

GENERAL NOTES

APPLICABLE CODES: 2010 CBC, CRC, CPC, CMC, CEC, CEBC, & CFC;
 BASED ON: 2009 IBC, UPC, UMC, IEBC, IFC, 2008 NEC, and 2010 CA ENERGY CODE

- The use of these plans and specifications shall be restricted to the original site for which they were prepared. Publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method, in whole or in part, is strictly prohibited.
- Do not scale these drawings. The contractor shall verify all conditions and dimensions in the field prior to start of construction. If discrepancies are found, this office must be notified before commencing with work.
- All dimensions are face of concrete, face of CMU, centerline of columns and beams, or face of stud, unless otherwise noted. Finish floor elevations are to top of concrete slab or to top of floor sheathing, UON.
- The civil, structural, mechanical, plumbing, and electrical drawings are supplementary to the design drawings. It shall be the responsibility of the contractor to check with the design drawings for all dimensions, sizing, and/or directions. If discrepancies are found please refer to item 2 above.
- Details marked shall apply in all cases unless specifically indicated otherwise.
- All glazing shall comply with CPSC 16 CFR and CBC.
- Contact between dissimilar metals shall be protected.
- Fire and draft stops shall be provided throughout as required per CBC.
- Minimum headroom clearance at stairs shall be 6'-8" measured vertically from a plane parallel and tangent to the tread nosing and soffit above at all points.
- Glass doors, adjacent panels and all glazing openings shall be approved for impact hazard per CBC.
- Mechanical ventilation for toilet compartments, bathrooms, and laundry rooms shall be capable of providing five (5) air changes per hour per CBC
- Showers shall be finished to a minimum of 72-inches above drain with surface materials not adversely affected by moisture per CBC. See plans for actual heights.
- Light fixtures in closets are to be a minimum of 18-inches from all closet shelves.
- All water heaters shall be provided with seismic straps per CBC.
- See civil plans for ground elevations, pad elevations, corner elevations, and natural grade (if applicable).
- See soils report dated _____ for additional requirements and recommendations (if applicable).
- All insulation materials shall have a flame-spread rating not to exceed 25 and a smoke density not to exceed 450 per CBC.
- Specify 28-gauge minimum galvanized valley flashing. Back-prime all metal before installation.
- Provide minimum 26-gauge galvanized weep screed at foundation plate line, CBC. Weep screed shall be a minimum of 6-inches above adjacent grade and 2-inches above adjacent flatwork.
- Hot mop shower pans shall be tested by filling with water at time of inspection.

PREPARED FOR:

Peter & Christy Doyle

1110 Golden Way • Los Altos, CA 94024-5059
 APN: 189-10-017



ARTIST RENDERING ONLY - NOT FOR CONSTRUCTION

PROJECT TEAM

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THIS WORK WAS PREPARED BY JOHN A. RIDER, ASSOCIATE AIA OR UNDER MY SUPERVISION.

John A. Rider

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Jrider + Design

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 www.JriderDesign.com

PROJECT DATA

YEAR BUILT:	2004
ZONING:	R1-10
CLIMATE ZONE:	4
PROPERTY TYPE:	SINGLE FAMILY
OCCUPANCY GROUP:	R-3/U
CONSTRUCTION TYPE:	V-N
FIRE SPRINKLERS:	NO
FLOOD ZONE:	NO

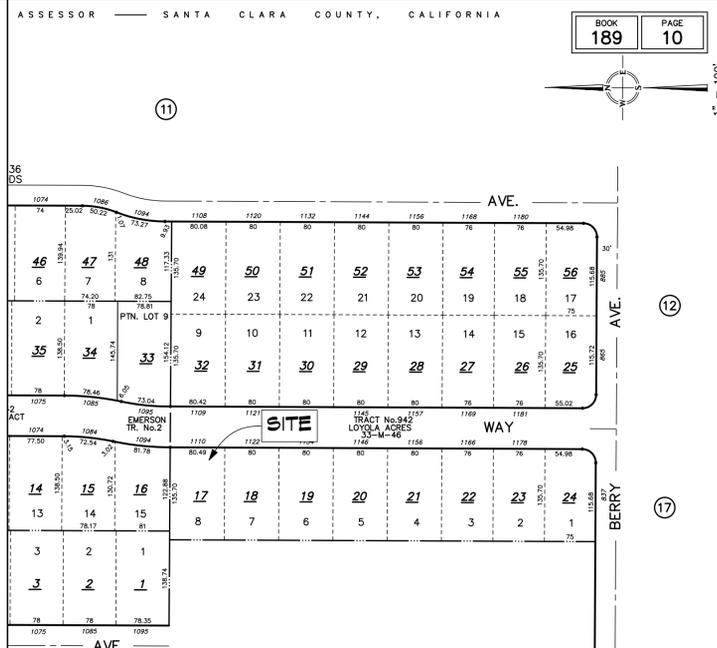
PROJECT SCOPE

EXISTING: 3 BDRMS / 3 BATHS
 PROPOSED: 5 BDRMS / 4 BATHS
 SECOND STORY ADDITION TO EXISTING SINGLE STORY RESIDENCE; ADDING TWO NEW BEDROOM, ONE NEW BATH, PLAY ROOM, AND REAR-YARD BALCONY. MINOR REMODEL ON MAIN LEVEL.

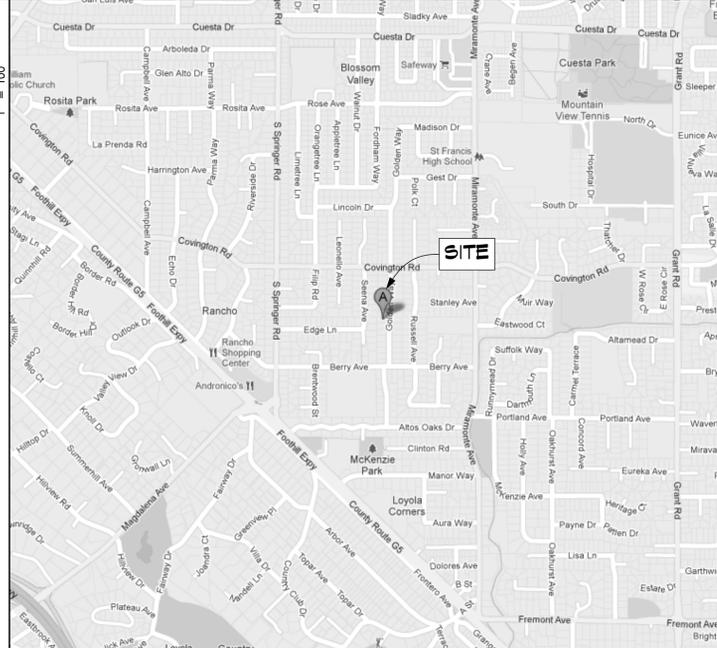
PROJECT SUMMARY

PROJECT SUMMARY TABLE			
NET LOT AREA	10922		
	EXISTING	CHANGE IN	TOTAL PROPOSED
% OF FRONT YARD PAVING	740	0	740 36.8%
HABITABLE LIVING AREA	2246	874	3120
NON-HABITABLE AREA	702	0	702
	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE	2993	0	3823 35%
FLOOR AREA	2948	3822	3823 35%
SETBACKS:			
Front	27-0	41-4	25-0
Rear	43-2	67-4	25-0
Right Side	10-1	21-5	10-1/17-6
Left Side	10-1	20-1	10-1/17-6
HEIGHT	15-7	25'-3"	27'-0"

