-5" \times 2'-3"}{2}$	10 sq ft			
J2	5'-0" x 26'-11"	135 sq ft						

**FLOOR AREA & COVER-
AGE CALCULATIONS**

HABITABLE FLOOR AREA	=	3,332 sq ft
+ GARAGE FLOOR AREA	=	483 sq ft
+ CC (Covered Porch) 2.5' x 8'	=	20 sq ft
TOTAL LOT COVERAGE	=	3,835 sq ft

SAXENA ADDITION & REMODEL
1990 Laver Court Los Altos 94024

EXISTING
FLOOR PLAN



Hatched Area represents slab on grade condition (beyond the existing garage slab) Contractor to verify all areas of exist slab below finish flooring

Lightly Hatched Areas represent Existing Dwelling - not affected by new addition/remodel.

EXISTING FLOOR PLAN 2,794 Sq Ft

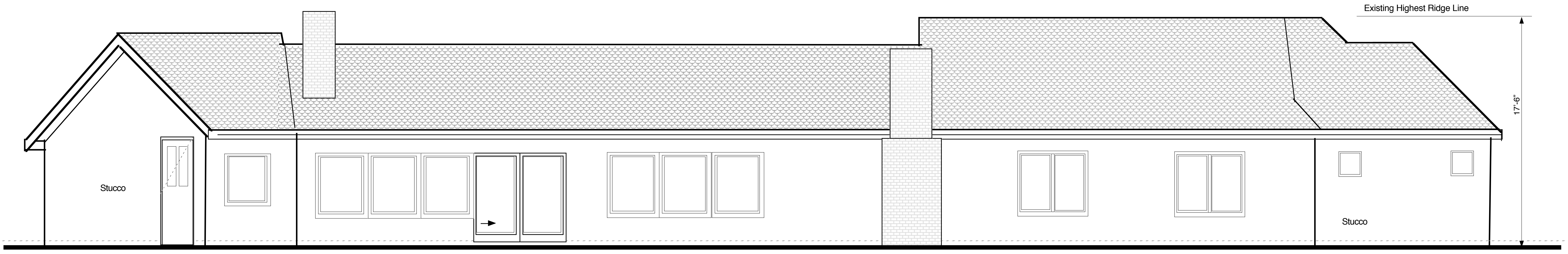
SCALE: 1/4" = 1'-0"

REVISIONS

February 13, 2013
SCALE: 1/4" = 1'-0"
DRAWN BY: PJB
PROJECT : Saxena

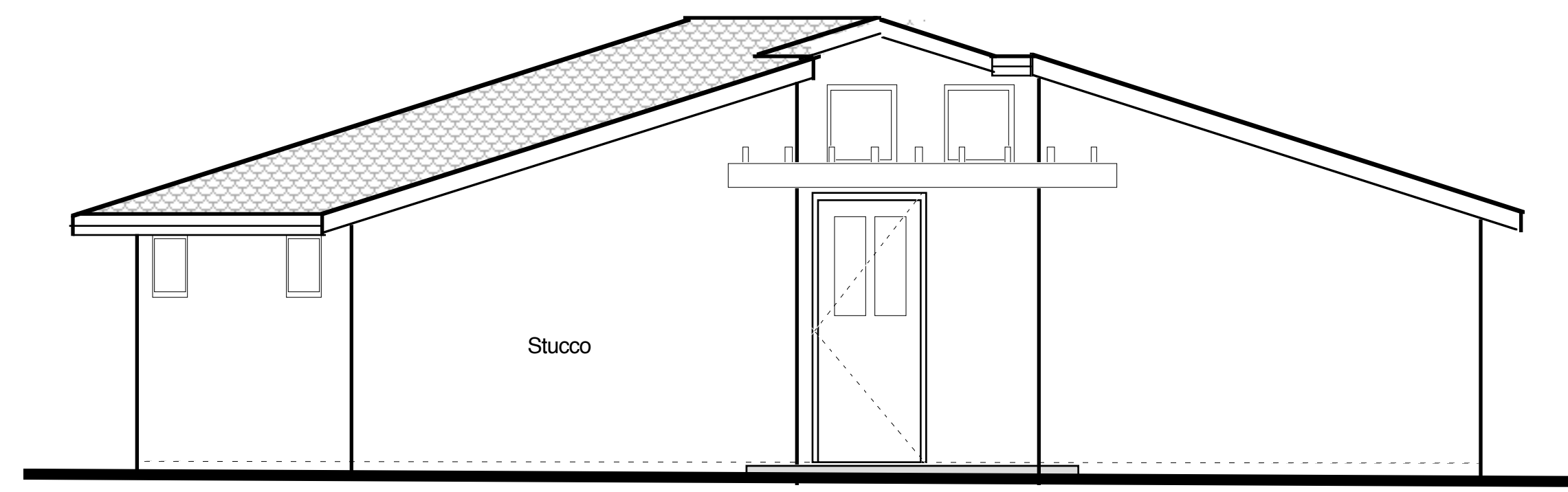
SAXENA ADDITION & REMODEL
1990 Laver Court Los Altos 94024

