



**CITY OF LOS ALTOS
CITY COUNCIL MEETING
February 23, 2016**

DISCUSSION ITEMS

Agenda Item # 6

SUBJECT: Approve design review and use permit applications for 1540 Miramonte Avenue subject to the listed findings and conditions

BACKGROUND

This is a design review and use permit application for a project at 1540 Miramonte Avenue. The project is for a two-story, mixed-use building with 1,466 square feet of retail commercial space at the ground level and four residential apartments at the second story. Design review is required for the new building. A use permit is required for the expansion of the building area. The project was submitted prior to the development moratorium for the Loyola Corners Neighborhood Specific Plan area.

Following an initial study session on October 15, 2015 and a review by the Bicycle and Pedestrian Commission on November 4, 2015, the applicant addressed recommendations to modify and add more bicycle racks. The project was reviewed twice by the Planning and Transportation Commission at public hearings on December 17, 2015 and January 21, 2016, with the applicant addressing many of the Commission's recommendations. At its January 21, 2016 meeting, the Planning and Transportation Commission unanimously recommended approval of the project to the City Council subject to the following direction:

1. Revise the landscape plans on the Miramonte Avenue and B Street frontages to reflect the street tree types shown in the Loyola Corners Concept Plan;
2. Revise the landscape plan on the B Street frontage to show the expanded planter on the street side of the sidewalk as per the Loyola Corners Concept Plan;
3. Omit the signage on the elevator tower;
4. Revise the privacy walls on the north side of the building by extending them if possible and/or using alternative materials for them;
5. Consider adding a clearstory window in the bedroom at the northwest corner of the building; and
6. Update the renderings to reflect the most recent changes.

The Memorandum to the Planning and Transportation Commission and the minutes of the January 21, 2016 meeting are attached as Attachments 2 and 3, respectively.

EXISTING POLICY

Loyola Corners Neighborhood Specific Plan (adopted in 1990, amended in 1993).

On March 24, 2015, the City Council adopted a story pole requirement for commercial, multiple-family and mixed-use developments. Staff subsequently developed an administrative policy, similar to the Town of Los Gatos, that provides an exception that addresses on-site conditions such as an existing building and/or use at the subject property. Given the constraints of the existing building and the service station use, the applicant worked with staff to develop partial story poles and to provide additional 3D renderings. Recently, staff encouraged the applicant to build out the story

poles in more detail along Miramonte Avenue. Accordingly, the story poles have been modified to show the height of the wall and the roof form along the Miramonte Avenue frontage. As a policy matter, staff will advise future applicants to build story poles to the greatest extent possible and will only grant exceptions in very limited cases where there are safety concerns or significant on-site constraints.

PREVIOUS COUNCIL CONSIDERATION

None

DISCUSSION

The applicant modified the plans as directed by the Planning and Transportation Commission. The plans show the expanded landscape into B Street and revised street trees for both frontages. The sign on the elevator tower was omitted. A trellis was added to the second story privacy walls and the wall material was enhanced with ebony tile. Also, a clearstory window was added to the northwestern corner of the building. In staff's view, these changes meet the Commission's direction.

The applicant will provide a materials and colors board for the City Council's review at the meeting.

PUBLIC CONTACT

A public hearing advertisement was placed in the Town Crier and a postcard notice was mailed to the 181 property owners and business tenants within 500 feet of the subject property for the December 17, 2015 and the January 21, 2016 Planning and Transportation Commission public hearings. Additionally, a postcard notice was mailed to the 181 property owners and business tenants within 500 feet of the subject property for the February 23, 2016 City Council Meeting.

Furthermore, the applicant posted an on-site project notice to provide a general neighborhood notice for the Planning and Transportation Commission and City Council meetings.

Lastly, posting of each meeting agenda served as notice to the general public.

FISCAL/RESOURCE IMPACT

The City will receive \$142,000 in in-lieu fees for parkland dedication for the four dwelling units (\$35,500 per unit) and \$15,108 in traffic impact fees (\$3,777 per unit) based on the current fee schedule.

ENVIRONMENTAL REVIEW

Categorically exempt in accordance with Section 15332 of the California Environmental Quality Act Guidelines as the project is an urban infill location.

RECOMMENDATION

Approve design review and use permit applications for 1540 Miramonte Avenue subject to the listed findings and conditions

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ALTERNATIVES

1. Approve the project with specific changes
2. Deny the project
3. Remand the project to the Planning and Transportation Commission with specific direction

Prepared by: David Kornfield, Planning Services Manager—Advance Planning

Reviewed by: Steve Piasecki, Interim Community Development Director

Approved by: Marcia Somers, City Manager

ATTACHMENTS:

1. 1540 Miramonte Avenue project plans
2. Memorandum to the Planning and Transportation Commission, dated January 21, 2016
3. Minutes of the Planning and Transportation Commission Meeting, dated January 21, 2016

Approve design review and use permit applications for 1540 Miramonte Avenue subject to the listed findings and conditions

FINDINGS

15-D-07, 15-UP-03—1540 Miramonte Avenue

1. The City Council finds in accordance with Section 15332 of the California Environmental Quality Act Guidelines, as amended on January 1, 2013, that the following Categorical Exemption findings can be made:
 - a. The project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations;
 - b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare or threatened species;
 - c. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
 - d. The site can be adequately served by all required utilities and public services.

2. With regard to commercial design review the City Council makes the following findings in accordance with Section 14.78.050 of the Municipal Code:
 - a. The proposal does meet the goals, policies and objectives of the General Plan and Loyola Corners Neighborhood Commercial Center Specific Plan, design guidelines and district design criteria adopted for the area;
 - b. The proposal has architectural integrity and has an appropriate relationship with other structures in the immediate area in terms of height, bulk and design;
 - c. Building mass is articulated to relate to the human scale, both horizontally and vertically. Building elevations have variation and depth and avoid large blank wall surfaces. Residential or mixed-use residential projects incorporate elements that signal habitation, such as identifiable entrances, stairs, porches, bays and balconies;
 - d. Exterior materials and finishes convey quality, integrity, permanence and durability, and materials are used effectively to define building elements such as base, body, parapets, bays, arcades and structural elements;
 - e. Landscaping is generous and inviting and landscape and hardscape features are designed to complement the building and parking areas and to be integrated with the building architecture and the surrounding streetscape. Landscaping includes substantial street tree canopy, either in the public right-of-way or within the project frontage;

Approve design review and use permit applications for 1540 Miramonte Avenue subject to the listed findings and conditions

- f. Signage is provided in the plan set; therefore, the signage is designed to complement the building architecture in terms of style, materials, colors and proportions;
 - g. Mechanical equipment is screened from public view and the screening is designed to be consistent with the building architecture in form, material and detailing; and
 - h. Service, trash and utility areas are screened from public view, or are enclosed in structures that are consistent with the building architecture in materials and detailing.
3. With regard to use permit for a mixed-use building with retail and residential uses, the City Council finds in accordance with Section 14.80.060 (A-D, J) of the Municipal Code:
- a. That the proposed location of the conditional use is desirable or essential to the public health, safety, comfort, convenience, prosperity, or welfare;
 - b. That the proposed location of the conditional use is in accordance with the objectives of the zoning plan as stated in Chapter 14.02 of this title;
 - c. That the proposed location of the conditional use, under the circumstances of the particular case, will not be detrimental to the health, safety, comfort, convenience, prosperity, or welfare of persons residing or working in the vicinity or injurious to property or improvements in the vicinity;
 - d. That the proposed conditional use will comply with the regulations prescribed for the district in which the site is located and the general provisions of Chapter 14.02;
 - e. That the proposed construction is found to meet the specific purposes of the Loyola Corners Neighborhood Center Specific Plan zoning district pursuant to Section 14.42.020 of the Los Altos Municipal Code; and
 - f. That the proposed square footage contributes to expansion potential pursuant to Section 14.42.040 of the Los Altos Municipal Code:
 - 1. The square footage contributes to the permitted fifteen thousand (15,000) square foot new ground-level retail; and
 - 2. That the use occupying the proposed square footage builds upon the existing strengths of the Loyola Corners Neighborhood Commercial Center and adds business which is appropriate in terms of use, physical scale, and size of the site.

Approve design review and use permit applications for 1540 Miramonte Avenue subject to the listed findings and conditions

CONDITIONS

15-D-07, 15-UP-03—1540 Miramonte Avenue

GENERAL

1. **Approved Plans**

Project approval is based upon the plans received on January 7, 2016, except as modified by these conditions.

2. **Public Right-of-Way, General**

All work within the public right-of-way shall be done in accordance with plans to be approved by the City Engineer.

3. **Encroachment Permit**

The applicant shall obtain an encroachment permit and/or excavation permit prior to any work done within the public right-of-way and it shall be in accordance with plans to be approved by the City Engineer.

4. **Public Utilities**

The applicant shall contact electric, gas, communication and water utility companies regarding the installation of new utility services to the site.

5. **ADA**

All improvements shall comply with Americans with Disabilities Act (ADA).

6. **NPDES Permit**

The project shall comply with the San Francisco Bay Region Municipal Regional Stormwater (MRP) National Pollutant Discharge Elimination System (NPDES) Permit No. CA S612008, Order R2-2009-0074, Provision C.3 dated October 14, 2009. The improvement plans shall include the "Blueprint for a Clean Bay" plan sheet in all plan submittals.

7. **Sewer Lateral**

Any proposed sewer lateral connection shall be approved by the City Engineer.

8. **Upper Story Lighting**

Any upper story lighting design shall be shrouded or directed down to minimize glare.

9. **Indemnity and Hold Harmless**

The property owner agrees to indemnify and hold City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal Court, challenging the City's action with respect to the applicant's project.

Approve design review and use permit applications for 1540 Miramonte Avenue subject to the listed findings and conditions

10. Plan Changes

The Planning and Transportation Commission may approve minor changes to the development plans. Substantive project changes require a formal amendment of the application.

PRIOR TO FINAL MAP RECORDATION

11. CC&Rs

The applicant shall include provisions in the Covenants, Conditions and Restrictions (CC&Rs) that restrict storage on the private patio and decks and outline rules for other objects stored on the private patio and decks with the goal of minimizing visual impacts.

12. Property Dedication

The property owner or applicant shall dedicate a five-foot public right-of-way along B Street to the City of Los Altos for use as public right-of-way. In addition, a 20-foot radius of the intersection of Miramonte Avenue and B Street shall be provided

13. Public Utility Dedication

The applicant shall dedicate public utility easements as required by the utility companies to serve the site.

14. Fees

The applicant shall pay all applicable fees, including but not limited to sanitary sewer impact fees, parkland dedication in lieu fees, traffic impact fees and map check fee plus deposit as required by the City of Los Altos Municipal Code.

PRIOR TO BUILDING PERMIT SUBMITTAL

15. Parcel Map Recordation

The applicant shall record a parcel map to merge the properties. Plats and legal descriptions of the final map shall be submitted for review and approval by the City Land Surveyor, and the applicant shall provide a sufficient fee retainer to cover the cost of the final map application.

16. Public Improvements

The property owner or applicant shall install new City Standard sidewalk, and curb and gutter and planting area in accordance with the Loyola Corners Concept Plan along B Street to the adjacent property; and remove sidewalk and replace with City Standard curb and gutter along Miramonte Avenue from the corner to the northerly boundary.

17. Sidewalk Ramp Removal

The property owner or applicant shall remove the existing ramp located at the northeast side along Miramonte Avenue and adjacent to 1530 Miramonte Avenue and replace with a modified sidewalk to conform to the existing flow line.

Approve design review and use permit applications for 1540 Miramonte Avenue subject to the listed findings and conditions

18. Construction Sight Visibility

All corner areas shall be kept clear of vegetation and structures that create potential line-of-sight constraints for vehicles on Miramonte Avenue and B Street.

19. Street Trees

The quantity and type of street trees to be installed along Miramonte Avenue and B Street shall be consistent with the Loyola Corners Concept Plan, dated August 2009 and as adopted by City Council.

20. Sidewalk Lights

The owner or applicant shall design a street lighting plan to provide one foot-candle of illumination along the frontage of Miramonte Avenue to illuminate all public spaces in the development. Decorative lighting shall be consistent in accordance to the Loyola Corners Streetscape Plan. The light pole shall be located where lighting is not constrained and is recommended to be installed at the south side of the driveway along Miramonte Avenue.

21. Stormwater Discharge

The stormwater discharge point shall be at B Street, south side of the property to ensure adequate flow into the public right-of-way.

22. Performance Bond

The applicant shall submit a cost estimate for all improvements in the public right-of-way and shall submit a 100 percent performance bond (to be held until acceptance of improvements) and a 50 percent labor and material bond (to be held until 6 months after acceptance of improvements) for the work in the public right-of-way.

23. Right of Way Construction

The applicant shall submit detailed plans for any construction activities affecting the public right-of-way, including but not limited to excavations, pedestrian protection, material storage, earth retention, and construction vehicle parking, to the City Engineer for review and approval. The applicant shall also submit on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for approval by the City.

24. Sewer Capacity

The applicant shall submit calculations showing that the City's existing six-inch diameter sewer line will not exceed two-thirds full due to the project's sewer loads. Calculations shall include the six-inch main from the property along Miramonte Ave. to the point where it connects to the twenty four-inch sewer line on Covington Ave. For any segment that is calculated to exceed two-thirds full for average daily flow or for any segment that the flow is surcharged in the main due to peak flow, the applicant shall replace the six-inch sewer line with an eight-inch sewer line.

25. Trash Enclosure

The applicant shall contact Mission Trail Waste Systems and submit a solid waste, recyclables (and organics, if applicable) disposal plan indicating the type, size and number of containers

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proposed, and the frequency of pick-up service subject to the approval of the Engineering Division. The applicant shall also submit evidence that Mission Trail Waste Systems has reviewed and approved the size and location of the proposed trash enclosure. The enclosure shall be roofed to prevent rainwater from mixing with the enclosure's contents and shall be drained into the city's sanitary sewer system. The enclosure's pad shall be designed to not drain outward, and the grade surrounding the enclosure designed to not drain into the enclosure.

26. Stormwater Management Plan

The applicant shall provide a Stormwater Management Plan (SWMP) in accordance with the City guidance document showing that 100 percent of the site is being treated and is in compliance with the MRP. The SWMP must be reviewed and approved by a City-approved third party consultant and the City Engineer at the applicant's expense. The recommendations from the SWMP shall be shown on the building plans.

27. Green Building Standards

The applicant shall provide verification that the project will comply with the City's Green Building Standards (Section 12.26 of the Municipal Code) from a qualified green building professional.

28. Property Address

The applicant shall provide an address signage plan as required by the Building Official.

29. Master Sign Program

The applicant shall provide a master sign program reflecting the approved signage concept that includes locations, sizes, materials, illumination and colors of all proposed signage for review and approval by the Community Development Director.

30. Soils Report

The applicant shall submit a soils report. The soils report shall analyze the soil for any environmental contamination related to the former gas station use. Such report shall be provided to the Community Development Department for review and approval. Any measures to ensure the health and safety of construction workers and occupants of the building shall be performed and incorporated into the construction plans and building design. If any soil needs to be treated and/or exported from the site, it shall be done so expeditiously not to exceed six months, or as approved by the Community Development Director.

31. Landscape

The applicant shall provide a landscape and irrigation plan in conformance to the City's Water Efficient Landscape Regulations in accordance with Chapter 12.46 of the Municipal Code.

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PRIOR TO ISSUANCE OF BUILDING PERMIT

32. Construction Management Plan

The applicant shall submit a construction management plan for review and approval by the Community Development Director. The construction management plan shall address any construction activities affecting the public right-of-way, including but not limited to: prohibiting dirt hauling during peak traffic hours, excavation, traffic control, truck routing, pedestrian protection, appropriately designed fencing to limit project impacts and maintain traffic visibility as much as practical, material storage, earth retention and construction and employee vehicle parking.

PRIOR TO FINAL INSPECTION

33. Maintenance Bond

The applicant shall submit a one-year, 10-percent maintenance bond upon acceptance of improvements in the public right-of-way.

34. Stormwater Facility Certification

The applicant shall have a final inspection and certification done and submitted by the Engineer who designed the SWMP to ensure that the treatments were installed per design. The applicant shall submit a maintenance agreement to City for review and approval for the stormwater treatment methods installed in accordance with the SWMP. Once approved, the applicant shall record the agreement.

35. Stormwater Catch Basin

The applicant shall label all new or existing public and private catch basin inlets which are on or directly adjacent to the site with the “NO DUMPING - FLOWS TO PERMANENTE CREEK” logo as required by the City.

36. Green Building Verification

The applicant shall submit verification that the structure was built in compliance with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code.

37. Landscaping Installation

The applicant shall install all on- and off-site landscaping and irrigation, as approved by the Community Development Director and the City Engineer.

38. Lighting Installation

The applicant shall install all off-site lighting per the approved plan and as directed by the City Engineer.

39. Acoustical Report

The applicant shall submit a report from an acoustical engineer ensuring that the rooftop mechanical equipment meets the City’s noise regulations.

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40. Landscape Certification

The applicant shall provide a Certificate of Completion conforming to the City's Water Efficient Landscape Regulations.

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NEW RETAIL / APARTMENT BLDG.

1540 MIRAMONTE AVENUE, LOS ALTOS, CA

APN: 189-15-085



PROJECT ANALYSIS:	
PROPERTY OWNER:	GALE H. SHAW, TRUSTEE OF THE GALE H. SHAW LIVING TRUST
SITE AREA:	± 0.307 ACRES ± 13,400 SQ. FT.
BUILDING AREA: (N) 2 STORY (RETAIL & APARTMENT)	FOOTPRINT ± 4,896 SQ. FT.
	GROUND FLOOR ± 1,466 SQ. FT. (Rentable space)
	± 3,430 SQ. FT. (Garage area, elev., elect. rm, stair & etc.)
SECOND FLOOR	± 4,958 SQ. FT. (4-units dwelling)
TOTAL	± 9,854 SQ. FT.
BUILDING COVERAGE:	39 %
PARKING PROVIDED:	16 STALLS
	STANDARD (9' x 18'): 15 STALLS
	ACCESSIBLE PARKING (VAN): 1 STALLS
	TOTAL 16 STALLS
	RETAIL: 1,466 rentable space = 5 cars req'd.
	DWELLING: 4 UNITS x 2ea. = 8 cars req'd.
	GUEST / VISITOR: 1 car req'd.
	TOTAL = 14 cars req'd.
PARKING RATIO:	1 / 300 SQ. FT.
PAVING AREA:	TOTAL ± 5,863 SQ. FT.
	COVERAGE 44 %
LANDSCAPE AREA:	TOTAL ± 2,333 SQ. FT.
	COVERAGE 17 %
TYPE OF CONSTRUCTION:	II-B
ZONING	CN (Commercial Neighborhood District)
OCCUPANCY:	M / R-2
FIRE SPRINKLER SYSTEM:	-
APPLICABLE CODES	<ul style="list-style-type: none"> 2013 California Building Code 2013 California Mechanical Code 2013 California Plumbing Code 2013 California Electrical Code 2013 California Green Building Code (CALGreen) 2013 California Fire Code (with local amendments) 2013 State of California Title 24 Energy Regulations 2013 State of California Title 24 Handicap Accessibility Regulations Los Altos Code (including local amendments to the above requirements)
	CITY OF LOS ALTOS LOCAL CODES and ORDINANCES.

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ABBREVIATIONS

&	And	CONST.	Construction	F.S.	Full Size	M.O.	Masonry Opening	S	South
∠	Angle	CONT.	Continuous	FT.	Foot or Feet	M.D.	Moulding	S.C.	Solid Core
∅	Al	CORR.	Corridor	FTG.	Footings	MID.	Mounted	S.C.D.	Seat Cover Dispenser
⊕	Centerline	FURF.	Furniture	FURF.	Furniture	SCH.	Schedule	SCN	Screens
⊙	Diameter or Round	CTR.	Center	FUT	Futura	MUL.	Mulch	SCN	Screens
⊥	Perpendicular	DBL.	Double	CA.	Cover	NK.	Mark	S.D.	Soap Dispenser
#	Point or Number	DEPT.	Department	CA.	Cover	NK.	Mark	SECT.	Section
∠	Ending	DEM.	Demolish, Demolition	CAV.	Covered	N.	North	SH.	Shelving
A.B.	Anchor Bolts	D.F.	Drinking Fountain	G.B.	Grab Bar	N.C.	Not In Contact	SHR.	Shower
ABV	Above	DI.	Diameter	G.C.	General Contract(ors)	NO. or #	Number	SHT.	Sheet
ACQ/US.	Acoustical	DIM.	Dimension(s)	G.O.	Grade (ing)	NOM.	Nominal	SHTL	Showering
A/C	Air Conditioning	DISP.	Dispenser	GL.	Glass	N.T.S.	Not To Scale	SIM.	Similar
A.D.	Area Drain	DMT.	Demountable	OND.	Ground			S.N.D.	Sanitary Napkin Dispenser
AFT.	Above Finished Floor	DN.	Down	OP.	Opening	O/	Over	S.N.R.	Sanitary Napkin Receptacle
ADJ.	Adjustable	D.O.	Door Opening	OP.	Opening	O.A.	Over All	SNT.	Sodent
ADJA.	Adjacent	DR.	Door	H.B.	Hass Bibb	OBS.	Obscure	SPEC.	Specification (s)
AGGR.	Aggregate	DRW.	Drawer	HBD.	Hardboard	O.C.	On Center	SQ.	Square
ALT.	Aluminate	DRWR.	Drawer	HBR.	Hardware	O.D.	Outside Diameter	SSC.	Stainless Steel
ALUM.	Aluminum	DS.	Downspout	H.M.	Hollow Metal	OFF.	Office	SSK.	Service Sink
ANOD.	Anodized	D.S.P.	Dry Stand Pipe	HCR.	Horizontal	OPG.	Opening	STA.	Station
APPROX.	Approximate	DTL.	Detail	HCR.	Horizontal	OPH.	Opposite Hand	STD.	Standard
ARCH.	Architect (ural)	DWG.	Drawing(s)	HT.	Height	OPP.	Opposite	STL.	Steel
ASPH.	Asphalt	E.	East	HWD.	Hardwood	HND.	Hand	STR.	Storage
		EA.	Expansion Joint	HVAC.	Heating / Ventilating / Air Conditioning	PCC.	Pre-Cast Concrete	STR.	Structure (s)
		E.B.	Expansion Bolt			PFB.	Prefabricate (s)	SUSP.	Suspended
BD.	Board	E.J.	Expansion Joint			PFN.	Prefinished	SYM.	Symmetrical
BEL.	Below	E.L.	Elevation	I.D.	Inside Diameter	PK.	Parking	SYN.	Synthetic
BET.	Between	EL.	Electrical	INSU.	Insulation	PL.	Plank		
BTULM.	Bituminous	ELEC.	Electrical	INT.	Interior	PLAM.	Plastic Laminate	T.	Tread
BLDG.	Building	ELEV.	Elevation	INT.	Interior	PLAS.	Plaster	T.B.	Towel Bar
BLK.	Block	EMER.	Emergency	JAN.	Janitor	PNT.	Paint (ed)	T.C.	Terra Cotta
BLKC.	Blocking	ENCL.	Enclosure	JT.	Joint	PR.	Pair	TEL.	Telephone
BM.	Beam	E.P.	Electrical Panelboard	KIT.	Kitchen	PT.	Paint	T&G	Tongue and Groove
B.M.	Bench Mark	E.D.	Equipment			P.T.D.	Paper Towel Dispenser	TRK.	Track
BRG.	Bracing	E.E.P.	Electric Water Cooler			P.T.R.	Paper Towel Receptacle	THR.	Threshold
BRZ.	Bronze	E.W.C.	Electric Water Cooler			PAR.	Partition	THR	Threshold
BOT.	Bottom	EXG.	Exhaust	LAB.	Laboratory	PIN.	Pin	T.P.D.	Toilet Paper Dispenser
B.S.	Both Sides	EXP.	Expansion	LAM.	Laminate	P.W.	Pipe Weld	TPIN	Toilet Partition
B.W.	Both Ways	EXT.	Exterior	LND.	Landing	P.V.	Polyvinyl Chloride	TRV.	Thermostat
BUR.	Built Up Roofing			LBL.	Label	P.V.C.	Polyvinyl Chloride	T.O.C.	Top Of Curb
				LKR.	Locker	Q.T.	Quarry Tile	T.O.P.	Top Of Pavement
				LTL.	Light			T.O.W.	Top Of Wall
CAB.	Cabinet	F.A.	Fire Alarm	LVL.	Lintel			TPP.	Typical
C.B.	Catch Basin	F.B.	Fire Bar	LVR.	Lever			TRZ.	Terrazzo
CEM.	Cement	F.D.	Fire Drift	M.	Master	R.	Riser		
CEX.	Ceramic	F.E.	Fire Extinguisher	M (m)	Meter	RAD.	Rubber		
C.I.	Cast Iron	F.E.C.	Fire Extinguisher Cabinet	MAS.	Masonry	R.D.	Road Drain	UNF.	Unfinished
CJT.	Control Joint	FTE.	Finished Floor Elevation	MAX.	Maximum	REF.	Reference	U.O.N./U.N.O.	Unless Otherwise Noted
CK.	Caulk(ed)	FTL.	Finished Floor Line	MECH.	Mechanical	REFA.	Reference		
CLC.	Ceiling	F.H.C.	Fire Hose Cabinet	MECH.	Mechanical	REG.	Register		
CLO.	Closet	FIN.	Finish	MECH.	Mechanical	REIN.F.	Reinforced (ing)	VERT.	Vertical
C.L.R.	Clear (ance)	FL.	Flashing	MECH.	Mechanical	REIN.F.	Reinforced (ing)	VEST.	Vestibule
C.M.U.	Concrete Masonry Unit	FLR.	Floor	MET./M.T.L.	Metal	RES.	Resilient	W	With
CONTR.	Contractor	FLR.	Floor	MFR.	Manufacturer (s)	REV.	Revision (s), Revised	W.C.	Water Closet
COU.	Column	FND.	Foundation	MNR.	Minor	RM.	Room	W/O	Without
COMP.	Composite (ion)	F.O.C.	Face Of Concrete	MNR.	Minor	RO.	Rough Opening	W.	With
CONC.	Concrete	F.O.F.	Face Of Finish	MIR.	Mirror	RWD.	Revised	WP.	Waterproof
CONN.	Connection	F.O.S.	Face Of Slab	MISC.	Miscellaneous	R.W.C.	Rain Water Collector	W/ST.	Waterstop
		FP.	Fireproof	MM (mm)	Millimeter	R.W.L.	Rain Water Leader	WT.	Weight

MATERIALS

PLAN SECTIONS	DETAIL SECTIONS
	CONCRETE
	CONCRETE BLOCK
	METAL STUDS
	WOOD STUDS
	SOUND INSUL.
	FINISHED WOOD
	PLYWOOD
	RIGID INSULATION
	BLANKET INSULATION
	ACOUSTICAL TILE
	GYPSUM BOARD
	METAL
	PLASTER
	MASONRY
	GLASS
	EARTH

SYMBOLS

	COLUMN OR GRIDLINE
	SECTION REFERENCE NO.
	DETAIL REFERENCE NO.
	ELEVATION REFERENCE NO.
	ELEV. REF. SHEET NO.
	DETAIL REF. SHEET NO.
	REVISION
	SEE REVISION PURPOSE & DATE ON COVER SHEET

VICINITY MAP



PROJECT DESCRIPTION

FOUR RESIDENTIAL APARTMENTS OVER RETAIL AND COVERED PARKING
TWO STORY BUILDING
EXISTING SERVICE STATION TO BE DEMOLISHED

FIRE DEPARTMENT NOTES

- AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT THE BUILDING. SPRINKLER SYSTEMS SHALL BE DESIGNED AND INSTALLED PER APPLICABLE NFPA REGULATIONS. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. CRC SEC. 903.2 AS ADOPTED AND AMENDED BY LAMC.
- WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.
- FIRE ALARMS AND OCCUPANT NOTIFICATION: INSTALLED AS PER CFC SEC. 907
- GROUND LADDER ACCESS: GROUND-LADDER RESCUE FROM SECOND FLOOR ROOMS SHALL BE MADE POSSIBLE FOR FIRE DEPARTMENT OPERATIONS. WITH THE CLIMBING ANGLE OF SEVENTY FIVE DEGREES MAINTAINED, AN APPROXIMATE WALKWAY WIDTH ALONG EITHER SIDE OF THE BUILDING SHALL BE NO LESS THAN SEVEN FEET CLEAR. LANDSCAPING SHALL NOT BE ALLOWED TO INTERFERE WITH THE REQUIRED ACCESS. CFC SEC. 503 AND 1029 NFPA 1932 SEC. 5.1.8 THROUGH 5.1.9.2
- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION B1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33 COMMENT
- ADDRESS IDENTIFICATION: THE BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1

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Project Name: NEW RETAIL / APARTMENT BLDG.
Address: 1540 MIRAMONTE AVENUE, LOS ALTOS, CA
APN: 189-15-085

Dennis Kobza & Associates, Inc.
A.I.A. Architect
2083 OLD MIDDLEFIELD WAY MOUNTAIN VIEW, CA 94043
PHONE - 650-961-6103 FAX - 650-961-4839
E-MAIL - dkarch@kobza.com WEB - www.kobza.com
C-4505