PARCEL MAP



VICINITY MAP



SHEET INDEX

ID	Name	NO.
T-1	Title Sheet / Project Info	01
C-1	Site Plan / Area Calculation Diagram	02
A-1	As-Built Floor Plan / Schedules	03
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DOYLE RESIDENCE
 RESIDENTIAL DESIGN REVIEW
 1110 GOLDEN WAY
 LOS ALTOS, CA 94024-5059

Rev	Description
AB 01-07-13	
DD 01-16-13	
PCE 03-28-13	
PLN 04-24-13	
PC	

Issue Date: 6/3/13
 Scale: AS NOTED
 Drawn By: JR
 Checked By: John Rider
 Job: 41-12
 Sheet Number:

T-1
 1 of 9

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AB 01-07-13	
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FLOOR AREA & COVERAGE CALCULATIONS

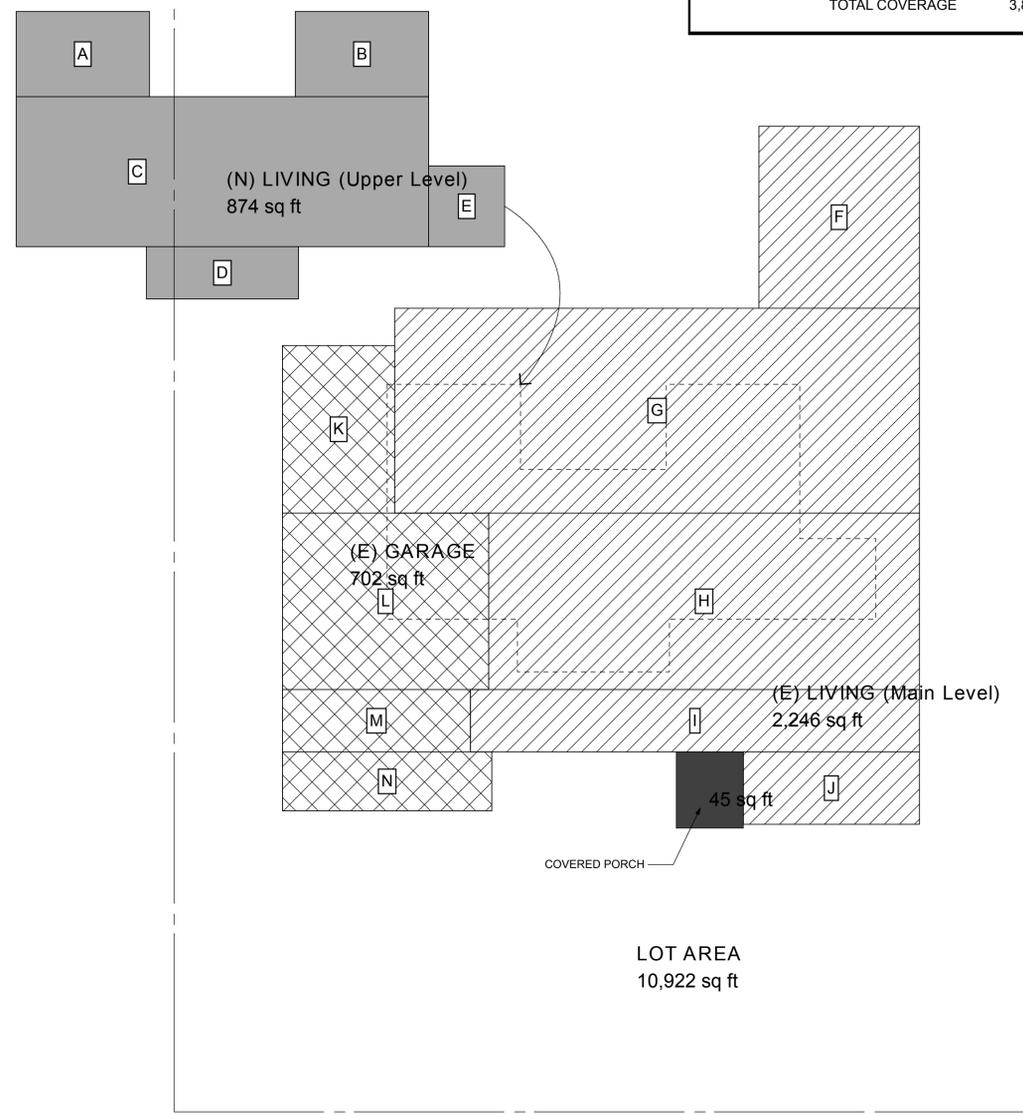
SECTION	DIMENSIONS	AREA (SF)
A	12-7 x 8-0	101
B	12-7 x 8-0	101
C	38-10 x 14-1	547
D	14-4 x 4-11	71
E	7-2 x 7-7	54
UPPER LEVEL SUBTOTAL		874
F	12-2 x 17-1	259
G	49-5 x 19-2	950
H	40-8 x 16-7	674
I	42-4 x 5-10	249
J	16-7 x 6-9	113
K	10-7 x 15-9	167
L	19-5 x 16-7	323
M	17-9 x 5-10	104
N	19-9 x 5-6	109
MAIN LEVEL SUBTOTAL		2948
TOTAL FLOOR AREA		3,822
COVERED PORCH		45
TOTAL COVERAGE		3,867