**EXISTING
ELEVATIONS**



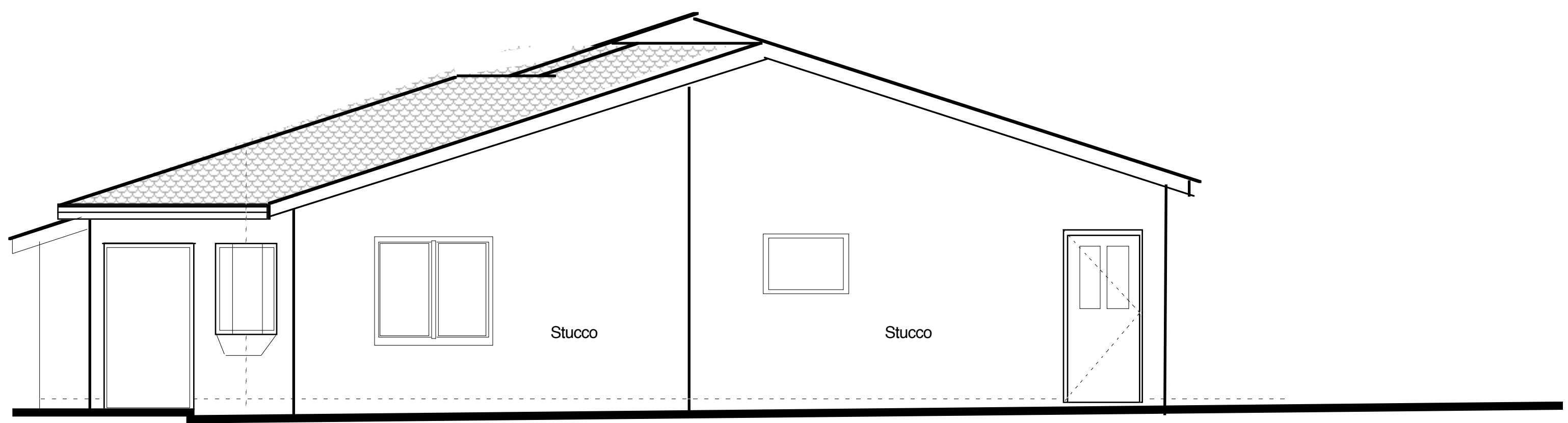
REAR ELEVATION

Scale: 1/4" = 1'-0"



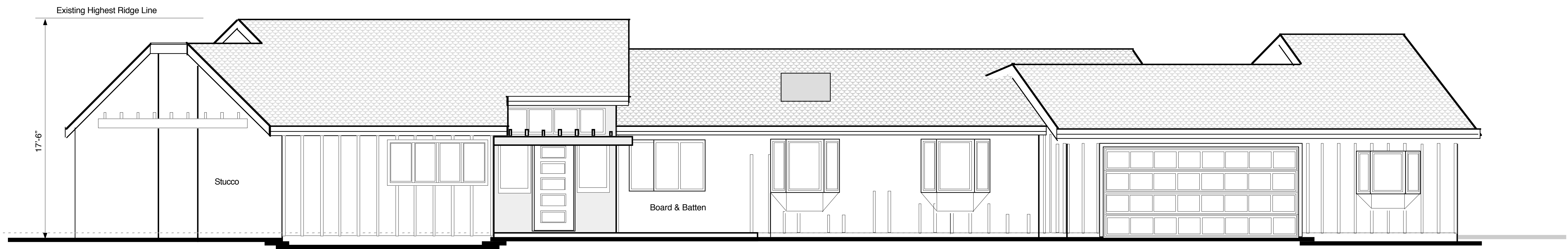
LEFT SIDE ELEVATION

Scale: 1/4" = 1'-0"