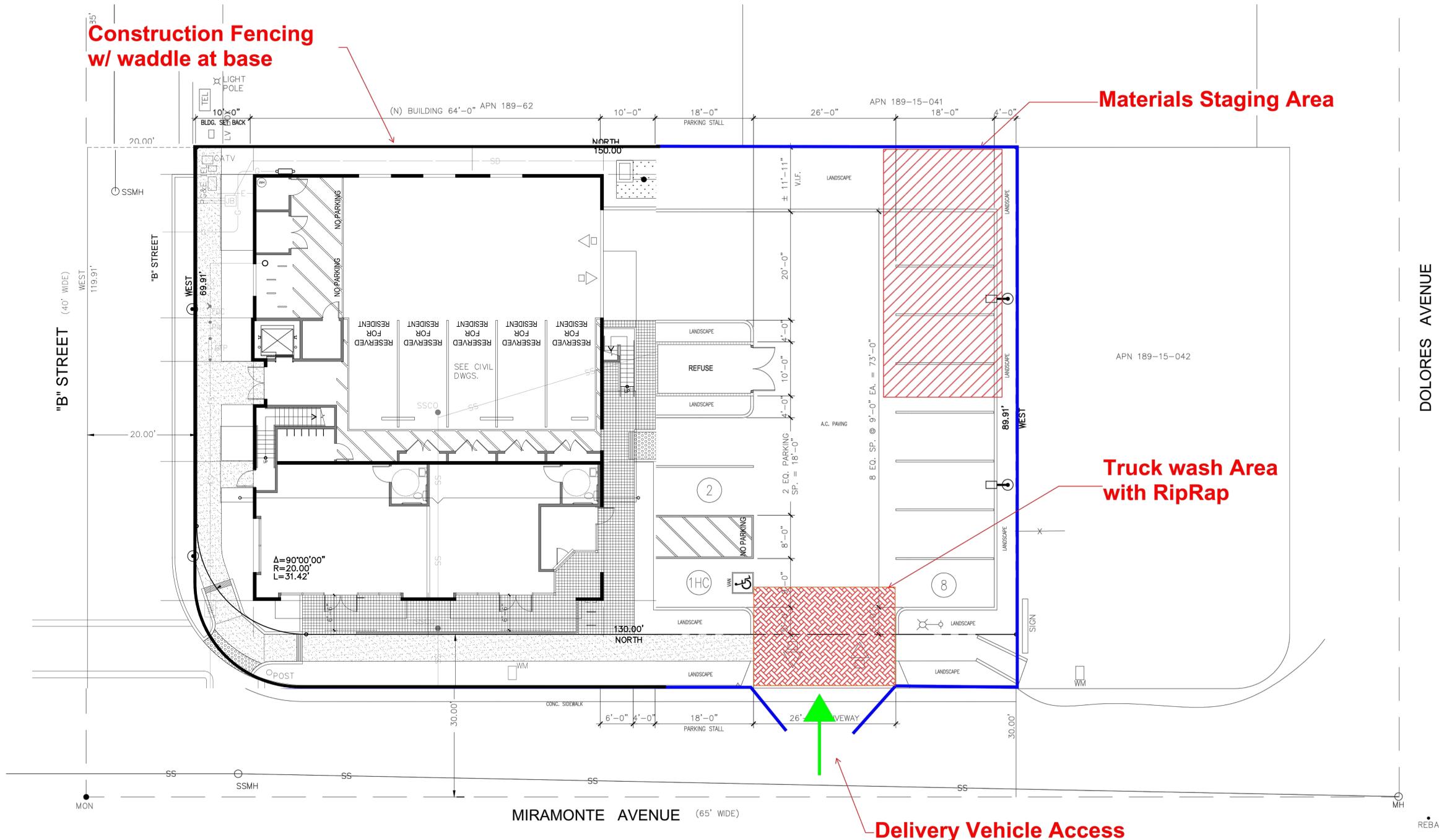


REVISION 1	REVISION 4
REVISION 2	REVISION 5
REVISION	REVISION 6

NEW RETAIL / APARTMENT BLDG.
1540 MIRAMONTE AVENUE, LOS ALTOS, CA
SHEET TITLE: COVER SHEET

JOB NO. 158689
DATE 02-10-2016
DRAWN BY BudJrS/Imm
SHEET NO. T

Construction Management Plan 1540 Miramonte Avenue



1 SITE DEVELOPMENT PLAN
SCALE: 1/8" = 1' - 0"



DEVEL CONSTRUCTION, INC.
1590 Oakland Road, #B107
San Jose, CA 95131
Telephone: (408) 453-0455
FAX: (408) 453-0458
GENERAL CONTRACTORS LIC. #493386

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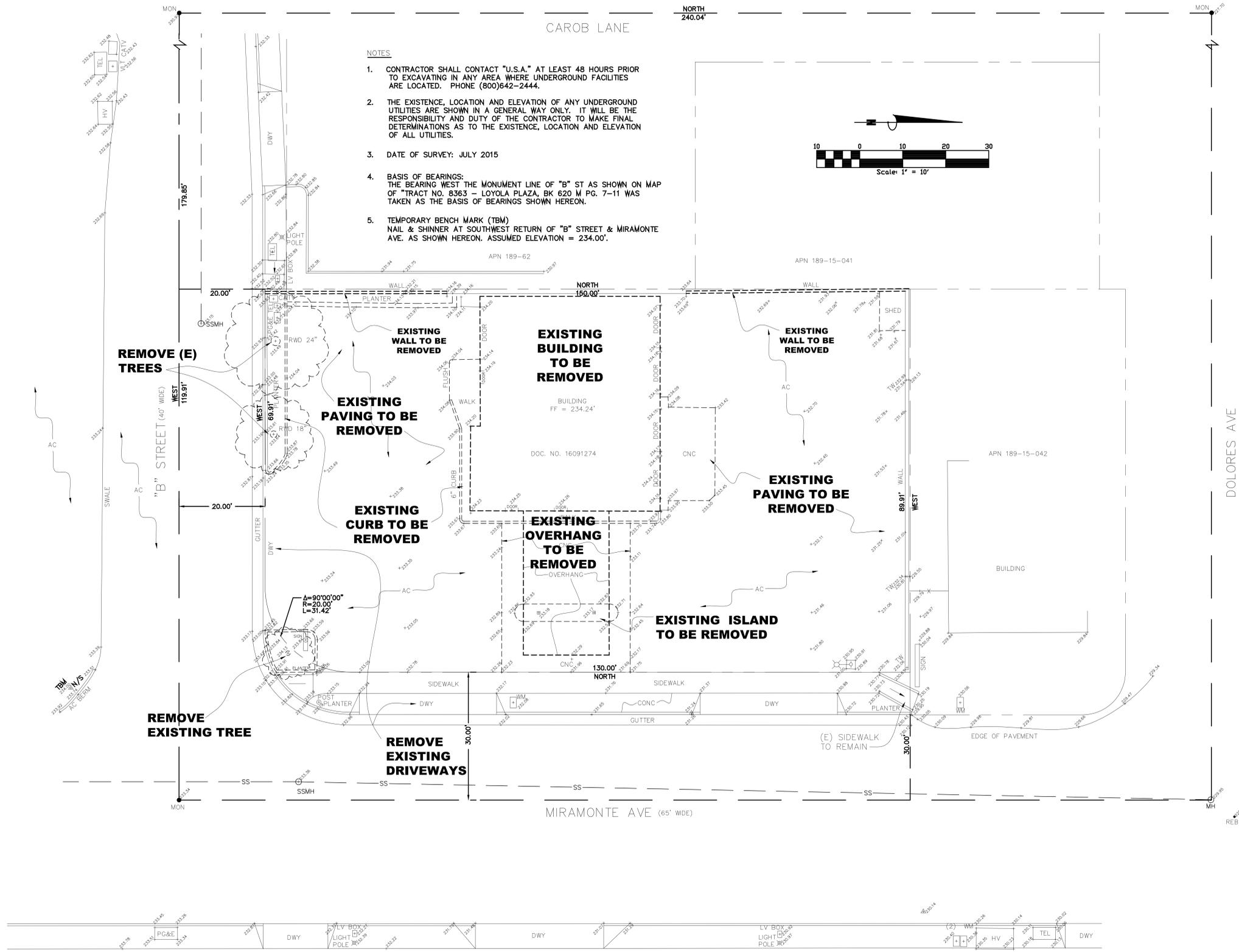
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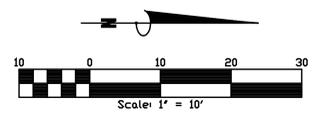
REVISION 1	REVISION 4
REVISION 2	REVISION 5
REVISION	REVISION 6

NEW RETAIL / APARTMENT BLDG.	
1540 MIRAMONTE AVENUE, LOS ALTOS, CA	
SHEET TITLE	CONSTRUCTION MANAGEMENT PLAN

JOB NO.	158689	SHEET NO.	A-0.1
DATE	08-17-2015	DRAWN BY	BudJrRS



- NOTES**
- CONTRACTOR SHALL CONTACT "U.S.A." AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
 - THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
 - DATE OF SURVEY: JULY 2015
 - BASIS OF BEARINGS: THE BEARING WEST THE MONUMENT LINE OF "B" ST AS SHOWN ON MAP OF "TRACT NO. 8363 - LOYOLA PLAZA, BK 620 M PG. 7-11 WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.
 - TEMPORARY BENCH MARK (TBM) NAIL & SHINNER AT SOUTHWEST RETURN OF "B" STREET & MIRAMONTE AVE. AS SHOWN HEREON. ASSUMED ELEVATION = 234.00'.



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NEW RETAIL / APARTMENT BLDG.
 1540 MIRAMONTE AVENUE, LOS ALTOS, CA

SHEET TITLE **TOPO AND DEMOLITION PLAN**

JOB NO. 158689
 DATE 02-10-2016
 DRAWN BY BudJrSS/Imm

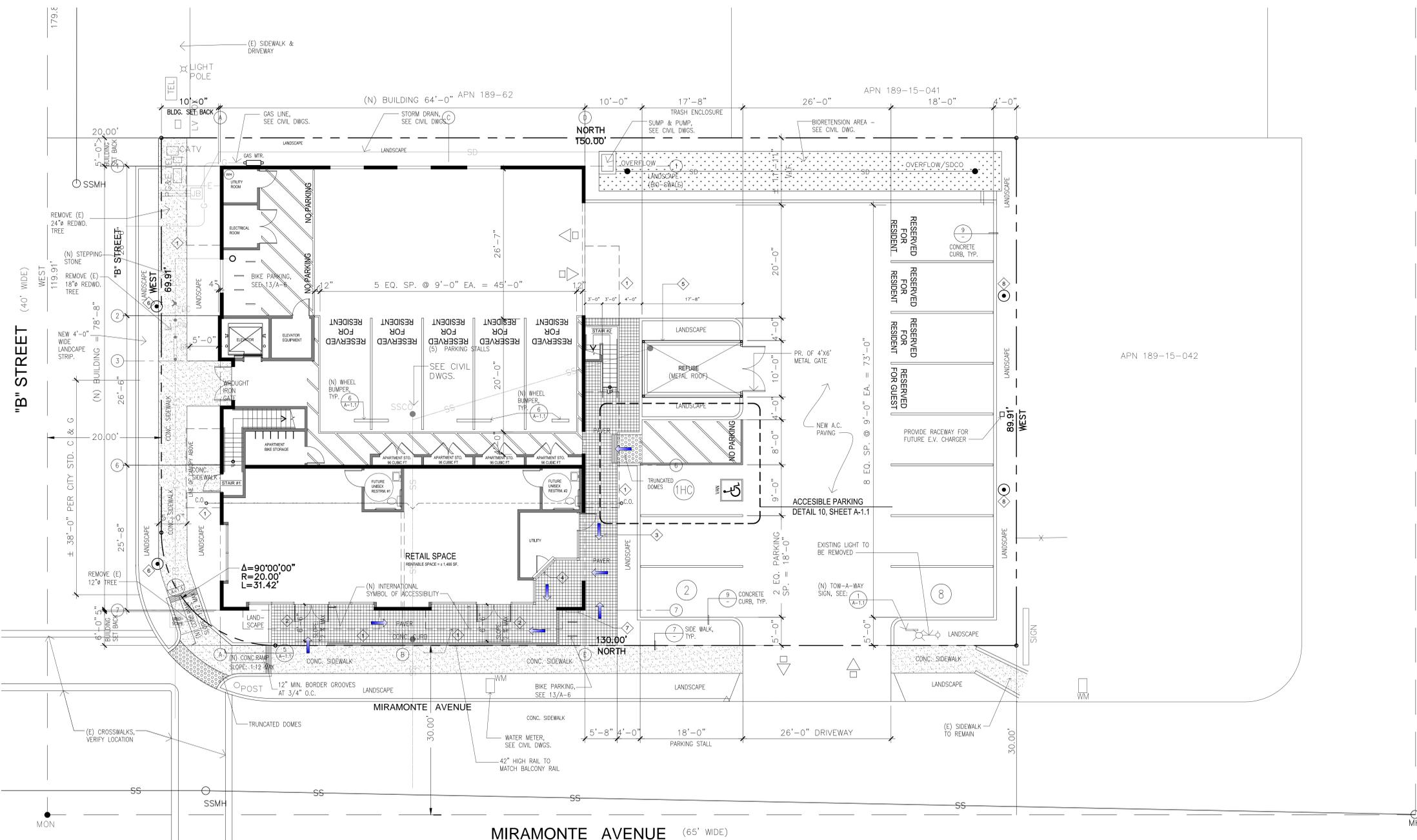
SHEET NO. **A-0.3**

PROJECT ANALYSIS:

PROPERTY OWNER:	GALE H. SHAW, TRUSTEE OF THE GALE H. SHAW LIVING TRUST
SITE AREA:	± 0.307 ACRES ± 13,400 SQ. FT.
BUILDING AREA:	(N) 2 STORY (RETAIL & APARTMENT) FOOTPRINT ± 4,896 SQ. FT. GROUND FLOOR ± 1,466 SQ. FT. (Rentable space) ± 3,430 SQ. FT. (Garage area, elev., elect. rm, stair & etc.) SECOND FLOOR ± 4,858 SQ. FT. (4-units dwelling) TOTAL ± 9,854 SQ. FT.
BUILDING COVERAGE:	39 %
PARKING PROVIDED:	16 STALLS STANDARD (9' x 18') 15 STALLS ACCESSIBLE PARKING (VAN) 1 STALLS TOTAL 16 STALLS
PARKING RATIO:	1 / 300 SQ. FT.
PAVING AREA:	TOTAL ± 5,863 SQ. FT. COVERAGE 44 % LANDSCAPE AREA: TOTAL ± 2,333 SQ. FT. COVERAGE 17 %
LANDSCAPE AREA:	TOTAL ± 2,333 SQ. FT. COVERAGE 17 %
TYPE OF CONSTRUCTION:	II-B
ZONING:	CN (Commercial Neighborhood District) LCSPPZ (Loyola Corners Specific Plan Overlay)
OCCUPANCY:	M / R-2
FIRE SPRINKLER SYSTEM:	-
APPLICABLE CODES:	<ul style="list-style-type: none"> 2013 California Building Code 2013 California Mechanical Code 2013 California Plumbing Code 2013 California Electrical Code 2013 California Green Building Code (CALGreen) 2013 California Fire Code (with local amendments) 2013 State of California Title 24 Energy Regulations 2013 State of California Title 24 Handicap Accessibility Regulations Los Altos Code (including local amendments to the above requirements)
CITY OF LOS ALTOS LOCAL CODES and ORDINANCES.	

KEY NOTES:

- 1 LINE OF CANOPY ABOVE
- 2 (N) CONC. ENTRY W/ 2% MAX. SLOPE UP TO 6'-6" FROM THE ENTRANCE DOOR & 5% MAX. SLOPE IN THE DIRECTION OF ACCESSIBLE PATH OF TRAVEL W/ 2% MAX. CROSS SLOPE.
- 3 (N) CONC. WALK W/ 5% MAX. SLOPE IN THE DIRECTION OF ACCESSIBLE PATH OF TRAVEL W/ 2% MAX. CROSS SLOPE.
- 4 LOYALLA HISTORY DISPLAY WALL
- 5 6'-0" TONGUE & GROVE WOOD FENCE TO MATCH BLDG. SEE: (1-4) (A-6)
- 6 SITE LIGHTING SEE: (10) (A-6) (TYP. OF 2)
- 7 SIGN TO READ: "ADDITIONAL BICYCLE PARKING IN GARAGE"
- 8 PARKING LIGHT DETAIL. SEE (14) (A-6) (TYP. OF 2)



1 SITE DEVELOPMENT PLAN
SCALE: 1/8" = 1' - 0"
REF. NORTH

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NEW RETAIL / APARTMENT BLDG.
1540 MIRAMONTE AVENUE, LOS ALTOS, CA

SHEET TITLE **SITE DEVELOPMENT PLAN**

JOB NO. 158689
DATE 02-10-2016
DRAWN BY BudJrSS/Imm

SHEET NO. **A-1**

SITE ACCESSIBLE ROUTE:

11B-401 General:

11B-401.1 Scope. The provisions of Division 4 shall apply where required by Division 2 or where referenced by a requirement in this chapter.

11B-402 Accessible routes

11B-402.1 General. Accessible routes shall comply with 11B-401.

11B-402.2 Components. Accessible routes shall consist of one or more of the following components: walking surfaces with a running slope not steeper than 1:20, doorways, ramps, curb ramps excluding the flared sides, elevators, and platform lifts. All components of an accessible route shall comply with the applicable requirements of Division 4.

11B-403 Walking surfaces

11B-403.1 General. Walking surfaces that are a part of an accessible route shall comply with Section 11B-403.

11B-403.2 Floor or ground surface. Floor or ground surfaces shall comply with Section 11B-302.

11B-403.3 Slope. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.

Exception: The running slope of sidewalks shall not exceed the general grade established for the adjacent street or highway.

11B-403.4 Changes in level. Changes in level shall comply with Section 11B-303.

11B-403.5 Clearances. Walking surfaces shall provide clearances complying with Section 11B-403.5.

Exception: Within employee work areas, clearances on common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed.

11B-403.5.1 Clear width. Except as provided in Sections 11B-403.5.2 and 11B-403.5.3, the clear width of walking surfaces shall be 36 inches (914 mm) minimum.

Exceptions:

- The clear width shall be permitted to be reduced to 32 inches (813 mm) minimum for a length of 24 inches (610 mm) maximum provided that reduced width segments are separated by segments that are 48 inches (1219 mm) long minimum and 36 inches (914 mm) wide minimum.
- The clear width for walking surfaces in corridors serving an occupant load of 10 or more shall be 44 inches (1118 mm) min.
- The clear width for sidewalks and walks shall be 48 inches (1219 mm) minimum, when, because of right-of-way restrictions, natural barriers or existing conditions, the enforcing agency determines that compliance with the 48-inch (1219 mm) clear sidewalk width would create an unreasonable hardship, the clear width may be reduced to 36 inches (914 mm).
- The clear width for aisles shall be 36 inches (914 mm) minimum if serving elements on only one side, and 44 inches (1118 mm) minimum if serving elements on both sides.

CLEAR WIDTH OF AN ACCESSIBLE ROUTE

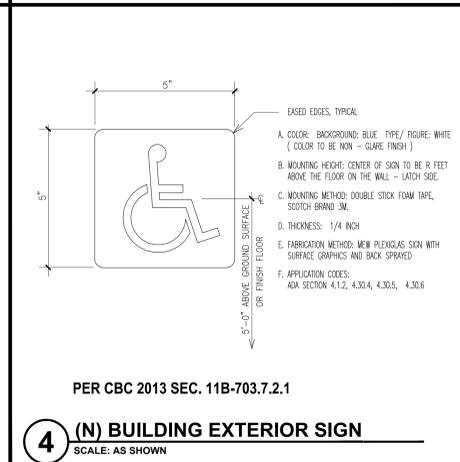
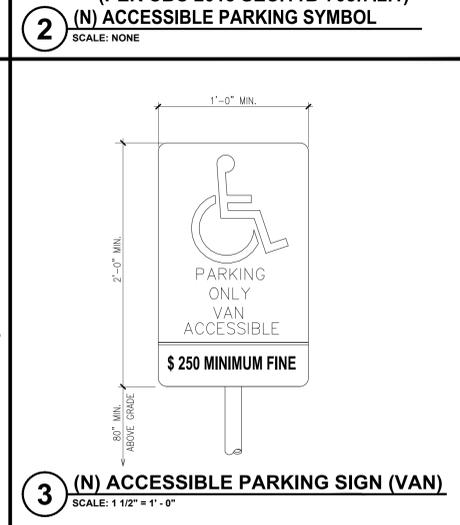
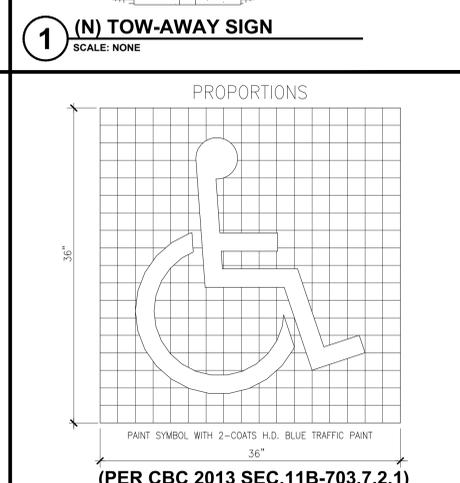
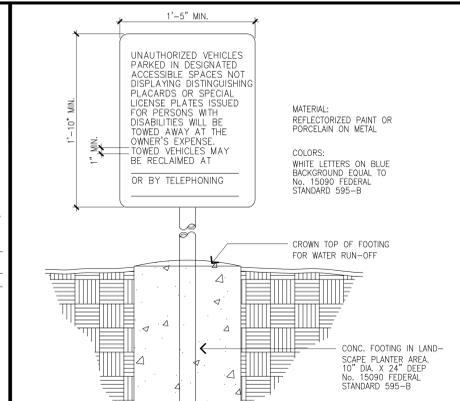
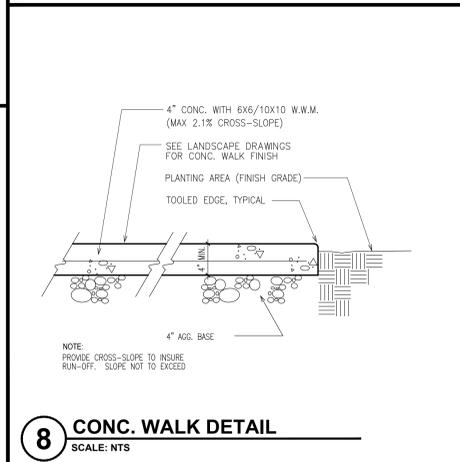
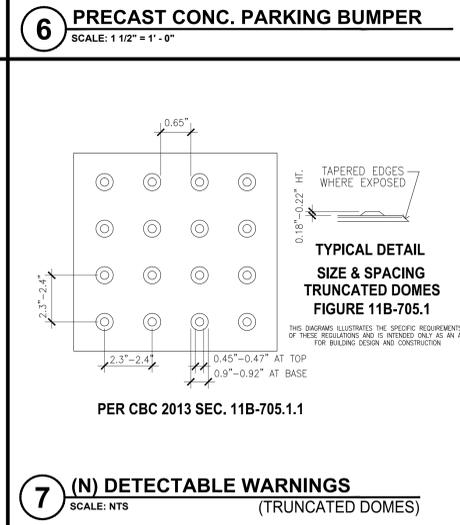
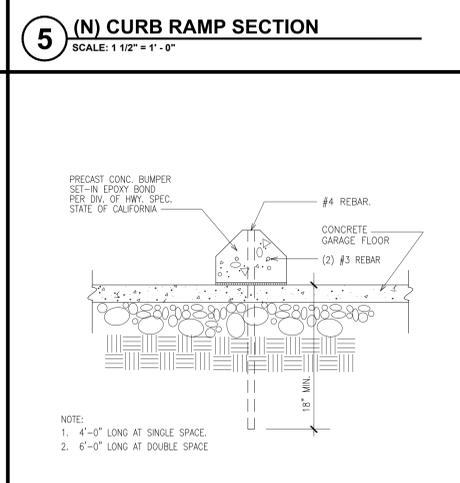
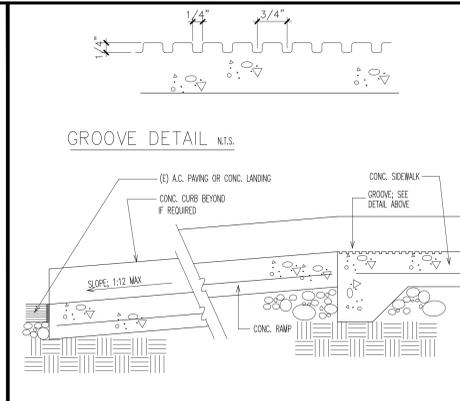
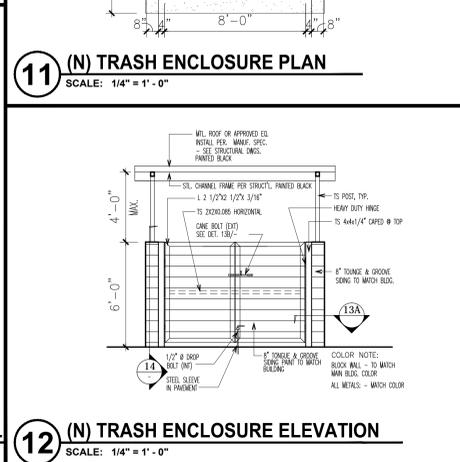
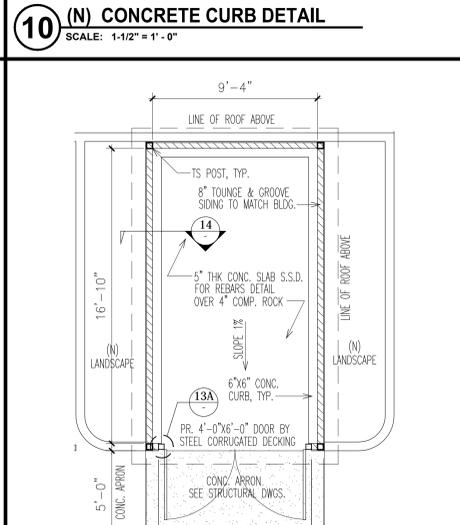
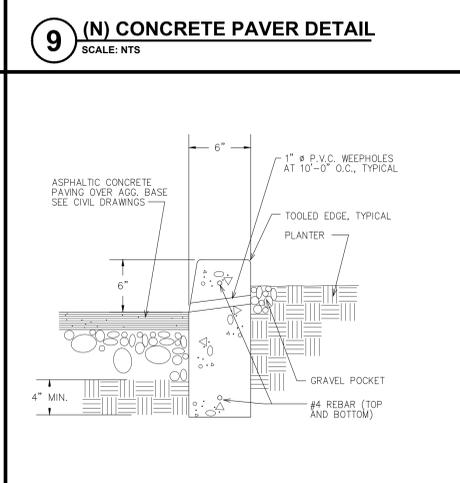
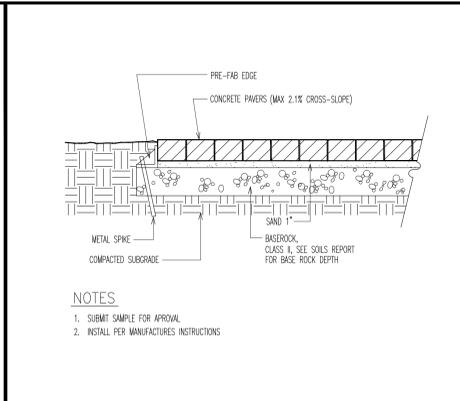
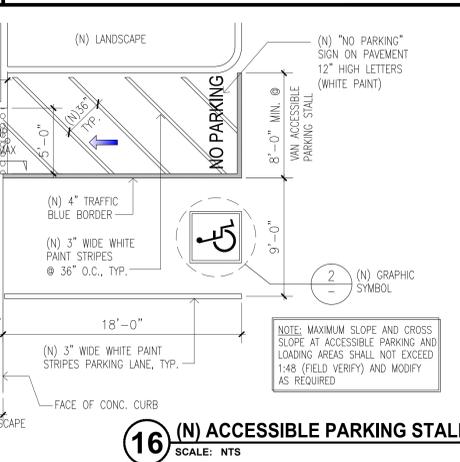
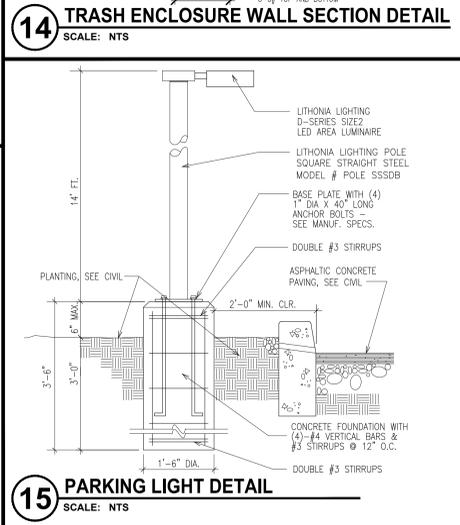
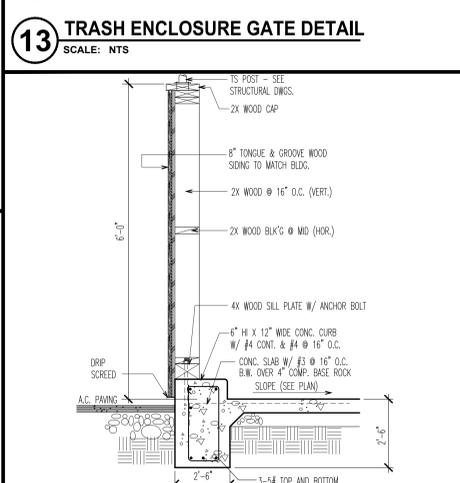
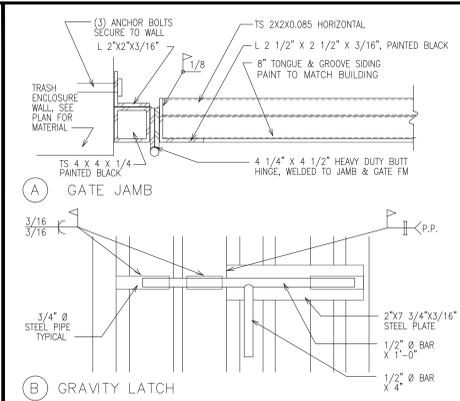
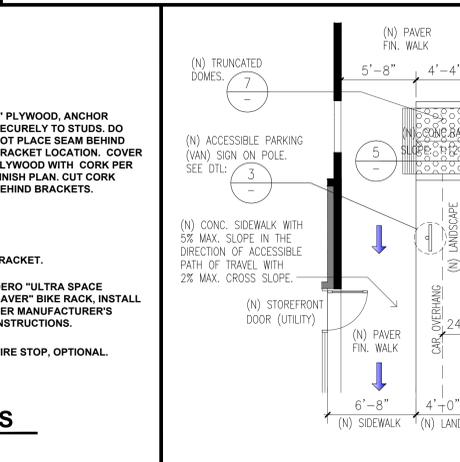
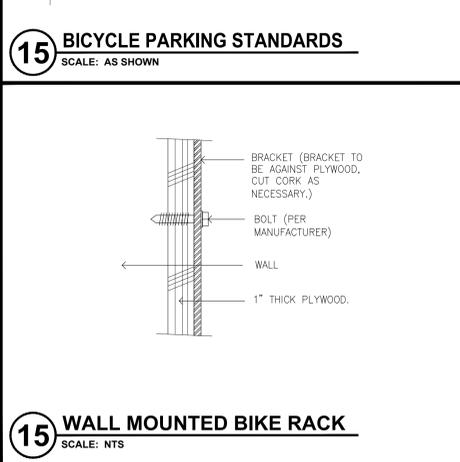
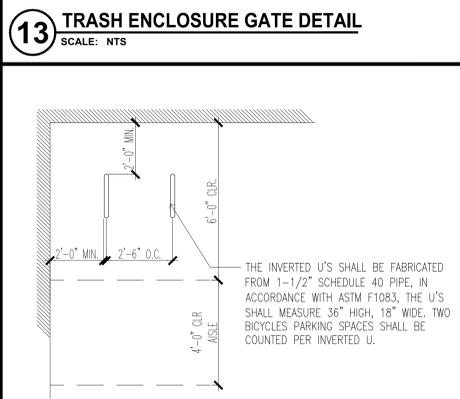
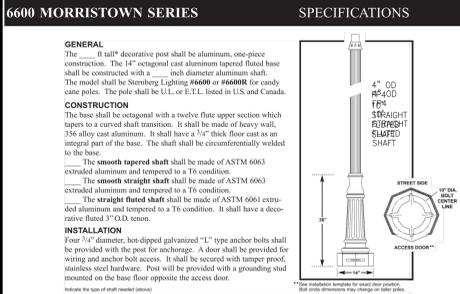
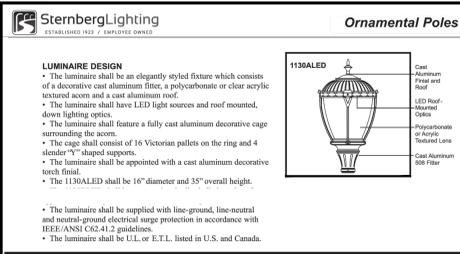
11B-403.5.2 Clear width at turn. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches (1219 mm) wide, clear width shall be 42 inches (1067 mm) minimum approaching the turn, 48 inches (1219 mm) minimum at the turn and 42 inches (1067 mm) minimum leaving the turn.