(E) SURFACE AREA CALCULATIONS

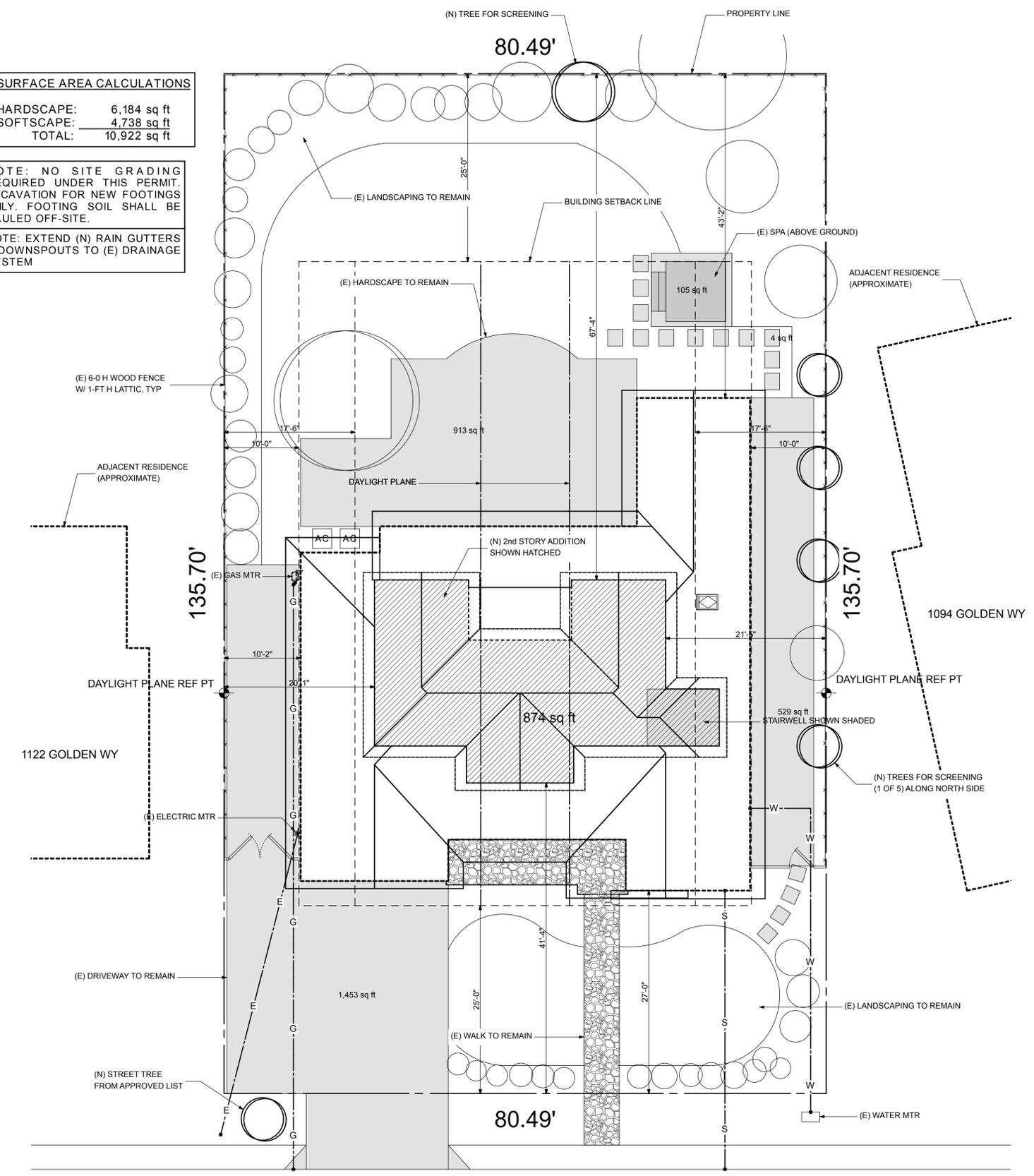
(E) HARDSCAPE: 6,184 sq ft
 (E) SOFTSCAPE: 4,738 sq ft
 TOTAL: 10,922 sq ft

NOTE: NO SITE GRADING REQUIRED UNDER THIS PERMIT. EXCAVATION FOR NEW FOOTINGS ONLY. FOOTING SOIL SHALL BE HAULED OFF-SITE.

NOTE: EXTEND (N) RAIN GUTTERS & DOWNSPOUTS TO (E) DRAINAGE SYSTEM



2
C-1 AREA CALCULATION DIAGRAM
SCALE: 1/8" = 1'-0"



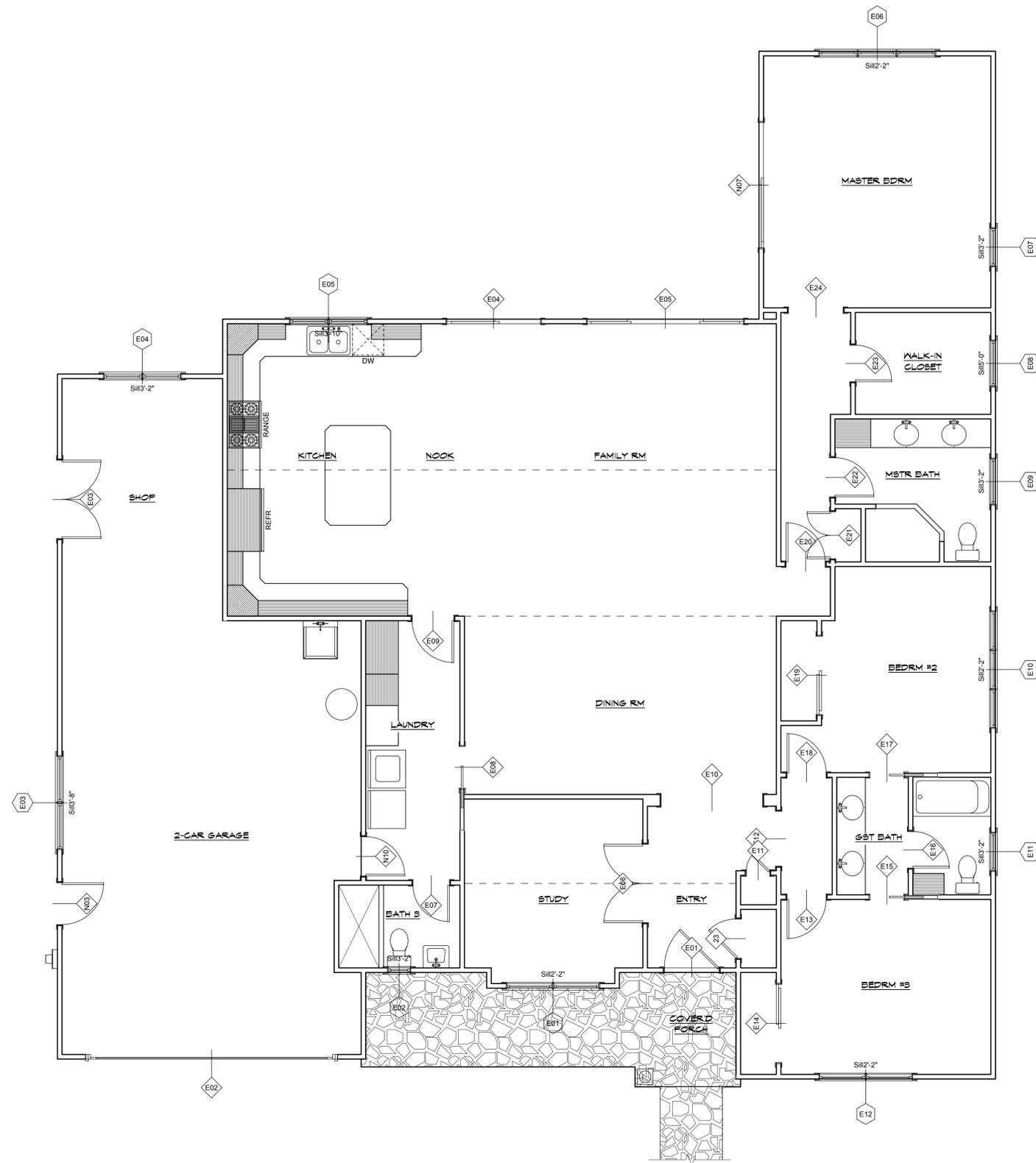
1
C-1 SITE PLAN
SCALE: 1/8" = 1'-0"