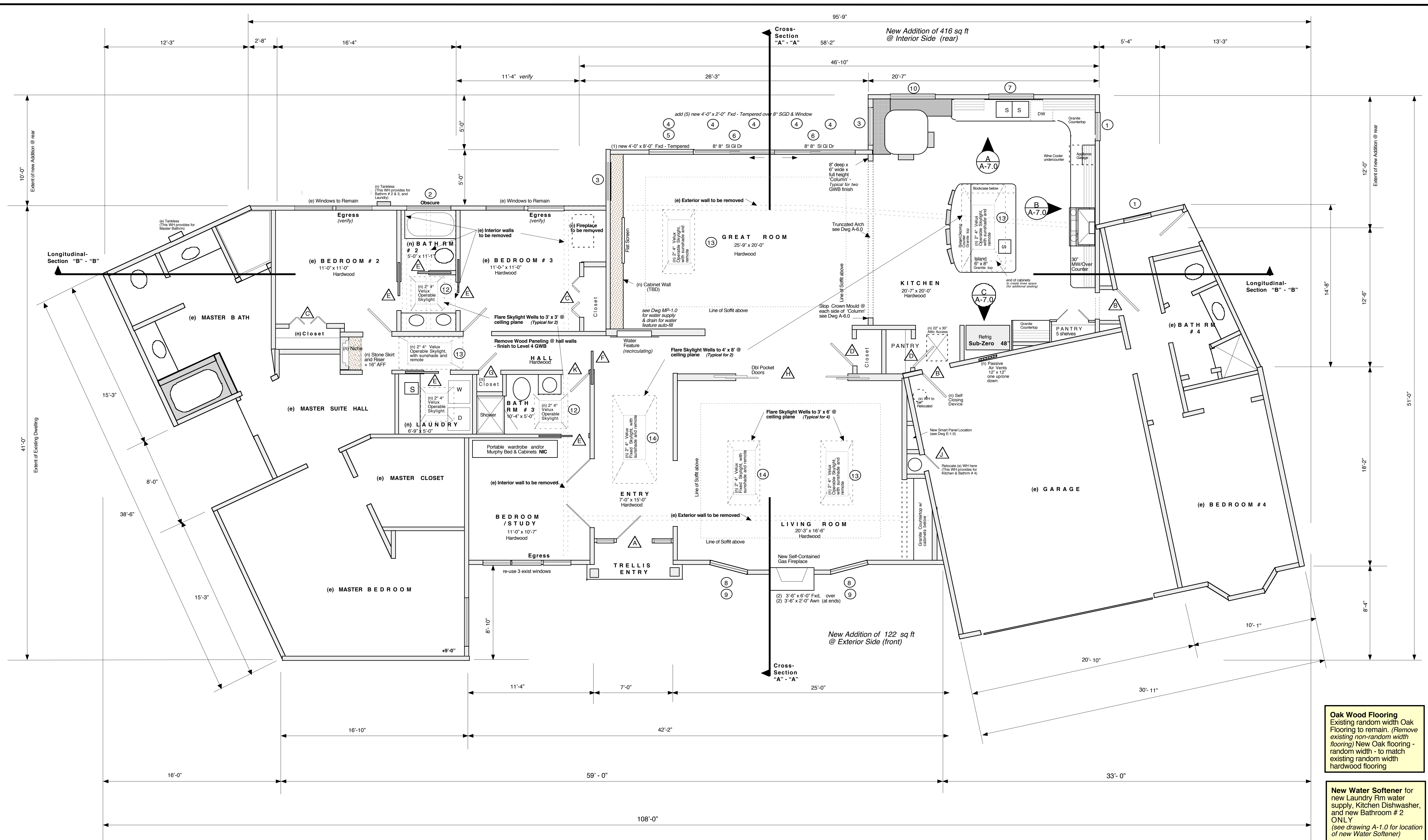
RIGHT SIDE ELEVATION

Scale: 1/4" = 1'-0"



FRONT ELEVATION

Scale: 1/4" = 1'-0"



Oak Wood Flooring
Existing random width Oak
Flooring to remain. (Remove
existing non-random width
flooring) New Oak flooring -
random width - to match
existing random width
hardwood flooring

New Water Softener for
new Laundry Rm water
supply, Kitchen Dishwasher,
and new Bathroom # 2
ONLY
(see drawing A-1.0 for location
of new Water Softener)

New Glazing
All new glazing to be
Anderson, Aluminum Clad
exterior, wood interior - Dual
Glazing insulated, type
LowE