Exception: Where the clear width at the turn is 60 inches (1524 mm) minimum compliance with Section 11B-403.5.2 shall not be required.

11B-403.5.3 Passing spaces. An accessible route with a clear width less than 60 inches (1524 mm) shall provide passing spaces at intervals of 200 feet (60960 mm) maximum. Passing spaces shall be either: a space 60 inches (1524 mm) minimum by 60 inches (1524 mm) minimum; or, an intersection of two walking surfaces providing a T-shaped space complying with Section 11B-304.3.2 where the base and arms of the T-shaped space extend 48 inches (1219 mm) minimum beyond the intersection.

11B-403.6 Handrails. Where handrails are provided along walking surfaces with running slopes not steeper than 1:20 they shall comply with Section 11B-505.

11B-403.7 Continuous gradient. All walks with continuous gradients shall have resting areas, 60 inches (1524 mm) in length, at intervals of 400 feet (121920 mm) maximum. The resting area shall be at least as wide as the walk. The slope of the resting area in all directions shall be 1:48 maximum.



11 BIKE RACK ELEVATIONS. 3/8\"/>

11 PLYWOOD, ANCHOR SECURELY TO STUDS. DO NOT PLACE SEAM BEHIND BRACKET LOCATION. COVER PLYWOOD WITH CORK PER FINISH PLAN. CUT CORK BEHIND BRACKETS.

BRACKET. DERO "ULTRA SPACE SAVER" BIKE RACK, INSTALL PER MANUFACTURER'S INSTRUCTIONS. TIRE STOP, OPTIONAL.

NOTE: STAGGER ARMS HEIGHTS.

NOTE: MAXIMUM SLOPE AND CROSS SLOPE AT ACCESSIBLE PARKING AND LOADING AREAS SHALL NOT EXCEED 1:48 (FIELD VERIFY) AND MODIFY AS REQUIRED.

NOTE: PROVIDE CROSS-SLOPE TO INSURE RUN-OFF. SLOPE NOT TO EXCEED.

NOTE: UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT OR BY TELEPHONING.

NOTE: MATERIAL: REFLECTORIZED PAINT OR PORCELAIN ON METAL. COLORS: WHITE LETTERS ON BLUE BACKGROUND EQUAL TO No. 15090 FEDERAL STANDARD 595-B.

NOTE: PAINT SYMBOL WITH 2-COATS H.D. BLUE TRAFFIC PAINT.

NOTE: PER CBC 2013 SEC. 11B-703.7.2.1.

NOTE: PER CBC 2013 SEC. 11B-703.7.2.1.

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Job No. 158689
Date: 02-10-2016
Drawn by: BudJRS/lmm

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E-MAIL: dkarch@kobza.com
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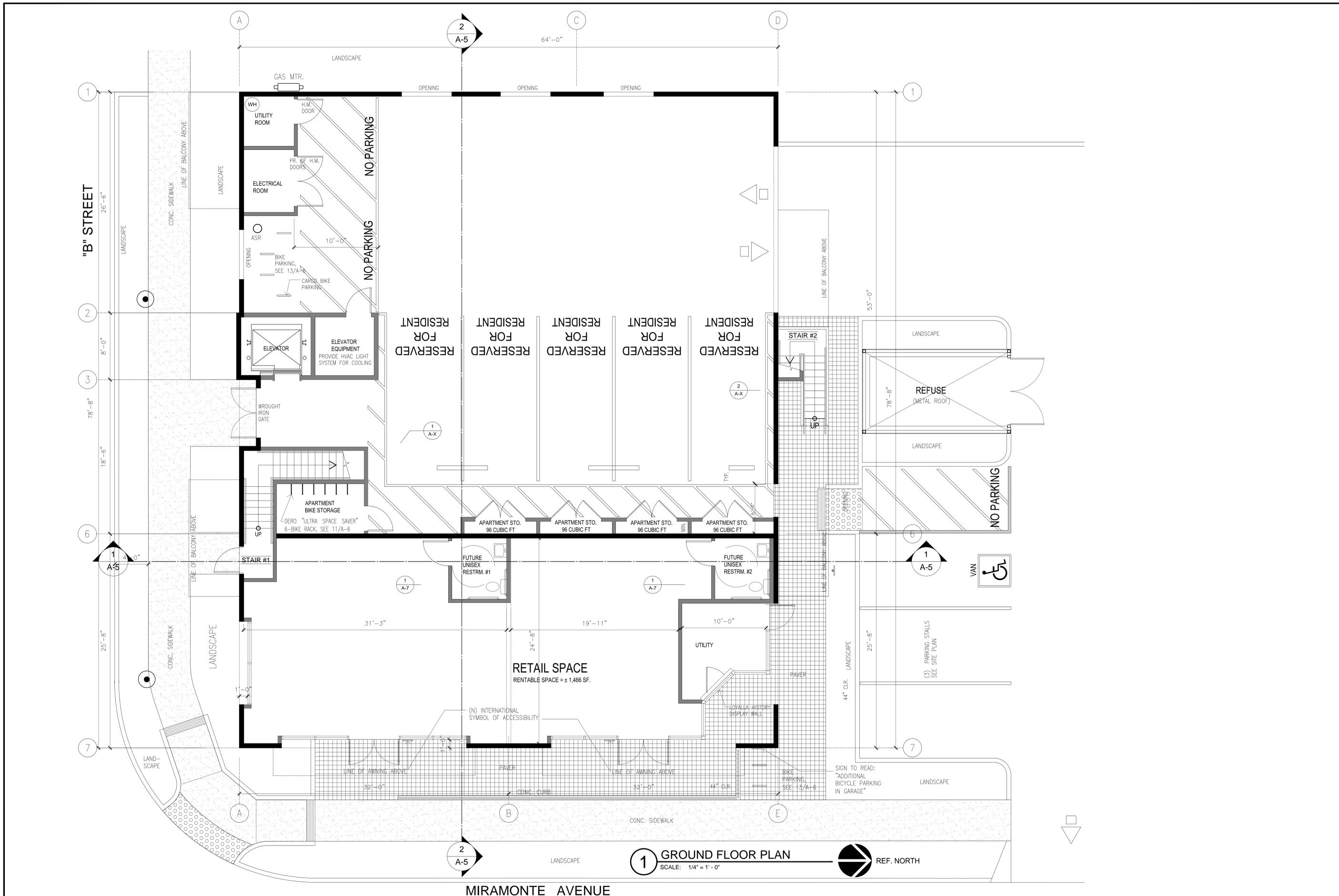
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REVISION 5
REVISION 6

NEW RETAIL / APARTMENT BLDG.
1540 MIRAMONTE AVENUE, LOS ALTOS, CA

SHEET TITLE: SITE DETAILS

SHEET NO. A-1.1

STATE OF CALIFORNIA ARCHITECTS & BUILDERS LICENSING BOARD



1 GROUND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



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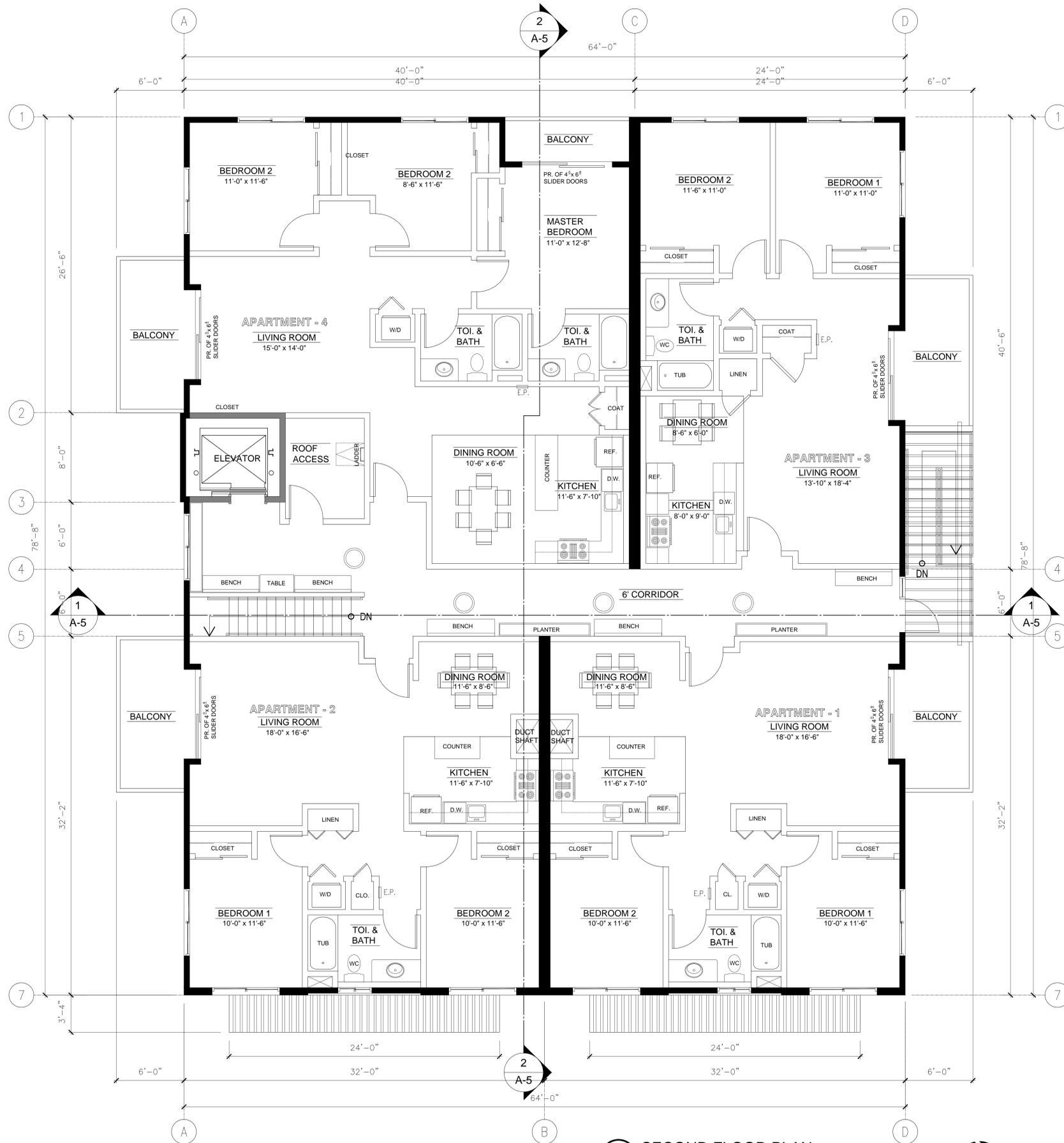
REVISION 1	REVISION 4
REVISION 2	REVISION 5
REVISION	REVISION 6



JOB NO. 158689	
DATE 02-10-2016	
DRAWN BY BudJrSS/Imm	

NEW RETAIL / APARTMENT BLDG.
1540 MIRAMONTE AVENUE, LOS ALTOS, CA
SHEET TITLE **GROUND FLOOR PLAN**

SHEET NO. **A-2**



1 SECOND FLOOR PLAN
SCALE: 3/16" = 1' - 0"



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<p>Dennis Kobza & Associates, Inc. A.I.A. Architect 2083 OLD MIDDLEFIELD WAY PHONE - 650-961-6103 E-MAIL - dkarch@kobza.com C-4505</p>	<p>MOUNTAIN VIEW, CA 94043 FAX - 650-961-4839 WEB - www.kobza.com</p>
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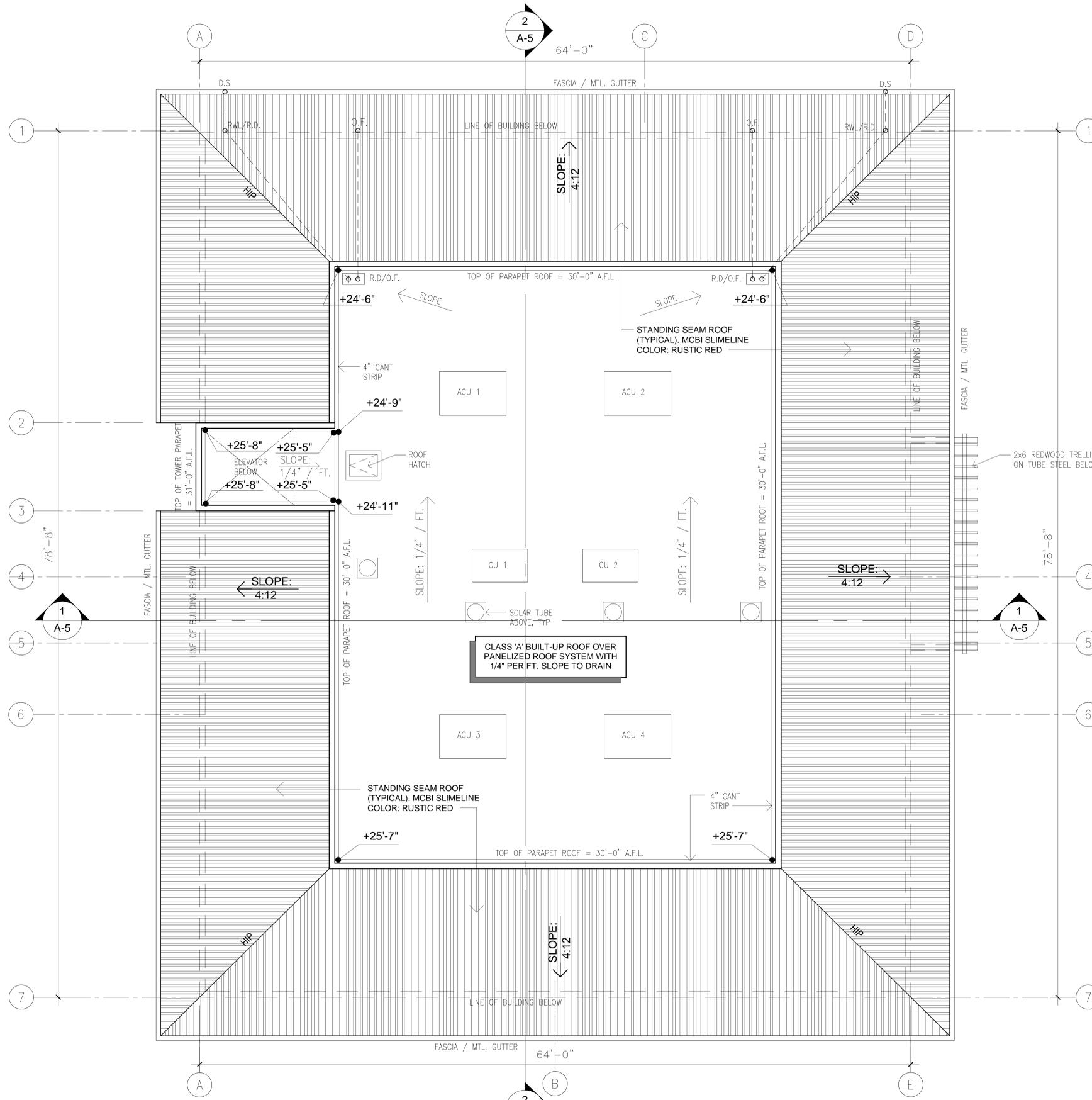
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REVISION 2	REVISION 5
REVISION	REVISION 6



REVISION 1	REVISION 4
REVISION 2	REVISION 5
REVISION	REVISION 6

NEW RETAIL / APARTMENT BLDG.
1540 MIRAMONTE AVENUE, LOS ALTOS, CA
SHEET TITLE **SECOND FLOOR PLAN**

JOB NO. 158689
DATE 02-10-2016
DRAWN BY BudJrSS/Imm
SHEET NO. **A-2.1**



1 ROOF PLAN
 SCALE: 1/4" = 1' - 0"
 REF. NORTH

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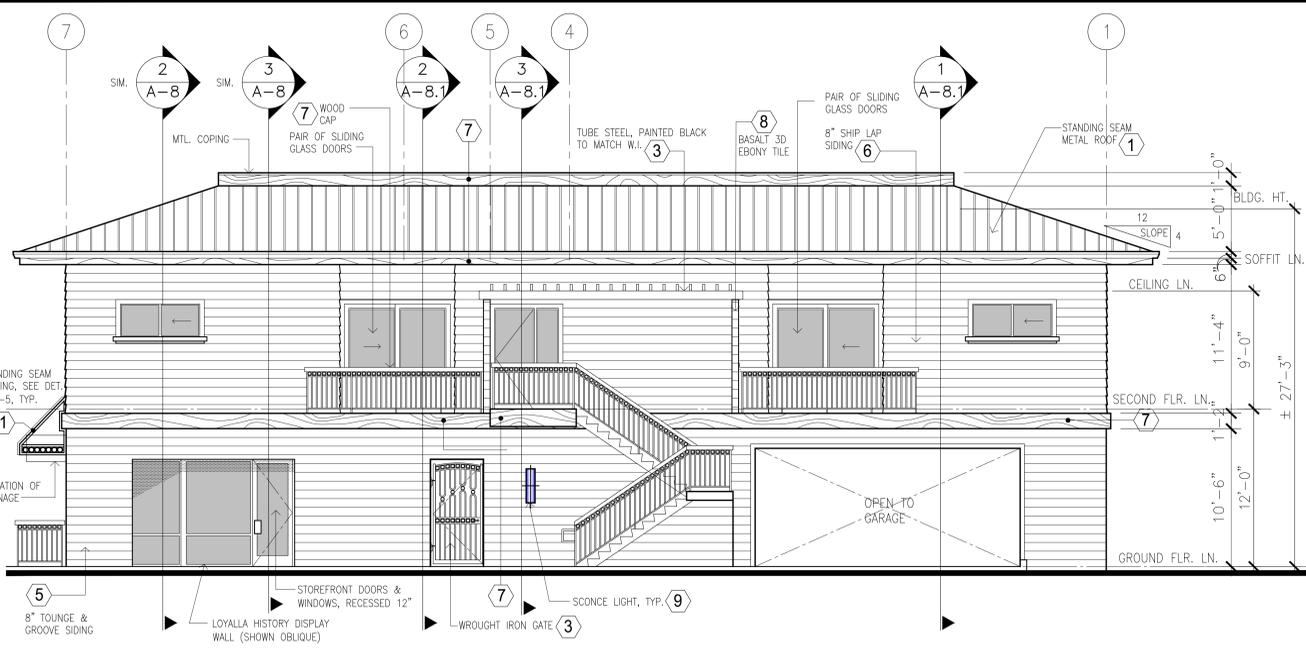


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 REVISION 6

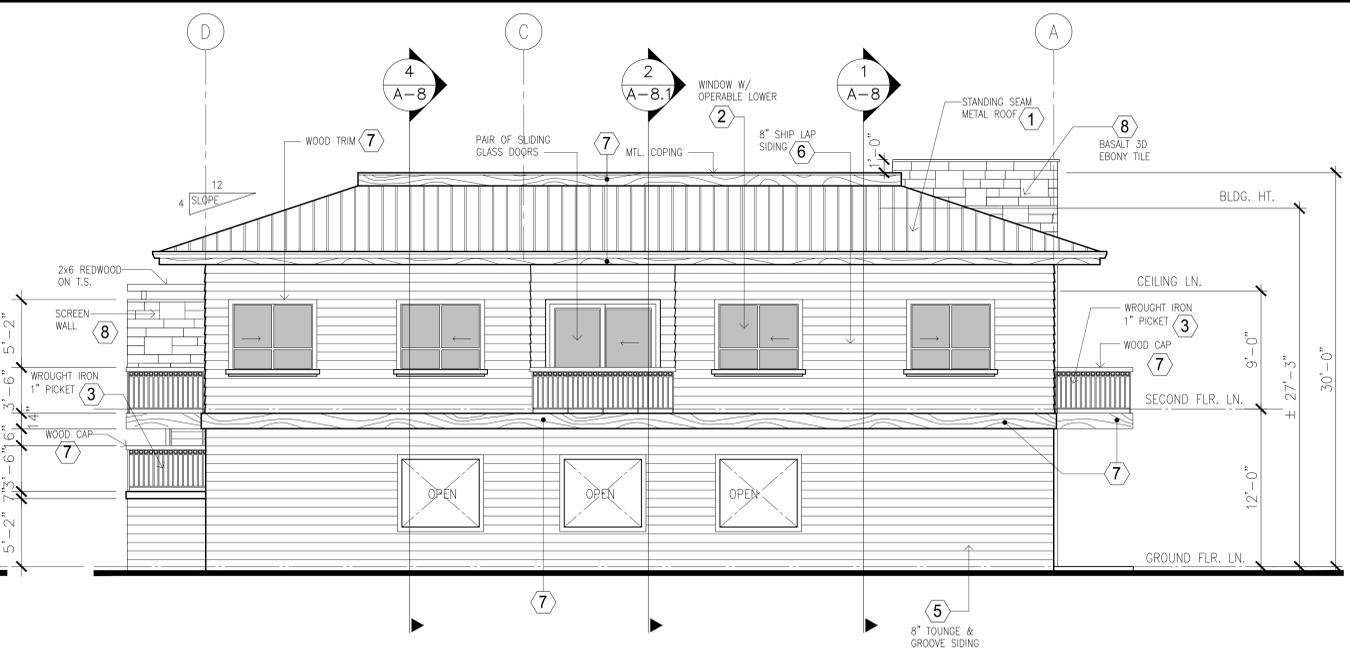
NEW RETAIL / APARTMENT BLDG.
 1540 MIRAMONTE AVENUE, LOS ALTOS, CA
 SHEET TITLE **ROOF PLAN**

JOB NO. 158689
 DATE 02-10-2016
 DRAWN BY BudJRS/Imm

SHEET NO. **A-3**



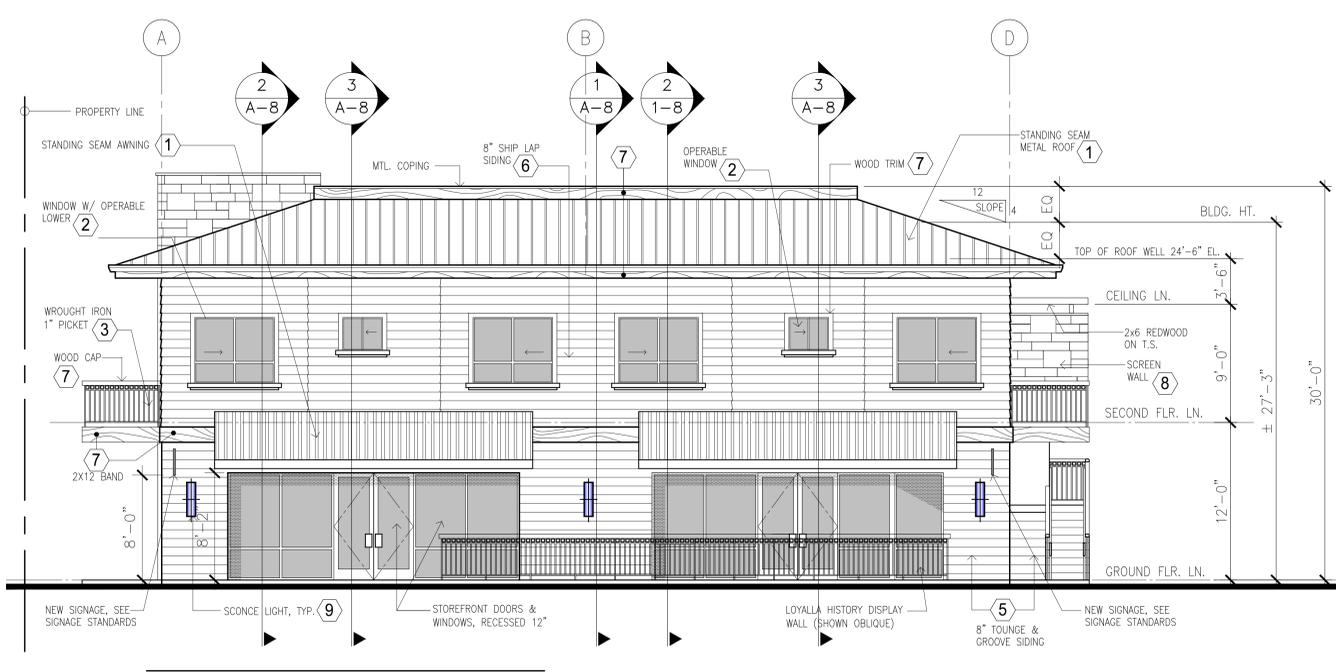
NORTH ELEVATION (@ Parking area)



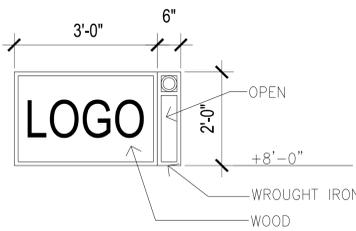
WEST ELEVATION (Rear)



SOUTH ELEVATION (\"/>



EAST ELEVATION (Miramonte Ave.)