(E) DOOR SCHEDULE			
ID	Width	Height	Type
E01	3'-6"	6'-8"	
E02	15'-6"	7'-0"	
E03	5'-0"	6'-8"	
E04	6'-0"	8'-0"	
E05	10'-0"	8'-0"	
E06	5'-0"	6'-8"	
E07	2'-4"	6'-8"	
E08	2'-8"	6'-8"	
E09	2'-8"	6'-8"	
E10	6'-6"	6'-8"	
E11	1'-6"	6'-8"	
E12	3'-6"	6'-8"	
E13	2'-6"	6'-8"	
E14	5'-0"	6'-8"	
E15	2'-2"	6'-8"	
E16	2'-4"	6'-8"	
E17	2'-2"	6'-8"	
E18	2'-6"	6'-8"	
E19	5'-0"	6'-8"	
E20	2'-6"	6'-8"	
E21	3'-0"	6'-8"	
E22	2'-6"	6'-8"	
E23	2'-4"	6'-8"	
E24	3'-6"	6'-8"	
24			

(E) WINDOW SCHEDULE					
ID	Width	Height	Head Height	Sill Height	Type
E01	6'-0"	4'-6"	6'-8"	2'-2"	
E02	1'-6"	3'-6"	6'-8"	7'-0"	
E03	6'-0"	3'-0"	5'-8"	2'-8"	
E04	5'-0"	3'-6"	5'-8"	2'-2"	
E05	5'-0"	3'-6"	7'-4"	3'-10"	
E06	7'-6"	4'-6"	6'-8"	2'-2"	
E07	2'-6"	3'-6"	6'-8"	3'-2"	
E08	3'-0"	1'-8"	6'-8"	5'-0"	
E09	3'-0"	3'-6"	6'-8"	3'-2"	
E10	7'-6"	4'-6"	6'-8"	2'-2"	
E11	2'-6"	3'-6"	6'-8"	3'-2"	
E12	6'-0"	4'-6"	6'-8"	2'-2"	
12					

SYMBOL LEGEND	
	NEW WALL
	FILL-IN EXISTING WALL OPENING
	EXISTING WALL TO REMAIN
	DEMO EXISTING WALL
	INTERIOR ELEVATION MARKER
	DOOR MARKER: E - DENOTES EXISTING TO REMAIN N - DENOTES NEW / REMOVE & REPLACE
	WINDOW MARKER: E - DENOTES EXISTING TO REMAIN N - DENOTES NEW / REMOVE & REPLACE



1 AS-BUILT FLOOR PLAN
SCALE: 1/4" = 1'-0"



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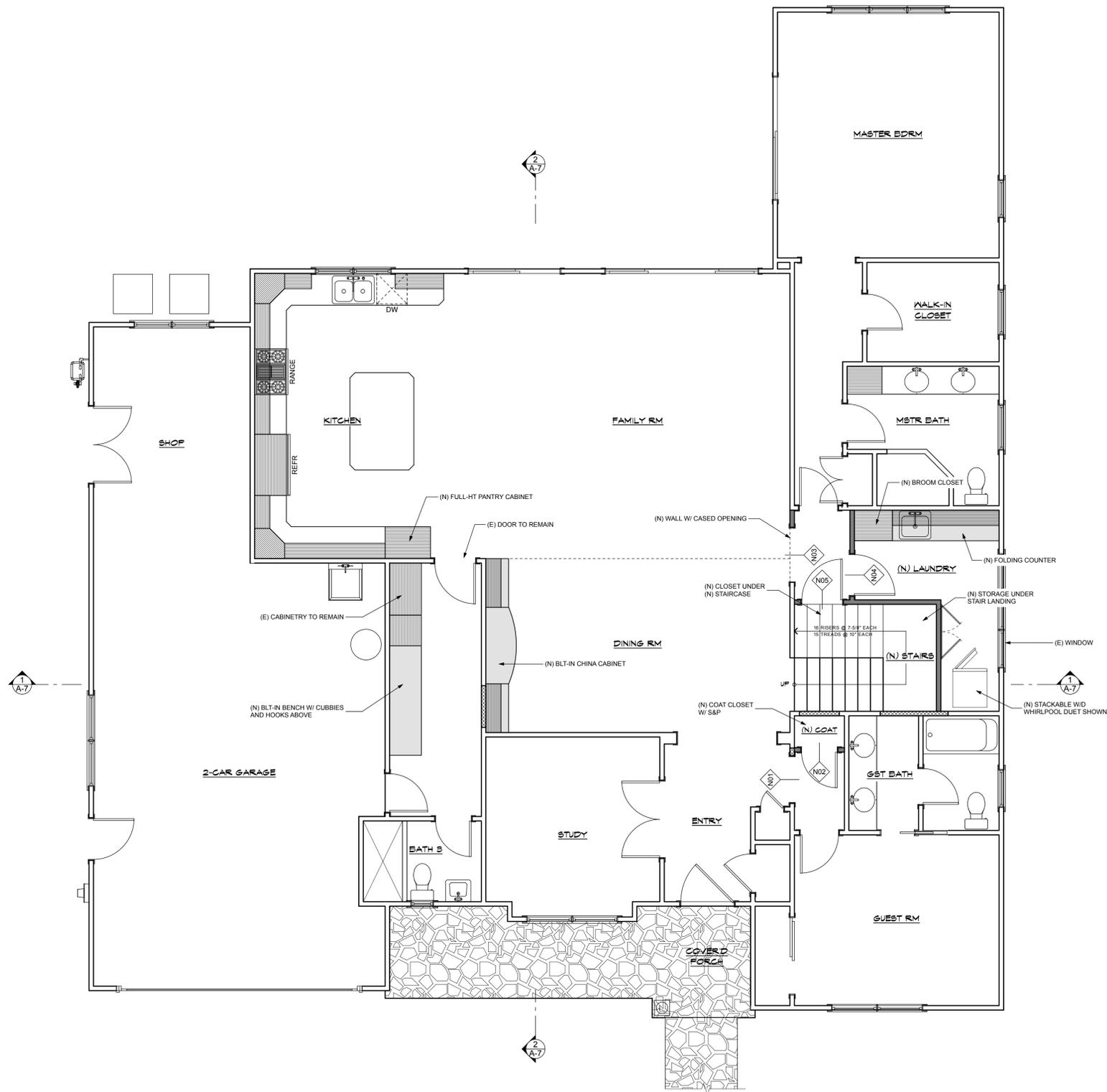
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FLOOR PLAN NOTES

APPLICABLE CODES: 2010 CBC, CRC, CPC, CMC, CEC, CEBC, & CFC;
BASED ON: 2009 IBC, UPC, UMC, IEBC, IFC, 2008 NEC, and 2010 CA ENERGY CODE