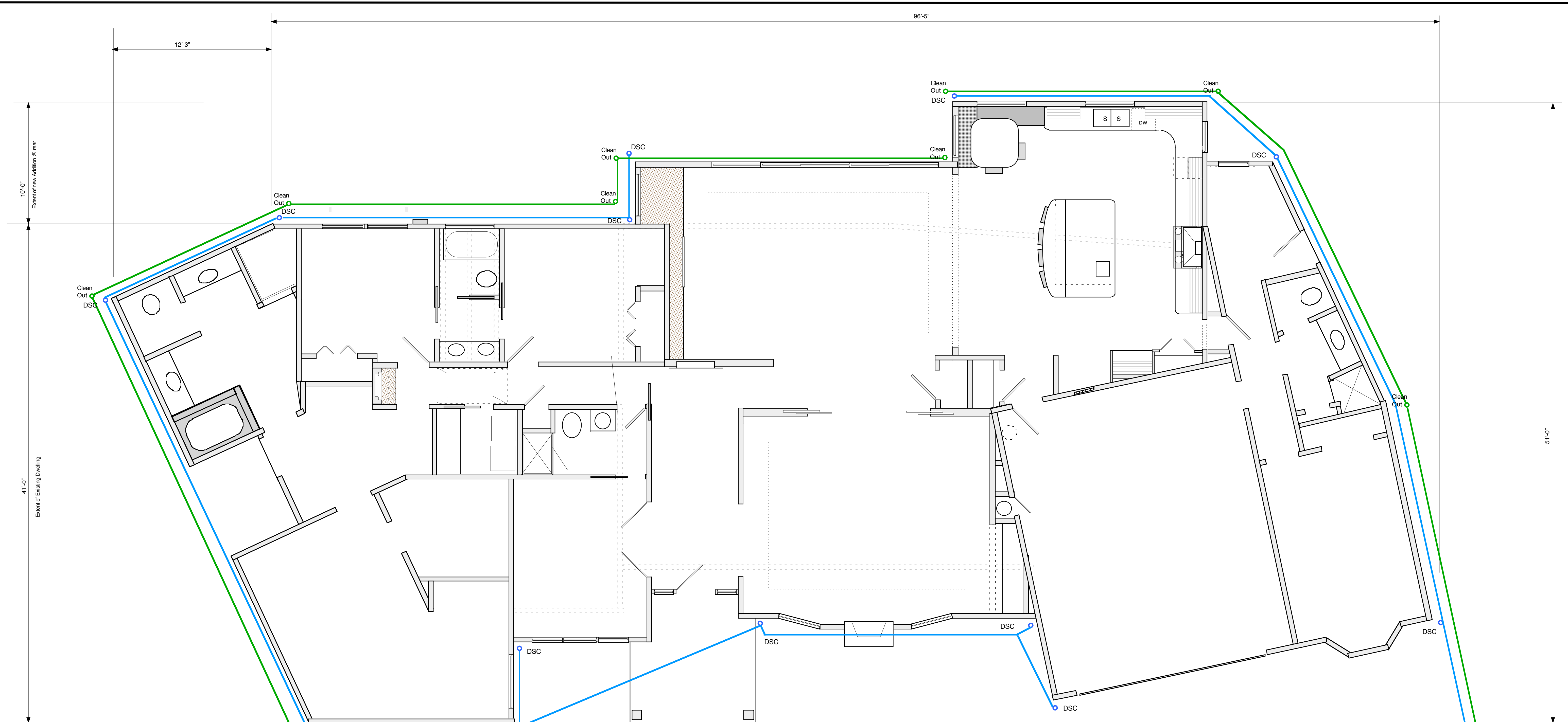
New Addition of **538 sq ft**
Existing Habitable **2,794 sq ft**
TOTAL 3,332 sq ft