SIGNAGE STANDARD

1 PROPOSED EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"

BUILDING COLOR SCHEDULE :	
1	STANDING SEAM ROOF. ATAS STANDING SEAM COLOR: COPPERTONE (23)
2	CLEAR LOW E GLASS IN BLACK ALUMINUM FRAMES
3	WROUGHT IRON RAILS PAINTED. DUNN EDWARDS DE 6350 DARK ENGINE
4	DOOR STAIN TO MATCH (7), PAINT FRAME BLACK TO MATCH BLACK ALUMINUM FRAMES.
5	SHERWIN WILLIAMS SEMI TRANSPARENT STAIN BANYAN BROWN SW3522
6	SHERWIN WILLIAMS SEMI TRANSPARENT STAIN BAJA BEIGE SW3509
7	SHERWIN WILLIAMS SEMI TRANSPARENT STAIN CHESTNUT SW3524
8	BASALT 3D EBONY TILE
9	SAL S9351 SCONCE LIGHT

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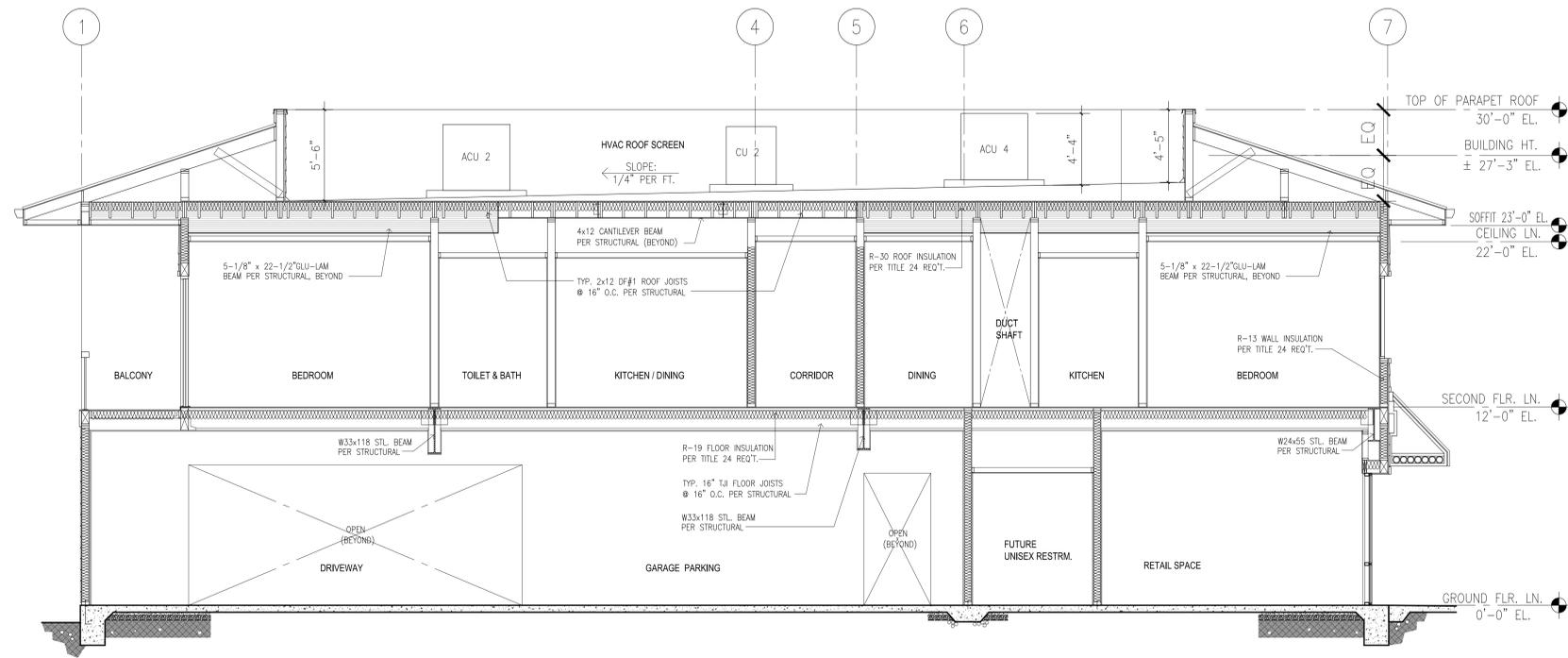
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REVISION



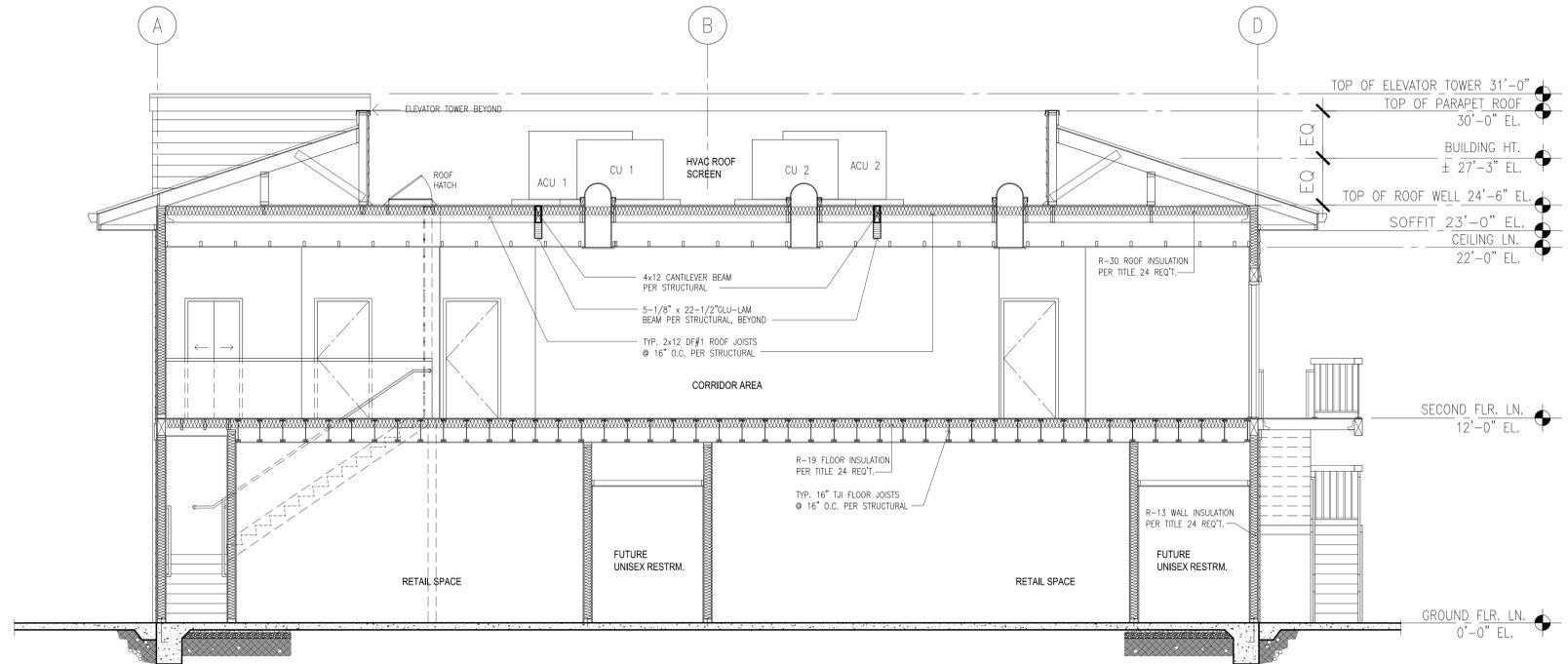
REVISION 4
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NEW RETAIL / APARTMENT BLDG.
1540 MIRAMONTE AVENUE, LOS ALTOS, CA
SHEET TITLE **EXTERIOR ELEVATIONS**

JOB NO. 158689
DATE 02-10-2016
DRAWN BY BudJRS/Jmm
SHEET NO. **A-4**



2 LONGITUDINAL SECTION
SCALE: 1/4" = 1' - 0"



1 CROSS SECTION
SCALE: 1/4" = 1' - 0"

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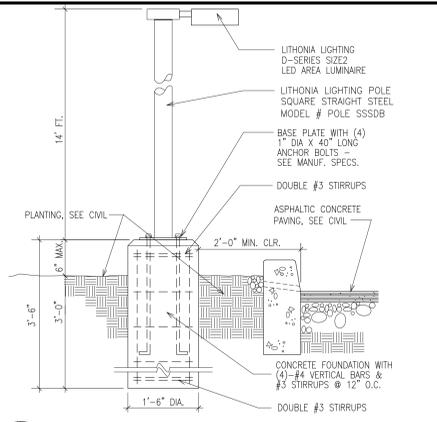
REVISION 1
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REVISION 4
REVISION 5
REVISION 6

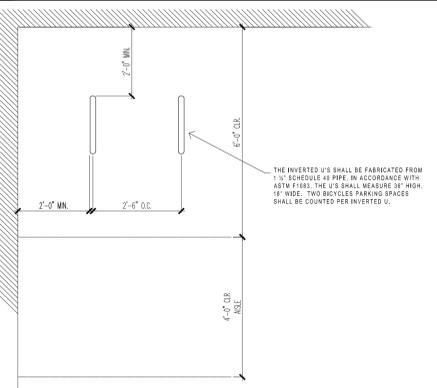
NEW RETAIL / APARTMENT BLDG.
1540 MIRAMONTE AVENUE, LOS ALTOS, CA
SHEET TITLE **BUILDING SECTIONS**

JOB NO. 158689
DATE 02-10-2016
DRAWN BY BudJrSS/Imm

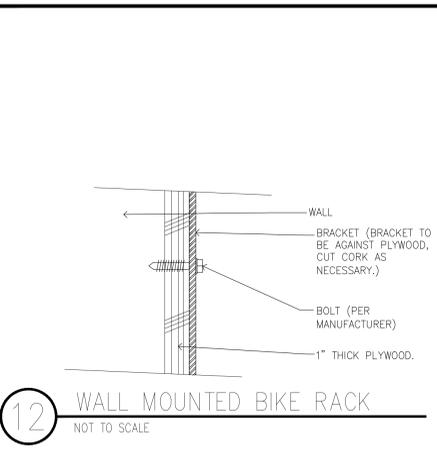
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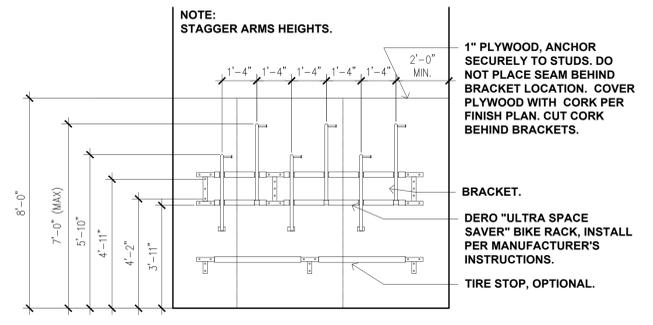
14 PARKING LIGHT DETAIL
SCALE: NTS



13 BICYCLE PARKING STANDARD
SCALE: 1/2" = 1'-0"



12 WALL MOUNTED BIKE RACK
NOT TO SCALE



11 BIKE RACK ELEVATIONS
3/8" = 1'-0"

SternbergLighting
ESTABLISHED 1923 / EMPLOYEE OWNED

LUMINAIRE DESIGN

- The luminaire shall be an elegantly styled fixture which consists of a decorative cast aluminum finial, a polycarbonate or clear acrylic textured acorn and a cast aluminum roof.
- The luminaire shall have LED light sources and roof mounted, down lighting optics.
- The luminaire shall feature a fully cast aluminum decorative cage surrounding the acorn.
- The cage shall consist of 16 Victorian pattens on the ring and 4 slender "Y" shaped supports.
- The luminaire shall be appointed with a cast aluminum decorative torch finial.
- The 1130ALED shall be 16" diameter and 35" overall height.

6600 MORRISTOWN SERIES

GENERAL

The 14" tall decorative post shall be aluminum, one-piece construction. The 14" octagonal cast aluminum tapered fluted base shall be constructed with a 1/2 inch diameter aluminum shaft. The model shall be Sternberg Lighting #6600 or #6600R for candy cane poles. The pole shall be U.L. or E.T.L. listed in US and Canada.

CONSTRUCTION

The base shall be octagonal with a twelve flute upper section which tapers to a curved shaft transition. It shall be made of heavy wall, 356 alloy cast aluminum. It shall have a 1/2" thick floor cast as an integral part of the base. The shaft shall be circumferentially welded to the base.

The smooth tapered shaft shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition.

The smooth straight shaft shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition.

The straight fluted shaft shall be made of ASTM 6061 extruded aluminum and tempered to a T6 condition. It shall have a decorative fluted 3" O.D. top.

INSTALLATION

Four 3/4" diameter, hot-dipped galvanized "L" type anchor bolts shall be provided with the post for anchorage. A door shall be provided for wiring and anchor bolt access. It shall be secured with tamper proof, stainless steel hardware. Post will be provided with a grounding stud mounted on the base floor opposite the access door.

Indicate the type of shaft wanted (above).

1130ALED

Cast Aluminum Finial and Roof
LED Roof-Mounted Optics
Polycarbonate or Acrylic Textured Lens
Cast Aluminum 508 Finial

10 LIGHT STANDARD (STREET)
SCALE: 1" = 1'-0"

GENERAL

The 14" tall decorative post shall be aluminum, one-piece construction. The 14" octagonal cast aluminum tapered fluted base shall be constructed with a 1/2 inch diameter aluminum shaft. The model shall be Sternberg Lighting #6600 or #6600R for candy cane poles. The pole shall be U.L. or E.T.L. listed in US and Canada.

CONSTRUCTION

The base shall be octagonal with a twelve flute upper section which tapers to a curved shaft transition. It shall be made of heavy wall, 356 alloy cast aluminum. It shall have a 1/2" thick floor cast as an integral part of the base. The shaft shall be circumferentially welded to the base.

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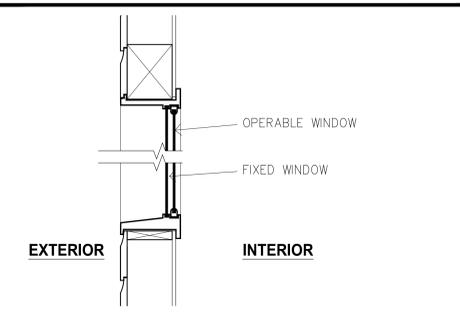
INSTALLATION

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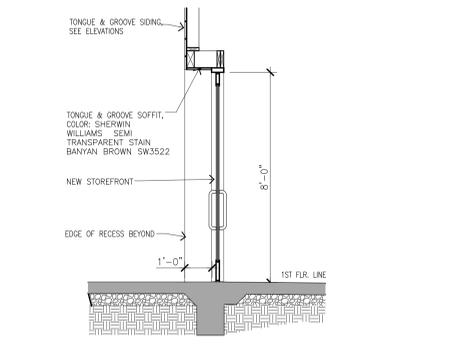
Indicate the type of shaft wanted (above).

1130ALED

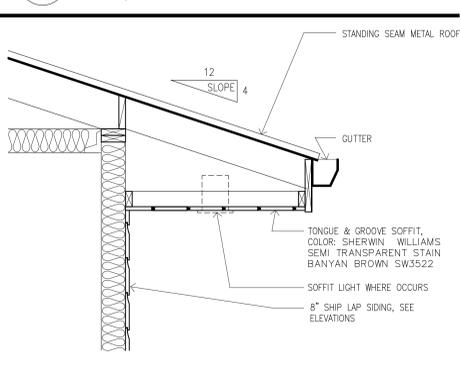
Cast Aluminum Finial and Roof
LED Roof-Mounted Optics
Polycarbonate or Acrylic Textured Lens
Cast Aluminum 508 Finial



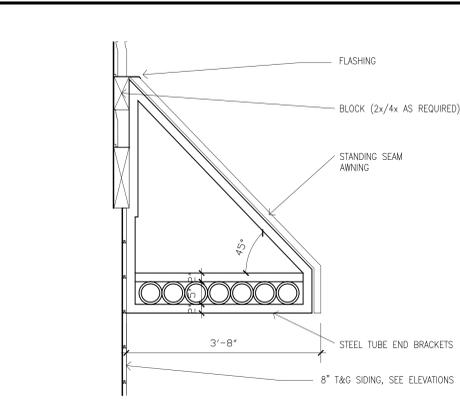
9 WINDOW DETAIL
SCALE: 1" = 1'-0"



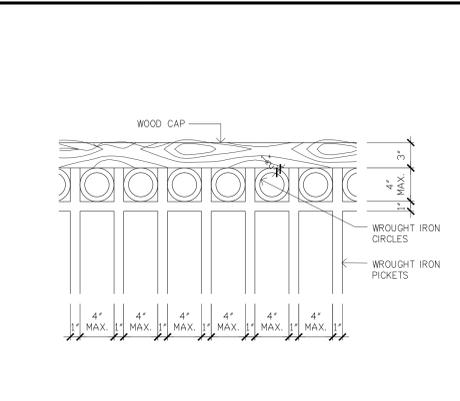
8 SECTION THRU STOREFRONT
SCALE: 3/8" = 1'-0"



7 PLYWOOD SOFFIT
SCALE: 3/4" = 1'-0"



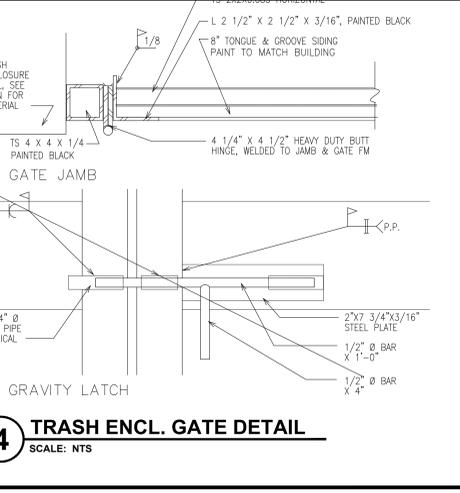
6 STANDING SEAM AWNING
SCALE: 3/4" = 1'-0"



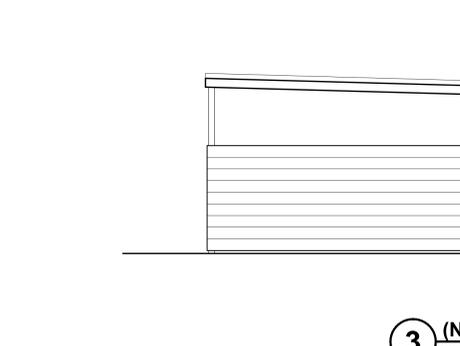
5 STAIR AND BALCONY DETAIL
SCALE: 1 1/2" = 1'-0"



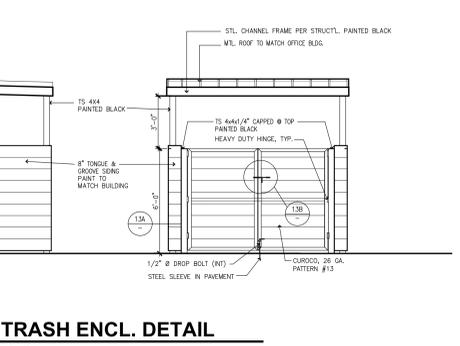
4 TRASH ENCL. GATE DETAIL
SCALE: NTS



3 (N) TRASH ENCL. DETAIL
SCALE: NTS



2 T&G FENCE / SLAB SECTION
SCALE: 3/4" = 1'-0"



1 (N) TRASH ENCLOSURE
SCALE: 1/8" = 1'-0"

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NEW RETAIL / APARTMENT BLDG.
1540 MIRAMONTE AVENUE, LOS ALTOS, CA

SHEET TITLE **DETAILS**

JOB NO. 158689
DATE 02-10-2016
DRAWN BY BudJrSS/Imm

SHEET NO. **A-6**

NOTES

- CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- DATE OF SURVEY: JULY 2015
- BASIS OF BEARING:
THE BEARING WEST THE MONUMENT LINE OF "B" ST AS SHOWN ON MAP "TRACT NO. 8363 - LOYOLA PLAZA, BK 620 M PG. 7-11 WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.
- TEMPORARY BENCH MARK (TBM)
NAIL & SHINNER AT SOUTHWEST RETURN OF "B" STREET & MIRAMONTE AVE. AS SHOWN HEREON. ASSUMED ELEVATION = 234.00'.
- RECORD DOC. NO. 16091274
- ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS HEREON AND AS PRESENTED IN THE PROJECT GEOTECHNICAL REPORT PREPARED BY: ACRE SOIL ENGINEERING, FILE NO. 1-06-972-SI. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY SOIL ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- CONTRACTOR TO POTHOLE AND VERIFY LOCATION OF UNDERGROUND UTILITIES WHERE NEW UTILITIES WILL BE INSTALLED.
- CONTRACTOR SHALL OBTAIN A TRUCK HAULING PERMIT FROM CITY OFFICE OF TRAFFIC ENGINEER FOR HAULING 50CY OR MORE OF DIRT.
- CONTRACTOR SHALL HAVE EXISTING UTILITY BOXES AND VAULTS ADJUSTED TO FINISH GRADE.
- CONTRACTOR SHALL UNDERGROUND ALL UTILITY SERVICES.

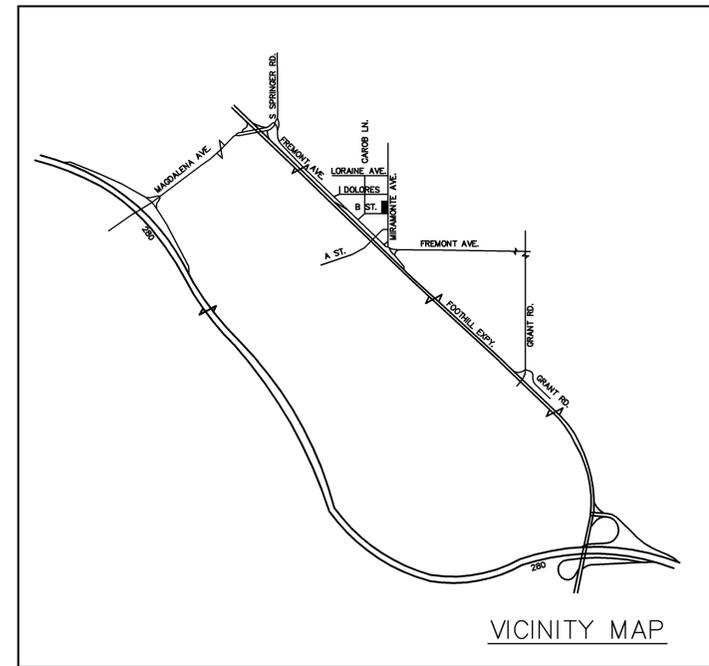
1540 MIRAMONTE AVE.
IN THE CITY OF LOS ALTOS, CALIFORNIA

ABBREVIATION

AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
BPV	BACKFLOW PREVENTION VALVE
B/SWK	BACK OF SIDEWALK
CA	COMMON AREA
CB	CATCH BASIN
CI	CURB INLET
CLF	CHAINLINK FENCE
CONC	CONCRETE
COTG	CLEAN OUT TO GRADE
DI	DRAINAGE INLET
ELEC	ELECTRIC
EUCA	EXCLUSIVE USE COMMON AREA
FA	FIRE ALARM BOX
FC	FACE OF CURB
FDC	FIRE DEPT. CONNECTION
FH	FIRE HYDRANT
GM	GAS METER
GV	GAS VALVE
HV	HIGH VOLTAGE
JB	JUNCTION BOX
JP	JOINT POLE
NIC	NOT IN CONTRACT
PP	POWER POLE
SD	STORM DRAIN OR SUBDRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FOOTAGE
SL	STREET LIGHT BOX
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
TEL	TELEPHONE BOX
TS	TRAFFIC SIGNAL BOX
TSP	TRAFFIC SIGNAL POLE
TV	CABLE TELEVISION BOX
UWM	UNDERGROUND WARNING MARKER
VL	VAULT
WM	WATER METER
WV	WATER VALVE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
⊕	---	CENTERLINE
---	---	EASEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
G	G	GAS
W	W	WATER
T	T,C	TELEPHONE/CABLE
==	==	VERTICAL CURB
	==	VERTICAL CURB AND GUTTER
	R	RIDGE
	GB	GRADE BREAK
HVE	//	HIGH VOLTAGE ELECTRIC
o-o	---	OVERHEAD WIRE
□		UTILITY BOX -AS NOTED
⊕		ELECTROLIER
⊙		CITY SURVEY MONUMENT
||||		HOODED INLET
■		JUNCTION BOX
●		AREA DRAIN INLET OR CLEAN OUT TO GRADE
⊕		WATER VALVE
○		SANITARY SEWER MANHOLE
⊙		STORM DRAIN MANHOLE
⊕		FIRE HYDRANT



THESE PROGRESS PRINTS ARE SUBMITTED WITHOUT SIGNATURE PER AMENDMENTS EFFECTIVE JANUARY 1, 2001 TO SECTIONS 6735, 6735.3, AND 6735.4 OF THE PROFESSIONAL ENGINEERS ACT PROHIBITING INTERIM OR DRAFT DOCUMENTS FORM CONTAINING THE ENGINEER'S SIGNATURE.



SHEET INDEX:

NOTES & DETAILS	C1
TOPOGRAPHIC MAP/DEMO PLAN	C2
GRADING & DRAINAGE PLAN	C3
STORM WATER MANAGEMENT PLAN	C4

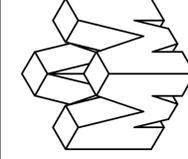
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Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com



PRELIMINARY

NOTES & DETAILS
APN 189-15-085
1540 MIRAMONTE AVE
IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS

DATE	BY	DESCRIPTION

SCALE 1"=10'
DATE 1-26-16
DWN DN ME21
CH'KD
JOB NO. 15064
DWG. NO. L14634
SHEET

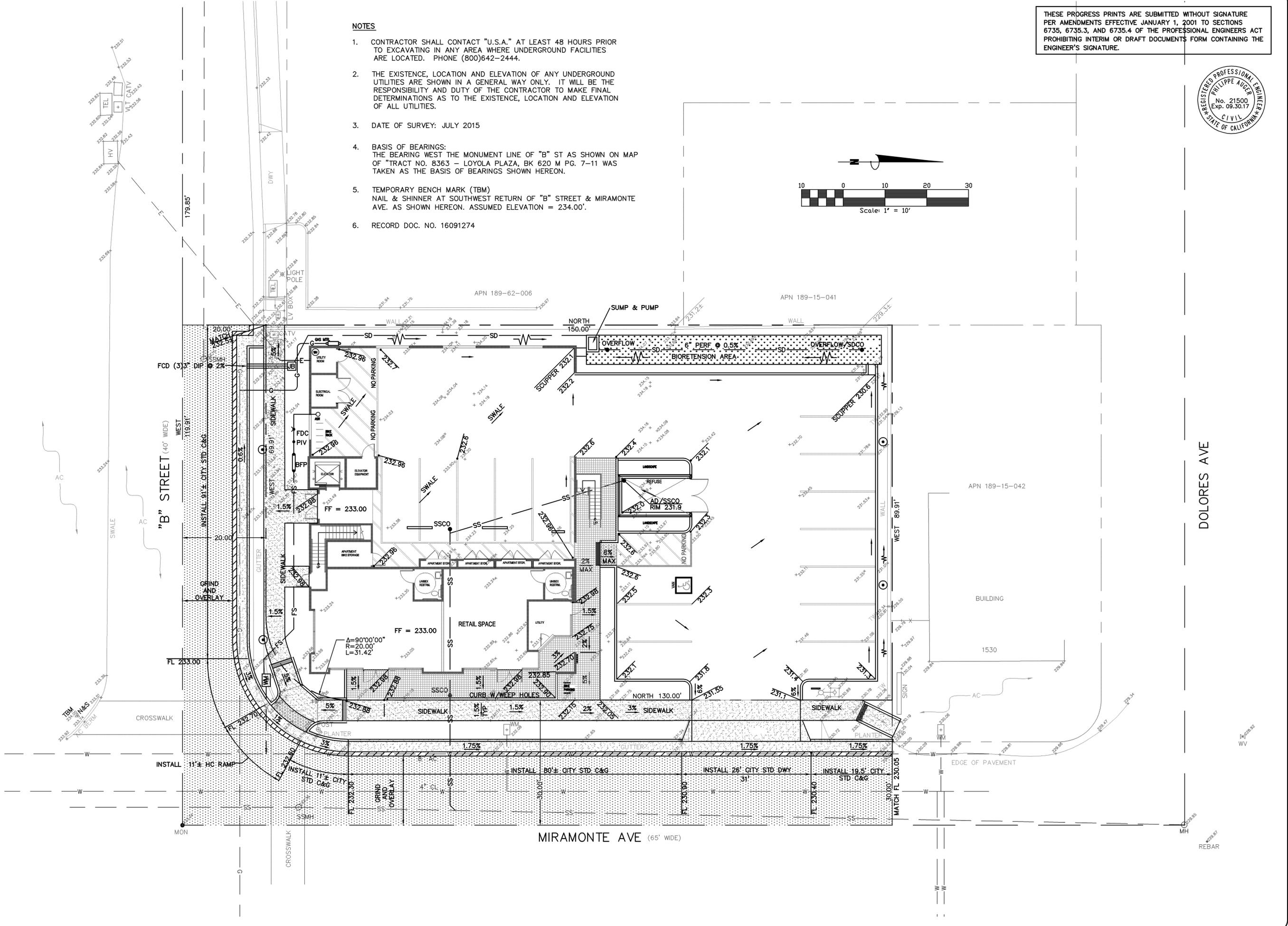
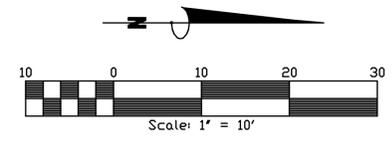
C1
OF 4 SHEET

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NAIL & SHINNER AT SOUTHWEST RETURN OF "B" STREET & MIRAMONTE AVE. AS SHOWN HEREON. ASSUMED ELEVATION = 234.00'.
- RECORD DOC. NO. 16091274