- 01 Water Closet Clear Space**
The water closet shall be a maximum 1.6 gallons per flush and located in a clear space not less than 30 inches in width and clear space in front of stool shall not be less than 24 inches. Add 2 x 6 blocking in all bathroom walls at water closet, shower and bathtub, located at 34-inches from the floor to the center of the backing, suitable for the addition of grab bars.
- 02 Doorway - House / Garage**
Self-closing, tight-fitting solid wood door, 1-3/8 inch thick or a self-closing, tight-fitting door having a fire-protection rating of not less than 20 minutes.
- 03 Walls & Ceilings**
All new walls and ceilings shall be gypsum board 1/2-inch thick, except at one-hour fire-resistive construction which shall be 1/2-inch, at the common wall(s) separating garage from living space and all supporting members (e.g., beams, columns and bearing walls) where living areas are above and at enclosed usable space under stairways. Gypsum board 5/8" thick shall be used on ceilings with framing members spaced over 16-inches. Tub/shower walls shall be a smooth, hard, nonabsorbent surface (e.g., ceramic tile) over a moisture resistant underlayment to a height of 70-inches above the drain inlet.
- 04 Windows & Sliding Glass Doors**
Emergency escape and rescue windows shall have a minimum net clear operable area of 5.7 square feet. The minimum clear operable height dimension shall be 24 inches and minimum clear operable width dimension shall be 20 inches. When windows are provided as a means of escape and rescue, they shall have a finish sill height not more than 44 inches above the finish floor. All sliding glass door assemblies and glazing at hazardous locations (i.e., windows adjacent to and within 24-inches of either edge of front door) shall be safety glazed (i.e. tempered).
- 05 Dryer Exhaust Vent**
Domestic clothes dryer moisture exhaust ducts shall be of metal and shall have smooth interior surfaces. Exception: approved flexible duct connectors not more than 6 feet in length may be used. Flexible duct connectors shall not be concealed within construction. Dryer vent shall terminate on the outside of the building and shall be equipped with a back-draft damper. Screens shall not be installed at the duct termination. Dryer vent shall not be connected or installed with fasteners which will obstruct the flow. Dryer vent shall not exceed a total combined horizontal and vertical length of 14 feet, including two 90-degree elbows. Two feet shall be deducted for each 90-degree elbow in excess of two.
- 06 Water Heater and Furnace**
Water heater and furnace may be installed within a garage provided the pilot, burner or heating element is at least 18 inches above the floor level. Water heaters shall be anchored or strapped at the upper 1/3 and lower 1/3 of its vert. Dimension maintaining 4-inches from the controls, to resist horz. Displacement. Dwelling units, guest residences and congregial residences shall be provided with heating facilities capable of maintaining a room temperature of 68-degrees Fahrenheit at a point three feet above the floor in all habitable rooms.
- 07 Access**
Under-floor access: when under-floor clearance is required, the under-floor area shall be accessible. Accessible under-floor areas shall be provided with a minimum 18-inch by 24-inch opening unobstructed by pipes, ducts and similar construction. All under-floor access openings shall be effectively screened or covered. Pipes, ducts and other construction shall not interfere with the accessibility to or within under-floor areas. Attic access: when attic access is required, the opening shall not be less than 22 inches by 30 inches. Thirty-inch minimum clear headroom in the attic space shall be provided at or above the access opening.
- 08 Skylights**
New skylight with bronze anodized non-reflective frame (typ). (Manufacturer: Velux America - ICC Legacy Report NER-216) All vent pipes shall terminate not less than 10 feet from, or at least 3 feet above any operable window, door, opening (operable skylight), air intake or vent shaft.
- 09 Plumbing Fixtures**
Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or the thermostatic mixing valve type. Gang showers, when supplied with a single tempered water supply pipe, may be controlled by a master thermostatic mixing valve in lieu of individually controlled pressure balance or thermostatic mixing valves. Handle position stops shall be provided on such valves and shall be adjusted per manufacturer's instructions to deliver a maximum mixing water setting of 120-degrees Fahrenheit. The water heater thermostat shall not be considered a suitable control for meeting this provision.
- 10 Shower Enclosure**
All shower compartments, regardless of shape, shall have a minimum finish interior of 1024 square inches and shall also be capable of encompassing a 30 inch circle. Shower doors shall be a minimum clear opening of 22-inches in width, swing outward, and be of safety glazing material and identified as such. Shower floor and walls shall be finished with nonabsorbent surface up to a height of 6-feet above the floor drain per CRC 307.2
- 11 Stairways**
LANDINGS: There shall be a landing or floor on each side of each exterior door. The width of each landing shall not be less than the door served. Every landing shall have a minimum dimension of 36 inches (914 mm) measured in the direction of travel. Exterior landings shall be permitted to have a slope not to exceed 1/4 unit vertical in 12 units horizontal (2-percent). CRC 311.3
RISE & RUN: The maximum riser height shall be 7-3/4 inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). The minimum tread depth shall be 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). CRC 311.7.4
WIDTH: Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches (114 mm) on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31.5 inches (787 mm) where a handrail is installed on one side and 27 (698 mm) where handrails are provided on both sides. CRC 311.7.1

SYMBOL LEGEND	
	NEW WALL
	FILL-IN EXISTING WALL OPENING
	EXISTING WALL TO REMAIN
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	DOOR MARKER: E - DENOTES EXISTING TO REMAIN N - DENOTES NEW / REMOVE & REPLACE
	WINDOW MARKER: E - DENOTES EXISTING TO REMAIN N - DENOTES NEW / REMOVE & REPLACE



1
A-2
PROPOSED MAIN LEVEL
SCALE: 1/4" = 1'-0"



Proposed Main Level

DOYLE RESIDENCE
RESIDENTIAL DESIGN REVIEW ***
1110 GOLDEN WAY
LOS ALTOS, CA 94024-5059

Rev	Description
AB 01-07-13	
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Issue Date:	6/3/13
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A-2
4 of 4