REVISIONS

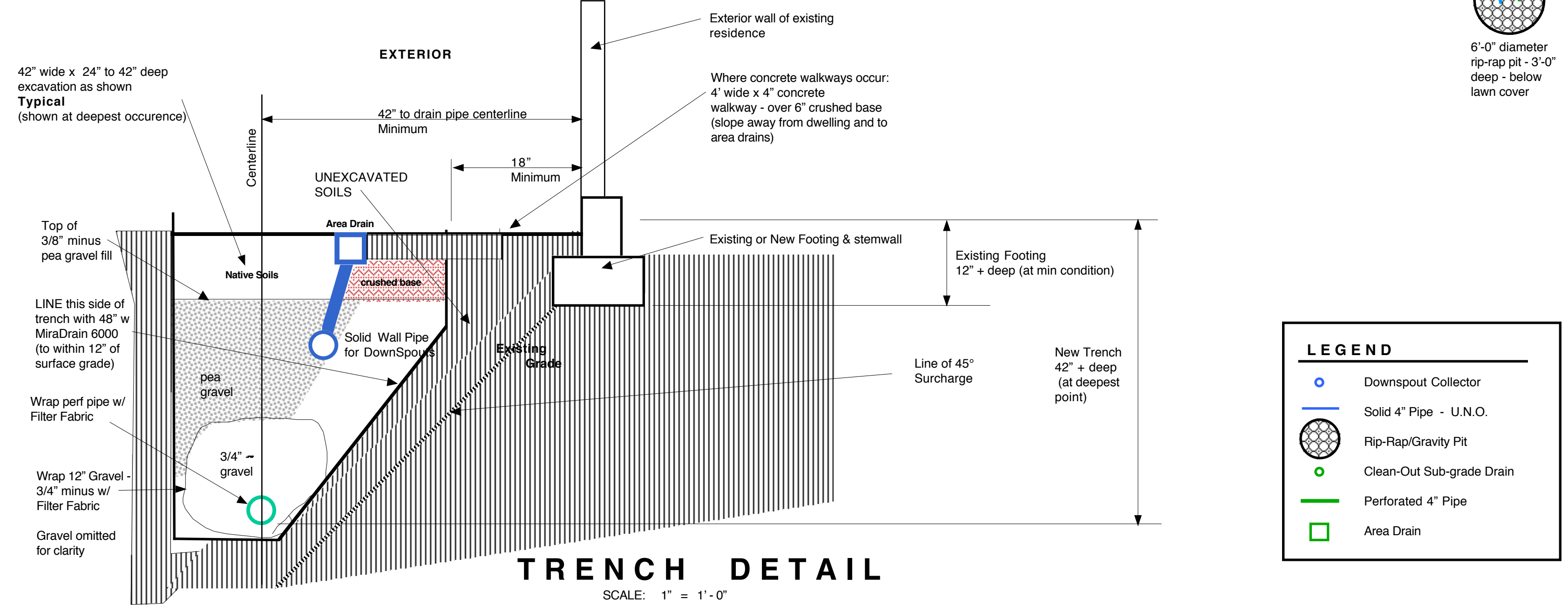
Feb 13, 2013
SCALE: 1/4" = 1'-0"
DRAWN BY: PJB
PROJECT: Saxena