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-15

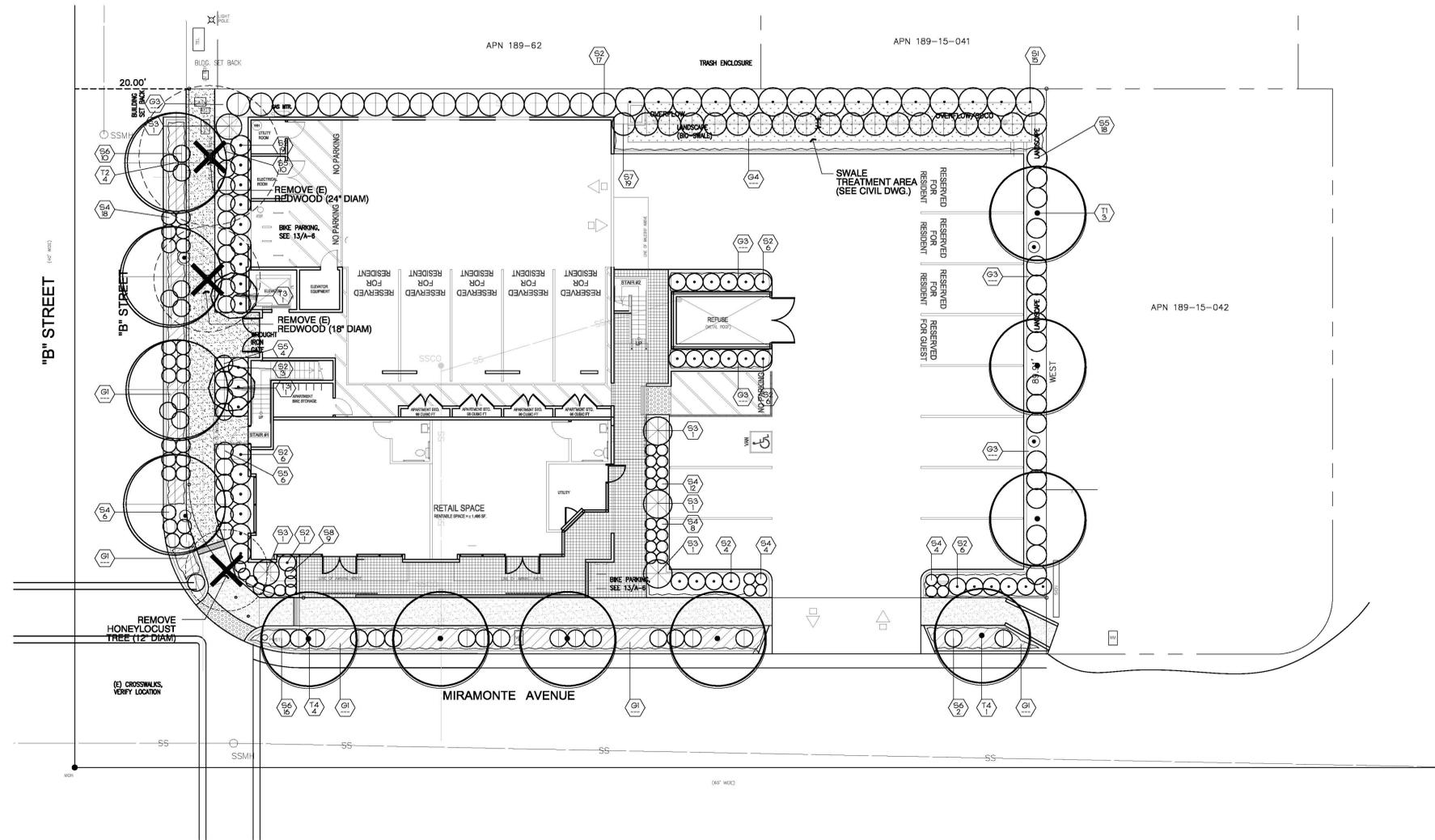
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 2355 De La Cruz Blvd., Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

PRELIMINARY
 GRADING & DRAINAGE PLAN
 APN 189-15-085
 1540 MIRAMONTE AVE
 IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS	
DATE	BY (CHKD) DESCRIPTION

SCALE 1" = 10'
 DATE 1-26-16
 DWN DN ME21
 CHKD
 JOB NO. 15064
 DWG. NO. L14634

SHEET
C3
 OF 4 SHEET



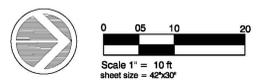
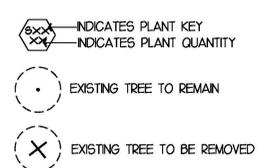
PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
T1	STREET TREE		3		(CITY TO CHOOSE)	
	CASPIUS BETULUS	EUROPEAN HORNBEAM	---	24"BOX	STANDARD	LOW
	FRAXINUS SP.	FLOWERING CHERRY	---	24"BOX	STANDARD	LOW
	PIRUS CALLERYANA 'CHANTICLEER'	FLOWERING PEAR	---	24"BOX	STANDARD	LOW
T2	STREET TREE		2		(CITY TO CHOOSE)	
	PIRUS CALLERYANA 'WOLFORD'	FLOWERING PEAR	---	24"BOX	STANDARD	LOW
	PIRUS KAWAKAMII	EVERGREEN PEAR	---	24"BOX	STANDARD	LOW
T3	PODOCARPUS MACROPHYLLUS	YEW PINE	2	24"BOX	COLUMNAR	MED
T4	FISTICHA CHINENSIS	CHINESE PISTACHE	4	24"BOX	STANDARD	LOW
SHRUBS						
S1	PITTOCORPUS T. 'VARIEGATA'	HOCK ORANGE	5	5 GAL		LOW
S2	RAHAPHIOLEPIS II 'MINOR'	YEDDO HAZELHORN	5	5 GAL		LOW
S3	PHACELIUM H. 'BESTER'	HYBRID FLAX	5	5 GAL		LOW
S4	HEPEROCALLIS 'EVERGREEN YELLOW'	DAY LILY	5	5 GAL		MEDIUM
S5	PENNINSETUM A. 'HAHEL'	OSCAR FOUNTAIN GRASS	3	5 GAL		LOW
S6	ARTEMISIA B. 'SILVER MOON'	DUSTY HILLER	2	5 GAL		LOW
S7	CHONDRILLIUM TECTORIUM	CAPE BUSH	3	5 GAL		LOW
S8	AGAPANTHUS 'TRICERBELL'	VAREGATED LILY OF THE NILE	3	5 GAL		MEDIUM
GROUND COVERS						
G1	CHAMAEPHYLUM NOBILE	CHAFFOPILE	---	1 GAL	18" O.C.	LOW
G2	WOOD CHIP MULCH	N/C/L	---	3" DEEP		LOW
G3	OSTEOSPERMUM F. 'WHITE'	AMERICAN DAISY	---	1 GAL	24" O.C.	LOW
G4	JUNCUS FATENS	JUNCUS	---	1 GAL	24" O.C.	LOW

PLANT NOTES:

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 4:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2:1 MIN).
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
- PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT: 1-800-227-2600
- PROTECT EXISTING STORM DRAIN INLETS, WITH FILTER FABRIC, FOR THE DURATION OF THE PROJECT.
- MINIMUM OF 8" NON-COMPACTED TOPSOIL TO BE PROVIDED FOR ALL NEW PLANTED AREAS.
- ALL NEW PLANTED AREAS TO RECEIVE 3" MIN. LAYER OF BARK MULCH. SEE PLANTING SPECIFICATIONS.

PLANT SYMBOLS



All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by, and the property of DENNIS KOBZA & ASSOCIATES, INC. and were created, evolved and developed for use on, and in connection with, the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of DENNIS KOBZA & ASSOCIATES, INC. Written dimensions on these drawings shall have precedence over scaled dimensions; contractor shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for review before proceeding with fabrication.

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C-4505

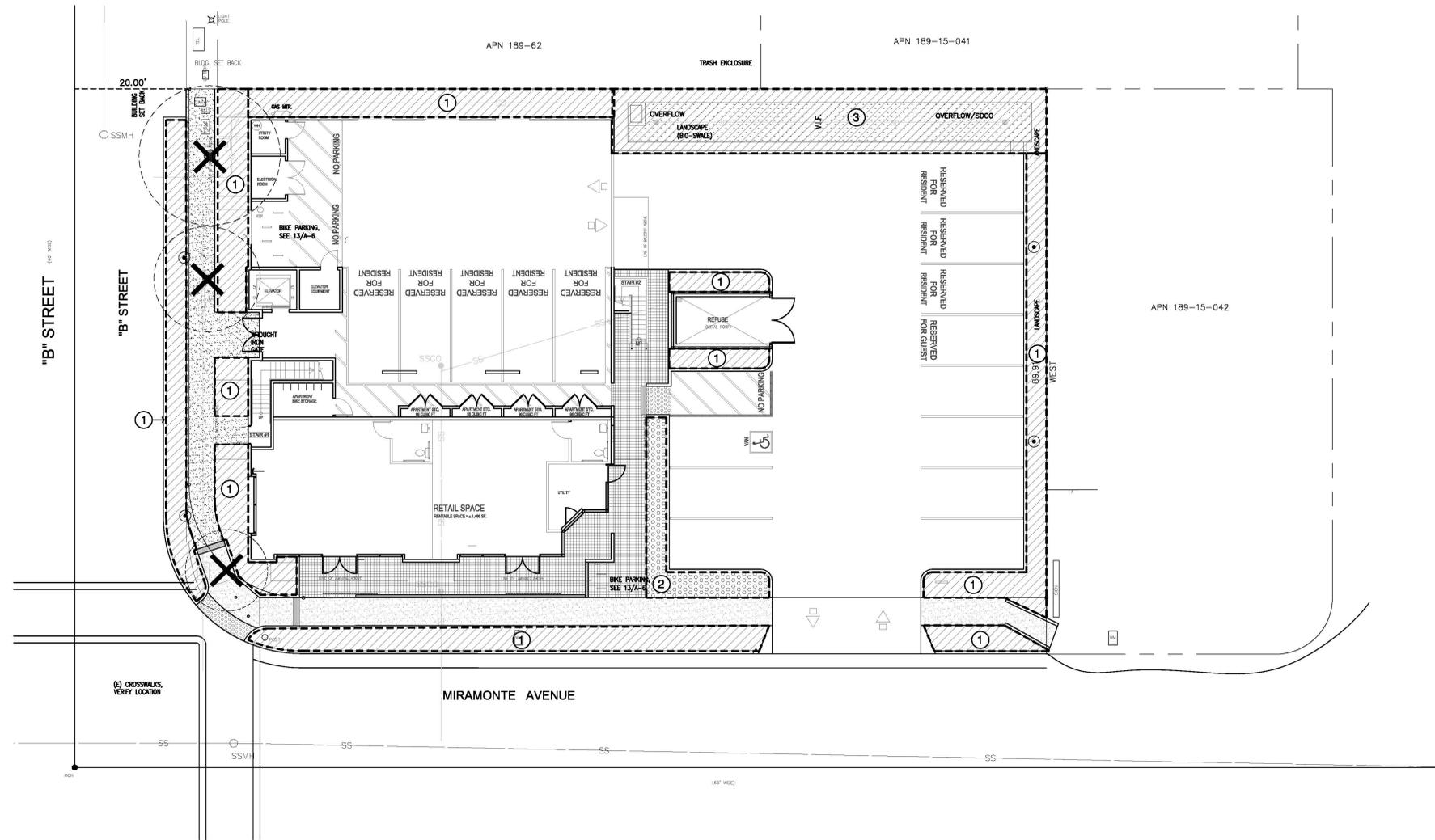


REVISION 1	REVISION 4
REVISION 2	REVISION 5
REVISION	REVISION 6

NEW RETAIL & OFFICE BLDG:
1540 MIRAMONTE AVENUE, LOS ALTOS, CA
SHEET TITLE **LANDSCAPE PLANTING PLAN**

JOB NO. 158689
DATE 01.25.16
DRAWN BY PJF / JH
L1.0

SHEET NO.



PROJECT DETAILS

RENOVATED LANDSCAPE AREA TOTAL - 4,032 SF.
 IRRIGATION WATER SOURCE - MUNICIPAL WATER WITH IRRIGATION WATER METER

IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS.

- HIGH WATER REQUIREMENT
- MEDIUM WATER REQUIREMENT
- LOW WATER REQUIREMENT

MAWA

$$MAWA = (ETW) \times (\phi_{62}) \times ((\phi_{71} \times LA) + (\phi_3 \times \phi LA))$$

MAWA = 79,270 gallons/year
 eto = 45.3

hydro-zone	plant water use	hydro-zone area	MAWA
1	LOW	2,011	39,537
2	MEDIUM	192	3,775
3	LOW	1,829	35,959
		4,032	79,270

ETWU

ESTIMATED WATER USE (ETWU)

$$ETWU = (ETW) \times (\phi_{62}) \times \left(\frac{PE \times HA}{IE} + \phi LA \right)$$

ETWU = 28,549 gallons/year
 eto = 45.3

hydro-zone	plant water use	plant factor	hydro-zone area	PFxHA	irrigation efficiency	ETWU
1	LOW	0.2	2,011	402	0.85	13,290
2	MEDIUM	0.5	192	96	0.85	3,172
3	LOW	0.2	1,829	366	0.85	12,087
			TOTAL	4,032	864	28,549



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REVISION 1	REVISION 4
REVISION 2	REVISION 5
REVISION	REVISION 6

NEW RETAIL & OFFICE BLDG:
 1540 MIRAMONTE AVENUE, LOS ALTOS, CA
 SHEET TITLE **LANDSCAPE PLANTING PLAN**

JOB NO. 158689
 DATE 01.25.16
 DRAWN BY PJF / Jh

SHEET NO. **L2.0**



DATE: January 21, 2016

AGENDA ITEM # 2

TO: Planning and Transportation Commission
FROM: David Kornfield, Planning Services Manager
SUBJECT: 15-D-07, 15-UP-03—1540 Miramonte Avenue

RECOMMENDATION

Recommend approval of Design and Use Permit applications 15-D-07, 15-UP-03 to the City Council subject to the findings and conditions

BACKGROUND

This is the reconsideration of a design review and use permit application for a project at 1540 Miramonte Avenue. The project is for a mixed-use building with 1,466 square feet of retail commercial space at the ground level and four residential apartments at the second story.

On December 17, 2015, the Planning and Transportation Commission held a public hearing and continued its review subject to the following direction:

- Provide more articulation and architectural detail in the building design;
- Address the clock tower element to define it better;
- Provide more contrast in the building materials;
- Make the upper story appear more residential;
- Reduce the bulk by adding windows on the north and south second story elevations;
- Add a street tree on B Street and a Chinese Pistache on Miramonte Avenue;
- Make the building openings on the rear (west) building elevation more symmetrical;
- Provide actual material samples such as the stained wood siding;
- Add more landscape where possible such as in the parking lot;
- Add images of landscaping into the plans;
- Add more landscaping at the base of the building; and
- Consider comingling restrooms for the retail areas for a more commercial floor plan potential.

The December 17, 2015 meeting minutes and staff memorandum are included for reference as Attachments A and B, respectively.

DISCUSSION

Project Revisions

The applicant made significant changes to the plans in response to the Planning and Transportation Commission direction, including, but not limited to:

- Building design:
 - Recessed the sliding glass doors 12 inches from the balconies;
 - Added bedroom windows to the north- and southeastern corners;
 - Aligned the garage openings on the first level with the second level fenestration; and
 - Defined the elevator tower with a dark tile with a rustic horizontal texture and replaced the clock with a building identifier “BSB” (Brooke Shaw Building);
- Landscape plan:
 - Added a new tree well to the B Street sidewalk;
 - Added an additional tree on the Miramonte Avenue frontage; and
 - Added a planting booklet showing images of the plantings.

Recommendations

In staff's view, the building design changes improve building design. In particular, the fenestration has more of a relationship between the stories and the building appears less bulky with its additional windows and recesses along the building's longer elevations. While the dark tile elevator tower is more distinctive, in accordance with the Loyola Corners Specific Plan the building colors should be monochromatic (Specific Plan, Page 62). The applicant chose the material to add contrast and to differentiate the element; however, the Commission's direction for more contrast in the materials was with regard to providing more of a distinction between the tongue and groove siding and the ship lap siding. The applicant maintained the original siding palate in hope that the material samples will show the smooth texture of the lower siding compared to the more rustic character of the upper siding. To address the elevator tower element, in accordance with the Specific Plan, staff recommends that the project:

- Prior to the City Council's review, provide a more monochromatic colored material for the elevator tower.

The landscape changes reflect the direction of the Commission to add more street trees and more landscape where possible. In recent consideration of this point, staff found that the project could employ a feature of the Loyola Corners Concept Plan along B Street to add more landscape and provide even more area for street trees. The concept is to shift the curb away from the sidewalk to provide a planting area between the sidewalk and B Street and then return the curb to the existing curb line to the southwest. This change maintains the on-street parking, adds four feet of a planting area in front of the sidewalk and allows for more landscape against the building (see Attachment C). Thus, in accordance with the Loyola Corners Concept Plan, staff recommends that the project:

- Prior to the City Council's review, provide a four-foot wide, street shoulder planting area be shown along the B Street frontage of the project, in accordance with the Loyola Corners Concept Plan.

Along B Street, the Loyola Corners Concept Plan shows four street trees adjacent to the site including European Hornbeam (*Carpinus betulus*), Flowering Cherry (*Prunus* spp.) and/or Flowering Pear (*Pyrus calleryana* 'Chanticleer') (see Exhibit D). The planned street trees for B Street are deciduous and range from 25 to 40 feet in height. Along Miramonte Avenue, the Concept Plan shows five street trees adjacent to the site including Flowering Pear (*Pyrus calleryana* 'Columbia') and Evergreen Pear (*Pyrus kawakamii*). The planned street trees for Miramonte Avenue are deciduous and evergreen and range from 25-35 feet in height. Condition of Approval No. 19 requires using the Loyola Corners Concept Plan to specify the types of trees. Given the prominence of the project's landscaping, staff recommends that:

- Prior to the City Council's review, the street trees on the landscape plan shall reflect the Loyola Corners Concept Plan. This would eliminate the need for Condition No. 19.

With regard to the Commission's interest in including a Chinese pistache tree along the Miramonte Avenue to include a large species, staff notes that the height of trees shown in the Loyola Corners Concept Plan are larger than the project's 15- to 20-foot tall Crape myrtle trees.

Cc: Dennis (Bud) Kobza, Jr., Applicant and Architect
Gail Shaw, Property Owner

Attachments

- A. Planning and Transportation Commission Meeting Minutes, dated December 17, 2015
- B. Memorandum to the Planning and Transportation Commission, dated December 17, 2015
- C. Loyola Corners Concept Plan, B Street : Elevation C – C
- D. Loyola Corners Concept Plan, Planting Plan

FINDINGS

15-D-07, 15-UP-03—1540 Miramonte Avenue

1. The Planning and Transportation Commission finds in accordance with Section 15332 of the California Environmental Quality Act Guidelines as amended on January 1, 2013 that the following Categorical Exemption findings can be made:
 - a. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations;
 - b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; The project site has no value as habitat for endangered, rare or threatened species;
 - c. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
 - d. The site can be adequately served by all required utilities and public services.

2. With regard to commercial design review the Planning and Transportation Commission makes the following findings in accordance with Section 14.78.050 of the Municipal Code:
 - a. The proposal does meet the goals, policies and objectives of the General Plan and Loyola Corners Neighborhood Commercial Center Specific Plan, design guidelines and district design criteria adopted for the area;
 - b. The proposal has architectural integrity and has an appropriate relationship with other structures in the immediate area in terms of height, bulk and design;
 - c. Building mass is articulated to relate to the human scale, both horizontally and vertically. Building elevations does have variation and depth and does avoid large blank wall surfaces. Residential or mixed-use residential projects incorporate elements that signal habitation, such as identifiable entrances, stairs, porches, bays and balconies;
 - d. Exterior materials and finishes convey quality, integrity, permanence and durability, and materials are used effectively to define building elements such as base, body, parapets, bays, arcades and structural elements;
 - e. Landscaping is generous and inviting and landscape and hardscape features are designed to complement the building and parking areas and to be integrated with the building architecture and the surrounding streetscape. Landscaping includes substantial street tree canopy, either in the public right-of-way or within the project frontage;

- f. Signage is provided in the plan set; therefore, the signage is designed to complement the building architecture in terms of style, materials, colors and proportions;
 - g. Mechanical equipment is screened from public view and the screening is designed to be consistent with the building architecture in form, material and detailing; and
 - h. Service, trash and utility areas are screened from public view, or are enclosed in structures that are consistent with the building architecture in materials and detailing.
3. With regard to use permit for a mixed-use building with retail and residential uses the Planning and Transportation Commission finds in accordance with Section 14.80.060 (A-D, J) of the Municipal Code:
- a. That the proposed location of the conditional use is desirable or essential to the public health, safety, comfort, convenience, prosperity, or welfare;
 - b. That the proposed location of the conditional use is in accordance with the objectives of the zoning plan as stated in Chapter 14.02 of this title;
 - c. That the proposed location of the conditional use, under the circumstances of the particular case, will not be detrimental to the health, safety, comfort, convenience, prosperity, or welfare of persons residing or working in the vicinity or injurious to property or improvements in the vicinity;
 - d. That the proposed conditional use will comply with the regulations prescribed for the district in which the site is located and the general provisions of Chapter 14.02.
 - e. That the proposed construction is found to meet the specific purposes of the LCSP zoning district pursuant to Section 14.42.020 of the Los Altos Municipal Code; and
 - f. That the proposed square footage contributes to expansion potential pursuant to Section 14.42.040 of the Los Altos Municipal Code:
 - 1. The square footage contributes to the permitted fifteen thousand (15,000) square foot new ground-level retail; and
 - 2. That the use occupying the proposed square footage builds upon the existing strengths of the Loyola Corners Neighborhood Commercial Center and adds business which is appropriate in terms of use, physical scale, and size of the site.

CONDITIONS

15-D-07, 15-UP-03—1540 Miramonte Avenue

GENERAL

1. **Approved Plans**

Project approval is based upon the plans received on January 7, 2016 except as modified by these conditions.

2. **Public Right-of-Way, General**

All work within the public right of way shall be done in accordance with plans to be approved by the City Engineer.

3. **Encroachment Permit**

The applicant shall obtain an encroachment permit and/or excavation permit prior to any work done within the public right-of-way and it shall be in accordance with plans to be approved by the City Engineer.

4. **Public Utilities**

The applicant shall contact electric, gas, communication and water utility companies regarding the installation of new utility services to the site.

5. **ADA**

All improvements shall comply with Americans with Disabilities Act (ADA).

6. **NPDES Permit**

The project shall comply with the San Francisco Bay Region Municipal Regional Stormwater (MRP) National Pollutant Discharge Elimination System (NPDES) Permit No. CA S612008, Order R2-2009-0074, Provision C.3 dated October 14, 2009. The improvement plans shall include the "Blueprint for a Clean Bay" plan sheet in all plan submittals.

7. **Sewer Lateral**

Any proposed sewer lateral connection shall be approved by the City Engineer.

8. **Upper Story Lighting**

Any upper story lighting design shall be shrouded or directed down to minimize glare.

9. **Indemnity and Hold Harmless**

The property owner agrees to indemnify and hold City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal Court, challenging the City's action with respect to the applicant's project.

10. Plan Changes

The Planning and Transportation Commission may approve minor changes to the development plans. Substantive project changes require a formal amendment of the application.

PRIOR TO FINAL MAP RECORDATION

11. CC&Rs

The applicant shall include provisions in the Covenants, Conditions and Restrictions (CC&Rs) that restrict storage on the private patio and decks and outline rules for other objects stored on the private patio and decks with the goal of minimizing visual impacts.

12. Property Dedication

The property owner or applicant shall dedicate a five-foot public right-of-way along B Street to the City of Los Altos for use as public right-of-way. In addition, a 20-foot radius of the intersection of Miramonte Avenue and B Street shall be provided

13. Public Utility Dedication

The applicant shall dedicate public utility easements as required by the utility companies to serve the site.

14. Fees

The applicant shall pay all applicable fees, including but not limited to sanitary sewer impact fees, parkland dedication in lieu fees, traffic impact fees and map check fee plus deposit as required by the City of Los Altos Municipal Code.

PRIOR TO BUILDING PERMIT SUBMITTAL

15. Parcel Map Recordation

The applicant shall record a parcel map to merge the properties. Plats and legal descriptions of the final map shall be submitted for review and approval by the City Land Surveyor, and the applicant shall provide a sufficient fee retainer to cover the cost of the final map application.

16. Public Improvements

The property owner or applicant shall install new City Standard sidewalk, and curb and gutter and planting area in accordance with the Loyola Corners Concept Plan along B Street to the adjacent property; and remove sidewalk and replace with City Standard curb and gutter along Miramonte Avenue from the corner to the northerly boundary.

17. Sidewalk Ramp Removal

The property owner or applicant shall remove the existing ramp located at the northeast side along Miramonte Avenue and adjacent to 1530 Miramonte Ave. and replace with a modified sidewalk to conform to the existing flow line.

18. Construction Sight Visibility

All corner areas shall be kept clear of vegetation and structures that create potential line-of-sight constraints for vehicles on Miramonte Avenue and B Street.

19. Street Trees

The quantity and type of street trees to be installed along Miramonte Avenue and B Street shall be in consistent with the Loyola Corners Concept Plan, dated August 2009 and as adopted by City Council.

20. Sidewalk Lights

The owner or applicant shall design a street lighting plan to provide one foot-candle of illumination along the frontage of Miramonte Avenue to illuminate all public spaces in the development. Decorative lighting shall be consistent in accordance to the Loyola Corners Streetscape Plan. The light pole shall be located where lighting is not constrained and is recommended to be installed at the south side of the driveway along Miramonte Avenue.

21. Stormwater Discharge

The stormwater water discharge point shall be at B Street, south side of the property to ensure adequate flow into the public right-of-way.

22. Performance Bond

The applicant shall submit a cost estimate for all improvements in the public right-of-way and shall submit a 100 percent performance bond (to be held until acceptance of improvements) and a 50 percent labor and material bond (to be held 6 months after acceptance of improvements) for the work in the public right-of-way.

23. Right of Way Construction

The applicant shall submit detailed plans for any construction activities affecting the public right-of- way, include but not limited to excavations, pedestrian protection, material storage, earth retention, and construction vehicle parking, to the City Engineer for review and approval. The applicant shall also submit on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for approval by the City.

24. Sewer Capacity

The applicant shall submit calculations showing that the City's existing six-inch diameter sewer line will not exceed two-thirds full due to the project's sewer loads. Calculations shall include the six-inch main from the property along Miramonte Ave. to the point where it connects to the twenty four-inch sewer line on Covington Ave. For any segment that is calculated to exceed two-thirds full for average daily flow or for any segment that the flow is surcharged in the main due to peak flow, the applicant shall replace the six-inch sewer line with an eight-inch sewer line.

25. Trash Enclosure

The applicant shall contact Mission Trail Waste Systems and submit a solid waste, recyclables (and organics, if applicable) disposal plan indicating the type, size and number of containers proposed, and the frequency of pick-up service subject to the approval of the Engineering Division. The applicant shall also submit evidence that Mission Trail Waste Systems has reviewed and approved the size and location of the proposed trash enclosure. The enclosure shall be roofed to prevent rainwater from mixing with the enclosure's contents and shall be

drained into the city's sanitary sewer system. The enclosure's pad shall be designed to not drain outward, and the grade surrounding the enclosure designed to not drain into the enclosure.

26. Stormwater Management Plan

The applicant shall provide a Stormwater Management Plan (SWMP) in accordance with the City guidance document showing that 100 percent of the site is being treated and is in compliance with the MRP. The SWMP must be reviewed and approved by a City approved third party consultant and the City Engineer at the applicant's expense. The recommendations from the SWMP shall be shown on the building plans.

27. Green Building Standards

The applicant shall provide verification that the project will comply with the City's Green Building Standards (Section 12.26 of the Municipal Code) from a qualified green building professional.

28. Property Address

The applicant shall provide an address signage plan as required by the Building Official.

29. Master Sign Program

The applicant owner shall provide a master sign program reflecting the approved signage concept that includes locations, sizes, materials, illumination and colors of all proposed signage for review and approval by the Community Development Director.

30. Soils Report

The applicant shall submit a soils report. The soils report shall analyze the soil for any environmental contamination related to the former gas station use. Such report shall be provided to the Community Development Department for review and approval. Any measures to ensure the health and safety of construction workers and occupants of the building shall be performed and incorporated into the construction plans and building design. If any soil needs to be treated and/or exported from the site it shall be done so expeditiously not to exceed six months, or as approved by the Community Development Director.

31. Landscape

The applicant shall provide a landscape and irrigation plan in conformance to the City's Water Efficient Landscape Regulations in accordance with Chapter 12.46 of the Municipal Code.

PRIOR TO ISSUANCE OF BUILDING PERMIT

32. Construction Management Plan

The applicant shall submit a construction management plan for review and approval by the Community Development Director. The construction management plans shall address any construction activities affecting the public right-of-way, including but not limited to: prohibiting dirt hauling during peak traffic hours, excavation, traffic control, truck routing, pedestrian protection, appropriately designed fencing to limit project impacts and maintain traffic visibility

as much as practical, material storage, earth retention and construction and employee vehicle parking.

PRIOR TO FINAL INSPECTION

33. Maintenance Bond

The applicant shall submit a one-year, 10-percent maintenance bond upon acceptance of improvements in the public right-of-way.

34. Stormwater Facility Certification

The applicant shall have a final inspection and certification done and submitted by the Engineer who designed the SWMP to ensure that the treatments were installed per design. The applicant shall submit a maintenance agreement to City for review and approval for the stormwater treatment methods installed in accordance with the SWMP. Once approved, the applicant shall record the agreement.

35. Stormwater Catch Basin

The applicant shall label all new or existing public and private catch basin inlets which are on or directly adjacent to the site with the “NO DUMPING - FLOWS TO ADOBE CREEK” logo as required by the City.

36. Green Building Verification

The applicant shall submit verification that the structure was built in compliance with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code.

37. Landscaping Installation

The applicant shall install all on- and off-site landscaping and irrigation, as approved by the Community Development Director and the City Engineer.

38. Lighting Installation

The applicant shall install all off-site lighting per the approved plan and as directed by the City Engineer.

39. Acoustical Report

The applicant shall submit a report from an acoustical engineer ensuring that the rooftop mechanical equipment meets the City’s noise regulations.

40. Landscape Certification

The applicant shall provide a Certificate of Completion conforming to the City’s Water Efficient Landscape Regulations.