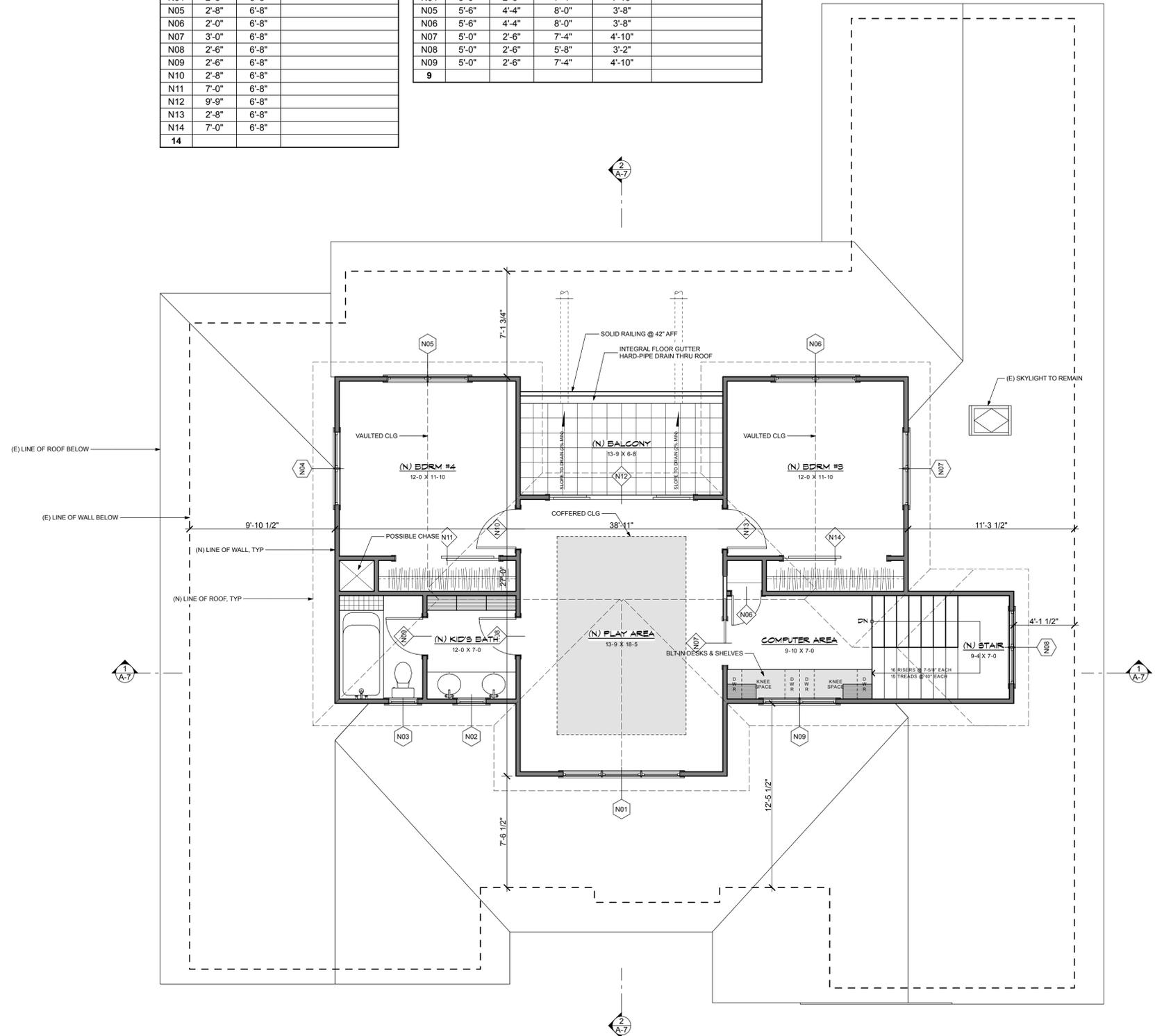
FLOOR PLAN NOTES

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 Emergency escape and rescue windows shall have a minimum net clear operable area of 5.7 square feet. The minimum clear operable height dimension shall be 24 inches and minimum clear operable width dimension shall be 20 inches. When windows are provided as a means of escape and rescue, they shall have a finish sill height not more than 44 inches above the finish floor. All sliding glass door assemblies and glazing at hazardous locations (i.e., windows adjacent to and within 24-inches of either edge of front door) shall be safety glazed (i.e. tempered).
- 05 Dryer Exhaust Vent**
 Domestic clothes dryer moisture exhaust ducts shall be of metal and shall have smooth interior surfaces. Exception: approved flexible duct connectors not more than 6 feet in length may be used. Flexible duct connectors shall not be concealed within construction. Dryer vent shall terminate on the outside of the building and shall be equipped with a back-draft damper. Screens shall not be installed at the duct termination. Dryer vent shall not be connected or installed with fasteners which will obstruct the flow. Dryer vent shall not exceed a total combined horizontal and vertical length of 14 feet, including two 90-degree elbows. Two feet shall be deducted for each 90-degree elbow in excess of two.
- 06 Water Heater and Furnace**
 Water heater and furnace may be installed within a garage provided the pilot, burner or heating element is at least 18 inches above the floor level. Water heaters shall be anchored or strapped at the upper 1/3 and lower 1/3 of its vent. Dimension maintaining 4-inches from the controls, to resist horz. displacement. Dwelling units, guest rooms, and congregational residences shall be provided with heating facilities capable of maintaining a room temperature of 68-degrees Fahrenheit at a point three feet above the floor in all habitable rooms.
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- 10 Shower Enclosure**
 All shower compartments, regardless of shape, shall have a minimum finish interior of 1024 square inches and shall also be capable of encompassing a 30 inch circle. Shower doors shall be a minimum clear opening of 22-inches in width, swing outward, and be of safety glazing material and identified as such. Shower floor and walls shall be finished with nonabsorbent surface up to a height of 6-feet above the floor drain per CRC 307.2
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(N) DOOR SCHEDULE			
ID	Width	Height	Type
N01	3'-0"	6'-8"	
N02	2'-4"	6'-8"	
N03	3'-6"	6'-8"	
N04	2'-8"	6'-8"	
N05	2'-8"	6'-8"	
N06	2'-0"	6'-8"	
N07	3'-0"	6'-8"	
N08	2'-6"	6'-8"	
N09	2'-6"	6'-8"	
N10	2'-8"	6'-8"	
N11	7'-0"	6'-8"	
N12	9'-9"	6'-8"	
N13	2'-8"	6'-8"	
N14	7'-0"	6'-8"	
14			

(N) WINDOW SCHEDULE					
ID	Width	Height	Head Height	Sill Height	Type
N01	8'-0"	4'-6"	7'-4"	2'-10"	
N02	2'-0"	2'-6"	7'-4"	4'-10"	
N03	2'-0"	2'-6"	7'-4"	4'-10"	
N04	5'-0"	2'-6"	7'-4"	4'-10"	
N05	5'-6"	4'-4"	8'-0"	3'-8"	
N06	5'-6"	4'-4"	8'-0"	3'-8"	
N07	5'-0"	2'-6"	7'-4"	4'-10"	
N08	5'-0"	2'-6"	5'-8"	3'-2"	
N09	5'-0"	2'-6"	7'-4"	4'-10"	
9					



SYMBOL LEGEND	
	NEW WALL
	FILL-IN EXISTING WALL OPENING
	EXISTING WALL TO REMAIN
	DEMO EXISTING WALL
	INTERIOR ELEVATION MARKER
	DOOR MARKER: E - DENOTES EXISTING TO REMAIN N - DENOTES NEW / REMOVE & REPLACE
	WINDOW MARKER: E - DENOTES EXISTING TO REMAIN N - DENOTES NEW / REMOVE & REPLACE