SAXENA ADDITION & REMODEL
1990 Laver Court Los Altos 94024

GRADING & DRAINAGE PLAN

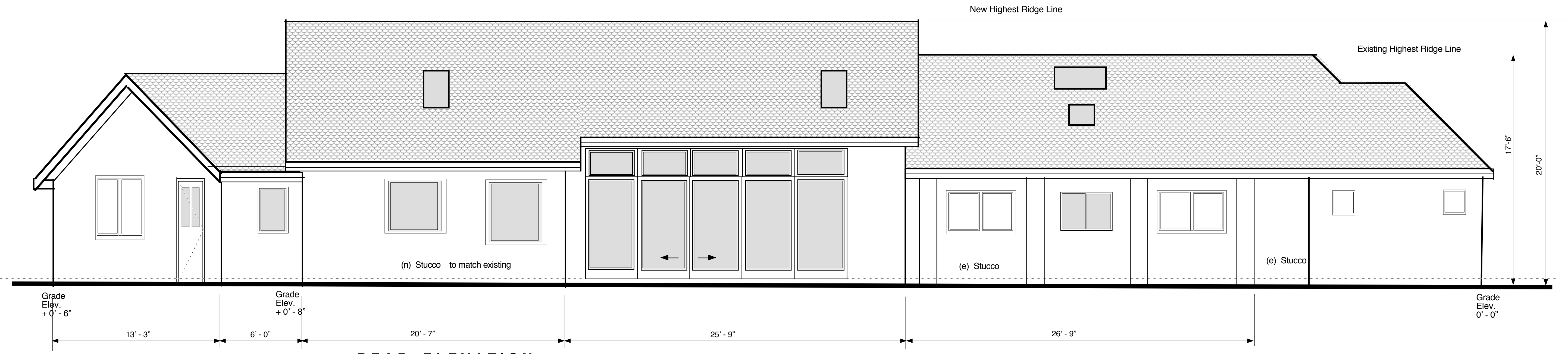


GRADING & DRAINAGE PLAN

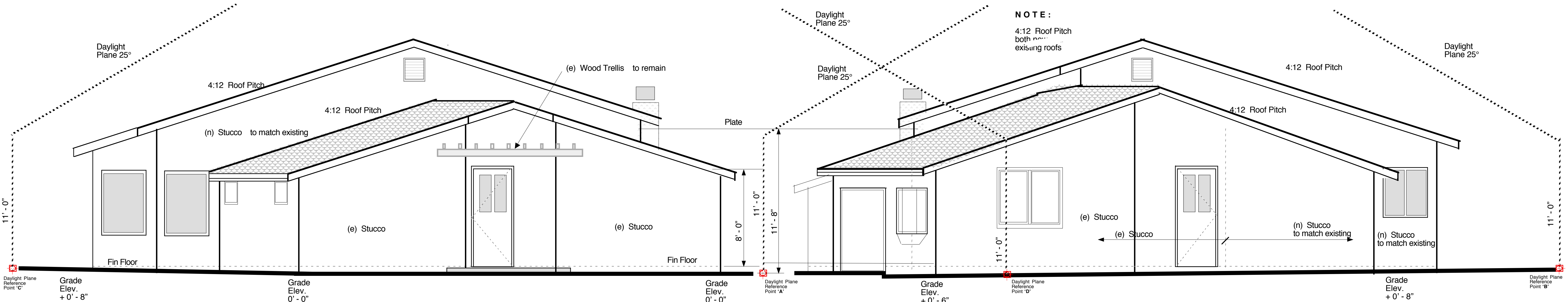


LEGEND	
	Downspout Collector
	Solid 4" Pipe - U.N.O.
	Rip-Rap/Gravity Pit
	Clean-Out Sub-grade Drain
	Perforated 4" Pipe
	Area Drain

TRENCH DETAIL
SCALE: 1" = 1'-0"



REAR ELEVATION
Scale: 1/4" = 1'-0"

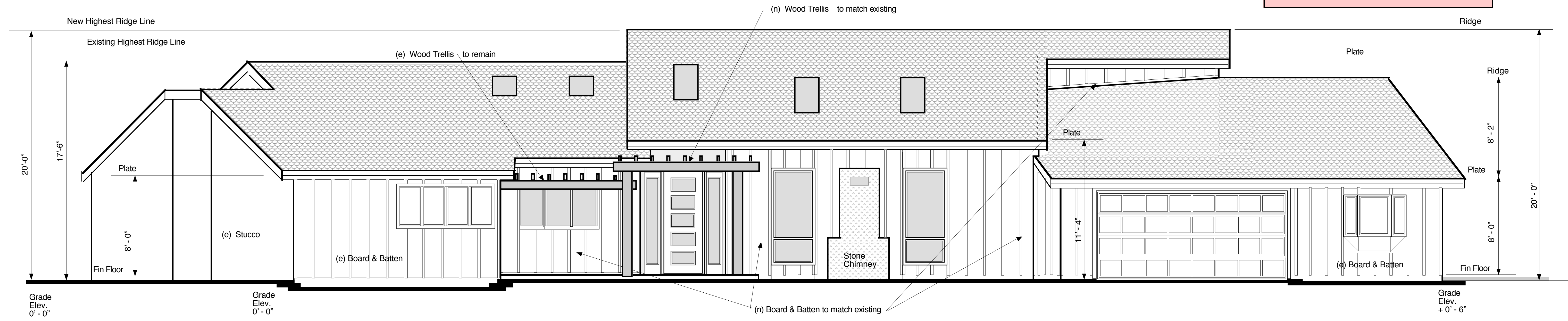


NOTE:
4:12 Roof Pitch
both existing roofs

LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"

RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

(e) House Colors (both stucco and board & batten) are
Field: Benjamin Moore **kennebunkport green HC-123**
Trim: Benjamin Moore **snow white 2122-70**
New Board & Batten, and new Stucco - to match existing color scheme noted above