ATTACHMENT A

MINUTES OF A REGULAR MEETING OF THE PLANNING AND
TRANSPORTATION COMMISSION OF THE CITY OF LOS ALTOS, HELD ON
THURSDAY, DECEMBER 17, 2015, BEGINNING AT 7:00 P.M. AT LOS ALTOS CITY
HALL, ONE NORTH SAN ANTONIO ROAD, LOS ALTOS,
CALIFORNIA

ESTABLISH QUORUM

PRESENT: Chair McTIGHE, Vice-Chair LORELL, Commissioners MOISON, BAER,
BODNER, and OREIZY

ABSENT: Commissioner BRESSACK

STAFF: Planning Services Manager KORNFIELD

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Planning and Transportation Commission Minutes**
Approve the minutes of the December 3, 2015 Regular Meeting.

MOTION by Vice-Chair LORELL, seconded by Commissioner OREIZY, to approve the minutes of the December 3, 2015 Regular Meeting as written.

THE MOTION PASSED BY A 5/0/1 VOTE, WITH BAER ABSTAINING.

PUBLIC HEARING

2. **15-D-07 and 15-UP-03 – D. Kobza, Jr. – 1540 Miramonte Avenue**
Commercial Design Review and Use Permit for a mixed-use retail and multi-family residential project. The project includes 1,412 square feet of retail space and four residential apartments.
Project Planner: Kornfield

Planning Services Manager KORNFIELD presented the staff report recommending approval of design application 15-D-07 and use permit application 15-UP-03 subject to findings and conditions.

Project architect and applicant Dennis (Bud) Kobza, Jr. spoke in support of the project noting that they did a soil analysis and that the former gas station site had been remediated, added more light fixtures, a Shaw history wall, and roll-out windows among other changes.

Teresa Morris, member of LAND and the Downtown Buildings Committee, speaking as a resident, voiced concerns with mechanical equipment and trash pick-up noise. Neighbor Tom Ferry stated concern with construction noise and the importance of following the construction hours of the

Municipal Code; questioned the accuracy of the renderings; said the Loyola Corners Specific Plan Zone has an absolute, 30-foot height limit. There was no other public comment.

The Commission discussed the project, with a majority expressing their general support. The Commission supported the changes that included the uniform sidewalk and tree removals on B Street. The Commission was split on the resolution of the building design. Some Commissioners felt that it was sufficiently resolved. Others felt that there were additional changes necessary including resolving the symmetry of the north facing building openings, refining the clock tower element, making the residential part of the building appear more residential, adding more building articulation, reconsidering the building materials, and adding more landscape where possible such as in the parking lot and along B Street, along the building base, and consider using a larger street tree on Miramonte such as the Chinese Pistache. The Commission agreed that the applicant needed to provide the actual material samples showing the stained wood, building colors and metal railing samples, and that the presentation materials needed to be in accord visually. The Commission discussed the scope of the project and whether or not it was appropriate to have more development intensity.

MOTION by Commissioner BAER, seconded by Vice-Chair LORELL, to continue design application 15-D-07 and use permit application 15-UP-03, with the following direction:

- Provide more articulation and architectural detail in the building design;
- Address the clock tower element to define it better;
- Provide more contrast in the building materials;
- Make the upper story appear more residential;
- Reduce the bulk by adding windows on the north and south second story elevations;
- Add a street tree on B Street and a Chinese Pistache on Miramonte Avenue;
- Make the building openings on the rear (west) building elevation more symmetrical; and Provide actual material samples such as the stained wood siding.

Commissioner BODNER offered a friendly amendment to:

- Add more landscape where possible such as in the parking lot;
- Add images of landscaping into the plans;
- Add more landscaping at the base of the building; and
- Consider comingling restrooms for the retail areas for a more commercial floor plan potential.

Commissioner BAER accepted the amendment.

THE MOTION CARRIED UNANIMOUSLY (6/0).

COMMISSIONERS' REPORTS AND COMMENTS

Commissioner MOISON reported on the City Council coronation for the new Mayor and outgoing Mayor on December 1, 2015. Outgoing Mayor PEPPER noted her accomplishment of requiring story poles on commercial projects.

POTENTIAL FUTURE AGENDA ITEMS

Commissioner BAER suggested doing the lessons-learned tour after the Downtown Design Plan is revised. Chair McTIGHE suggested and the Commission concurred that the design tour should wait until the Planning and Transportation Commission reorganizes in February 2016 so that any new commissioners could benefit from it.

ADJOURNMENT

Chair McTIGHE adjourned the meeting at 8:36 P.M.

David Kornfield
Planning Services Manager
Advance Planning

ATTACHMENT B



DATE: December 17, 2015

AGENDA ITEM # 2

TO: Planning and Transportation Commission
FROM: David Kornfield, Planning Services Manager
SUBJECT: 15-D-07, 15-UP-03—1540 Miramonte Avenue

RECOMMENDATION

Recommend approval of Design and Use Permit applications 15-D-07, 15-UP-03 to the City Council subject to the findings and conditions

PROJECT DESCRIPTION

This project is a mixed-use building with 1,466 square feet of retail commercial space at the ground level and four residential apartments at the second story. The project is located at 1540 Miramonte Avenue at B Street. The following table summarizes the project's technical details:

GENERAL PLAN DESIGNATION: Neighborhood Commercial
ZONING: Commercial Neighborhood (CN)/Loyola Corners Specific Plan Overlay (LC/SPZ)
PARCEL SIZE: 13,400 square feet
MATERIALS: Standing seam metal roof and awnings, wood siding and trim, metal railings

	Existing	Proposed	Allowed/Required
Front setback (B Street)	48 feet	10 feet	0 feet
Side setback (Miramonte Avenue)	4 feet	5 feet	0 feet
Side setback (interior)	2 feet	5 feet	0 feet
Rear setback	58 feet	76 feet	20 feet
Parking	n-a	16 spaces	14 spaces
Height	16 feet	27 feet	30 feet ¹

¹ Overall building height is measured to the mid-point of the roof ridge and the highest wall plate.

BACKGROUND

Study Session

On October 15, 2015, the Planning and Transportation Commission (PTC) held a study session on the proposal. The PTC was generally supportive of the project concept with some Commissioners suggesting such changes as: articulating the building further, using a uniform standing seam roof, raising the wall heights of the residential second story, considering additional design details, reconsidering the use of re-sawn plywood, adding more landscaping where possible, and considering removing the redwood trees for a uniform sidewalk on B Street. The meeting minutes are included as Attachment C.

Bicycle and Pedestrian Advisory Commission

On November 4, 2015, the Bicycle and Pedestrian Advisory Commission (BPAC) held a public meeting to consider the project. The BPAC input was as follows:

- Split the accessibility ramp at the corner to coincide with the crosswalks;
- Provide, if possible, room for eight bikes in the enclosed bike room;
- Offset one of the freestanding bike racks to accommodate a cargo bike;
- Provide an additional bike rack at the building exterior along the walkways or landscape area;
- Consider additional exterior lighting for the sidewalk area; and
- Normalize, if possible, the sidewalk ramp at the northeast corner of the property.

The BPAC meeting minutes have not been prepared yet.

DISCUSSION

Project Revisions

The applicant made significant changes to the plans in response to the PTC study session comments. Such changes include:

- Providing wall articulations at the second story;
- Using a uniform standing seam metal roof;
- Raising the height of the residential wall plate to 10 feet;
- Emphasizing the elevator tower with a uniform tongue and groove siding;
- Improving the soffit material from re-sawn plywood to tongue and groove wood;
- Omitted the re-sawn plywood panels;
- Raised the height of the band separating the exterior materials;
- Enclosed the underside of the exterior stairway;
- Enhanced the balcony rails with wood caps;
- Added a sidewalk railing along the Miramonte frontage;
- Improved the trash enclosure design with materials to match the building;

- Adding a walk-in closet and half-bath to the largest residential unit;
- Adding kitchen counter space;
- Added sidewalk lights to the B Street frontage; and
- Provided a uniform sidewalk and additional street tree on the B Street frontage.

The applicant made changes to the plans to improve the bicycle facilities per the BPAC's recommendations including changing the bike rack locations and design, specifying a hanging rack in the bike room, and include additional bike racks at the front of the building. Staff notes that splitting the accessibility ramp is not possible without significantly modifying the crosswalk locations. In the case of B Street, relocating the sidewalk to the west to accommodate such a change in the accessibility ramp would locate the crosswalk limit line too far from the intersection to maintain a proper sight visibility. With regard to the unusual sidewalk ramp at the northeastern boundary of the property, staff included a condition of approval to require its removal.

It should be pointed out that this application was submitted and deemed complete on September 1, 2015 prior to the City Council's action on September 8, 2015 to establish an approximately two-year development moratorium in the Loyola Corners area. The purpose of the development moratorium is to allow the City Council to review the appropriateness of the Loyola Corners Neighborhood Commercial Center Specific Plan policies.

General Plan and Specific Plan

The subject property has a Neighborhood Commercial General Plan land use designation. It is also within the Loyola Corners Neighborhood Commercial Center Specific Plan area. The relevant General Plan Land Use Element and Specific Plan goals seek to encourage and facilitate the long-term economic viability of the neighborhood serving commercial uses, and to maintain and enhance the pleasant, attractive, and pedestrian-scale neighborhood character of Loyola Corners.

The Specific Plan allows for building expansions with a use permit and subject to a priority of retail area first, and then second story services, and then second story office space, implemented as Section 14.42.040 of the Municipal Code. The Specific Plan has a uniform parking standard, implemented as Section 14.42.050 of the Municipal Code allowing one parking space for every 300 square feet of net building area. The Specific Plan also has community design standards that apply to the site related to architectural design, building materials, colors and signage. The Specific Plan recommended adding up to 20 residential units; however, the City did not implement commensurate zoning. Nevertheless, eight residential units were subsequently developed at the Bank of America parking lot site (Specific Plan, SP-1).

The project is consistent with the General Plan and Specific Plan goals by providing new, prominent commercial space on the ground floor and four new residences. The new commercial area and four residences should benefit the economic vitality of the area. The project also improves the pedestrian environment by replacing the sidewalks and landscaping along both frontages.

Zoning Compliance

The project conforms to the Commercial Neighborhood zoning code. The project meets or exceeds the required building setbacks as listed on the project summary table. The project's approximately 27-foot height is within the district's 30-foot height limit. The project exceeds the minimum parking spaces required by two spaces by providing 16 parking spaces, where 14 are required. The retail area requires five (5) parking spaces at one (1) space for every 300 square feet of net retail area, and each residence requires two parking spaces per unit based on their room count, plus one guest space for every four units, for a total of nine (9) spaces.

In response to the PTC study session, the applicant increased the height of the building by approximately one foot to improve the interior height of the residential units. Nevertheless, the project's mechanical equipment remains in compliance with the general provisions and exceptions allowed in the zoning code allowed by Section 14.40.020 and 14.66.240 (E) of the Municipal Code. The mechanical equipment is set to not to exceed 5.5 feet above the roof deck and is within an absolute height of 30 feet. With the height change, the enclosed elevator tower was also increased by a foot to an absolute height of 31 feet, which is 6.5 feet above the roof deck, where a height of eight feet above the roof is allowed by the general exception.

The project meets the conditional building expansion limits in the Loyola Corners Specific Plan zoning as discussed in the Use Permit section below.

Design Controls and Findings

The project's design is consistent with the Commercial Neighborhood design controls and Specific Plan architectural design standards: an informal and modest character; the size and mass of structures and building elements at a human scale; compatible scale, color and material with surrounding structures; and simple roof forms and uniform roof materials.

The architectural design has an informal and modest character; the building has simple massing and roof forms that reflect the character of the buildings in the area. The base of the building is grounded by prominent storefronts that are recessed one foot into the walls. The metal awnings help define the storefronts and add a human scale element to the building. The upper floor windows are smaller in scale and recessed to help punctuate and accent the building form and yield a more residential size. The balconies help signal habitation at the second story. The simple hip roof form unifies the building and reflects a more residential appearance. The elevator tower on B Street provides a balance in scale and interest toward the core of the Loyola Corners commercial neighborhood. A historic wall display integrated into the northeast corner of the building provides a hidden pedestrian discovery.

The shiplap and tongue and groove wood siding is a rustic building material consistent with the informal character of the area. The wood siding helps soften the bulk of the building, too. The rustic red roof and weathered brown wood siding are appropriately monochromatic and earth toned.

The landscape plan is generous and inviting. The landscape plan includes: adding a planter strip and rebuilt sidewalk along Miramonte Avenue with three Crape Myrtle street trees; a new sidewalk and

planter strip on B Street with a Crape Myrtle street tree at the corner, and two Yew Pine trees flanking the pedestrian opening to the parking garage; and three Saratoga Laurel trees in the parking lot and various shrubs and ground cover elsewhere. The northwestern corner of the parking lot contains a storm water, runoff detention area with a Pittosporum hedge and grass. The project would remove the Redwood trees along the B Street frontage that conflict with a uniform sidewalk design and a Locust tree at the corner to make way for a uniform sidewalk and ramp areas. According to the arborist, Attachment D, the Redwood trees are in good condition and the Locust tree is in poor condition. With the uniform sidewalk design, there might be an opportunity to include a second street tree near the displaced Redwoods.

With regard to signage, the business establishments would be allowed blade signs. The blade signs are a combination of wood and metal to match the building details. This is an appropriate sign type for the building and area; however, the blade signs would need to be placed higher on the building to maintain an eight-foot clearance over the walkway. There is also the potential for plaques on the building next to the storefronts. Staff has included a condition of approval to require the development of a Master Sign Program to refine the sign types and outline the design details.

The trash enclosure, which is located in the parking lot, is appropriately designed to reflect the building design. The trash enclosure uses tongue and groove wood for the enclosure with a metal shed roof to match the building. The building's mechanical equipment is architecturally screened from view located on the roof deck behind the sloping hip roof elements.

Use Permit

Mixed-uses and commercial building additions in the Loyola Corners Specific Plan district require a use permit. In order to approve a use permit, the Commission and Council must make the standard findings that the mixed-use is desirable, in accordance with the zoning objectives, not detrimental to the health, safety, or welfare of persons or property in the vicinity, and that the uses will comply with the district regulations. Additionally, the use permit requires the following special findings for the commercial expansion within Loyola Corners area:

1. That the proposed construction meets the specific purposes of the Loyola Corners Specific Plan zoning district;
2. That the proposed square footage contributes to the desired fifteen thousand (15,000) square foot new ground-level retail area; and
3. That the commercial use builds upon the existing strengths of Loyola Corners and adds business which is appropriate in terms of use, physical scale and size of the site.

The location of the use is desirable in that it develops an underdeveloped property with new commercial and residential uses that should help spur the redevelopment of the area. Since adoption of the Specific Plan in 1990, only 500 square feet of ground floor commercial space has been added to Loyola Corners within its core.

The project replaces the existing automotive service building with a new, prominent retail building. While an automotive service use provides a neighborhood convenience, new retail uses also provide a local convenience. The site is located on a busy street with significant traffic and located near the

Post Office. The project will also provide four additional households to the immediate area, which contributes to the economic vitality of the area.

Overall, staff finds that the project meets the required use permit findings.

Affordable Housing

As revised, the project is exempt from the City's Multiple-Family Affordable Housing regulations (Sec. 14.28) since it has fewer than five housing units.

Transportation Analysis

The General Plan requires a transportation analysis for all development projects resulting in 50 or more net new daily trips. Pang Engineers, Inc., prepared a trip generation study for the project showing that the project will generate a net decrease of 3 trips in the AM peak hour and a decrease of 2 trips in the PM peak hour compared to the existing automotive service station (see Attachment E). Based on the reduction of trips, there is no transportation analysis required.

Construction Management Plan

Sheet A-0.1 of the plans shows the applicant's construction management plan. The construction management plan would limit access to one driveway on Miramonte Avenue. Part of the parking lot of the project would serve as the materials storage area. The perimeter of the site would be fenced. Both frontages allow for on-street parking, which could accommodate up to seven (7) vehicles adjacent to the site.

Environmental Review

As an in-fill site, this project is categorically exempt from environmental review under Section 15332 of the California Environmental Quality Act because it is an urban infill location. As discussed in earlier sections, the project is consistent with the General Plan land use and zoning designations as well as all applicable policies and regulations. The site is less than five acres, surrounded by urban uses, does not provide any habitat for endangered, rare or threatened species, and can be served by all required utilities and public services. In addition, the project will not create significant impacts relating to traffic, noise, air quality or water quality.

The site was formerly a gas station. There is no record of soil abatement so there is a potential for residual soil contamination from the underground storage tanks. Accordingly, a condition of approval requiring the property owner to perform a soil test prior to the demolition and/or excavation of the site and implement any soil remediation deemed necessary is included.

Public Notification

A public hearing advertisement was published in the *Town Crier*. Additionally, a post card notice was mailed to the 121 property owners and business tenants within 500 feet of the site. A billboard posting was also placed onsite along the Miramonte Avenue frontage.

The applicant constructed story poles to represent the northeast and southeast corners of the building. The northeast pole is set to 24 feet in height to represent the height of the second story wall. The southeast pole is set to mark the corner of the building only to avoid displacing the existing tree. The applicant built the partial story poles in consultation with staff with deference to the constraints of the existing development and use of the property.

Cc: Dennis (Bud) Kobza, Jr., Applicant and Architect
Gail Shaw, Property Owner

Attachments

- A. Application
- B. Area Map and Vicinity Map
- C. Planning and Transportation Commission Minutes Study Session, dated October 15, 2015
- D. Arborist Report
- E. Trip Generation Study

FINDINGS

15-D-07, 15-UP-03—1540 Miramonte Avenue

1. The Planning and Transportation Commission finds in accordance with Section 15332 of the California Environmental Quality Act Guidelines as amended on January 1, 2013 that the following Categorical Exemption findings can be made:
 - a. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations;
 - b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; The project site has no value as habitat for endangered, rare or threatened species;
 - c. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
 - d. The site can be adequately served by all required utilities and public services.

2. With regard to commercial design review the Planning and Transportation Commission makes the following findings in accordance with Section 14.78.050 of the Municipal Code:
 - a. The proposal does meet the goals, policies and objectives of the General Plan and Loyola Corners Neighborhood Commercial Center Specific Plan, design guidelines and district design criteria adopted for the area;
 - b. The proposal has architectural integrity and has an appropriate relationship with other structures in the immediate area in terms of height, bulk and design;
 - c. Building mass is articulated to relate to the human scale, both horizontally and vertically. Building elevations does have variation and depth and does avoid large blank wall surfaces. Residential or mixed-use residential projects incorporate elements that signal habitation, such as identifiable entrances, stairs, porches, bays and balconies;
 - d. Exterior materials and finishes convey quality, integrity, permanence and durability, and materials are used effectively to define building elements such as base, body, parapets, bays, arcades and structural elements;
 - e. Landscaping is generous and inviting and landscape and hardscape features are designed to complement the building and parking areas and to be integrated with the building architecture and the surrounding streetscape. Landscaping includes substantial street tree canopy, either in the public right-of-way or within the project frontage;

- f. Signage is provided in the plan set; therefore, the signage is designed to complement the building architecture in terms of style, materials, colors and proportions;
 - g. Mechanical equipment is screened from public view and the screening is designed to be consistent with the building architecture in form, material and detailing; and
 - h. Service, trash and utility areas are screened from public view, or are enclosed in structures that are consistent with the building architecture in materials and detailing.
3. With regard to use permit for a mixed-use building with retail and residential uses the Planning and Transportation Commission finds in accordance with Section 14.80.060 (A-D, J) of the Municipal Code:
- a. That the proposed location of the conditional use is desirable or essential to the public health, safety, comfort, convenience, prosperity, or welfare;
 - b. That the proposed location of the conditional use is in accordance with the objectives of the zoning plan as stated in Chapter 14.02 of this title;
 - c. That the proposed location of the conditional use, under the circumstances of the particular case, will not be detrimental to the health, safety, comfort, convenience, prosperity, or welfare of persons residing or working in the vicinity or injurious to property or improvements in the vicinity;
 - d. That the proposed conditional use will comply with the regulations prescribed for the district in which the site is located and the general provisions of Chapter 14.02.
 - e. That the proposed construction is found to meet the specific purposes of the LCSP zoning district pursuant to Section 14.42.020 of the Los Altos Municipal Code; and
 - f. That the proposed square footage contributes to expansion potential pursuant to Section 14.42.040 of the Los Altos Municipal Code:
 - 1. The square footage contributes to the permitted fifteen thousand (15,000) square foot new ground-level retail; and
 - 2. That the use occupying the proposed square footage builds upon the existing strengths of the Loyola Corners Neighborhood Commercial Center and adds business which is appropriate in terms of use, physical scale, and size of the site.

CONDITIONS

15-D-07, 15-UP-03—1540 Miramonte Avenue

GENERAL

1. Approved Plans

Project approval is based upon the plans received on December 4, 2015 except as modified by these conditions.

2. Public Right-of-Way, General

All work within the public right of way shall be done in accordance with plans to be approved by the City Engineer.

3. Encroachment Permit

The applicant shall obtain an encroachment permit and/or excavation permit prior to any work done within the public right-of-way and it shall be in accordance with plans to be approved by the City Engineer.

4. Public Utilities

The applicant shall contact electric, gas, communication and water utility companies regarding the installation of new utility services to the site.

5. ADA

All improvements shall comply with Americans with Disabilities Act (ADA).

6. NPDES Permit

The project shall comply with the San Francisco Bay Region Municipal Regional Stormwater (MRP) National Pollutant Discharge Elimination System (NPDES) Permit No. CA S612008, Order R2-2009-0074, Provision C.3 dated October 14, 2009. The improvement plans shall include the "Blueprint for a Clean Bay" plan sheet in all plan submittals.

7. Sewer Lateral

Any proposed sewer lateral connection shall be approved by the City Engineer.

8. Upper Story Lighting

Any upper story lighting design shall be shrouded or directed down to minimize glare.

9. Indemnity and Hold Harmless

The property owner agrees to indemnify and hold City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal Court, challenging the City's action with respect to the applicant's project.

10. Plan Changes

The Planning and Transportation Commission may approve minor changes to the development plans. Substantive project changes require a formal amendment of the application.

PRIOR TO FINAL MAP RECORDATION

11. CC&Rs

The applicant shall include provisions in the Covenants, Conditions and Restrictions (CC&Rs) that restrict storage on the private patio and decks and outline rules for other objects stored on the private patio and decks with the goal of minimizing visual impacts.

12. Property Dedication

The property owner or applicant shall dedicate a five-foot public right-of-way along B Street to the City of Los Altos for use as public right-of-way. In addition, a 20-foot radius of the intersection of Miramonte Avenue and B Street shall be provided

13. Public Utility Dedication

The applicant shall dedicate public utility easements as required by the utility companies to serve the site.

14. Fees

The applicant shall pay all applicable fees, including but not limited to sanitary sewer impact fees, parkland dedication in lieu fees, traffic impact fees and map check fee plus deposit as required by the City of Los Altos Municipal Code.

PRIOR TO BUILDING PERMIT SUBMITTAL

15. Parcel Map Recordation

The applicant shall record a parcel map to merge the properties. Plats and legal descriptions of the final map shall be submitted for review and approval by the City Land Surveyor, and the applicant shall provide a sufficient fee retainer to cover the cost of the final map application.

16. Public Improvements

The property owner or applicant shall install new City Standard sidewalk, and curb and gutter along B Street to the adjacent property; and remove sidewalk and replace with City Standard curb and gutter along Miramonte Avenue from the corner to the northerly boundary.

17. Sidewalk Ramp Removal

The property owner or applicant shall remove the existing ramp located at the northeast side along Miramonte Avenue and adjacent to 1530 Miramonte Ave. and replace with a modified sidewalk to conform to existing flow line.

18. Construction Sight Visibility

All corner areas shall be kept clear of vegetation and structures that create potential line-of-sight constraints for vehicles on Miramonte Avenue and B Street.

19. Street Trees

The quantity and type of street trees to be installed along Miramonte Avenue and B Street shall be in consistent with the Loyola Corners Concept Plan, dated August 2009 and as adopted by City Council.

20. Sidewalk Lights

The owner or applicant shall design a street lighting plan to provide one foot-candle of illumination along the frontage of Miramonte Avenue to illuminate all public spaces in the development. Decorative lighting shall be consistent in accordance to the Loyola Corners Streetscape Plan. The light pole shall be located where lighting is not constrained and is recommended to be installed at the south side of the driveway along Miramonte Avenue.

21. Stormwater Discharge

The stormwater water discharge point shall be at B Street, south side of the property to ensure adequate flow into the public right-of-way.

22. Performance Bond

The applicant shall submit a cost estimate for all improvements in the public right-of-way and shall submit a 100 percent performance bond (to be held until acceptance of improvements) and a 50 percent labor and material bond (to be held 6 months after acceptance of improvements) for the work in the public right-of-way.

23. Right of Way Construction

The applicant shall submit detailed plans for any construction activities affecting the public right-of- way, include but not limited to excavations, pedestrian protection, material storage, earth retention, and construction vehicle parking, to the City Engineer for review and approval. The applicant shall also submit on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for approval by the City.

24. Sewer Capacity

The applicant shall submit calculations showing that the City's existing six-inch diameter sewer line will not exceed two-thirds full due to the project's sewer loads. Calculations shall include the six-inch main from the property along Miramonte Ave. to the point where it connects to the twenty four-inch sewer line on Covington Ave. For any segment that is calculated to exceed two-thirds full for average daily flow or for any segment that the flow is surcharged in the main due to peak flow, the applicant shall replace the six-inch sewer line with an eight-inch sewer line.

25. Trash Enclosure

The applicant shall contact Mission Trail Waste Systems and submit a solid waste, recyclables (and organics, if applicable) disposal plan indicating the type, size and number of containers proposed, and the frequency of pick-up service subject to the approval of the Engineering Division. The applicant shall also submit evidence that Mission Trail Waste Systems has reviewed and approved the size and location of the proposed trash enclosure. The enclosure shall be roofed to prevent rainwater from mixing with the enclosure's contents and shall be

drained into the city's sanitary sewer system. The enclosure's pad shall be designed to not drain outward, and the grade surrounding the enclosure designed to not drain into the enclosure.

26. Stormwater Management Plan

The applicant shall provide a Stormwater Management Plan (SWMP) in accordance with the City guidance document showing that 100 percent of the site is being treated and is in compliance with the MRP. The SWMP must be reviewed and approved by a City approved third party consultant and the City Engineer at the applicant's expense. The recommendations from the SWMP shall be shown on the building plans.

27. Green Building Standards

The applicant shall provide verification that the project will comply with the City's Green Building Standards (Section 12.26 of the Municipal Code) from a qualified green building professional.

28. Property Address

The applicant shall provide an address signage plan as required by the Building Official.

29. Master Sign Program

The applicant owner shall provide a master sign program reflecting the approved signage concept that includes locations, sizes, materials, illumination and colors of all proposed signage for review and approval by the Community Development Director.

30. Soils Report

The applicant shall submit a soils report. The soils report shall analyze the soil for any environmental contamination related to the former gas station use. Such report shall be provided to the Community Development Department for review and approval. Any measures to ensure the health and safety of construction workers and occupants of the building shall be performed and incorporated into the construction plans and building design. If any soil needs to be treated and/or exported from the site it shall be done so expeditiously not to exceed six months, or as approved by the Community Development Director.

PRIOR TO ISSUANCE OF BUILDING PERMIT

31. Construction Management Plan

The applicant shall submit a construction management plan for review and approval by the Community Development Director. The construction management plans shall address any construction activities affecting the public right-of-way, including but not limited to: prohibiting dirt hauling during peak traffic hours, excavation, traffic control, truck routing, pedestrian protection, appropriately designed fencing to limit project impacts and maintain traffic visibility as much as practical, material storage, earth retention and construction and employee vehicle parking.

PRIOR TO FINAL INSPECTION

32. **Maintenance Bond**

The applicant shall submit a one-year, 10-percent maintenance bond upon acceptance of improvements in the public right-of-way.

33. **Stormwater Facility Certification**

The applicant shall have a final inspection and certification done and submitted by the Engineer who designed the SWMP to ensure that the treatments were installed per design. The applicant shall submit a maintenance agreement to City for review and approval for the stormwater treatment methods installed in accordance with the SWMP. Once approved, the applicant shall record the agreement.

34. **Stormwater Catch Basin**

The applicant shall label all new or existing public and private catch basin inlets which are on or directly adjacent to the site with the “NO DUMPING - FLOWS TO ADOBE CREEK” logo as required by the City.

35. **Green Building Verification**

The applicant shall submit verification that the structure was built in compliance with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code.

36. **Landscaping Installation**

The applicant shall install all on- and off-site landscaping and irrigation, as approved by the Community Development Director and the City Engineer.

37. **Lighting Installation**

The applicant shall install all off-site lighting per the approved plan and as directed by the City Engineer.

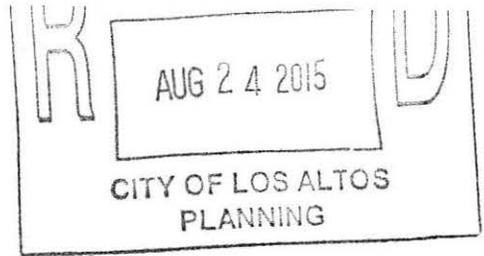
38. **Acoustical Report**

The applicant shall submit a report from an acoustical engineer ensuring that the rooftop mechanical equipment meets the City’s noise regulations.