1 PROPOSED UPPER LEVEL
 SCALE: 1/4" = 1'-0"



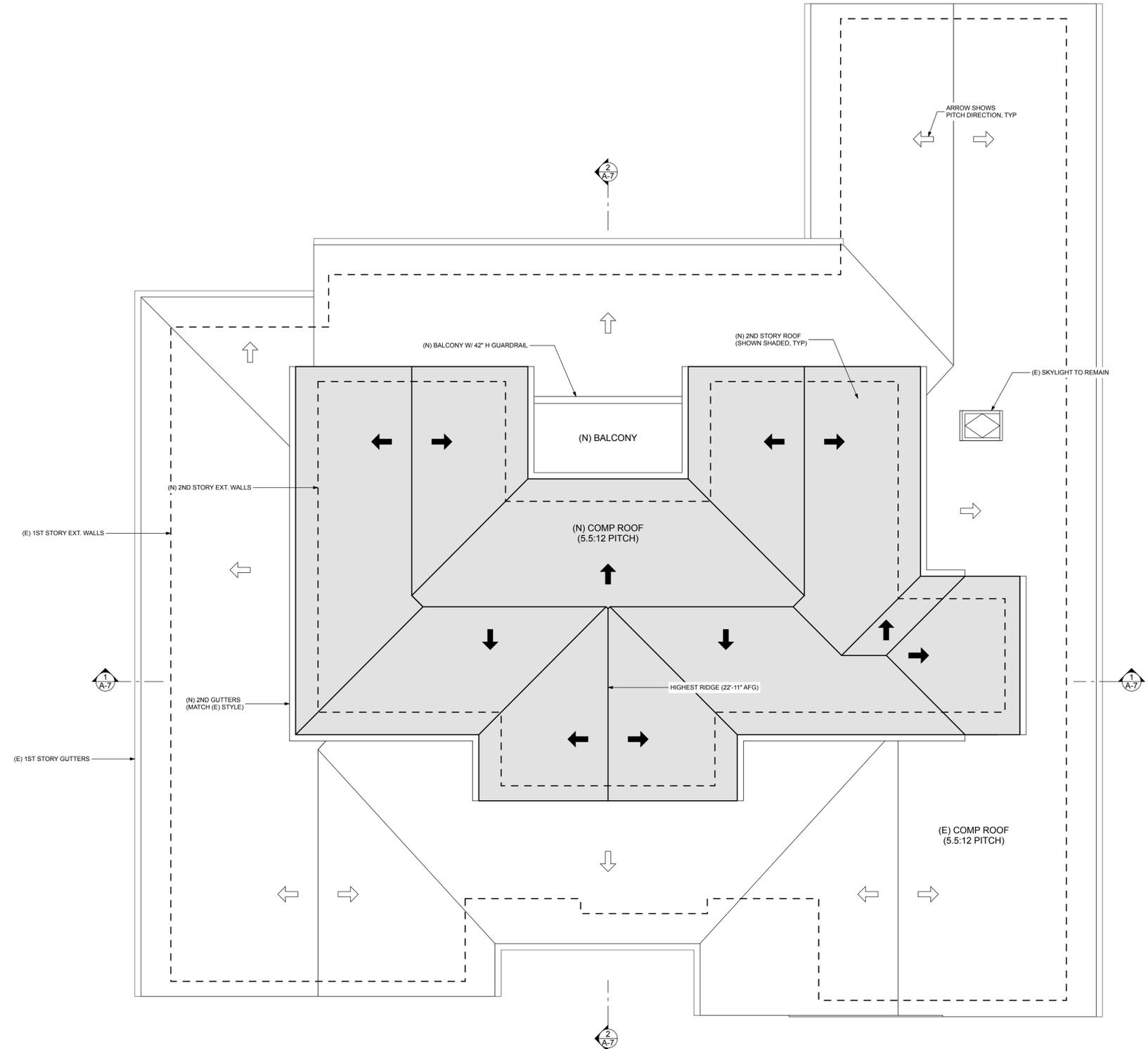
Proposed Upper Level

Jrider + Design
 Conceive | Visualize | Implement
 260 W. Hamilton Ave., Suite D
 Campbell, California 95008
 Phone 408-540-7391
 www.JriderDesign.com

DOYLE RESIDENCE
 RESIDENTIAL DESIGN REVIEW ***
 1110 GOLDEN WAY
 LOS ALTOS, CA 94024-5059

Rev	Description
AB 01-07-13	
DD 01-16-13	
PCE 03-28-13	
PLN 04-24-13	
PC	

Issue Date:	6/3/13
Scale:	AS NOTED
Drawn By:	JR
Checked By:	John Rider
Job:	41-12
Sheet Number:	



1
A-4 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



Proposed Roof Plan

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ELEVATION NOTES

APPLICABLE CODES: 2010 CBC, CRC, CPC, CMC, CEC, CEBC, & CFC;
 BASED ON: 2009 IBC, UPC, UMC, IEBC, IFC, 2008 NEC, and 2010 CA ENERGY CODE

- 01 Roofing Materials**
 Roofing material shall be 40 year (class "A") composite dimensional asphalt shingle, (selection by owner), installed over the entire roof as per the manufacturer's installation instructions. The roofing material shall be installed over one layer of non-perforated type 30# felt, lapped 2-inches minimum horizontally and 4-inches minimum vertically over 1/2-inch minimum CDX/OSB roof sheathing with radiant barrier (see structural plans for additional requirements). All roof flashing shall be no. 28 gage galvanized sheet metal.
- 02 Siding Materials**
 Wood Siding: Match existing horizontal wood siding per plan over one layer non-perforated type 15# felt or equal over shear wall plywood. All siding shall be securely fastened to each stud with not less than one nail per coarse not more than 24 inches on center. Fasteners shall be nails or screws with a penetration of not less than 1-1/2 inches into studs. All joints and edges of siding shall be over framing members, and shall be made resistant to weather penetration with battens, horizontal overlaps or shiplaps. Trim: HardieTrim® boards at all windows (head, jamba & sill) & exterior doors. (head & jamba). Back-prime prior to installation. Prime & paint trim. Verify color with owner prior to application.
- 03 Facia Trim & Gutter**
 Match new facia trim and gutter with existing. Verify with owner prior to installation.
- 04 Door & Window Trim**
 Wood Trim: shall be 2x Socomi-Lam® engineered LVL solid wood. All lengths shall be continuous if possible. All joints shall be mitered, back-primed, and caulked.
- 05 Skylights**
 New skylight with bronze anodized non-reflective frame. (Manufacturer: Velux® America - ICC Legacy Report NER-216) All vent pipes shall terminate not less than 10 feet from, or at least 3 feet above any operable window, door, opening (operable skylight), air intake or vent shaft.
- 06 Ventilation**
 Under-floor ventilation:
 New under-floor areas shall be ventilated by an approved mechanical means or by openings into the under-floor area. The net ventilating area shall not be less than 1/150 of the area of the space ventilated. The openings shall be covered with corrosion-resistant wire mesh with mesh openings of 1/4 inch in dimension. Attic ventilation: new enclosed attics and new enclosed rafter spaces formed where ceilings are applied directly to the underside of the roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain and snow. The net ventilating area shall not be less than 1/150 of the area of the space ventilated. The openings shall be covered with corrosion-resistant wire mesh with mesh openings of 1/4 inch in dimension.
- 07 Clearance & Drainage**
 Wood used in construction of permanent structures nearer than 6 inches to earth shall be treated wood or wood of natural resistance to decay. When wood joists are located closer than 18 inches or wood girders are located closer than 12-inches to exposed ground in crawl spaces, they shall be approved wood of natural resistance to decay or treated wood. Surface rainwater shall be drained away from the foundations 1/4-inch per foot a distance of 5 feet.
- 08 Decks, Steps, & Railings**
 Decks, Steps, & Railings shall be Ipe® or equal (final selection by owner and approved by designer). Width: the minimum width for stairways serving an occupant load of 49 or less shall not be less than 36 inches in width. Handrails may project into the required width a distance of 3-1/2 inches from each side of the stairway. Stringers and other projections such as trim may project into the required width 1-1/2 inches on each side. Rise & run: the rise of steps shall not be less than 4 inches or greater than 7-3/4 inches. The run shall not be less than 10 inches as measured horizontally between the vertical planes of the further most projection of adjacent treads. The largest run and rise shall not exceed the smallest by more than 3/8 inch. Landing: every landing shall have a dimension measured in the direction of travel not less than the width of the stairway. Such dimension need not exceed 44 inches when the stair has a straight run. There shall not be more than 12 feet vertically between landings. Doors in the fully open position shall not reduce the required landing dimension by more than 7 inches. Handrail: stairways less than 44 inches in width or stairways serving one individual dwelling unit may have one handrail. The top of handrail shall be not less than 34 inches or more than 38 inches above the nosing of treads and landings. Handrail shall be continuous the full length of the stairway. The handgrip portion of handrail shall not be less than 1-1/4 inches nor more than 2 inches in cross-sectional dimension or the shape shall provide an equivalent gripping surface. Handrails projecting from the wall shall have a space of not less than 1-1/2 inches between the wall and the handrail. Guardrails shall be a minimum height of 42 inches at all unenclosed floor and roof openings, open and glazed sides of stairways, landings and ramps, balconies or porches, which are more than 30 inches above grade or floor below, and roofs used for other than service of the building shall be protected by a guardrail. Open guardrails shall have intermediate rails or an ornamental pattern such that a sphere 4-inches in diameter can not pass through.