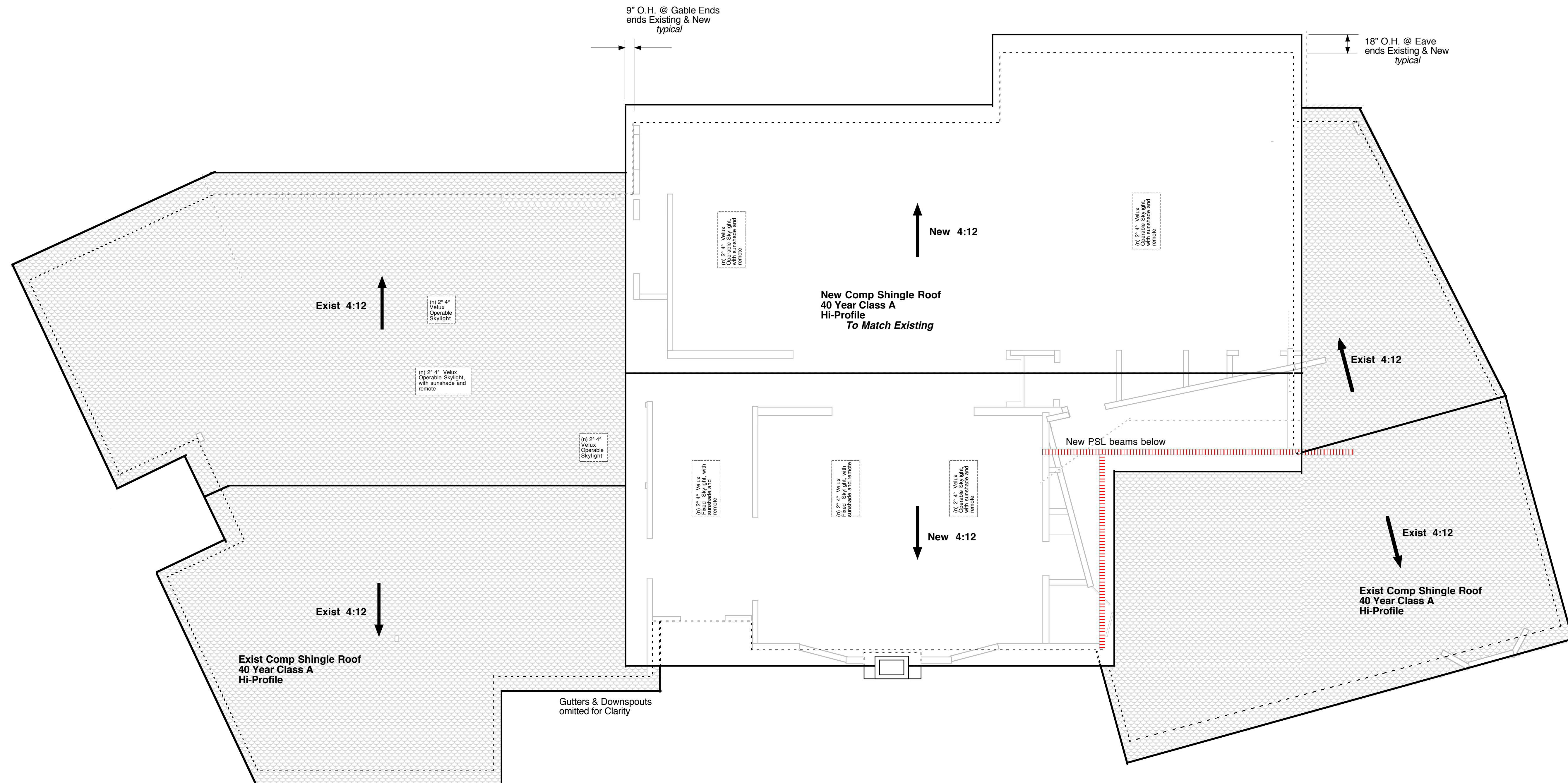
FRONT ELEVATION
Scale: 1/4" = 1'-0"