ATTACHMENT A

CITY OF LOS ALTOS
GENERAL APPLICATION



Type of Review Requested: (Check all boxes that apply)

Permit # 1106809

<input type="checkbox"/> One-Story Design Review	<input type="checkbox"/> Sign Review	<input type="checkbox"/> Multiple-Family Review
<input type="checkbox"/> Two-Story Design Review	<input type="checkbox"/> Sidewalk Display Permit	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Variance(s)	<input checked="" type="checkbox"/> Use Permit	<input type="checkbox"/> RI-S Overlay
<input type="checkbox"/> Lot Line Adjustment	<input type="checkbox"/> Tenant Improvement	<input type="checkbox"/> General Plan/Code Amendment
<input type="checkbox"/> Tentative Map/Division of Land	<input type="checkbox"/> Preliminary Project Review	<input type="checkbox"/> Appeal
<input type="checkbox"/> Subdivision Map Review	<input checked="" type="checkbox"/> Commercial Design Review	<input type="checkbox"/> Other:

Project Address/Location: 1540 MIRAMONTE AVE
 Project Proposal/Use: 4 UNIT RESIDENTIAL ABOVE RETAIL & COVERED PARKING
 Current Use of Property: SERVICE STATION
 Assessor Parcel Number(s): 189-15-086 Site Area: 13,400 S.F.
 New Sq. Ft.: 9913 Remodeled Sq. Ft.: 0 Existing Sq. Ft. to Remain: 0
 Total Existing Sq. Ft.: 2155 Total Proposed Sq. Ft. (including basement): 9913

Applicant's Name: DENNIS (BOB) KOBZA JR.
 Home Telephone #: 650-400-5777 Business Telephone #: 650-961-6103
 Mailing Address: 2083 MIDDLEFIELD WAY
 City/State/Zip Code: MOUNTAIN VIEW, CA 94043

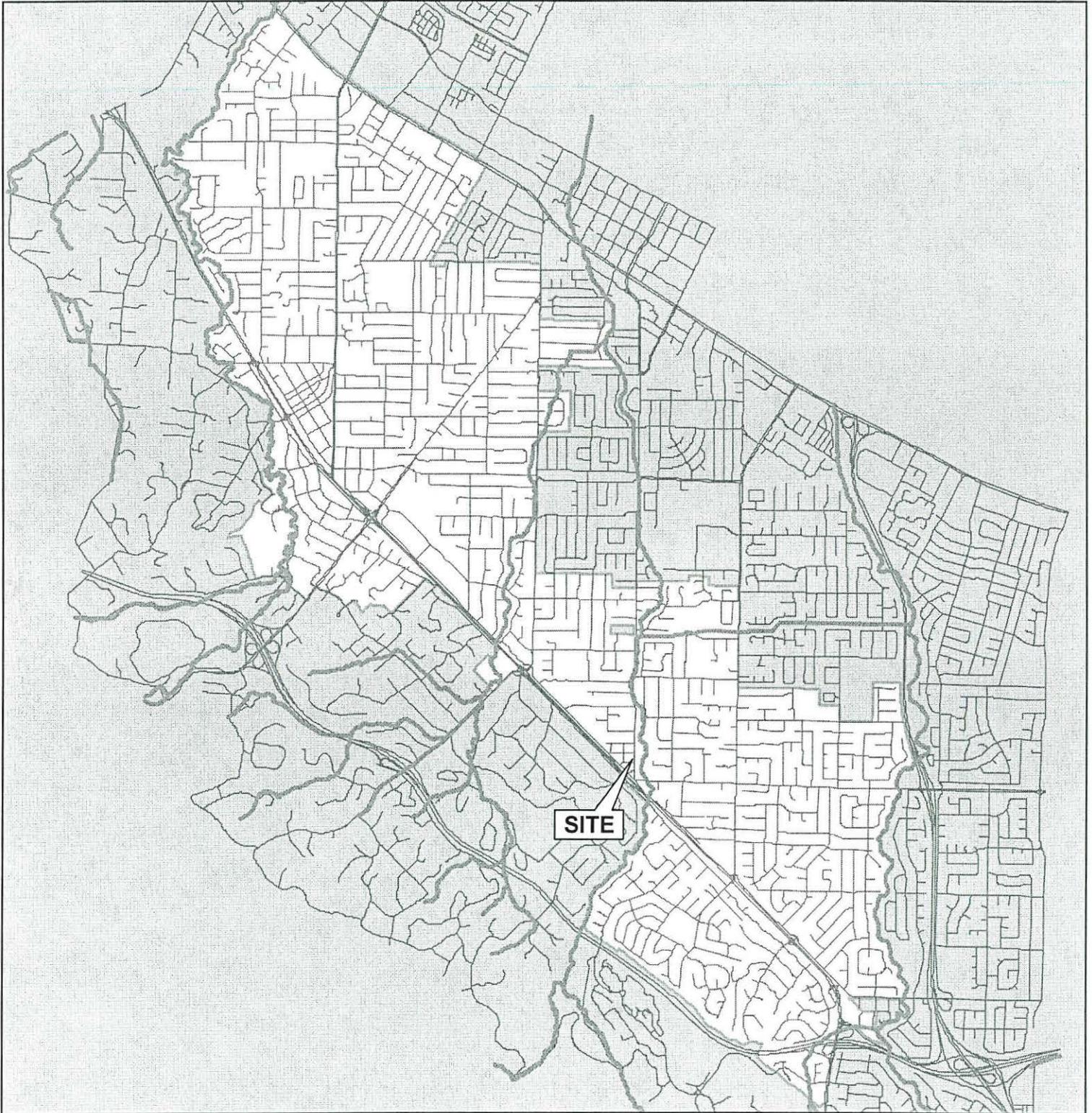
Property Owner's Name: GALE H SHAW TRUSTEE OF GALE H SHAW LIVING TRUST
 Home Telephone #: 650 941-3223 Business Telephone #: _____
 Mailing Address: 2324 Shibley Ave
 City/State/Zip Code: San Jose, CA 95125

Architect/Designer's Name: DENNIS ^(BOB) KOBZA JR. Telephone #: 650-961-6103

*** If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. ***

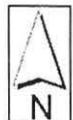
(continued on back)

AREA MAP



CITY OF LOS ALTOS

APPLICATION: 15-D-07 and 15-UP-03
APPLICANT: D. Kobza, Jr./ G. Shaw
SITE ADDRESS: 1540 Miramonte Avenue



Not to Scale

VICINITY MAP



SCALE 1 : 6,000



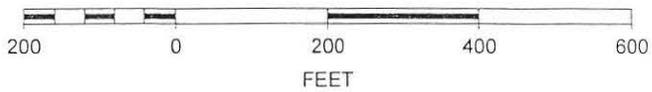
CITY OF LOS ALTOS

APPLICATION: 15-D-07 and 15-UP-03
APPLICANT: D. Kobza, Jr./ G. Shaw
SITE ADDRESS: 1540 Miramonte Avenue

1540 Miramonte Avenue 500-foot Notification Map



SCALE 1 : 3,000



N



MINUTES OF A SPECIAL MEETING OF THE PLANNING AND
TRANSPORTATION COMMISSION OF THE CITY OF LOS ALTOS, HELD ON
THURSDAY, OCTOBER 15, 2015, BEGINNING AT 8:00 P.M. AT LOS ALTOS CITY
HALL, ONE NORTH SAN ANTONIO ROAD, LOS ALTOS,
CALIFORNIA

ESTABLISH QUORUM

PRESENT: Chair McTIGHE, Commissioners MOISON, BAER, BODNER and BRESSACK
ABSENT: Vice-Chair LORELL
STAFF: Planning Services Manager KORNFIELD

STUDY SESSION

1. 15-D-07 and 15-UP-03 – D. Kobza, Jr. – 1540 Miramonte Avenue

Commercial Design Review and Use Permit for a mixed-use retail and multi-family residential project. *Project Planner: Kornfield*

Planning Services Manager KORNFIELD introduced the project and summarized the study session staff report, noting that the intent of the meeting was to provide preliminary feedback to the applicant on the proposed architectural design and site planning for the project.

The project architect Bud Kobza presented the project and answered the Commissioner's questions.

Resident Tom Ferry stated that the development seemed reasonable, had appropriate setbacks, was not massive or bulky, concerns about the elevator height and balcony discrepancies. Resident Stephen Moore said his only concern was that more residential was not intended for this property. Resident Andrew Pejack spoke in support of the project and gave the following input: the design should articulate the second story; it should have a solid balcony to minimize views of objects and reduce projections; the elevator looks like a chimney; and the Redwood trees should be kept. There was no other public comment.

The Commission discussed the project and offered the following comments:

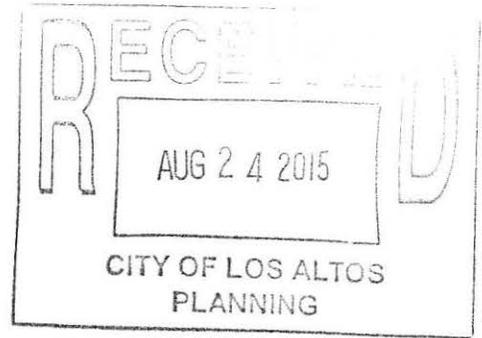
- Commissioner MOISON:
 - Encouraged more building articulation; and
 - Questioned the use of awnings.
- Commissioner BODNER:
 - Suggested using 10-foot ceilings in the apartments;
 - Supported the tongue and groove wood siding;
 - More attention to metal work (balcony railings) was necessary; and
 - The awnings seemed temporary in nature.
- Commissioner BAER:
 - Applauded the project's conformance and spirit with the Specific Plan;
 - Suggested adding design elements to enhance the character/style;
 - Suggested making the elevator more integral;

- Consider removing the Redwood tree for a uniform sidewalk; and
- Consider using recessed windows.
- Commissioner BRESSACK:
 - Overall a good, thoughtful design;
 - Suggested adding half baths in each apartment;
 - Encouraged more counter space near stoves;
 - Supported the balcony depths for usability;
 - Supported how the clock-tower breaks up the massing;
 - Supporting the permanent metal awnings;
 - Would prefer regular standing seam metal and raising the belly band;
 - Suggested adding a heavy wood cap to the rails;
 - Biggest concern is the durability of the re-sawn plywood and suggested using a more permanent material for the panels;
 - The use of sliding windows looked too “tract” like and needed to be enhanced;
 - Supported removal of the Redwood trees to provide normal pedestrian sidewalks; and
 - Suggested enhancing the landscape.
- Chair McTIGHE
 - The project needed more shade trees on the frontages; and
 - The renderings should be enhanced to show the materials better.

ADJOURNMENT

Chair McTIGHE adjourned the meeting at 8:58 P.M.

David Kornfield
Planning Services Manager



McClintock

Landscape Horticultural Services

Contractor License #975727

Arborist Report

Tree Assessment of Current Conditions and Construction Protection Report

Proposed Project Site:
1540 Miramonte Avenue
Los Altos, CA 94024

Prepared at the Request of:
Dennis "Bud" Kobza Jr.
Vice President / Project Manager
Dennis Kobza and Associates, Inc.
2083 Old Middlefield Way,
Mountain View, CA 94043

Submitted by:
Michael Gladden, Horticulturist
McClintock Landscape Horticultural Services
ISA Certified Arborist #WE-2205A
1821 South Bascom Avenue, #243, Campbell, CA 95008

Site Inspection Dates: August 18, 2015
Report Completed: August 23, 2015

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Contractor should have this report on site.

Tree Protection

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Alternative Base Course Materials

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CONCLUDING REMARKS

INTRODUCTION

At the request of Prepared at the Request of: Dennis "Bud" Kobza Jr. Vice President/Project Manager Dennis Kobza and Associates, Inc. 2083 Old Middlefield Way, this tree assessment of current conditions and construction protection report was created and discusses general health and general structure of only these trees, two (2) Redwood trees and one (1) Gliditsia tree and some additional general recommendations.

The information reviewed for this report is derived from the site in observation only. All trees in the report area have been assigned individual numbers as shown on the referenced tree location map that is not drawn to scale.

Please note that only these trees, two (2) Redwood trees and one (1) Gliditsia tree are identified on the tree location map are included in this report. Proposed or current irrigation, grading and drainage plans were not available or offered at the time of writing this report.

All tree inspections were performed by an International Society of Arboriculture Certified Arborist to best determine the tree conditions and future impacts. The terrain of the lot is generally level. The trees, two (2) Redwood trees and one (1) Gliditsia tree are located at the South perimeter on B street side of the site that is to be developed. Photographs of each tree are included to establish a visual record that can be utilized for current and future assessments if needed.

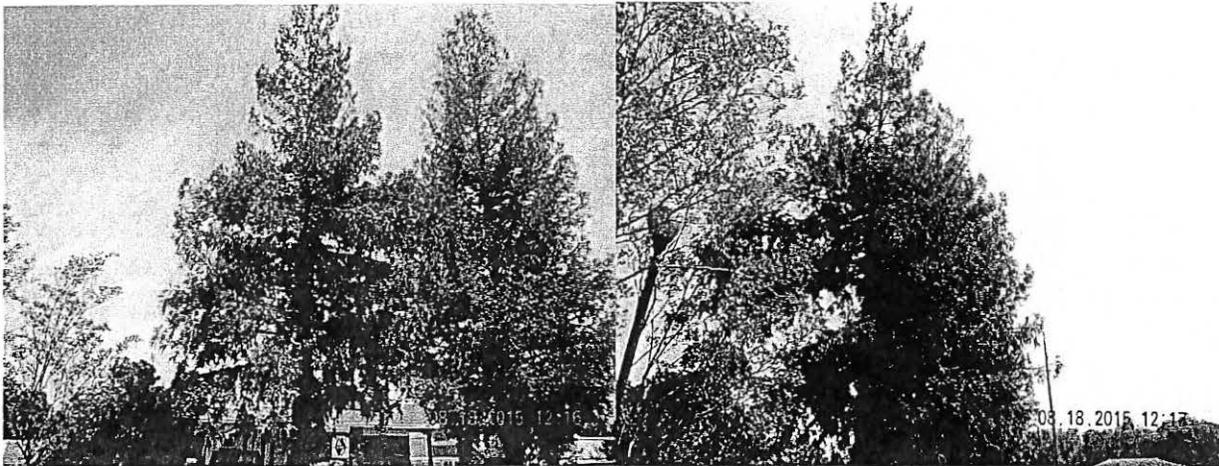
LIMITS OF ASSIGNMENT

This is a "Tree Assessment of Current Conditions and Construction Protection Report", no foundation, grading or soils report were available at the time of this report. This report does include tree appraisals using the trunk formula method for no any other reason than for the tree protection report, real estate appraisals or real estate assumptions other than those indicated. All of the trees were visually inspected from the ground only. Soil and tissue lab analyses were not performed. Root collars were examined visually with no excavations performed.

SITE EXAMINATION

Tree #1 *Sequoia sempervirens*, Coast Redwood – This tree should be retained and protected during the development process and this tree has a Tree Protection Zone (TPZ) that is in the work zone. This tree is located in a planter strip and has roots that have filled the planter area and guessing have spread outside of this planter area. The health rating of this tree is 3.5 to 4.0 out of a score of 5, 5 being the highest. Tree structure rating of this tree is 4.0 out of a score of 5, 5 being the highest. Diameter of this tree is 22.1 at 54"-inches above the existing grade. This tree is approximately 35' to 50'-feet in height and 30'-feet in width. There is squirrel or rodent traffic visible on the bark but not known how recent. Drought stress is apparent in this tree causing a reduction in health rating. The grade is higher on the north side of the root system and retaining the existing grade is crucial in protecting and retaining this tree. Prevention of compaction of the soil in the root protection zone is also crucial to retain this tree. Soil compaction the outer edge of the tree protection zone will be a significant negative impact on this tree and strict avoidance of disturbing the soil in this area is extremely important. Utilities are located in the critical root zone. Any excavation in this area should be by hand excavation and extreme care to avoid any impact to the roots. It is projected that the surface roots are just below the existing hardscape surface and the use of any other form of excavation other than hand excavation will cause damage to the tree. Structural soil is highly suggested and a specific recommendation is listed in this report and available locally. See attached CU-Structural Soil™ in the Urban Environment.

It is suggested that a certified arborist supervise any and all work in the Tree Protection Zone (TPZ).



Tree #1 *Sequoia sempervirens*, Coast Redwood that should be retained and protected and has a Tree Protection Zone (TPZ) that is in the work zone.

Tree #1 *Sequoia sempervirens*, Coast Redwood – Continued.



Tree #1 Grade change of approximately 12"-inches from the southern side.

Tree #1 Utilities in the Critical Root Zone.

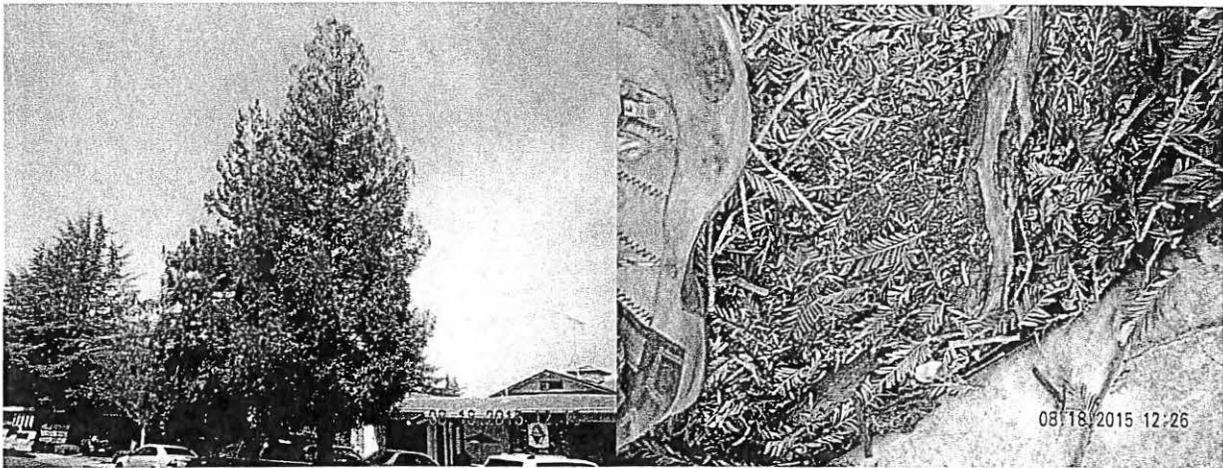


Tree #1 *Sequoia sempervirens*, Coast Redwood from the western side of the tree . Tree #1 *Sequoia sempervirens*, Coast Redwood from neighboring property.

Prepared by: McClintock Landscape Horticultural Services, 408-761-5969, mcclintocklandscape@gmail.com

Tree #2 *Sequoia sempervirens*, Coast Redwood – This tree should be retained and protected during the development process and this tree has a Tree Protection Zone (TPZ) that is in the work zone. This tree is located in a planting strip and has roots that have filled the planter area, surface roots were noted and guessing the roots have spread outside of this planter area. Basil root growth is noted and recommended to be left in place during the construction and or development of the site. The health rating of this tree is 3.5 to 4.0 out of a score of 5, 5 being the highest. Tree structure rating of this tree is 4.5 out of a score of 5, 5 being the highest. Diameter of this tree is 19.1 at 54"-inches above the existing grade. This tree is approximately 35' to 45'-feet in height and 30'-feet in width. There is squirrel or rodent traffic visible on the bark but not known how recent. Drought stress is apparent in this tree causing a reduction in health rating. The grade is higher on the north side of the root system and retaining the existing grade is crucial in protecting and retaining this tree. Prevention of compaction of the soil in the root protection zone is also crucial to retain this tree. Soil compaction the outer edge of the tree protection zone will be a significant negative impact on this tree and strict avoidance of disturbing the soil in this area is extremely important. Utilities are located in the critical root zone. Any excavation in this area should be by hand excavation and extreme care to avoid any impact to the roots. It is projected that the surface roots are just below the existing hardscape surface and the use of any other form of excavation than hand excavation will cause damage to the tree. Structural soil is highly suggested and a specific recommendation is listed in this report and available locally. See attached CU-Structural Soil™ in the Urban Environment.

It is suggested that a certified arborist supervise any and all work in the Tree Protection Zone (TPZ).



Tree #2 *Sequoia sempervirens*, Coast Redwood that should be retained and protected and has a Tree Protection Zone (TPZ) that is in the work zone.

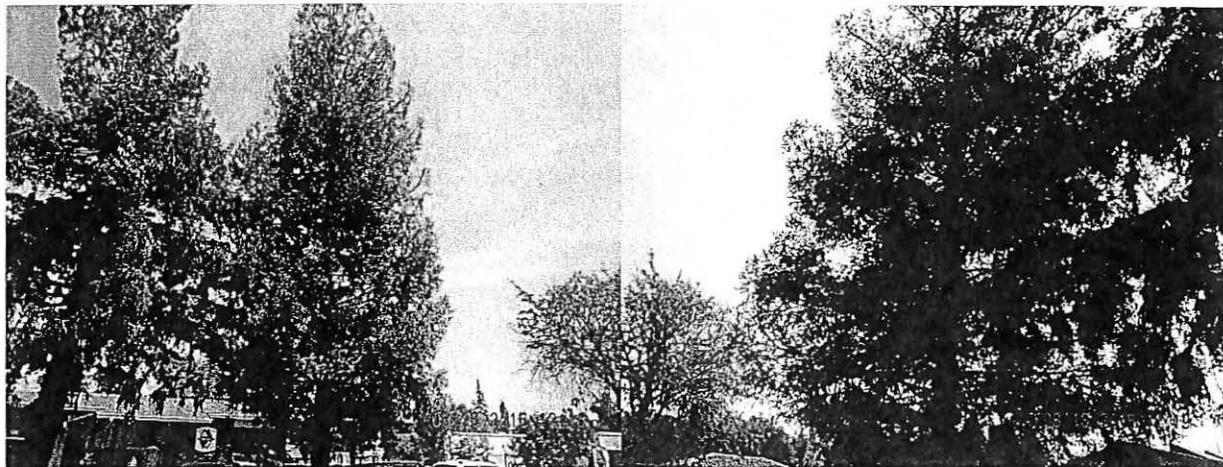
Tree #2 Surface roots that should be retained.

Tree #2 *Sequoia sempervirens*, Coast Redwood – Continued.



Tree #2 Shows the elevation change and basil growth that should be retained.

Tree #2 Basil growth.

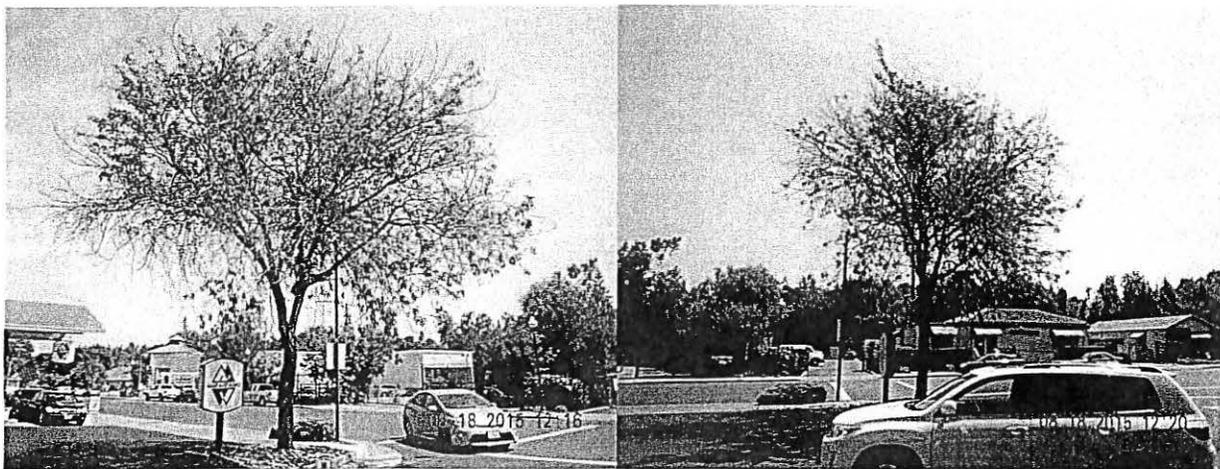


Tree #2 Canopy from the southern side.

Tree #2 Canopy from the northern side.

Tree #3 *Gliditsia triacanthos*, Thorn Less Honey Locust – This tree is suggested that it be removed and replaced. This tree is located on the proposed property at the South Eastern corner of the site. The health rating of this tree is 2.5 out of a score of 5, 5 being the highest. Tree structure rating of this tree is 2.5 to 3 out of a score of 5, 5 being the highest. Diameter of this tree is 13.3 at 54"-inches above the existing grade. This tree is approximately 25' to 35'-feet in height and 27'-feet in width. The proposed construction is projected to have a major impact on this trees root system. Although it might withstand the impact of development, the tree is stressed. Drought stress is an obvious issue, as the Honey locus depends on regular watering in a landscape. The confined growing conditions have stunted the trees existence for decades. The tree has had limb failure in the past, although not a current reason for removal I believe. The canopy is in a severe state of stress and decline with the majority of it's canopy filled with dead twigs and small limbs. Lymantria or tussock moth egg nests are present. The tussock larvae feed on the leaves of many trees and shrubs in the area, Lymantria means "defiler", and several species are important defoliators of forest tree. This tree is at the end of its beneficial life cycle I believe and a replacement tree should be planted to carry on its contribution to our environment. That replacement may not be appropriate at the current location or site but possibly at a park or greenbelt in the town.

Tree #3 *Gliditsia triacanthos*, Thorn Less Honey Locust recommended for removal and replacement as the tree has a unfavorable probability for survival of the proposed site development.



Tree #3 *Gliditsia triacanthos* canopy from the southern side.

Tree #3 *Gliditsia triacanthos* canopy from the western side.



Tree #3 Newer sidewalk installation is an indicator of possible severed roots, and this can cause the tree to spiral into poor health.



Tree #3 Tip and twig dieback are indications of trauma in a tree possibly from severing or damage to the root system.



Tree #3 Seems that there may have been roots severed in more than one area.

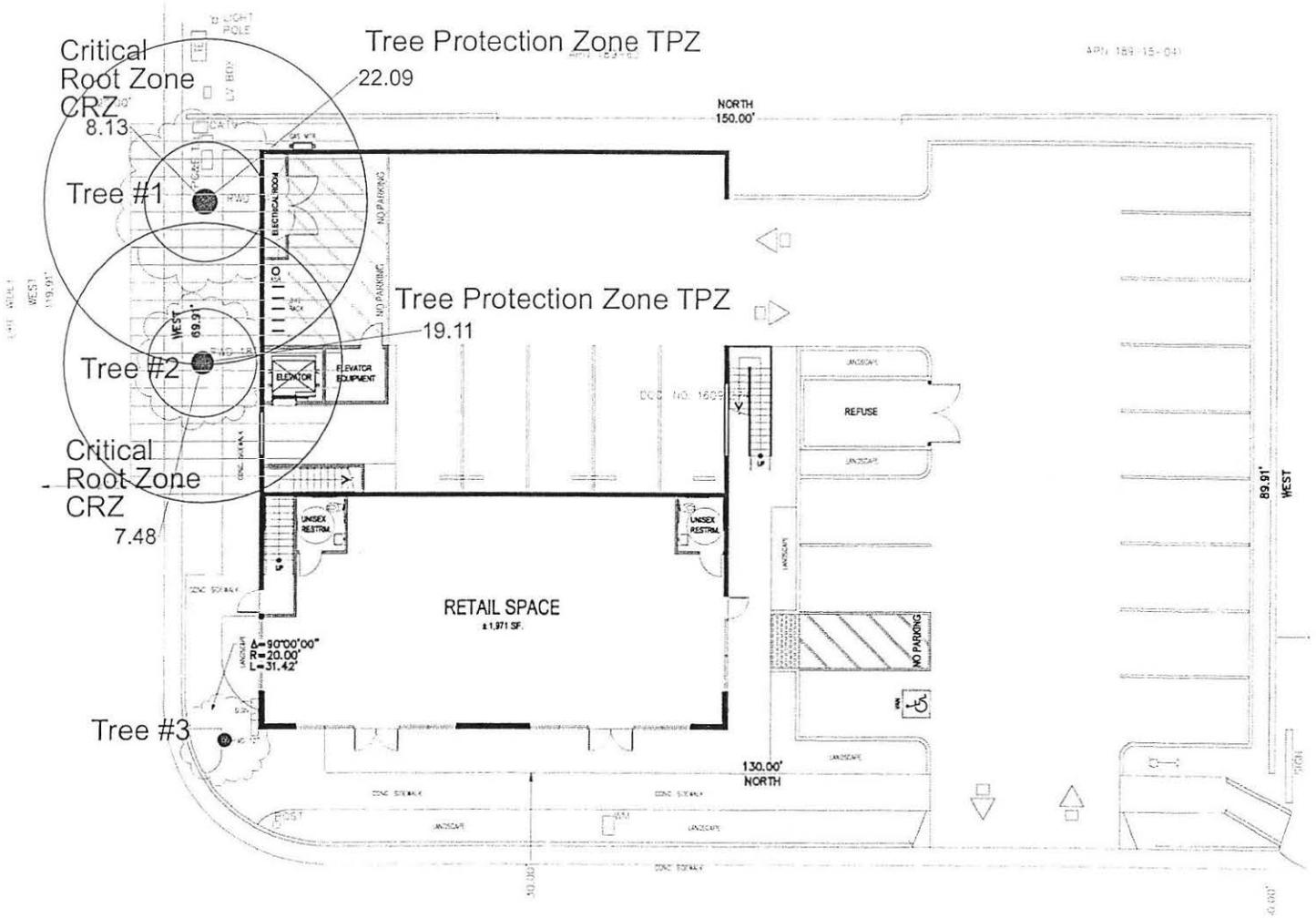


Tree #3 Tussock moth eggs in tree limbs.



Tree #3 Tussock moth eggs in tree limbs.

Tree #3 Poor structure in this limb.



Critical Root Zone CRZ 8.13'

Tree Protection Zone TPZ 22.09

Tree #1

Tree #2

Tree Protection Zone TPZ 19.11

Critical Root Zone CRZ 7.48'

Tree #3

RETAIL SPACE
± 1,971 SF

NORTH
150.00'

130.00'
NORTH

89.91'
WEST

46.00'

$\Delta = 90^{\circ}00'00''$
 $R = 20.00'$
 $L = 31.42'$

RECOMMENDED ACTIONS

Contractor should have a copy of this report on site at all times of operation for referral.