1 FRONT (EAST) ELEVATION
 SCALE: 1/4" = 1'-0"



2 REAR (WEST) ELEVATION
 SCALE: 1/4" = 1'-0"

THIS WORK WAS PREPARED BY JOHN A. RIDER, ASSOCIATE AIA OR UNDER MY SUPERVISION.

John A. Rider
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 Checked By: John Rider
 Job: 41-12
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A-5
 7 of 9

ELEVATION NOTES

APPLICABLE CODES: 2010 CBC, CRC, CPC, CMC, CEC, CEBC, & CFC;
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- 03 Facia Trim & Gutter**
 Match new facia trim and gutter with existing. Verify with owner prior to installation.
- 04 Door & Window Trim**
 Wood Trim: shall be 2x Socomi-Lam® engineered LVL solid wood. All lengths shall be continuous if possible. All joints shall be mitered, back-primed, and caulked.
- 05 Skylights**
 New skylight with bronze anodized non-reflective frame. (Manufacturer: Velux® America - ICC Legacy Report NER-216) All vent pipes shall terminate not less than 10 feet from, or at least 3 feet above any operable window, door, opening (operable skylight), air intake or vent shaft.
- 06 Ventilation**
 Under-floor ventilation:
 New under-floor areas shall be ventilated by an approved mechanical means or by openings into the under-floor area. The net ventilating area shall not be less than 1/150 of the area of the space ventilated. The openings shall be covered with corrosion-resistant wire mesh with mesh openings of 1/4 inch in dimension.
 Attic ventilation: new enclosed attics and new enclosed rafter spaces formed where ceilings are applied directly to the underside of the roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain and snow. The net ventilating area shall not be less than 1/150 of the area of the space ventilated. The openings shall be covered with corrosion-resistant wire mesh with mesh openings of 1/4 inch in dimension.
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- 08 Decks, Steps, & Railings**
 Decks, Steps, & Railings shall be Ipe® or equal (final selection by owner and approved by designer). Width: the minimum width for stairways serving an occupant load of 49 or less shall not be less than 36 inches in width. Handrails may project into the required width a distance of 3-1/2 inches from each side of the stairway. Stringers and other projections such as trim may project into the required width 1-1/2 inches on each side. Rise & run: the rise of steps shall not be less than 4 inches or greater than 7-3/4 inches. The run shall not be less than 10 inches as measured horizontally between the vertical planes of the further most projection of adjacent treads. The largest run and rise shall not exceed the smallest by more than 3/8 inch. Landing: every landing shall have a dimension measured in the direction of travel not less than the width of the stairway. Such dimension need not exceed 44 inches when the stair has a straight run. There shall not be more than 12 feet vertically between landings. Doors in the fully open position shall not reduce the required landing dimension by more than 7 inches.
 Handrail: stairways less than 44 inches in width or stairways serving one individual dwelling unit may have one handrail. The top of handrail shall be not less than 34 inches or more than 38 inches above the nosing of treads and landings. Handrail shall be continuous the full length of the stairway. The handgrip portion of handrail shall not be less than 1-1/4 inches nor more than 2 inches in cross-sectional dimension or the shape shall provide an equivalent gripping surface. Handrails projecting from the wall shall have a space of not less than 1-1/2 inches between the wall and the handrail.
 Guardrails shall be a minimum height of 42 inches at all unenclosed floor and roof openings, open and glazed sides of stairways, landings and ramps, balconies or porches, which are more than 30 inches above grade or floor below, and roofs used for other than service of the building shall be protected by a guardrail. Open guardrails shall have intermediate rails or an ornamental pattern such that a sphere 4-inches in diameter can not pass through.



1
A-6 RIGHT (NORTH) ELEVATION
 SCALE: 1/4" = 1'-0"



2
A-6 LEFT (SOUTH) ELEVATION
 SCALE: 1/4" = 1'-0"

THIS WORK WAS PREPARED BY
 JOHN A. RIDER, ASSOCIATE AIA
 OR UNDER MY SUPERVISION.

John A. Rider

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Checked By:	John Rider
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A-6
 2 of 4

Proposed Ext. Elevations

ELEVATION NOTES

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- 03 Facia Trim & Gutter**
 Match new facia trim and gutter with existing. Verify with owner prior to installation.
- 04 Door & Window Trim**
 Stucco Trim: shall be polypropylene molding by Carson's coatings (see detail). The finish shall be selected by owners and approved by designer. Installation per manufacturer's instructions. All lengths shall be continuous if at all possible.
 Wood Trim: shall be 2x Socomi-Lam® engineered LVL solid wood. All lengths shall be continuous if possible. All joints shall be mitered, back-primed, and caulked.
- 05 Skylights**
 New skylight with bronze anodized non-reflective frame. (Manufacturer: Velux® America - ICC Legacy Report NER-216) All vent pipes shall terminate not less than 10 feet from, or at least 3 feet above any operable window, door, opening (operable skylight), air intake or vent shaft.
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1 BUILDING SECTION X-X
 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION Y-Y
 SCALE: 1/4" = 1'-0"

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