REVISIONS

April 30, 2013
SCALE: 1/4" = 1'-0"
DRAWN BY: PJB
PROJECT: Saxena

SAXENA ADDITION & REMODEL
1990 Laver Court Los Altos 94024

ROOF PLAN

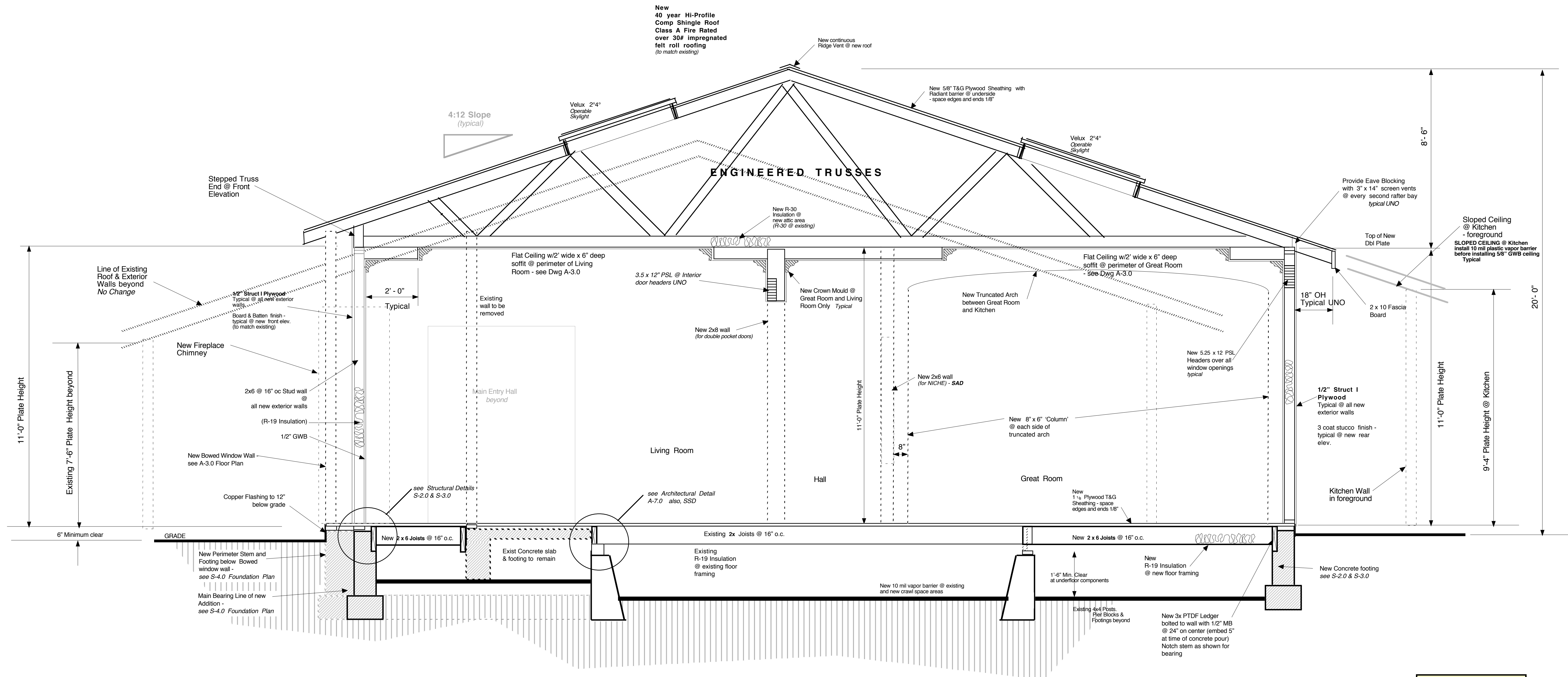


ROOF PLAN

Scale: 1/4" = 1'-0"

CRAWL SPACE VENTILATION
Required: (with 10 mil Vapor Barrier)
1/1500th of 3,341 sq ft area
2.22 sq ft net free ventilation required, with
min. (1) vent within 3' of each corner
Existing (7) 5" x 16" w/ 1/8" mesh =
64 sq in net free (x 7) = 3.1 sq ft ventilation
includes (3) existing, within 3' of corners
Add (4) new 5" x 16" w/in 3' of new, rear
addition corners

ATTIC VENTILATION - (habitable)
Required: 1/150th of 1,840 sq ft area new roof/attic = 12.26sq
ft net free ventilation required, with 50% (6.13 sq ft) greater than
3' above eaves, and 50% (6.13 sq ft) at eaves
Eave Vents = (24) 3" x 14" w/1/8" mesh = 7.0 sq ft net free vent
area
Ridge Vents = 40 lin Ft; 17 sq in NFVA/LF = 4.7 sq ft
Eye-brow Roof Vents = (4) sized @ 80 sq in NFVA/LF = 2.22 sf
Eave/7.0 sq ft; Ridge/1.0 = 4.7 sq ft; Roof/2.2 sq ft = 13.9 sf
13.9 sq ft provided > 12.3 sq ft required = OK



SECTION "A-A" CROSS SECTION

Scale: 1/2" = 1'-0"

All new concrete footings to have (2) #4 bars at top and bottom of footing - Typical