Tree Protection

Type I Tree Protection for trees #1 & #2

The fences shall enclose the entire area under the canopy dripline or TPZ of the trees to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project. If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base. Tree protection fencing installation is to be at 1'-foot radius per 1"-inch of diameter of tree trunk at 54"-inches above grade.

Trenching, Excavation and Equipment Use

Trenching, excavation or boring activity within the TPZ is restricted to the following activities, conditions and requirements if approved by the City or Project Arborist. Mitigating measures shall include prior notification to and direct supervision by the project arborist.

Notification. Contractor shall notify the project arborist a minimum of 24 hours in advance of ANY activity in the TPZ.

Root Severance. Roots that are encountered shall be cut to sound wood and repaired. Roots 2- inches and greater must remain injury free.

Excavation. Any approved excavation, demolition or extraction of material shall be performed with equipment sitting outside the TPZ.

Methods permitted are by hand digging; hydraulic or pneumatic air excavation technology. Avoid excavation within the TPZ during hot, dry weather.

- If excavation or trenching for drainage, utilities, irrigation lines, etc., is required it is the duty of the contractor to tunnel under any roots 2- inches in diameter and greater.
- Prior to excavation for foundation/footings/walls, grading or trenching within the TPZ, roots shall first be severed cleanly 1- foot outside the TPZ and to the depth of the future excavation. The trench must then be hand dug and roots pruned with a sharp saw, sawzall, narrow trencher with sharp blades or other approved root pruning equipment.
- **Heavy Equipment.** Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited unless approved by the City or Project Arborist. If allowed, a protective root buffer is required. The protective buffer shall consist of a base course of tree chips spread over the root area to a minimum of 6-inch depth, layered by 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top. This buffer within the TPZ shall be maintained throughout the entire construction process.
- **Structural design.** If injurious activity or interference with roots greater than 2-inches will occur within the TPZ, plans shall specify a design of special foundation, footing, walls, concrete slab or pavement designs subject to City or Project Arborist approval.
- Discontinuous foundations such as concrete pier and structural grade beam must maintain natural grade (not to exceed a 4-inch cut), to minimize root loss and allow the tree to use the existing soil.

Alternative Base Course Materials

I'm recommending CU-Structural Soil, Lyngso Essential Soil custom mixed with 1.5"-inch aggregate or equal for base rock substitute in the tree protection zone of all trees on areas requiring compaction. It is my belief that this will improve the growing conditions and help the trees to recover from this impact of construction. The desired compaction capabilities can be reached by adjusting the organic portions of the mix.

SUMMARY

Proposed construction operation at this site is to excavate in the tree protection zones of two (2) Redwood trees. Excavation to install the new foundation is the biggest concern and impact on tree #1 & #2 *Sequoia sempervirens*, Coast Redwoods. Careful excavation and construction operations are the controllable factors. With mindful accountable direction and supervision the construction crewmembers should have minimal impact to these trees. Guidance and information supplied in this report and should be sufficient to insure a successfully executed project. However; should additional details or information be required, please don't hesitate to contact me.

GENERAL RECOMMENDATIONS

Project Arborist

An ISA Certified Arborist should be assigned to frequently inspect construction activities (a minimum of once per month is suggested) and continually provide findings and recommendations in an effort to sustain a reasonable assurance of tree survivability throughout the project.

Addition information and recommendations are available from McClintock Landscape Horticultural Services.

CONCLUDING REMARKS

All services recommended in this report should be performed under the supervision of an ISA Certified Arborist in accordance with the standards established by the International Society of Arboriculture.

While trees vary in their responses to damage, previous experience indicates that any living organism works diligently to survive. I believe the above information is accurate and best describes the likely outcome. As an ISA Certified Arborist practicing in the State of California, I state that the enclosed information is true and correct.

Sincerely,

Michael Gladden
McClintock Landscape Horticultural Services
ISA Certified Arborist #WE-2205A

The project is bounded on the west by a complex of office buildings which are occupied by the California Water Service Company, Center for Speech Language and Occupational Therapy, and Yikes Tikes, a children's learning and exploration center, to the north by Cassidy Real Estate and Badry's Café and Catering adjacent to Dolores Avenue, a 2 lane east-west residential street with a 25 mph speed limit, to the south a dry cleaners facility southerly of B Street, and to the east of Miramonte Avenue the United States Postal Service (USPS), Los Altos facility, and the California Water Service Company main building and offices. Refer to Site Development Plan.

TRIP GENERATION

The developer proposes to replace the existing Allied Auto Works automobile repair facility and former four fueling positions gasoline station with commercial retail of approximately 2,048 square feet on the first floor, as well as five residential apartments above on the second floor.

The Institute of Transportation Engineers (ITE), Trip Generation reference is utilized and includes estimates for the underlying entitlement of the prior land use i.e. the existing automobile repair facility land use and gasoline station. The Trip Generation comparison is performed with the "average" trip generation rates. The "equation" method was also reviewed with the trip generation results skewed because of the small amounts of commercial retail and residential apartment units. Based on engineering judgment, the "average" method is deemed a better representative of the estimated trip generation. The intent is to show the trip generation comparisons with several alternatives which best represents what may be expected. Several methods for the existing automobile repair center e.g. per 1,000 square feet and per service stall were utilized. Where available trip "credit" for "passby" traffic" i.e. traffic already on the street network, it was excluded from the net trip generation calculations to focus on the new estimated traffic. Where there was the potential to have a "credit" for the proposed mixed land use, the Santa Clara County Valley Transportation Authority (VTA) suggests a 15% maximum credit, and that was included. Where there was not an ITE reference for the AM peak hour, the San Diego Council of Governments (SANDAG) information was utilized.

While the City of Los Altos desires a review of the traffic impacts from projects with a trip increase of 50 or more daily vehicle trips when requesting a Traffic Impact Analysis (TIA) report, the focus herein is primarily on the AM and PM peak hours. The ITE trip generation reference for daily traffic estimates are unavailable for some of the land uses.

Table I indicates that the "existing" land use and occupancy with an automobile repair center and with two different parameters, yields a higher or "worst" case with the Per Service Stalls trip rate, or 8 AM and 11 PM peak hour trips. The project site was once utilized as a gasoline station, and the net peak hour trips after deducting for 50% passby traffic, yields 25 AM and 28 PM peak hour trips. This latter result is higher than for the automobile repair center even with the reduction in peak hour trips due to the "passby" traffic estimates.

The proposed project of 2,048 square feet or rounded up to 2,100 square feet of commercial retail GFA and five residential apartments will result in 6 AM and 10 PM peak hour trips. With the 15% "credit" for a mixed land use, the net trip generation is expected to be 5 AM and 9 PM peak hour trips.

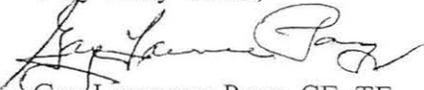
The expected net project trips when comparing the proposed project to the "existing" land use was calculated with two alternatives. The first is with the existing automobile repair center e.g. service stalls, and results in a negative 3 AM and a negative 2 PM peak hour trips with the proposed project. The second alternative with the existing underlying gasoline station results in a negative 20 AM and a negative 19 PM peak hour trips with the proposed project.

FINDINGS AND CONCLUSIONS

The proposed project with commercial retail of approximately 2,100 square feet of GFA and five residential apartments would result in a decrease in the amount of AM and PM peak hour trips when compared with the "existing" land use. Alternative I with the automobile repair center per service stalls, would have a decrease of 3 AM and 2 PM peak hour trips. Alternative II with the gasoline service station per fuel pumping stations would have a decrease of 20 AM and 19 PM peak hour trips. With the decrease in the amount of estimated AM and PM peak hour trips, it implies that there will also be a decrease in the daily traffic volumes from the proposed project.

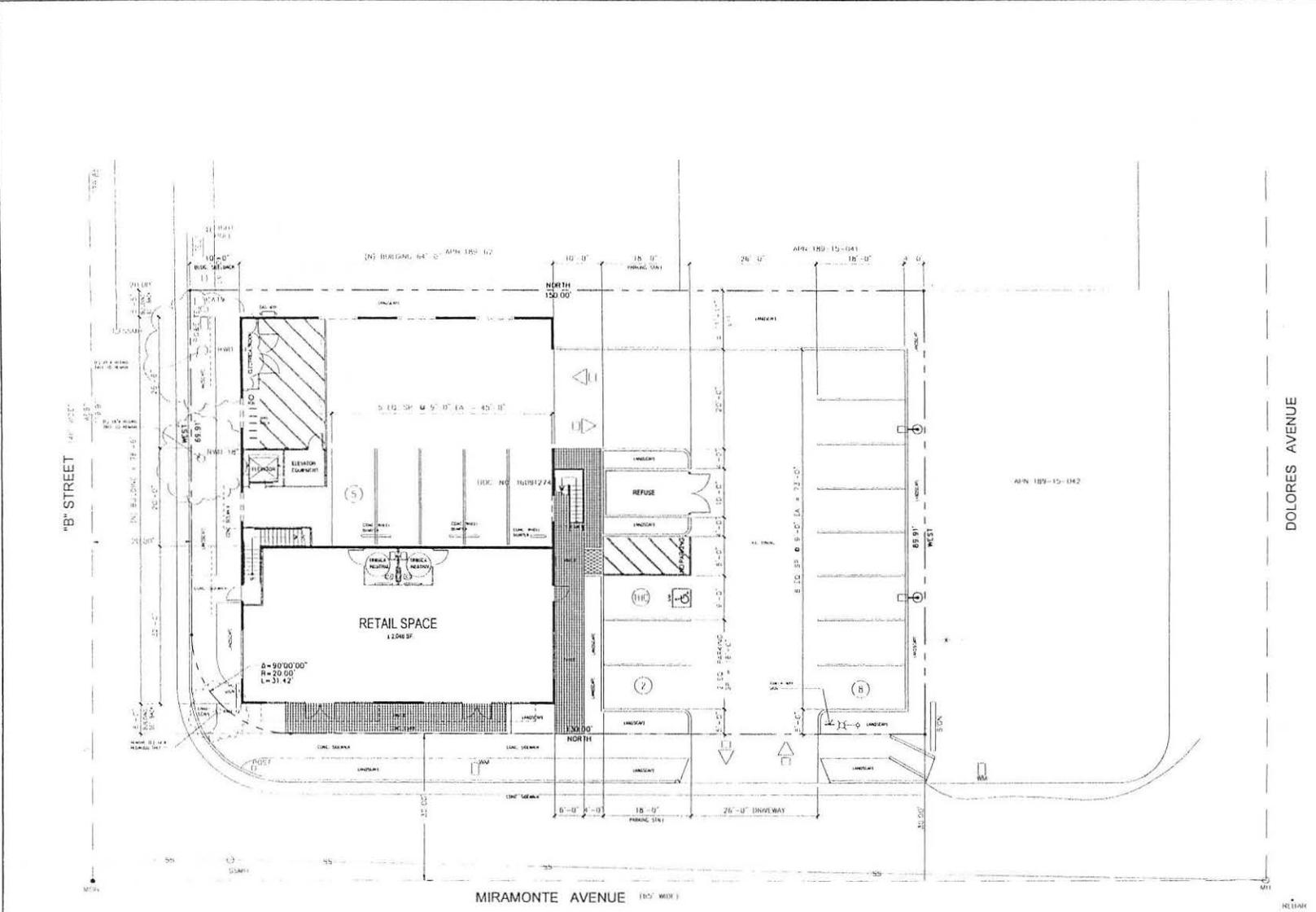
The trip generation comparison or Traffic Impact Statement for the proposed project concludes that there would be a decrease in the amount of AM and PM peak hour trips with the proposed project. Therefore, there is an insignificant or less than significant traffic impact with the proposed project.

Very Truly Yours,


Gay Lawrence Pang, CE, TE

Enclosures:
Site Development Plan
Table I (5 pages)

PROJECT ANALYSIS:	
SITE AREA:	± 0.307 ACRES ± 32,400 SQ FT
BUILDING AREA: (4) 3 STORY RETAIL & APARTMENT:	
FLOOR PLAN:	± 5,204 SQ. FT.
GROUND FLOOR:	± 2,048 SQ. FT. (Retail space) Shelving area, Stor. area, etc.
SECOND FLOOR:	± 3,156 SQ. FT. (Retail, Stor. & etc.) ± 3,204 SQ. FT. (Shelving area)
BUILDING COVERAGE:	100%
PARKING PROVIDED:	18 STALLS
STANDARD (8' x 18')	14 STALLS
ACCESSIBLE (9' x 12')	4 STALLS
TOTAL:	18 STALLS
RETAIL:	8 STALLS
RESIDENTIAL:	10 STALLS
LANDSCAPE:	10 STALLS
MULTI-PURPOSE:	8 STALLS
TOTAL:	± 13 CARSPACES
PARKING RATIO:	1:130 SQ. FT.
PAVING AREA:	TOTAL: ± 3,500 SQ. FT. CONCRETE: ± 0 ASPHALT: ± 3,500 SQ. FT.
LANDSCAPE AREA:	TOTAL: ± 1,500 SQ. FT. CONCRETE: ± 0 GRASS: ± 1,500 SQ. FT.
TYPE OF CONSTRUCTION:	III-B
ZONING:	MS-1B
OCCUPANCY:	MIXED
FIRE SPRINKLER SYSTEM:	
APPLICABLE CODES:	<ul style="list-style-type: none"> 2013 California Building Code 2013 California Mechanical Code 2013 California Plumbing Code 2013 California Electrical Code 2013 California Fire Code 2013 California Fire Code (with local amendments) 2013 State of California Title 24 Energy Regulations 2013 State of California Title 24 Accessible Requirements Los Altos Code pertaining to all provisions in the above referenced codes
CITY OF LOS ALTOS LOCAL CODES AND ORDINANCES.	



1 SITE DEVELOPMENT PLAN
SCALE 1/8" = 1'-0"



THIS PLAN IS THE PROPERTY OF DENNIS KOBZA & ASSOCIATES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DENNIS KOBZA & ASSOCIATES, INC. ANY UNAUTHORIZED USE OF THIS PLAN IS STRICTLY PROHIBITED. THE USER OF THIS PLAN ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS PLAN.

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Dennis Kobza & Associates, Inc.
A.J.A.
ARCHITECTS
1540 MIRAMONTE AVENUE, LOS ALTOS, CA 94024
TEL: 408.947.1100 FAX: 408.947.1101
WWW.DKAZA.COM

REVISIONS:
NO. DATE BY
1 08-20-2015 [Signature]

NEW RETAIL / APARTMENT BLDG.
1540 MIRAMONTE AVENUE, LOS ALTOS, CA
SITE DEVELOPMENT PLAN

FORM 158-009
DATE 08-20-2015
BY [Signature]
CHECKED BY [Signature]
A-1

Table I
TRIP GENERATION

LAND USE	UNIT	TRIP RATE	DAILY TRIPS	AM PEAK HOUR TRIPS		PM PEAK HOUR TRIPS	
				IN	OUT	IN	OUT
EXISTING							
1A. Auto Repair Center 2,164 sq. ft.				66%	34%	48%	52%
AM	2.25 ^{(1)(a)}		3	2		
				5			
PM	3.11 ^{(1)(a)}		.....	.....	3	4
						7	
1B. Auto Repair Center 5 Service Stalls				68%	32%	48%	52%
AM	1.52 ^{(1)(b)}		5	3		
				8			
PM	2.17 ^{(1)(b)}		.....	.....	5	6
						11	

Table 1 (continued)
TRIP GENERATION

LAND USE	UNIT	TRIP RATE	DAILY TRIPS	AM PEAK HOUR TRIPS		PM PEAK HOUR TRIPS	
				IN	OUT	IN	OUT
2A. Gasoline Station							
4 Fuel Pumping Stations							
				51%	49%	50%	50%
AM	12.16 ^{(1)(c)}		25	24		
					49		
PM	13.87 ^{(1)(c)}		.....	.....	28	28
							56
50% Passby ⁽²⁾ : NET							
AM		13	12		
					25		
PM	14	14
							28

Table 1 (continued)
TRIP GENERATION

LAND USE	UNIT	TRIP RATE	DAILY TRIPS	AM PEAK HOUR TRIPS		PM PEAK HOUR TRIPS	
				IN	OUT	IN	OUT
PROPOSED							
1A. Commercial Retail - Specialty 2100 sq. ft.*							
				60%	40%	44%	56%
AM	1.20 ^{(2)(a)}		2	1		
					3		
PM	2.71 ^{(1)(a)}		.....	.....	3	3
							6
*Rounded up from 2048 sq.ft. on Site Plan							
1B. Residential Apartments 5 D.U.							
				20%	80%	65%	35%
AM	0.51 ^{(1)(d)}		1	2		
					3		
PM	0.62 ^{(1)(d)}		.....	.....	3	1
							4
TOTAL PROPOSED:							
AM		3	3		
					6		
PM	6	4
							10

Table 1 (continued)
TRIP GENERATION

LAND USE	UNIT	TRIP RATE	DAILY TRIPS	AM PEAK HOUR		PM PEAK HOUR	
				TRIPS		TRIPS	
				IN	OUT	IN	OUT

MIXED LAND USE CREDIT OF 15%

NET PROPOSED:

AM	.....	.....		2	3		
					5		
PM	.....	.....		.....	.....	5	4
						9	

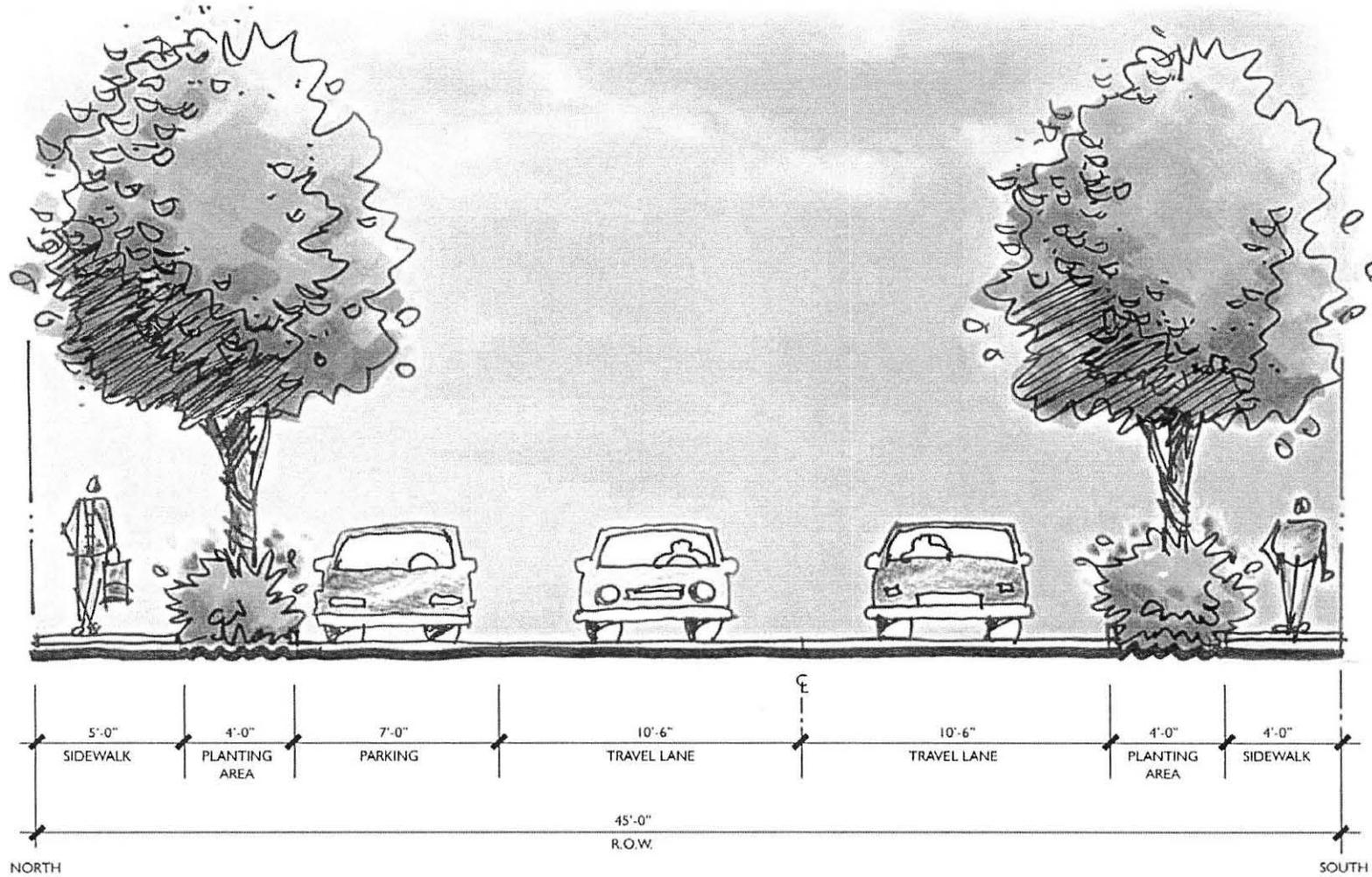
NET PROJECT:

Alternative I: With Existing Auto Repair Center "Service Stalls"
(NET PROPOSED – 1B EXISTING)

AM	.....	.....		(3)	0		
					(3)		
PM	.....	.....		.....	.....	0	(2)
						(2)	

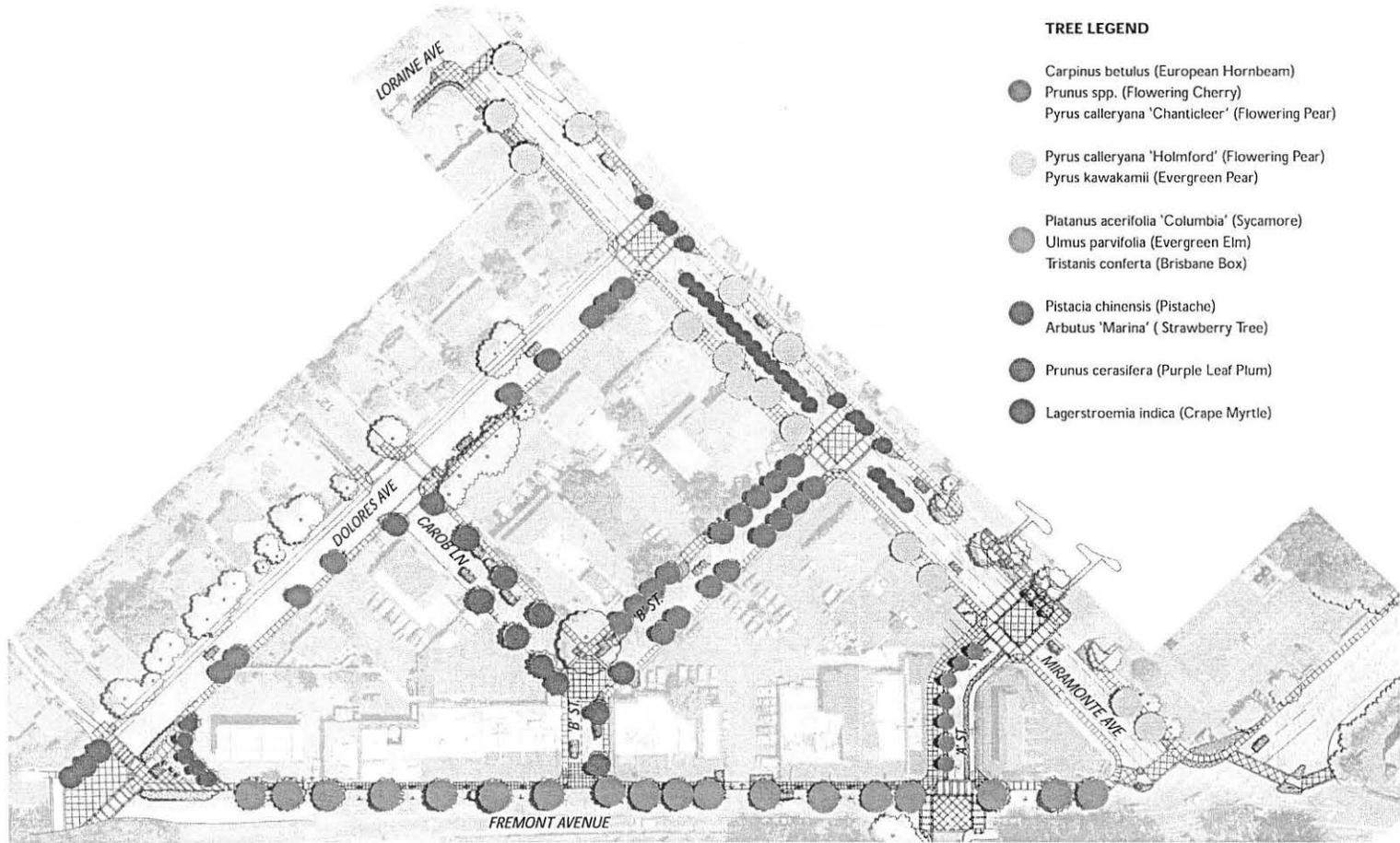
Alternative II: With Existing Underlying Gasoline Station
(NET PROPOSED – 2A EXISTING)

AM	.....	.....		(11)	(9)		
					(20)		
PM	.....	.....		.....	.....	(9)	(10)
						(19)	



'B' Street : Elevation C - C

PLANTING



TREE LEGEND

- Carpinus betulus (European Hornbeam)
- Prunus spp. (Flowering Cherry)
- Pyrus calleryana 'Chanticleer' (Flowering Pear)
- Pyrus calleryana 'Holmford' (Flowering Pear)
- Pyrus kawakamii (Evergreen Pear)
- Platanus acerifolia 'Columbia' (Sycamore)
- Ulmus parvifolia (Evergreen Elm)
- Tristatis conferta (Brisbane Box)
- Pistacia chinensis (Pistache)
- Arbutus 'Marina' (Strawberry Tree)
- Prunus cerasifera (Purple Leaf Plum)
- Lagerstroemia indica (Crape Myrtle)

**MINUTES OF A REGULAR MEETING OF THE PLANNING AND
TRANSPORTATION COMMISSION OF THE CITY OF LOS ALTOS, HELD ON
THURSDAY, JANUARY 21, 2016, BEGINNING AT 7:00 P.M. AT LOS ALTOS CITY
HALL, ONE NORTH SAN ANTONIO ROAD, LOS ALTOS,
CALIFORNIA**

ESTABLISH QUORUM

PRESENT: Chair McTIGHE, Vice-Chair LORELL, Commissioners MOISON, BRESSACK,
BAER, BODNER, and OREIZY

STAFF: Advance Planning Services Manager KORNFIELD and Assistant Planner DAVIS

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Planning and Transportation Commission Minutes**
Approve the minutes of the January 7, 2016 Regular Meeting.

MOTION by Commissioner BRESSACK, seconded by Vice-Chair LORELL, to approve the minutes of the January 7, 2016 Regular Meeting as amended by Commissioner BODNER to revise the wording regarding the alternative meeting notes and per Chair McTIGHE'S correction to a motion.

THE MOTION PASSED BY A 6/0/1 VOTE, WITH COMMISSIONER MOISON ABSTAINING.

PUBLIC HEARING

2. **15-D-07 and 15-UP-03 – D. Kobza, Jr. – 1540 Miramonte Avenue**
Commercial Design Review and Use Permit for a mixed-use retail and multi-family residential project. The project includes 1,466 square feet of retail space and four residential apartments.
Project Planner: Kornfield

Advance Planning Services Manager KORNFIELD presented the staff report recommending approval of Design and Use Permit applications 15-D-07 and 15-UP-03 to the City Council subject to the findings and conditions.

Project architect Budd Kobza summarized the changes to the project. Property owner Brooke Shaw stated that he did not want to intensify development with underground parking and a larger building.

Resident, neighbor and LAND member Tom Ferry, but speaking for himself, stated that he supported the project and the compatible scale meets critical guidelines.

Loyola Corners property owner Gregg Bunker gave his support for the project and said that the project was well articulated.

There were no other public comments.

The Commissioners discussed the project and expressed their general support including the revised landscape plan, revised elevator tower design, alternative floor plan, and the color and material samples. Commission comments included praising the project as a good balance between the developer's needs and conformance with the Specific Plan's architectural guidelines.

The Commission discussed the effectiveness of the story poles and expressed a concern about the utility of providing them, especially on constrained sites such as the subject site where they cannot be fully built.

MOTION by Commissioner BAER, seconded by Vice-Chair LORELL, to approve design application 15-D-07 and use permit application 15-UP-03 per the staff report findings and conditions, with the following additional conditions:

- Revise the landscape plan on the Miramonte Avenue frontage to reflect the street trees shown in the Loyola Corners Concept Plan;
- Revise the landscape plan on the B Street frontage to reflect the street trees shown in the Loyola Corners Concept Plan;
- Omitting the signage on the elevator tower;
- Modify the privacy walls on the north side of the building to address aesthetic and security concerns;
- Consider adding a clerestory window in the bedroom at the northwest corner of the building; and
- Update the renderings.

THE MOTION CARRIED UNANIMOUSLY (7/0).

DISCUSSION

Commissioner BODNER recused herself due to a real property conflict with the proposal at 1000 Fremont Avenue.

3. 15-SR-18 – A. Andrikopoulos –1000 Fremont Avenue

Sign review for a sign within the second story gable. *Project Planner: Davis*

Assistant Planner DAVIS presented the staff report recommending approval of sign application 15-SR-18 subject to the staff report findings and conditions.

Resident Debbie Skelton asked for clarification about the signage illumination. Assistant Planner DAVIS indicated that the sign would use the existing lighting concealed in the gable eave.

The Commission discussed the project, expressing their general support. The Commission noted that sign's visual impacts could be reduced by removing the perimeter border.